



**KNOXVILLE/KNOX COUNTY METROPOLITAN PLANNING COMMISSION  
SUBDIVISION REPORT - CONCEPT**

▶ **FILE #:** 12-SC-07-C

**AGENDA ITEM #:** 16

**AGENDA DATE:** 12/13/2007

▶ **SUBDIVISION:** REALIGNMENT OF BEAVER RIDGE RD.

▶ **APPLICANT/DEVELOPER:** GBS ENGINEERING

OWNER(S): Knox County

TAX IDENTIFICATION: 91 26.04,27,27.01,& 28 078 - 165.01, 167.01 & 168

JURISDICTION: County Commission District 6

▶ **LOCATION:** Intersection of Beaver Ridge Rd., and Oak Ridge Hwy.

SECTOR PLAN: Northwest County

GROWTH POLICY PLAN: Planned Growth Area

WATERSHED: Beaver Creek

▶ **APPROXIMATE ACREAGE:**

▶ **ZONING:** CA (General Business), A (Agricultural) & PC (Planned Commercial)

▶ **EXISTING LAND USE:** Vacant land and existing right-of-way

▶ **PROPOSED USE:** New public street alignment

SURROUNDING LAND USE AND ZONING: North: Residences and supermarket / PR (Planned Residential), A (Agricultural) & CA (General Business)  
South: Library, park, fire station and church / PC (Planned Commercial), CA (General Business) & A (Agricultural)  
East: Vacant land and residence / CA (General Business) & A (Agricultural)  
West: Library and vacant land / PC (Planned Commercial) & CA (General Business)

▶ **NUMBER OF LOTS:** 1

SURVEYOR/ENGINEER: GBS Engineering

ACCESSIBILITY: Access is via Beaver Ridge Rd. a local street and Oak Ridge Hwy. a major arterial street

▶ **SUBDIVISION VARIANCES REQUIRED:** No

**STAFF RECOMMENDATION:**

▶ **APPROVE the concept plan subject to 5 conditions**

1. Meeting all applicable requirements of the Knox County Zoning Ordinance.
2. Meeting all applicable requirements of the Knox County Department of Engineering and Public Works
3. Meeting all applicable requirements and obtaining all required permits from the Tennessee Department of Transportation.
4. The details of the timeline and plans for construction of the street improvements and replating of the new right-of-way, lots and right-of-way to be abandoned shall be worked out during the design plan stage of the subdivision process before any construction begins.
5. A final plat application based on this concept plan will not be accepted for review by the MPC until the certification of design plan approval has been submitted to the MPC staff for the applicable portions of the realignment project.

**COMMENTS:**

The applicant has submitted plans for the proposed realignment of Beaver Ridge Rd. at the intersection with Oak Ridge Hwy. Participants in this project include The Tennessee Department of Transportation (TDOT), Knox County, Ingles and Landview LLC. All parties are involved and have some responsibility for the work on the north side of Oak Ridge Hwy. The work on the south side of Oak Ridge Hwy. will involve only TDOT and Knox County.

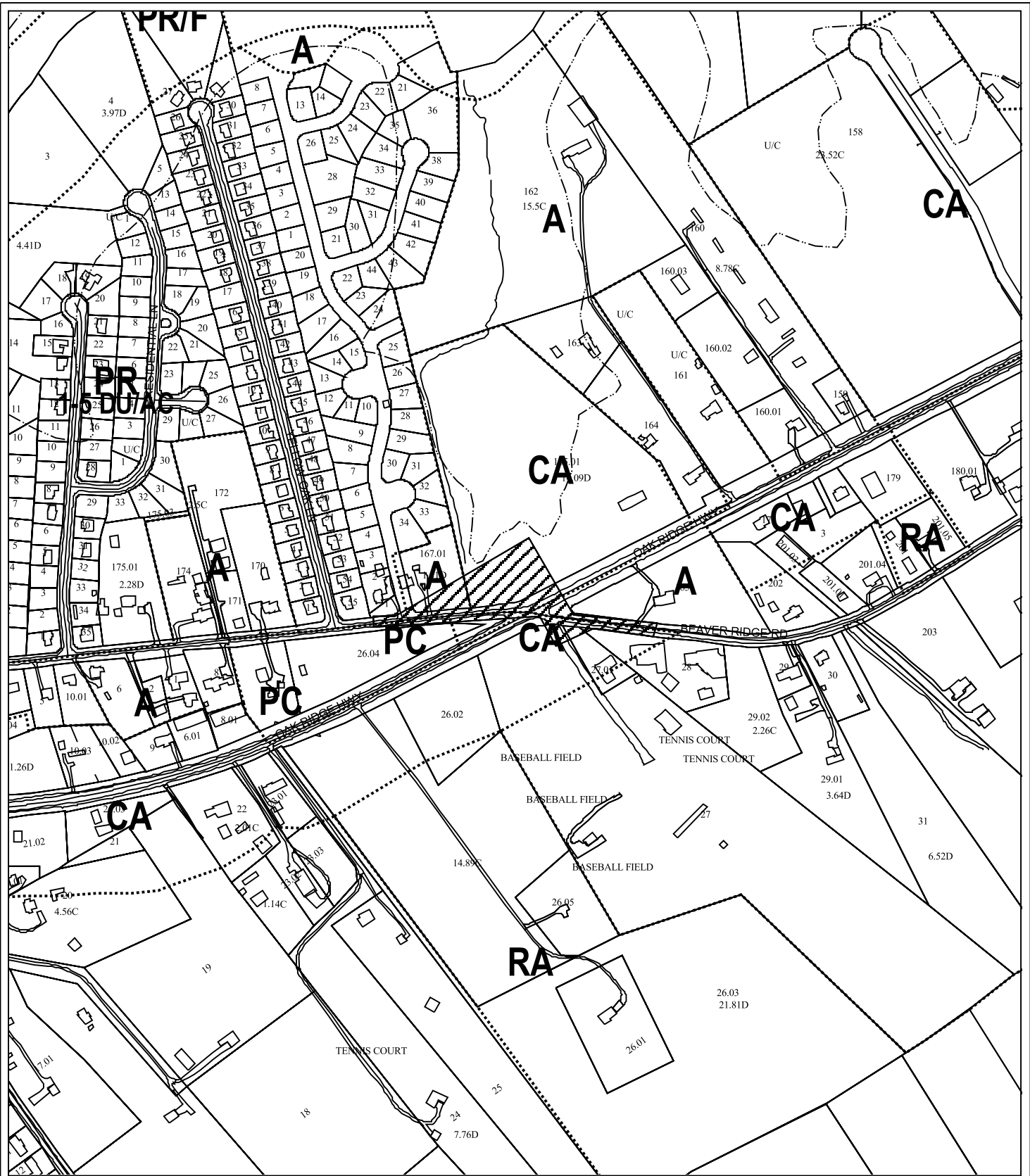
This realignment project will eliminate the sharp angle that now exists with Beaver Ridge Rd. at its intersection with Oak Ridge Hwy. The streets will now intersect at 90 degrees. Due to the limited area that is available for this 90 degree alignment the lengths of the approaches on each side are shorter than would normally be required. However, this proposed improvement will create a safer approach from both sides. The proposed realignment will also include a traffic signal.

