



**KNOXVILLE/KNOX COUNTY METROPOLITAN PLANNING COMMISSION
USE ON REVIEW REPORT**

▶ **FILE #:** 9-S-07-UR

AGENDA ITEM #: 96

AGENDA DATE: 9/13/2007

▶ **APPLICANT:** **FLAGSHIP GROUP INC.**

OWNER(S): T. GORDY GERMANY

TAX ID NUMBER: 118 PART OF 173

JURISDICTION: County Commission District 6

▶ **LOCATION:** **Southeast side of Corridor Park Blvd., southwest of Innovation Dr.**

▶ **APPX. SIZE OF TRACT:** **5.26 acres**

SECTOR PLAN: Northwest County

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via Corridor Park Blvd., a local street, with a 26' pavement width within a 70' right-of-way.

UTILITIES: Water Source: First Knox Utility District

Sewer Source: First Knox Utility District

WATERSHED: Turkey Creek

▶ **ZONING:** **BP (Business and Technology) / TO (Technology Overlay)**

▶ **EXISTING LAND USE:** **Vacant**

▶ **PROPOSED USE:** **Medical office facility**

HISTORY OF ZONING: None noted

SURROUNDING LAND USE AND ZONING: North: Office building & residences / BP/TO (Business & Technology Park/Technology Overlay) & RA/TO (Low Density Residential/Technology Overlay)

South: Office warehouses & vacant / BP/TO (Business & Technology Park/Technology Overlay) & PC/TO (Planned Commercial/Technology Overlay)

East: Office warehouses / BP/TO (Business & Technology Park/Technology Overlay)

West: Office warehouses / BP/TO (Business & Technology Park/Technology Overlay) & PC/TO (Planned Commercial/Technology Overlay)

NEIGHBORHOOD CONTEXT: The subject property is located in Technology Center Park, an established office and technology park in the Technology Corridor that continues to develop under the BP and PC zones.

STAFF RECOMMENDATION:

▶ **APPROVE the request for a 30,000 sq. ft. medical office building for a plasma laboratory, in the BP/TO zone, subject to the following 8 conditions:**

1. Meeting all applicable requirements of the Knox County Zoning Ordinance.
2. Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.

3. Meeting all applicable requirements of the Knox County Health Department.
4. Subject to the approval and meeting all relevant conditions of the requested TTCDA Certificate of Appropriateness, file #07.039.0.
5. Meeting all variance requests as approved by the Knox County Board of Zoning Appeals.
6. Aligning the eastern driveway with Data Ln.
7. Providing an off-site drainage easement to the culvert on Murdock Dr.
8. Installing all landscaping within six months of the approval of a certificate of occupancy for this project, or posting a bond with Knox County Engineering and Public Works guaranteeing such installation.

With the conditions noted, this plan meets the requirements for approval of a use-on-review in the BP/TO zoning district.

COMMENTS:

This is a request for use-on-review approval for a medical office building for ZLB Plasma Service, a plasma laboratory. The property is located in Technology Center Park, where similar businesses have been developed over the years. The single-story building will contain 30,000 sq. ft. of floor space. The Tennessee Technology Corridor Development Authority will consider this request for the approval of a Certificate of Appropriateness at their September 10, 2007 meeting (file #07.039.0). The applicant received three variances from the Knox County Board of Zoning Appeals to reduce the required side yard setback, reduce the minimum area required for each parking space, and to reduce the minimum driveway width. These variances, however, will also need to be approved by the TTCDA for them to be effective.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTIES AND THE COMMUNITY AS A WHOLE

1. The subject request will have no impact on schools and minimal impact on street traffic. The applicant has been made aware that Knox County is proposing to realign the intersection of Innovation Dr. and Dutchtown Rd. If or when development occurs on the remaining portion of the subject property, the developer may be required to participate in an updated traffic study as part of that realignment.
2. The proposed medical office building for a plasma laboratory will be consistent with the development that has occurred in this business park.
3. Public water and sewer are in place to serve this project.

CONFORMITY OF THE PROPOSAL TO THE CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

1. With the approved variances, the proposal is consistent with all requirements of the BP zoning district, as well as other criteria for approval of the proposed use as a use on review.
2. The proposal is consistent with the following general standards for uses permitted on review: The proposal is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the zoning ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw substantial additional traffic through residential areas.

CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

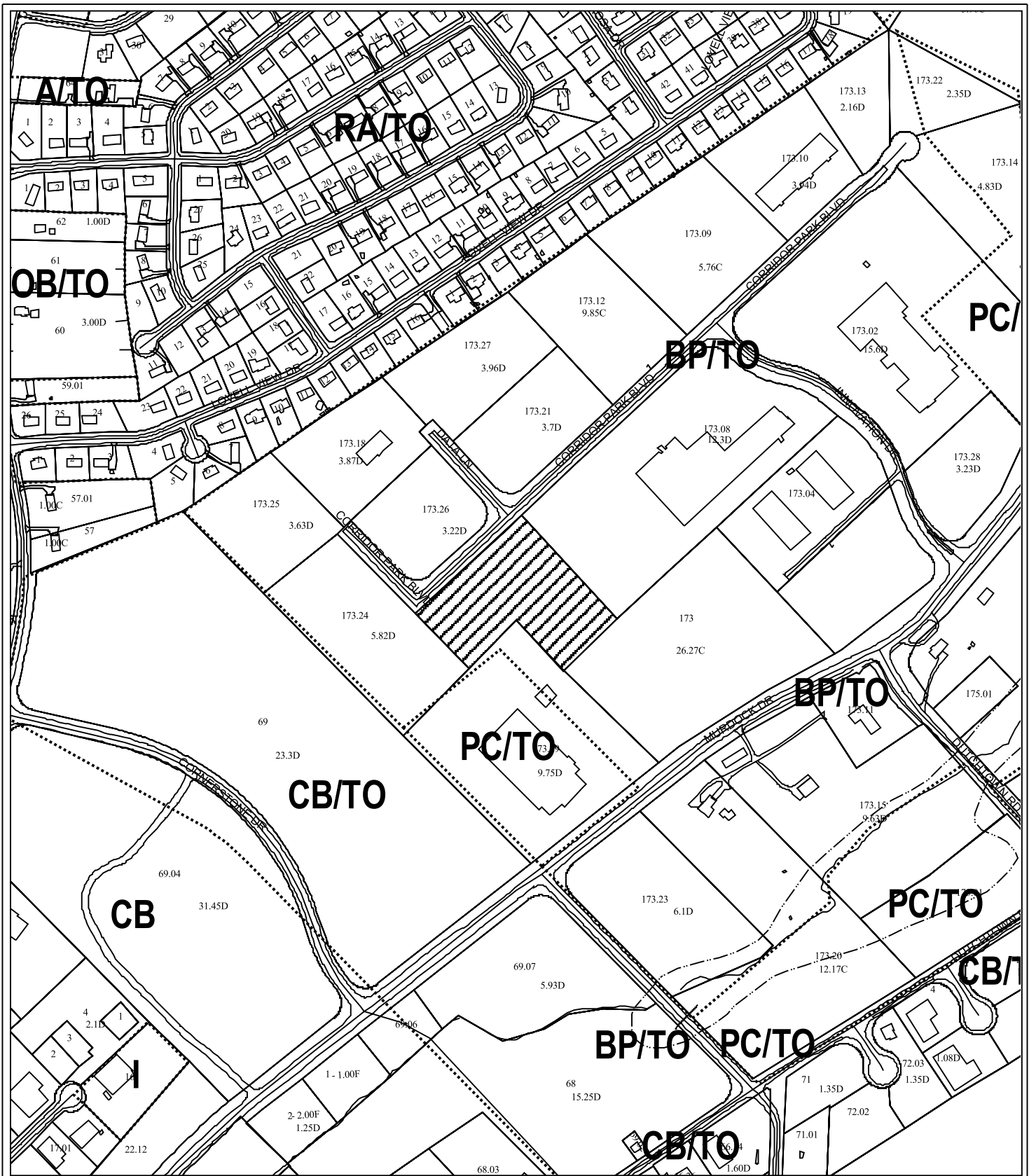
1. The Northwest County Sector Plan and the Technology Corridor Comprehensive Development Plan designate this property for technology park uses.
2. The BP/TO zone permits consideration of the proposed use, within the development guidelines of both the Knox County Zoning Ordinance and the TTCDA Design Guidelines.

ESTIMATED TRAFFIC IMPACT: 1227 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal an MPC decision in the County.



9-S-07-UR
USE ON REVIEW



Medical Office Building in BP (Business and Technology) /
TO (Technology Overlay)

Original Print Date: 08/28/07 Revised:
Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

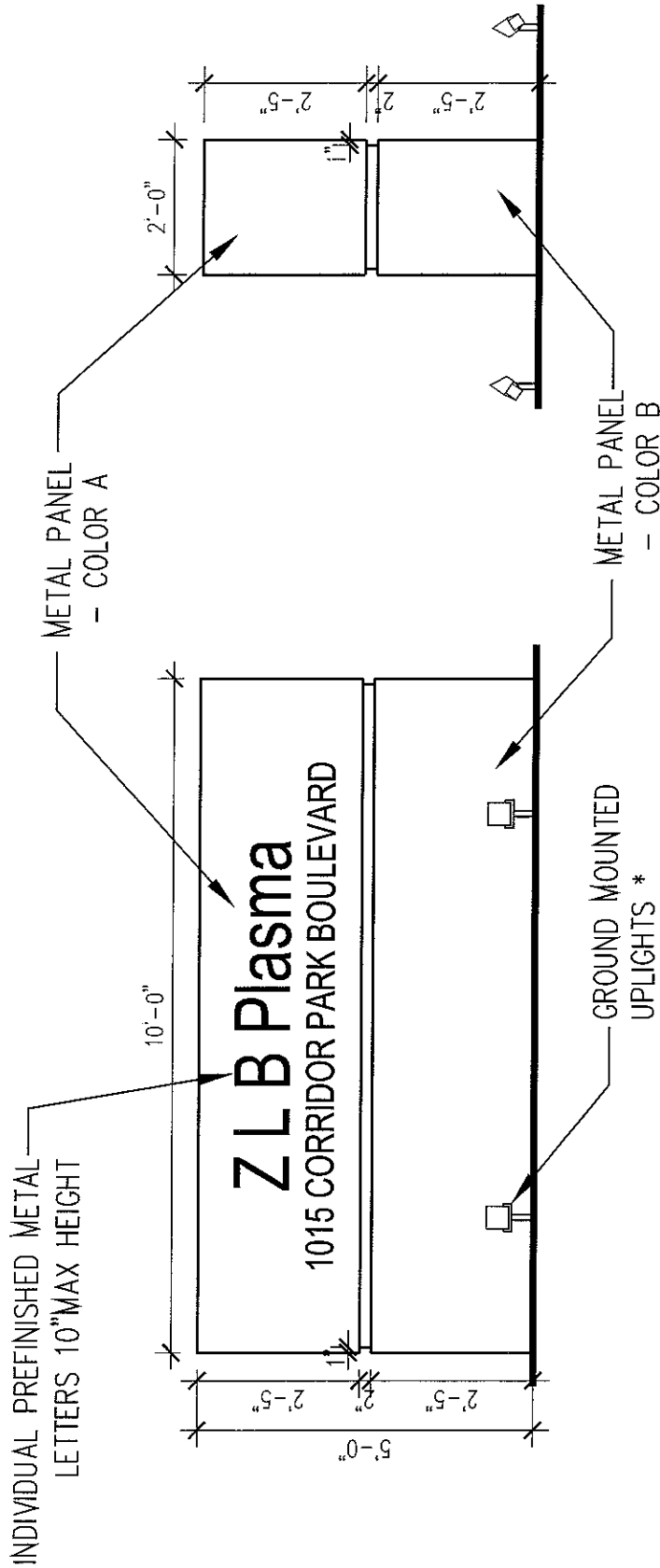
Petitioner: Flagship Group Inc.

Map No: 118

Jurisdiction: County



9-S-07-WR



1 FRONT ELEVATION
Scale: 3/8" = 1'-0"

MAXIMUM ALLOWABLE SIGN AREA = 50SF EACH SIDE
 MAXIMUM ALLOWABLE HEIGHT = 6'-0"

AREA CALCULATIONS:
 STUCCO CLAD PANELS:
 10'-0" X 2'5" + 10'-0" X 2'5" + 2" X 10'-0" = 50SF

COLOR SAMPLES TO BE SUBMITTED AT A LATER DATE

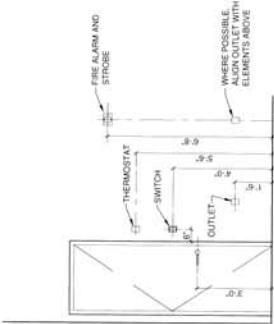
2 SIDE ELEVATION
Scale: 3/8" = 1'-0"

NOTE:
 SIGN WILL COMPLY WITH LOCAL
 SIGNAGE ORDINANCES

* LIGHT FIXTURES EQUAL TO:
 VISTA 1026 UPLIGHT WITH 50W
 METAL HALIDE LAMPING, FINISH
 SHALL BE ARCHITECTURAL BRONZE

ZLB PLASMA SHEET NO.: AMS-01 SCALE: 1/4" = 1'-0"	DATE: 2007-08-17
	PROJECT NUMBER: 07-049.00
LOCATION: KNOXVILLE, TN	RULE JOY TRAMMELL RUBIO ARCHITECTURE INTERIOR DESIGN 300 Galleria Parkway Suite 740 Atlanta, Georgia 30339 770-661-1492 (phone) 770-661-1493 (fax)
THIS DRAWING IS THE PROPERTY OF RULE JOY TRAMMELL + RUBIO, LLC AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT © 2005	

STANDARD MOUNTING HEIGHTS



Rule Joy or Trammell Rubio
ARCHITECTURE INTERIOR DESIGN
300 Galleria Parkway, Suite 740 Atlanta, Georgia 30339
770.661.1493 (phone) 770.661.1493 (fax)
www.rjrpa.com
PRINTED DATE: 01.21.07

GENERAL INFORMATION	FLGSHIP GROUP, INC. ZLB PLASMA LAB
	ZLB PLASMA LABORATORY 1015 CORRIDOR PARK, LOT 17 KNOX COUNTY, TENNESSEE
PROJECT NO.	AT-02
DRAWING NO.	

GENERAL NOTES

- ALL DIMENSIONS ARE TO FINISHED FACE OF PARTITION, EXCLUDING WOOD OR STONE FINISHES, UNLESS NOTED OTHERWISE.
- ELEVATIONS AND LEVELS ARE SHOWN TO TOP OF FINISHED HARD SURFACES (CONCRETE FLOOR SLAB, CARPET, CERAMIC TILE, WOOD FLOORING, VINYL, OTHER FINISH MATERIALS).
- DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN OVER ALL SCALE DETAILS SHALL GOVERN OVER SMALL SCALE DETAILS WITHIN EACH DRAWING SHALL GOVERN OVER ALL.
- ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION ELEMENTS LOCATED IN PUBLIC AREAS SHALL BE LOCATED AND APPROVED BY THE ARCHITECT.
- ALL MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION ELEMENTS SHALL BE PROVIDED IN NON-ACCESSIBLE CEILINGS, INCLUDING BUT NOT LIMITED TO BELOW THE FOLLOWING MECHANICAL AND PLUMBING AREAS:
 - A. VALVES
 - B. FLOW MEASURING DEVICES
 - C. ACCESS PANELS IN DUCTWORK
 - D. POWER OPERATED DAMPERS
 - E. WATER FLOW SWITCHES
 - F. SPRINKLER SYSTEM DRAINS AND TEST CONNECTIONS
 - G. SPRINKLER ACCESSIBLE CEILING IN PUBLIC AREAS REQUIRING ACCESS PANELS SHALL NOT BE LOCATED ABOVE NON-ACCESSIBLE CEILING IN PUBLIC AREAS UNLESS APPROVED BY THE ARCHITECT.
 - H. ALL FASTENERS AND ATTACHMENTS SHALL BE FULLY COMPATIBLE WITH FINISH MATERIALS AND SHALL NOT BE LOCATED ABOVE NON-ACCESSIBLE CEILING IN PUBLIC AREAS UNLESS APPROVED BY THE ARCHITECT.
 - I. THE CONTRACTOR SHALL VERIFY ALL EXISTING MECHANICAL AND ELECTRICAL CONDITIONS AND LOCATIONS IN THE FIELD PRIOR TO ORDERING MATERIALS OR COMMENCING WORK. THE CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES AND OBTAIN REQUIRED CLARIFICATION PRIOR TO COMMENCING WORK.