Due to the complexity of the timeline for construction and replating of the new right-of-way, lots and right-of-way to be abandoned, Staff is recommending a condition that these details be worked out during the design plan stage of the subdivision process before any construction begins.

ESTIMATED TRAFFIC IMPACT: Not calculated.

ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to Knox County Chancery Court. The date of the Knox County Chancery Court appeal hearing will depend on when the appeal application is filed.




12-SC-07-C  
CONCEPT PLAN

Subdivision: Realignment of  
Beaver Ridge Rd.

Map No: 91

Jurisdiction: County

 Approval of a Concept Plan

Original Print Date: 12/06/07 Revised:  
Metropolitan Planning Commission \* City / County Building \* Knoxville, TN 37902



# Realignment of Beaver Ridge Road

At

## Beaver Ridge Road & Oak Ridge Highway

Developed by:

**Ingles Markets Inc.**

P.O. Box 6676  
 Asheville, North Carolina 28816  
 (828) 692-2941, Ext. 305  
 Attn: Mr. Randy Jameson (VP Real Estate & Distribution)

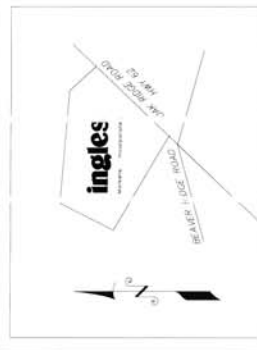
## Intersection of Beaver Ridge Road & Oak Ridge Highway Knox County, Tennessee

### DRAWING INDEX

C0.0	Site Cover Sheet	10/15/07	▽
C1.0	Storm Water Pollution Prevention Plan	10/15/07	
C1.1	SWPPP Details and Notes	10/15/07	▽
C2.0	Site Demolition Plan	10/15/07	
C3.0	Site Grading & Drainage Plan	10/15/07	
C3.1	Site Grading & Drainage Details & Notes	10/15/07	▽
C4.0	Site Layout Plan	10/15/07	
C4.1	Site Layout Details	10/15/07	
C5.0	Site Utility Plan	10/15/07	
C5.1	Site Utility Details and Notes	10/15/07	
C6.0	Road Profile	10/15/07	
C7.0	Road Cross Sections Sta. 6+00 to 13+50	10/15/07	
C7.1	Road Cross Sections Sta. 13+50 to 18+00	10/15/07	
C8.0	Traffic Signal Plan	10/15/07	

### REVISIONS

10/15/07	▽	
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### Vicinity Map

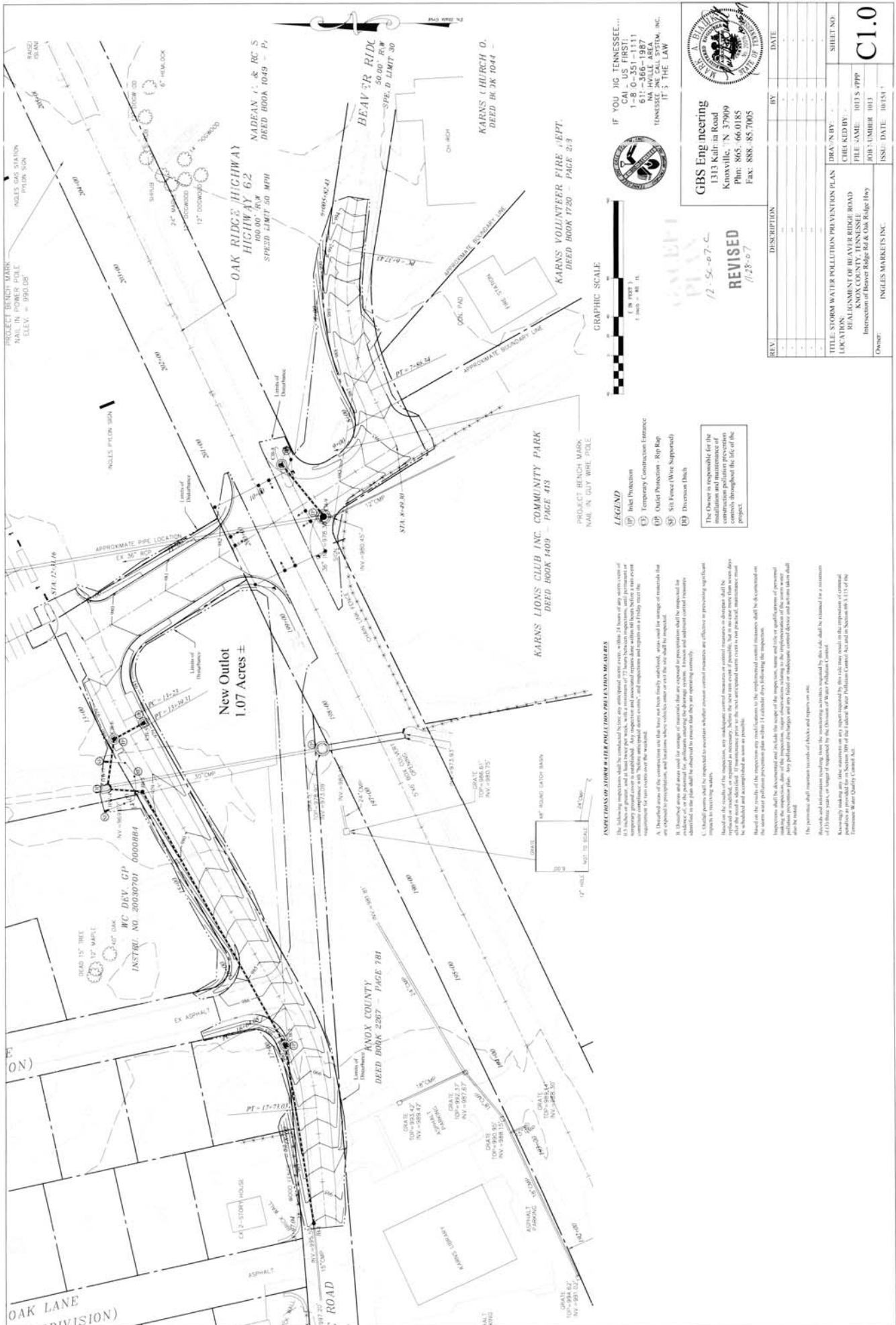
**GBS Engineering**  
 1313 Kalmia Road  
 Knoxville, TN 37909  
 Phn: 865-66-0185  
 Fax: 888-85-7005

REVISED 11-20-07  
 12-20-07  
 C

REV	DESCRIPTION	BY	DATE
1	Revised per MPC comments, dated 11/26/07		11/26/07
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

TITLE	LOCATION	DRAWN BY	CHECKED BY	FILE NAME	JOB NUMBER	ISSUE DATE	SHEET NO.
COVER SHEET	BEAVER RIDGE ROAD KNOXVILLE, TENNESSEE Intersection of Beaver Ridge Rd & Oak Ridge Hwy	-	-	1013.C - Sht	1013	10/10/07	C0.0
Owner: INGLES MARKETS INC.							



**GBS Engineering**  
 1313 Kellie Road  
 Knoxville, TN 37909  
 Phone: 865.66.0185  
 Fax: 865.85.7005

**KARNAS VOLUNTEER FIRE DEPT.**  
 DEED BOOK 1720 - PAGE 3-3

**KARNAS LIONS CLUB INC. COMMUNITY PARK**  
 DEED BOOK 1409 - PAGE 413

**OAK RIDGE HIGHWAY 62**  
 HIGHWAY 62  
 100.00' R/W  
 SPEED LIMIT 30 MPH

**BEAVER RIDGE**  
 50.00' R/W  
 SPEED LIMIT 30

**KARNAS CHURCH O.**  
 DEED BK JK 1044

**NEW OUTLET 1.07 ACRES ±**

**PROJECT BENCH MARK**  
 IN PLYWOOD PIPE  
 ELEV. = 180.00

**PROJECT BENCH MARK**  
 NAIL IN GUT WIRE POLE

**LEGEND**

- (1) Inlet Protection
- (2) Temporary Construction Entrance
- (3) Outlet Protection - Rip Rap
- (4) Silt Fence (Where Supported)
- (5) Diversion Ditch