AREA SUMMARY

TOTAL GROSS AREA - 30,000 GSF
PARKING TABULATION
1 SPACES - 13 SPACES
100 (MPLOTTERS - 93 SPACES
93 PARKING SPACES PROVIDED

CORE AND SHELL BUILDING EXITING CALCULATION:

OCCUPANCY GROUP BUSINESS B
100 SF OCCUPANT GROSS
NET AREA = 28,130 SF
MIN. OCCUPANCY (AS DESIGNED FOR: 28,130 SQ. FT. / OCCUPANTS (ACTUAL OCCUPANCY LOAD = 42)
EXIT WIDTH (LEVEL TRAVEL) - 91' 15" OCCUPANT
0.15' x 29' - 44 EXIT INCHES REQUIRED
EXITS PROVIDED - 2 (PAIRS OF 2'-0" WIDE DOORS (3M-LEAF))
138 EXIT INCHES PROVIDED
MIN. NUMBER OF EXITS - 25 (PROVIDED) (WHEN SPARKLERED)
MAX. TRAVEL DISTANCE - 300 FT
MAX. COMMON PATH OF TRAVEL - 100 FT (WHEN SPARKLERED)

PROJECT DESCRIPTION

PROJECT NAME
ZLB PLASMA LABORATORY
1015 CORRIDOR PARK
KNOX COUNTY, TN
AREA OF CONSTRUCTION 30,000 SF
JURISDICTION KNOX COUNTY TENNESSEE
PRIMARY USE CLASS OFFICE BUSINESS
NFPA USE CLASS BUSINESS B
IBC USE CLASS BUSINESS-B
CONSTRUCTION TYPE 11B
HIGH-RISE NO. ONE STORY
SPRINKLERED *YES (IN BUILD OUT)
UNLIMITED AREA YES. PER SECTION 907.2

THE SCOPE OF THIS PROJECT CONSISTS OF THE CONSTRUCTION OF THE SITE AND THE SHELL AND CORE BUILDING. THE ARCHITECT SHALL BE RESPONSIBLE FOR PROVIDING ALL MECHANICAL, ELECTRICAL AND PLUMBING (M.E.P.) REQUIREMENTS AT A FUTURE DATE.

* PLEASE NOTE THAT NO CERTIFICATE OF OCCUPANCY (C.O.) SHALL BE OBTAINED UNTIL THE PROJECT HAS MET ALL WPA 13 REQUIREMENTS FOR THE OCCUPANCY TYPE.

CODES & ORDINANCES

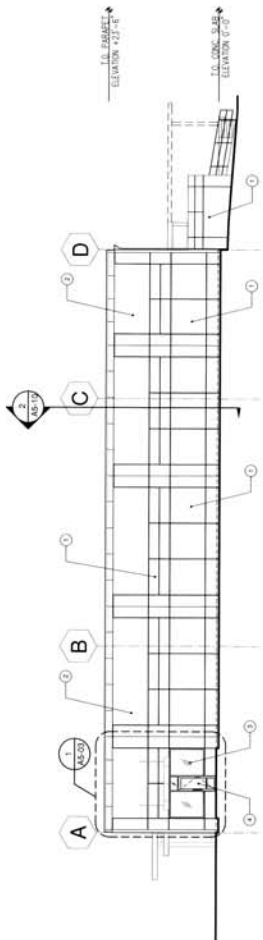
2008 INTERNATIONAL BUILDING CODE
2008 INTERNATIONAL PLUMBING CODE
2008 INTERNATIONAL MECHANICAL CODE
2008 INTERNATIONAL FUEL GAS CODE
2008 INTERNATIONAL FIRE CODE
2008 INTERNATIONAL ENERGY CONSERVATION CODE
2008 LIFE SAFETY CODE
2008 NATIONAL ELECTRICAL CODE
KNOX COUNTY AMENDMENTS

U.O.R. DATE 3/4/07
REVISED 9-5-07-WK

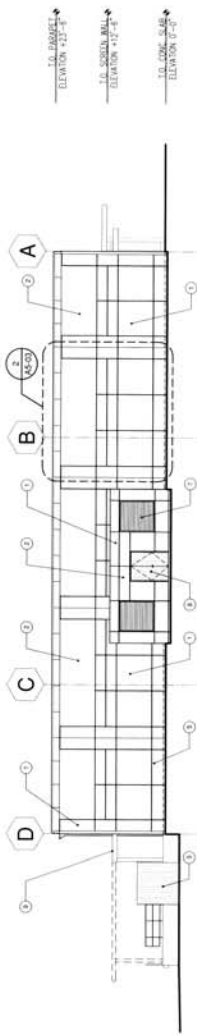
Abbreviation	Description
AC	Air Conditioner
ACC	Access
ADD	Accessory
ADP	Air Handling Unit
AGP	Automated Guided Path
AGV	Automated Guided Vehicle
AI	Alarm In
AL	Alarm
ALM	Alarm
AMP	Amplifier
B	Battery
BANK	Bank
BBS	Bid System
BIB	Bid Board
BID	Bid
BIF	Bid Form
BIS	Bid Sheet
BISAT	Bid Sheet
CAC	Control
CAE	Control
CAG	Control
CAL	Control
CAN	Control
CAP	Control Panel
CAU	Control Unit
CC	Control Center
CCM	Control Center
CCN	Control Center
CCO	Control Center
CCP	Control Panel
CCS	Control System
CCU	Control Unit
CCV	Control Valve
CCW	Control Water
CD	Control Desk
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ABBREVIATIONS