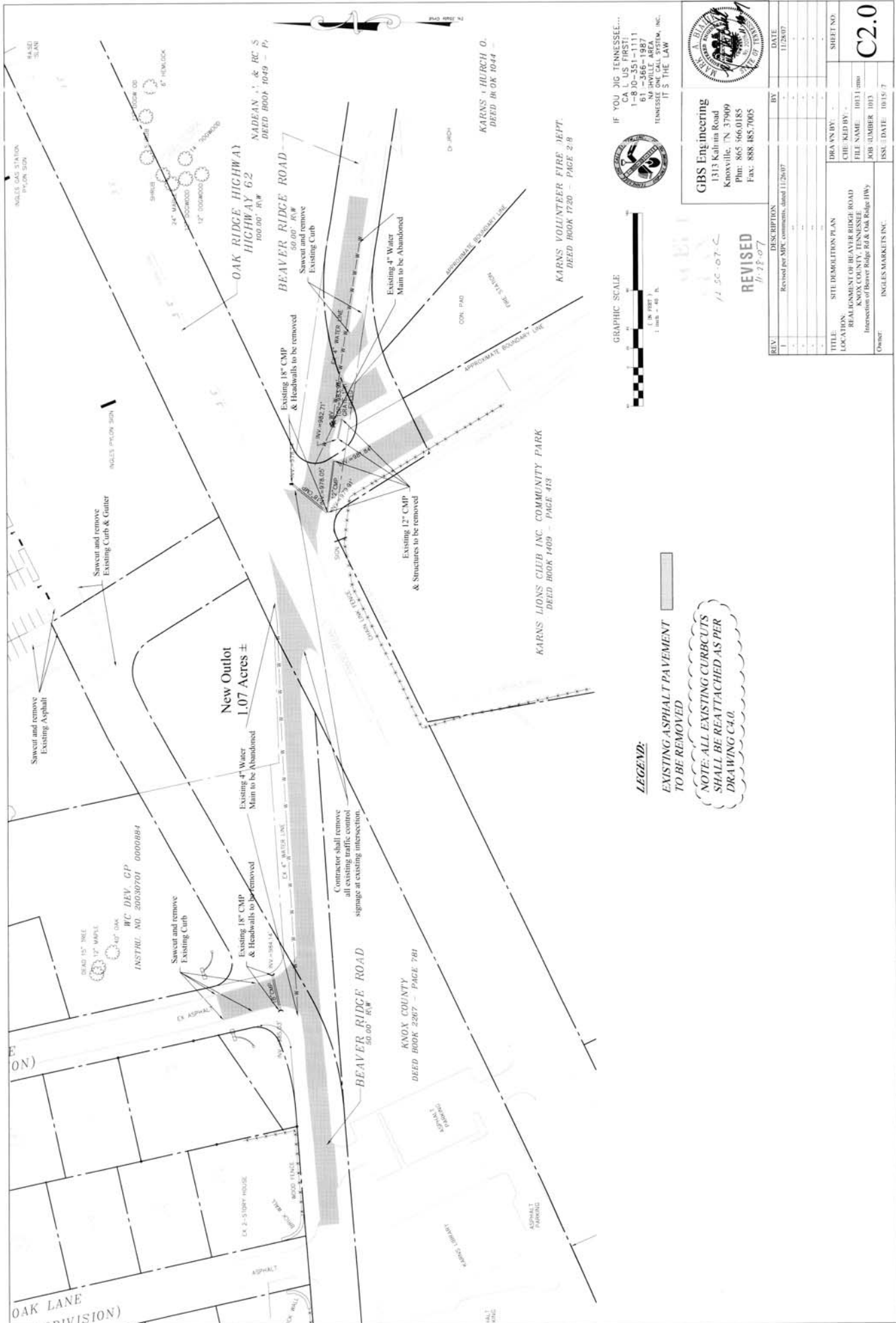
The Owner is responsible for the installation, maintenance, and operation of the storm water pollution prevention controls throughout the life of the project.

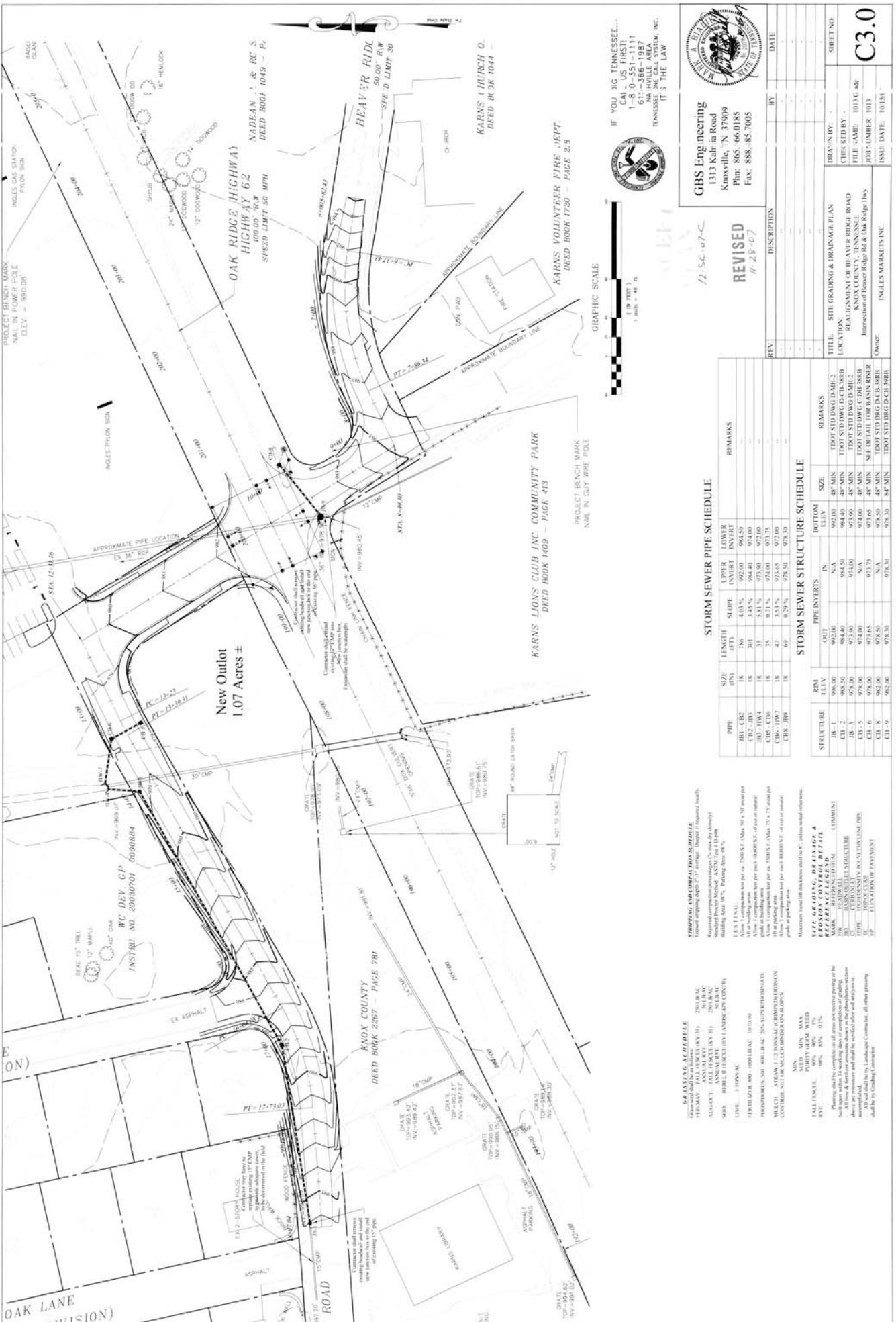
**REVISED**  
 12-5-07-C  
 1/28-07

**GRAPHIC SCALE**  
 1" = 40' HORIZ.  
 1" = 10' VERT.

REV.	DESCRIPTION	BY	DATE

TITLE: STORM WATER POLLUTION PREVENTION PLAN  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_  
 LOCATION: REALIGNMENT OF BEAVER BRIDGE ROAD  
 KNOX COUNTY, TENNESSEE  
 Intersection of Beaver Ridge Rd & Oak Ridge Hwy  
 Owner: INGLES MARKETS INC.  
 SHEET NO: **C1.0**





**GIBS Engineering**  
 1313 Kellum Road  
 Knoxville, TN 37909  
 PHN: 865.66.0185  
 FAX: 888.85.7005

**REVISIONS**  
 11-28-07

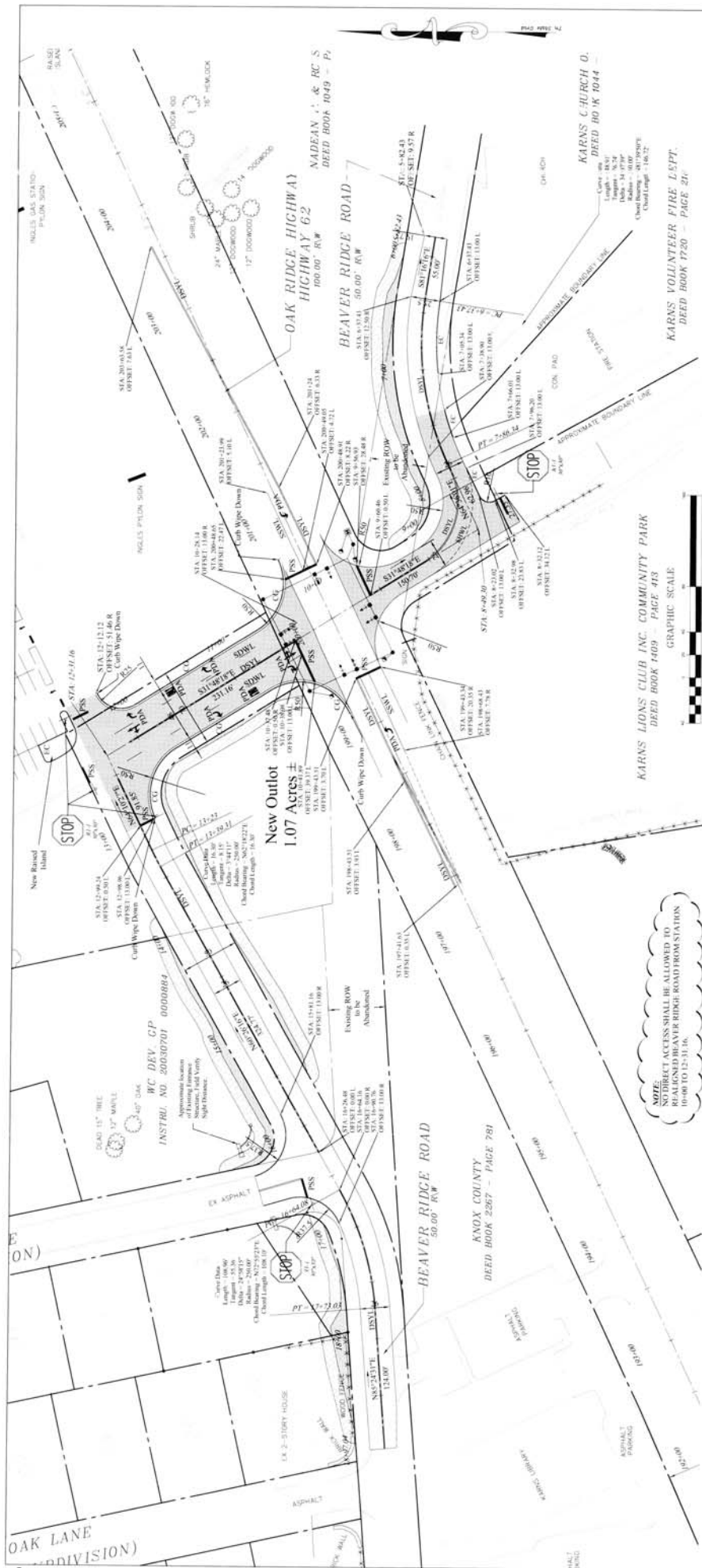
**IF YOU SIG TENNESSEE...**  
 CA - US FIRST!  
 1-800-351-1111  
 615-366-1987  
 INTELLECTUAL PROPERTY SYSTEM, INC.  
 IT'S THE LAW