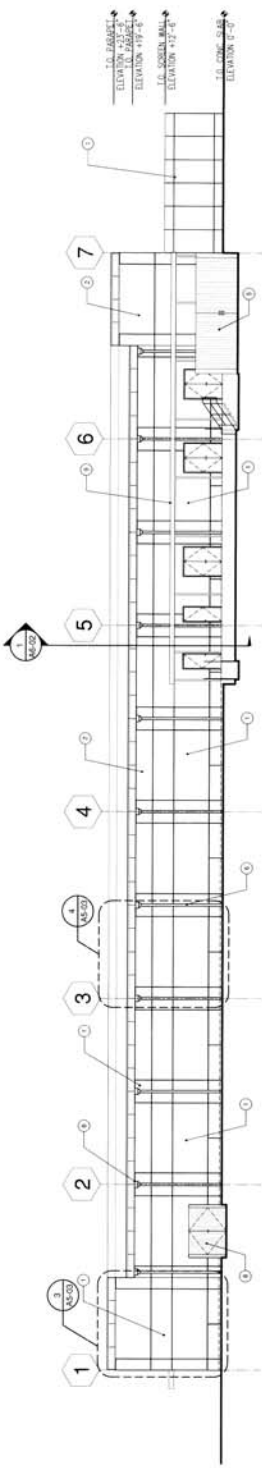
AB	Abundant
ACC	Access
ACD	Accessory
AD	Alarm
ADP	Air Handling Unit
ADU	Automated Guided Unit
AE	Alarm Element
AG	Alarm
AGV	Automated Guided Vehicle
AI	Alarm In
AL	Alarm
ALM	Alarm
AMP	Amplifier
B	Battery
BANK	Bank
BBS	Bid System
BIB	Bid Board
BID	Bid
BIF	Bid Form
BIS	Bid Sheet
BISAT	Bid Sheet
CAC	Control
CAE	Control
CAG	Control
CAL	Control
CAN	Control
CAP	Control Panel
CAU	Control Unit
CC	Control Center
CCM	Control Center
CCN	Control Center
CCO	Control Center
CCP	Control Panel
CCS	Control System
CCU	Control Unit
CCV	Control Valve
CD	Control Desk
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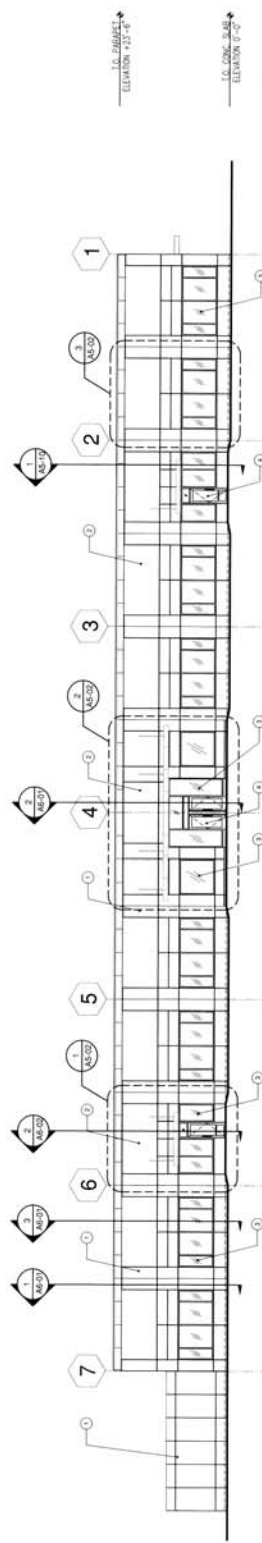
1 NORTH ELEVATION
 Scale: 3/32" = 1'-0"