**GRASSING SCHEDULE**  
 PERMANENT: 20% (FAIRWEATHER)  
 TEMPORARY: 10% (FAIRWEATHER)  
 ANNUAL: 10% (FAIRWEATHER)  
 PERMANENT: 10% (FAIRWEATHER)  
 TEMPORARY: 10% (FAIRWEATHER)  
 ANNUAL: 10% (FAIRWEATHER)

**STRIPPING AND CEMENTATION SCHEDULE**  
 Typical stripping depth 2" average. Depth 1" (optional locally).  
 Regional striping standards (see Appendix A).  
 Standard Practice Method, ASHTO Test 11400  
 Striping: 20% (FAIRWEATHER), 10% (FAIRWEATHER)  
 Allow 1" compensation for each 2000 S.F. Area for 1" strip per  
 100 sq ft of building area. Use per each 10000 S.F. of lot or garage.  
 Allow 1" compensation for each 2000 S.F. Area for 1" strip per  
 100 sq ft of parking area.  
 Allow 1" compensation for each 2000 S.F. Area for 1" strip per  
 100 sq ft of parking area.

**MAINTENANCE SCHEDULE**  
 Maximum flow shall be 1" unless noted otherwise.

**STEEL GRADING, DRAINAGE & RETENTION SCHEDULE**  
 PERMANENT: 20% (FAIRWEATHER)  
 TEMPORARY: 10% (FAIRWEATHER)  
 ANNUAL: 10% (FAIRWEATHER)  
 PERMANENT: 10% (FAIRWEATHER)  
 TEMPORARY: 10% (FAIRWEATHER)  
 ANNUAL: 10% (FAIRWEATHER)



**IF YOU'G TENNESSEE...**  
 CALL US FIRST!  
 615-565-1987  
 615-565-1987  
 KNOXVILLE, TN 37909  
 PH: 865.5.6.0185  
 FAX: 888.4.5.7005

REV	DESCRIPTION	BY	DATE
1	Revised per MPC comments dated 11/26/07		11/26/07

TITLE	SITE LAYOUT PLAN
LOCATION	REALIGNMENT OF BEAVER RIDGE ROAD KNOX COUNTY, TENNESSEE
CHECKED BY	FILE NO. ME. 1013 Lev. 08
DRAWN BY	JOB NUMBER 1013
ISSUE DATE	10/15/07

**C4.0**

- LEGEND:**
- COLLECTOR STREET ASPHALT PAVEMENT
  - LOCAL STREET ASPHALT PAVEMENT
  - CONSTRUCTION EASEMENT (10' WIDE)
  - SLOPE EASEMENT

MARK	REFERENCE	COMMENT
1	ASPHALT	ASPHALT
2	GRADE	GRADE
3	CONCRETE	CONCRETE
4	UTILITY	UTILITY
5	EASEMENT	EASEMENT
6	BOUNDARY	BOUNDARY
7	STOP	STOP
8	STOP	STOP
9	STOP	STOP

**NOTE:**  
 NO DIRECT ACCESS SHALL BE ALLOWED TO REALIGN BEAVER RIDGE ROAD FROM STATION 10+00 TO 12+11.66.

**LEGEND:**

- COLLECTOR STREET ASPHALT PAVEMENT
- LOCAL STREET ASPHALT PAVEMENT
- CONSTRUCTION EASEMENT (10' WIDE)
- SLOPE EASEMENT

MARK	REFERENCE	COMMENT
1	ASPHALT	ASPHALT
2	GRADE	GRADE
3	CONCRETE	CONCRETE
4	UTILITY	UTILITY
5	EASEMENT	EASEMENT
6	BOUNDARY	BOUNDARY
7	STOP	STOP
8	STOP	STOP
9	STOP	STOP

**NOTE:**  
 NO DIRECT ACCESS SHALL BE ALLOWED TO REALIGN BEAVER RIDGE ROAD FROM STATION 10+00 TO 12+11.66.

**REVISIONS**

REV	DESCRIPTION	BY	DATE
1	Revised per MPC comments dated 11/26/07		11/26/07

**DESCRIPTION**

Revised per MPC comments dated 11/26/07

**LOCAL STREET PAVING**

BASE LIFT: 1" TYPE A GRADE D AGGREGATE  
 TOP LIFT: 1" TYPE B SANDER MIX  
 ASPHALT TOPPING: 1.5" TYPE B SANDER MIX

**COLLECTOR STREET PAVING**

BASE LIFT: 1" TYPE A GRADE D AGGREGATE  
 TOP LIFT: 1" TYPE B SANDER MIX  
 ASPHALT TOPPING: 1.5" TYPE B SANDER MIX

**TITLE** SITE LAYOUT PLAN  
**LOCATION** REALIGNMENT OF BEAVER RIDGE ROAD  
 KNOX COUNTY, TENNESSEE  
**CHECKED BY** FILE NO. ME. 1013 Lev. 08  
**DRAWN BY** JOB NUMBER 1013  
**ISSUE DATE** 10/15/07