2 SOUTH ELEVATION
 Scale: 3/32" = 1'-0"



3 WEST ELEVATION
 Scale: 3/32" = 1'-0"



4 EAST ELEVATION
 Scale: 3/32" = 1'-0"

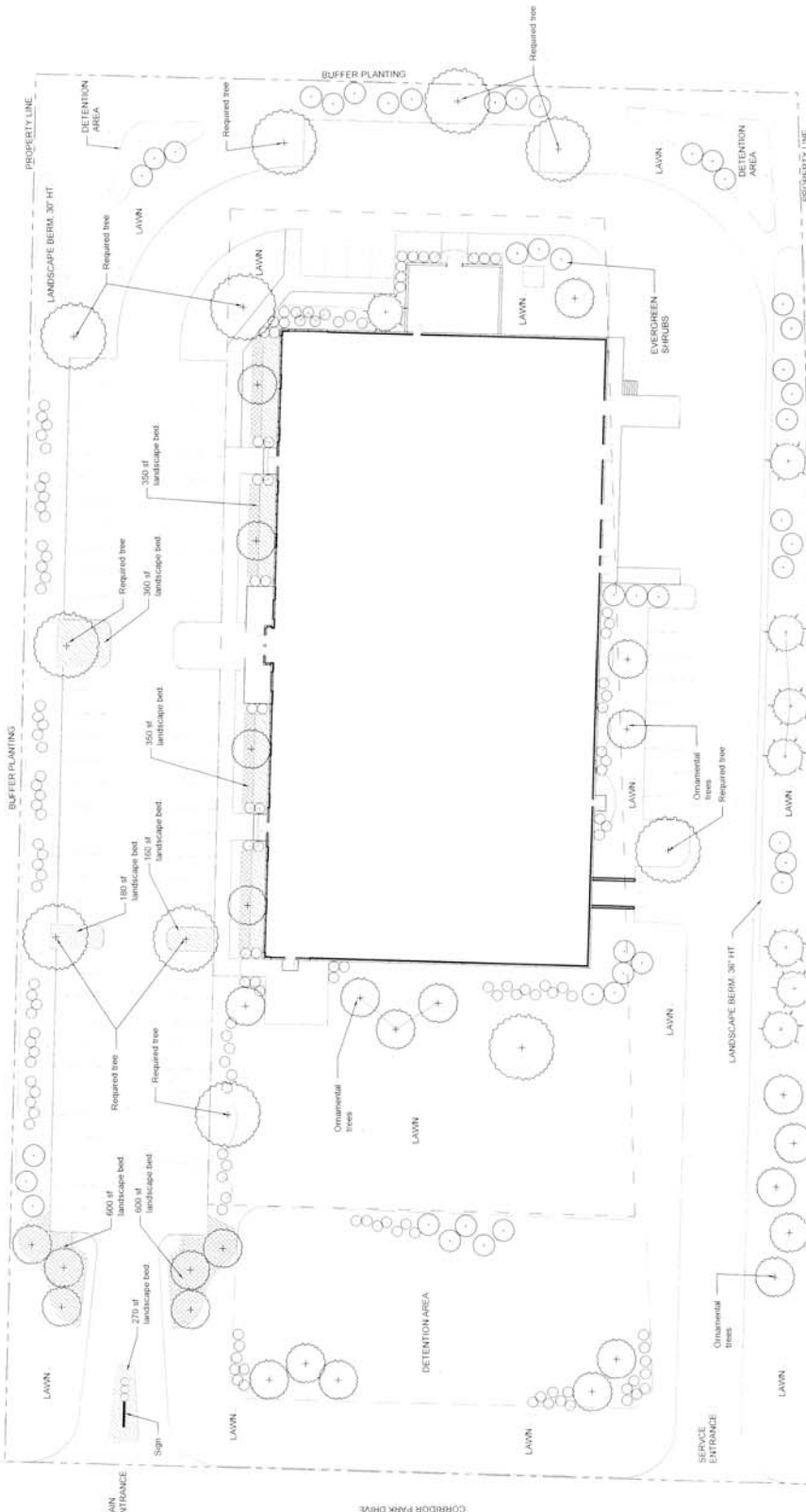
MATERIAL/COLOR KEYNOTES

1. CONCRETE TILT WALL PANEL - COLOR "X"
2. CONCRETE TILT WALL PANEL - COLOR "Y"
3. ALUMINUM WINDOW WALL SYSTEM WITH GREEN, TINTED, LOW-E INSULATED GLAZING AND PREFINISHED MULLIONS
4. ALUMINUM FRAMED STOREFRONT SYSTEM WITH GREEN TINTED, LOW-E INSULATED GLAZING AND MEDIUM STYLE STOREFRONT DOORS WITH TINTED GLAZING
5. OPAQUE WOODEN DUMPSTER ENCLOSURE
6. PREFINISHED METAL SCUPPER, COMPOUND AND COPING - COLOR TO MATCH WALL COLOR "X"
7. PREFINISHED ALUMINUM LOUVERS FOR VENTILATION
8. PAINTED STEEL GATES - CORRUGATED METAL SIDING
9. PRE-FINISHED ALUMINUM CANOPY

REFER TO THE COLOR BOOKS FOR COLOR AND MATERIAL SAMPLES AND MATCHES

9-S-07-0R

ZOB PLASMA BUILDING
 LOT 17 CORRIDOR PARK DRIVE



U.O.R.
 DATE 5/28/07
 1507UP

FLAGSHIP GROUP, INC.
 CORRIDOR PARK LOT 17
 SCALE 1" = 30'



- NOTES
1. A fully automatic irrigation system shall be installed to water all grass and landscaped areas.
 2. All berms shall be smoothly rounded grades.
 3. All trees shall be installed in the following groupings that will maintain 60% open spaces in the summer months and 60% in winter months.
 4. All areas of the site that are not planted shall be lawn unless otherwise noted.
 5. All trees shall be planted in the minimum positions established for nursery stock published by the American Nursery and Landscape Association.

- LANDSCAPE REQUIREMENTS
1. Required: 3% of the parking area must be landscaped.
 47,117 sq. ft. of parking = 2,356 sq. ft. of landscaped area.
 Provided: 2,870 sq. ft. noted on the plan.
 2. Parking areas to contain 500 sq. ft. of landscaping for every 20,000 sq. ft. of friction interior or paved parking area.
 47,117 sq. ft. of parking = 1,178 sq. ft. of landscaped area.
 Provided: 2,870 sq. ft. noted on the plan.
 3. Parking areas located closer than 50' to adjacent parking areas shall be planted with a minimum of 2.5' of maturity. Provided: berm and plant material that reaches a minimum of 5' at maturity. (tolerance plant low and plant list).
 4. For each 5,000 sq. ft. of parking area a tree shall be provided that will obtain a minimum height of 45' at maturity.
 47,117 sq. ft. of parking = 9.4 trees.
 Provided: 10 trees.

VEGETATION KEY

Symbol	Vegetation Type	Plant Species
[Hatched Box]	GROUNDCOVER AND PERENNIALS	Large Shrubs (buffer and screening) Harry Viburnum var. (leatherleaf maple), etc.) Syringa (lily-of-the-valley) Clematis (yellow bell) Nandina domestica, boxwood, seed mix.
[Circle with +]	SHADE TREES (REQUIRED TREES)	REQUIRED TREES: White Oak, varities (oaklet, yellow, etc.) Ablebs Forsythia Japanese Holly Oakleaf Hydrangea ORNAMENTAL TREES: Crape Myrtle Wisteria King, Hawsone Southern Magnolia
[Circle with +]	ORNAMENTAL TREES	ORNAMENTAL TREES: White Pine (for perimeter buffer) Sweepy Magnolia Natali Stevens Holly
[Circle with +]	EVERGREEN TREES	EVERGREEN TREES: Pine, subula Autumn Fern Hybrid anemone Sweet Woodruff (glaucous) Creeping St. Johnswort
[Circle with +]	MEDIUM AND SMALL SHRUBS (FOUNDATION PLANTING)	MEDIUM AND SMALL SHRUBS (FOUNDATION PLANTING): Ablebs Forsythia Japanese Holly Oakleaf Hydrangea
[Circle with +]	LARGE SHRUBS	LARGE SHRUBS (buffer and screening): Harry Viburnum var. (leatherleaf maple), etc.) Syringa (lily-of-the-valley) Clematis (yellow bell) Nandina domestica, boxwood, seed mix.