**SITE PAVING DETAIL REFERENCE SCHEDULE**

**MARK REFERENCE COMMENT**

1 ASPHALT ASPHALT

2 GRADE GRADE

3 CONCRETE CONCRETE

4 UTILITY UTILITY

5 EASEMENT EASEMENT

6 BOUNDARY BOUNDARY

7 STOP STOP

8 STOP STOP

9 STOP STOP

**SITE LAYOUT NOTES**

In the preparation of these site drawings, GBS Engineering has visited only on an actual site visit. It is the responsibility of the client to provide all necessary information for the completion of the drawings. GBS Engineering does not assume responsibility for the accuracy of the information provided by the client.

All property corners and all utility corners shall be rough marked with 2" high metal or aluminum spikes and all utility corners shall be rough marked with 2" high metal or aluminum spikes and all utility corners shall be rough marked with 2" high metal or aluminum spikes.

1. ALL DIMENSIONS SHALL BE IN FEET AND INCHES UNLESS OTHERWISE SPECIFIED.

2. ALL DIMENSIONS SHALL BE TO THE CENTERLINE UNLESS OTHERWISE SPECIFIED.

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GENERAL NOTES:

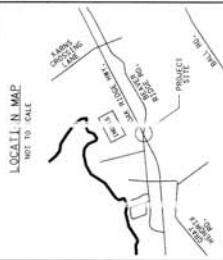
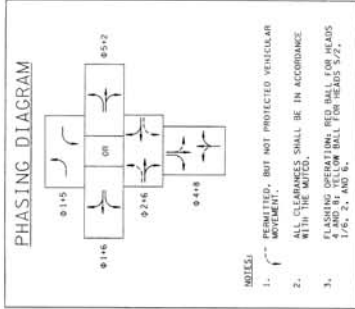
- EQUIPMENT AND INSTALLATION OF TRAFFIC SIGNALS SHALL COMPLY WITH THE APPROPRIATE SECTIONS OF THE MUTCD, STANDARD SPECIFICATIONS SECTION 700, SPECIAL PROVISIONS REGARDING SECTION 1-50-1317, AND THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- THE SIGNAL CONTROLLER SHALL BE A PEAK TRANSISTOR-CODED, WITH A PHASE PAD MOUNTED CABINET, OPERATION, TYPICAL, WIRING, AND OTHER INCIDENTALS REQUIRED FOR FUTURE CLOSED LOOP OPERATION.
- THE CONTRACTOR SHALL NOTIFY CANNON & CANNON, INC. (LAN COLLIDERS, 865-670-8555) OF THE DATE AND TIME OF THE PROJECT FINAL INSPECTION. THIS NOTIFICATION SHALL BE GIVEN AT LEAST 14 DAYS PRIOR TO THE PROJECT FINAL INSPECTION.
- ANY DISTURBED AREA DURING CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION OR AS ACCEPTABLE BY KNOX COUNTY.
- ANY SIGNAL HEADS, WHEN VISIBLE TO DRIVERS BUT NOT OPERATIONAL, SHALL BE COMPLETELY COVERED.
- ALL SIGNAL FLASH FOR A MINIMUM OF SEVEN DAYS AND A MAXIMUM OF FOURTEEN DAYS PRIOR TO FULL ACTIVATION.
- SIGNALS WITH FLASH AND "NEW" PLATE SHALL BE INSTALLED ON OAK RIDGE HIGHWAY 500 FT. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THESE SIGNALS SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THESE TEMPORARY SIGN ASSEMBLIES SHALL BE REMOVED AFTER LIGHT WEEKS, SIGN PLACES SHALL BE MINIMUM 4" HIGH AND 6" WIDE. THESE TEMPORARY SIGN PLACES SHALL BE IN ACCORDANCE WITH SECTION 715 OF THE MUTCD STANDARD SPECIFICATIONS.
- ALL LED INDICATORS SHALL MEET THE CURRENT MINIMUM STANDARDS PUBLISHED BY THE INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS (IEEE). THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE RELIABILITY OF ALL LED INDICATORS AND LED DRIVERS SHALL BE TESTED AND CONFIRMED. MANUFACTURERS SHALL PROVIDE A MINIMUM FIVE YEAR WARRANTY FOR OPERATION OF THE UNIT.
- IMMEDIATELY AFTER THE SIGNAL IS MADE FULLY OPERATIONAL.

**INITIAL CONTROLLER TIMING**

TIMING PHASE	INTL. PASS-TELL CLR.	RED	CHANGING	RED	WALK CLR.	RECALL
1	5.0	2.5	4.0	1.0	10	
2	25.0	2.0	4.5	1.5	50	MIN.
4	8.0	3.0	4.0	1.5	15	
5	5.0	2.5	4.0	1.0	10	
6	25.0	2.0	4.5	1.5	50	MIN.
8	8.0	3.0	4.0	1.5	15	

**SPECIAL PROGRAMMING AND NOTES:**

- PROGRAM / PHASE SEQUENTIAL AS INACTIVE INTL.
- PROGRAM UNIT PHASE 1 OF PHASE 2 0N AND UNIT PHASE 5 BY PHASE 6 0N.
- INITIAL SETTINGS AND FLASHING SHALL BE APPROPRIATE TO THE PHASE INDICATOR.
- VALUES AS RECOMMENDED BY THE CONTROLLER MANUFACTURER.