WILL ROBINSON & ASSOCIATES
 131 Berwind Dr
 Oak Ridge, TN 37830
 (865) 426-7918



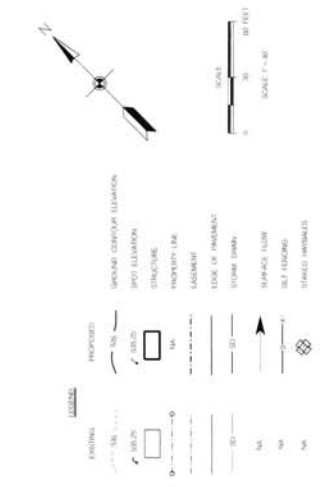
ZLB Plasma Services
 A New Development for
 Comdor Park Dr
 Knoxville, Tennessee

REVISIONS

NO.	DATE	BY	DESCRIPTION

DATE	08/30/07
CHECKED	WHH
DRAWN	WHH
PROJECT NO.	07-014
FILE NAME	07-014.dwg

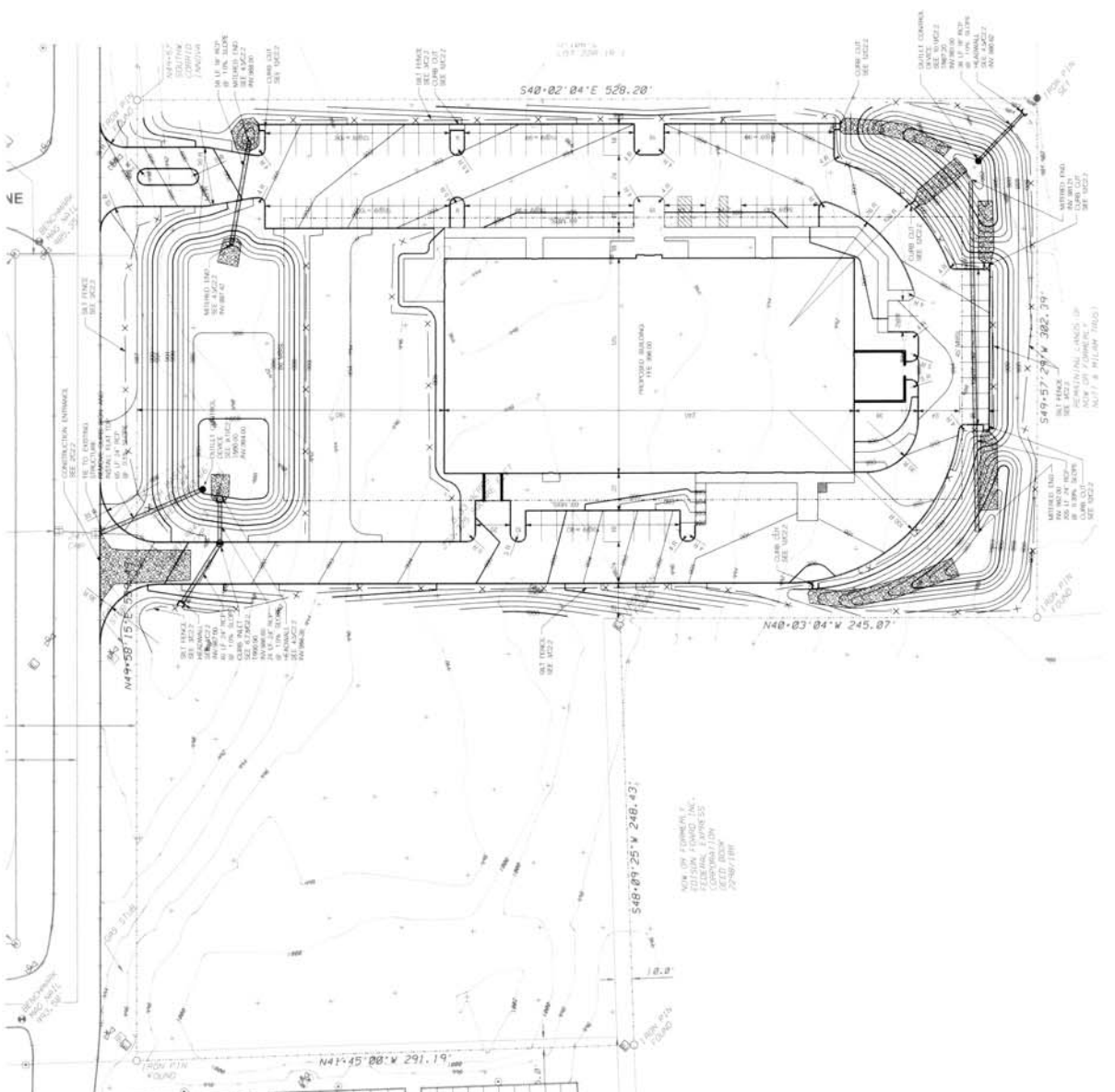
C1.2
 SITE GRADING PLAN
 DRAWING



- LEGEND**
- EXISTING**
- EXISTING SPOT ELEVATION
 - EXISTING STRUCTURE
 - EXISTING PROPERTY LINE
 - EXISTING EASEMENT
 - EXISTING ROAD
 - EXISTING DRAINAGE
 - EXISTING UTILITIES
 - EXISTING SURFACE FINISH
 - EXISTING STAGED TERRACE
- PROPOSED**
- PROPOSED SPOT ELEVATION
 - PROPOSED STRUCTURE
 - PROPOSED PROPERTY LINE
 - PROPOSED EASEMENT
 - PROPOSED ROAD
 - PROPOSED DRAINAGE
 - PROPOSED UTILITIES
 - PROPOSED SURFACE FINISH
 - PROPOSED STAGED TERRACE

NOTES

- THIS GRADING PLAN IS BASED UPON THE SURVEY AND DATA PROVIDED BY THE CLIENT. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS AND VERIFIED THE ACCURACY OF THE DATA TO THE BEST OF HIS ABILITY.
- EXISTING CONDITIONS INFORMATION PROVIDED BY CLIENT.
- PROPOSED TERRACE ELEVATIONS ARE BASED UPON THE PROPOSED FINISH GRADE.
- PROPOSED SURFACE FINISH IS BASED UPON THE PROPOSED FINISH GRADE.
- PROPOSED UTILITIES ARE BASED UPON THE PROPOSED FINISH GRADE.
- PROPOSED DRAINAGE IS BASED UPON THE PROPOSED FINISH GRADE.
- PROPOSED ROAD IS BASED UPON THE PROPOSED FINISH GRADE.
- PROPOSED EASEMENT IS BASED UPON THE PROPOSED FINISH GRADE.
- PROPOSED PROPERTY LINE IS BASED UPON THE PROPOSED FINISH GRADE.
- PROPOSED STRUCTURE IS BASED UPON THE PROPOSED FINISH GRADE.
- PROPOSED SPOT ELEVATION IS BASED UPON THE PROPOSED FINISH GRADE.



U.O.P.
 DATE 8/30/07
REVISED
 A.S. CURR

VEGETATION KEY:

- GROUND COVER AND PERENNIALS
- SHADE TREES REQUIRED TREES**
- ORNAMENTAL TREES
- LARGE SHRUBS
- MEDIUM AND SMALL SHRUBS
- EVERGREEN TREES

U.O.R.
DATE: 9/10/07
REVISED

FLAGSHIP GROUP, INC.
CORRIDOR PARK DRIVE
SCALE: 1" = 30'

LANDSCAPE REQUIREMENTS:

- Reservoir 5% of the parking area must be landscaped.
47,117 sf of parking = 2,356 sf of landscaped area.
Provided: 3,075 s.f. noted on the plan.
- Parking areas to contain 500 sf of landscaping for every 20,000 sf of fraction thereof of paved area.
47,117 sf of parking = 1,178 sf of landscaped parking area.
Provided: 2,870 sf noted on the plan.
- Parking areas located closer than 50' to adjacent property lines shall be screened by evergreen trees.
Provided: Item and plant material that reaches a minimum of 5' at maturity. Reference plant key and plant list.
- For each 5,000 sf of parking area a tree shall be provided that will obtain a minimum height of 40' at 10 years.
47,117 sf of parking = 9.4 trees.
Provided: 10 trees.

NOTES:

- A fully automatic irrigation system shall be installed to water all grass and landscaped areas. The system to include a rain sensor for each zone. Zones shall be separated by 1/2" to 1" and shall be installed by a qualified irrigation contractor. The Contractor shall provide a detailed irrigation plan for approval by the Owner or Owner's representative prior to installation. Contractor to prepare system in accordance with manufacturer's instructions.
- All setback buffer zones contain mixed plant groupings that maintain 80% open spaces in the summer months and 60% in winter months.
- At least 80% of plant list consists of hardy native plants.
- At least 20% of plant list consists of locally sourced plants.
- All new plant material shall conform to the minimum guidelines established for nursery stock published by the American Nursery and Landscape Association.
- Detention areas to be established for storm water management.
- Limit of work line to property line unless otherwise indicated.

PLANT LIST

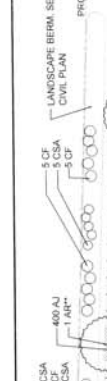
QTY	BOTANICAL NAME	COMMON NAME	MIN SIZE/REMARKS	SPACING	MAT. SIZE
AR** 2	Acer rubrum	Red Maple	2" call	Specimen, B&S, may sub. at improved variety.	40' x 25'
AS** 3	Aster saccharinum	Sugar Maple	2" call	Specimen, B&S, may sub. at improved variety.	50' x 30'
AW 6	Crataegus viridis 'Winter King'	Winter King Hawthorne	8" FH	Specimen, B&S, may sub. at improved variety.	15' x 15'
LI 5	Lagotis indica 'Choctaw'	Choctaw Crapeweed	2" P 1H	Specimen, B&S, may sub. at improved variety.	20' x 10'
MY 1	Magnolia virginiana	Swamp Magnolia	2" P 1H	Specimen, B&S, may sub. at improved variety.	40' x 20'
NS 5	Nyssa sylvatica	Wax Myrtle	2" call	Specimen, B&S, may sub. at improved variety.	40' x 20'
OC** 2	Quercus coccoloba	Scarlet Oak	2" call	Specimen, B&S, may sub. at improved variety.	40' x 20'
OP** 2	Quercus palustris	Pin Oak	2" call	Specimen, B&S, may sub. at improved variety.	40' x 20'
OP** 2	Quercus phellos	Willow Oak	2" call	Specimen, B&S, may sub. at improved variety.	40' x 30'
MLG 4	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	8" 10" H	Specimen, B&S, may sub. at improved variety.	20' x 10'
MSG 1	Mitella spicata 'gymnocalyx'	Winter Red	8" 10" H	Specimen, B&S, may sub. at improved variety.	50' x 20'
NS 1	Nelium R. Stevens	White Pine	8" 10" H	Specimen, B&S, may sub. at improved variety.	60' x 30'
NS 1	Nelium R. Stevens	White Pine	3" gal	Full to ground, B&S.	35' x 15'

** INDICATES TREES REQUIRED BY ZONING. ONE TREE PER 5,000 FT. OF PARKING AREA.
TOTAL PAVEMENT 47,211 SF = 9.44 TREES. 10 TREES PROVIDED



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FLAGSHIP GROUP BUILDING
LOT 17 CORRIDOR PARK DRIVE



U.S. National Board of Professional Landscape Architects
300 N. West St. Suite 200
Tampa, FL 33602
Date: Sept 4, 2007 Scale: 1" = 30'-0"

Rev: Description: Date:
Date: Description: Date:

Street Name:
LANDSCAPE PERMIT PLAN
Sheet Number: **L1**