- WALKWAY AND TRAFFIC CONTROL DEVICES**
- THE LOCATIONS OF UTILITY CUES AND UNDERGROUND STRUCTURES SHALL BE SHOWN ON THE E PLANS AND THE E PLANS SHALL BE SUBMITTED TO THE LOCAL HEALTH DEPARTMENT FOR REVIEW. ALL UTILITY CUES AND UNDERGROUND STRUCTURES SHALL BE IDENTIFIED AND PROTECTED PRIOR TO CONSTRUCTION. PRIOR TO EQUIPMENT INSTALLATION, SOME UTILITIES SHALL BE IDENTIFIED AND PROTECTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. CALL 811 OR THE UTILITY COMPANY. THE UTILITY COMPANY SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
  - THE COST OF ANY DAMAGE TO UTILITY FACILITIES SHALL BE BORNE BY THE CONTRACTOR.
  - INSTALLER SHALL COORDINATE WITH THE LOCAL HEALTH DEPARTMENT TO OBTAIN NECESSARY PERMITS AND APPROVALS TO PROVIDING ACCESS TO THE PUBLIC THROUGH THE LOCAL HEALTH DEPARTMENT.
  - CONSTRUCTION OF TRAFFIC CONTROL DEVICES AND EQUIPMENT SHALL BE COMPLETED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. CALL 811 OR THE UTILITY COMPANY. THE UTILITY COMPANY SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
  - TRAFFIC CONTROL DEVICES SHALL NOT BE DISAPPROVED PRIOR TO INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES. CALL 811 OR THE UTILITY COMPANY. THE UTILITY COMPANY SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.

- SIGNALIZATION LEGEND**
- SIGNAL SUPPORT PILE (STEEL)
  - SIGNAL HEAD WITH BACKPLATE
  - TRAFFIC SIGNAL
  - ROAD LIGHT - GREEN AND CONTROLLER
  - ROAD LIGHT - RED AND CONTROLLER
  - ROAD LIGHT - YELLOW AND CONTROLLER
  - FLASHER
  - UNDERGROUND CONDUIT (SIZED)
  - UNDERGROUND (SINGLE PRELIFT)
  - DETECTOR

**REVISIONS**

NO.	DATE	DESCRIPTION
1	11/27/07	REVISED

**Cannon & Cannon, Inc.**  
Consulting Engineers  
3000 West Main Street, Suite 100  
Knoxville, Tennessee 37918  
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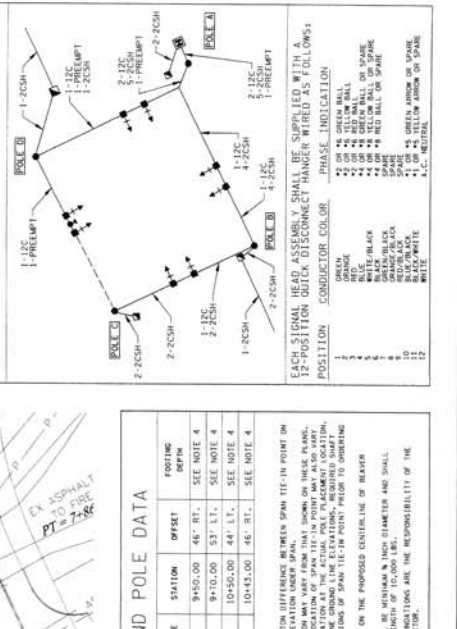
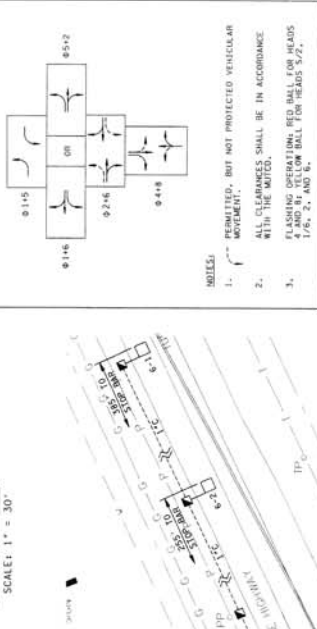
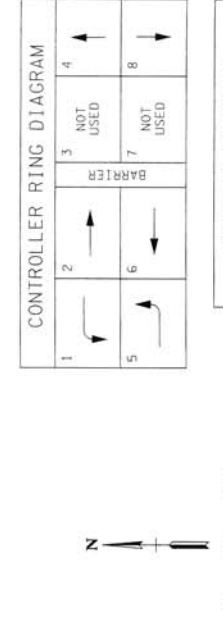
**INGLES MARK TS, INC.**  
P.O. BOX 4076  
ASHBURN, NORTH ARLANDINA 28816

**PROJECT:** REALIGNMENT OF BEAVER RIDGE ROAD AT OAK RIDGE HIGHWAY, TENNESSEE

**TRAFFIC SIGNAL PLAN**

DATE	TIME	BY	CHKD
07/27/07	10:00 AM	MS	MS
07/27/07	10:00 AM	MS	MS
07/27/07	10:00 AM	MS	MS
07/27/07	10:00 AM	MS	MS

**C8.0**



**C8.0**