

▶ **FILE #:** 10-F-10-UR

AGENDA ITEM # 38

AGENDA DATE: 10/14/2010

▶ **APPLICANT:** LAND DEVELOPMENT SOLUTIONS

OWNER(S):

TAX ID NUMBER: 89 22201 AND 223

JURISDICTION: County Commission District 6

▶ **LOCATION:** Southeast side of Horseshoe Bend Lane, northeast side of Pellissippi Parkway

▶ **APPX. SIZE OF TRACT:** 60.7 acres

SECTOR PLAN: Northwest County

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via Horseshoe Bend Lane and Faith Promise Lane, both classified as local streets, with 26 ft. pavement widths within 50 ft. rights-of-way.

UTILITIES: Water Source: West Knox Utility District

Sewer Source: West Knox Utility District

WATERSHED: Beaver Creek

▶ **ZONING:** BP (Business and Technology) & TO (Technology Overlay)

▶ **EXISTING LAND USE:** Church and vacant land

▶ **PROPOSED USE:** Church and Parking Lot Expansion

HISTORY OF ZONING: Expansions to the church were approved in 2003 (12-C-03-UR0 and 2008 (10-I-08-UR)

SURROUNDING LAND USE AND ZONING: North: Horseshoe Bend Business Park / BP commercial TO technology overlay & OB office

South: Vacant land / BP commercial & TO technology overlay

East: Rural residential / A agricultural

West: Vacant land / BP commercial & TO technology overlay & A agricultural

NEIGHBORHOOD CONTEXT: The site is located in the Horseshoe Bend Commercial Park. The lots surrounding this site are vacant. Beaver Creek adjoins the site along the eastern boundary. Pellissippi Parkway forms western boundary.

STAFF RECOMMENDATION:

▶ **APPROVE the request for the church expansion as shown on the development plan subject to 11 conditions**

1. Connection to sanitary sewer and meeting any other relevant requirement of the Knox County Health Dept.
2. Meeting all requirements of Article 3, Section 3.90 of the Knox County Zoning Ordinance dealing with on and off premise signs.

3. Meeting all other applicable requirements of the Knox County Zoning Ordinance.
4. Meeting all requirements of the Knox County Dept. of Engineering and Public Works.
5. Implementing the recommendations of the 2008 traffic impact study as required by the Knox County Dept. of Engineering and Public Works
6. Erecting temporary traffic control signs to warn motorist on north bound Pellissippi Parkway of the rolling roadblocks and traffic congestion as contained in a traffic control plan prepared by a qualified engineer
7. Construction of the off ramp from Pellissippi Parkway as shown on the site plan per the requirements of the Tenn. Dept. of Transportation and meeting all other applicable requirements of the Tenn. Dept. of Transportation
8. Provision an access easement across the church site to the benefit of the Kemp Fain Trustee property (Map 103 parcel 09102). This easement is to be located in the general area of the proposed Cherahala Bv. extension
8. Installing all landscaping, as shown on the development plan, within six months of the issuance of occupancy permits for this project, or posting a bond with the Knox County Dept. of Engineering and Public Works to guarantee such installation.
9. Prior to obtaining any building permit, combine the parcels that make up this site into one parcel via the subdivision process.
10. Approval of a Certificate of Appropriateness for a building permit from the Tennessee Technology Corridor Development Authority.
11. A revised site plan reflecting the conditions of approval must be submitted to MPC staff prior to issuance of any building permits.

With the conditions noted, this plan meets the requirements for approval in the BP and OB Zones and the other criteria for approval of a use on review.

COMMENTS:

Faith Promise Church is proposing a major expansion to their facilities that are located in the Horseshoe Bend Commercial Park. When the expansion is completed the main worship areas will contain 3159 seats. The plan also depicts that the site will contain 1109 parking spaces which is approximately 50 more parking spaces than required by the Zoning Ordinance. In order to minimize traffic congestion and improve safety, the church currently uses rolling road blocks at peak times which allows traffic smoothly exit. the site. As part of this expansion plan the church is now proposing an off ramp from Pellissippi Parkway.

The off ramp is currently under review by the Tenn. Dept. of Transportation (TDOT). MPC staff has informed the applicant's engineer that the expansion plan would be recommended for approval contingent on TDOT approval of the exit ramp. Staff is of the opinion that TDOT is conceptually in agreement with idea of the ramp. However, details regarding the ramp length, ramp storage capacity and access to an adjoining property are details that have not been finalized at this point. If for some reason this ramp is not approved by TDOT, or the construction of the ramp would lessen the present access to the ajoiners property, without his consent, the approval of this plan would be voided. A new use on review would then be required to be submitted for review.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE

1. The proposed church expansion will add additional traffic congestion in the immediate area for a limited amount of time on Sunday mornings.
2. All utilities are in place to serve this site.
3. The use as proposed will have little or no impact on the surrounding commercial or residential uses.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

1. The proposed church expansion is consistent with the general standards for uses permitted on review: The proposed development is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas,
2. The plan meets all requirements of the Zoning Ordinance.

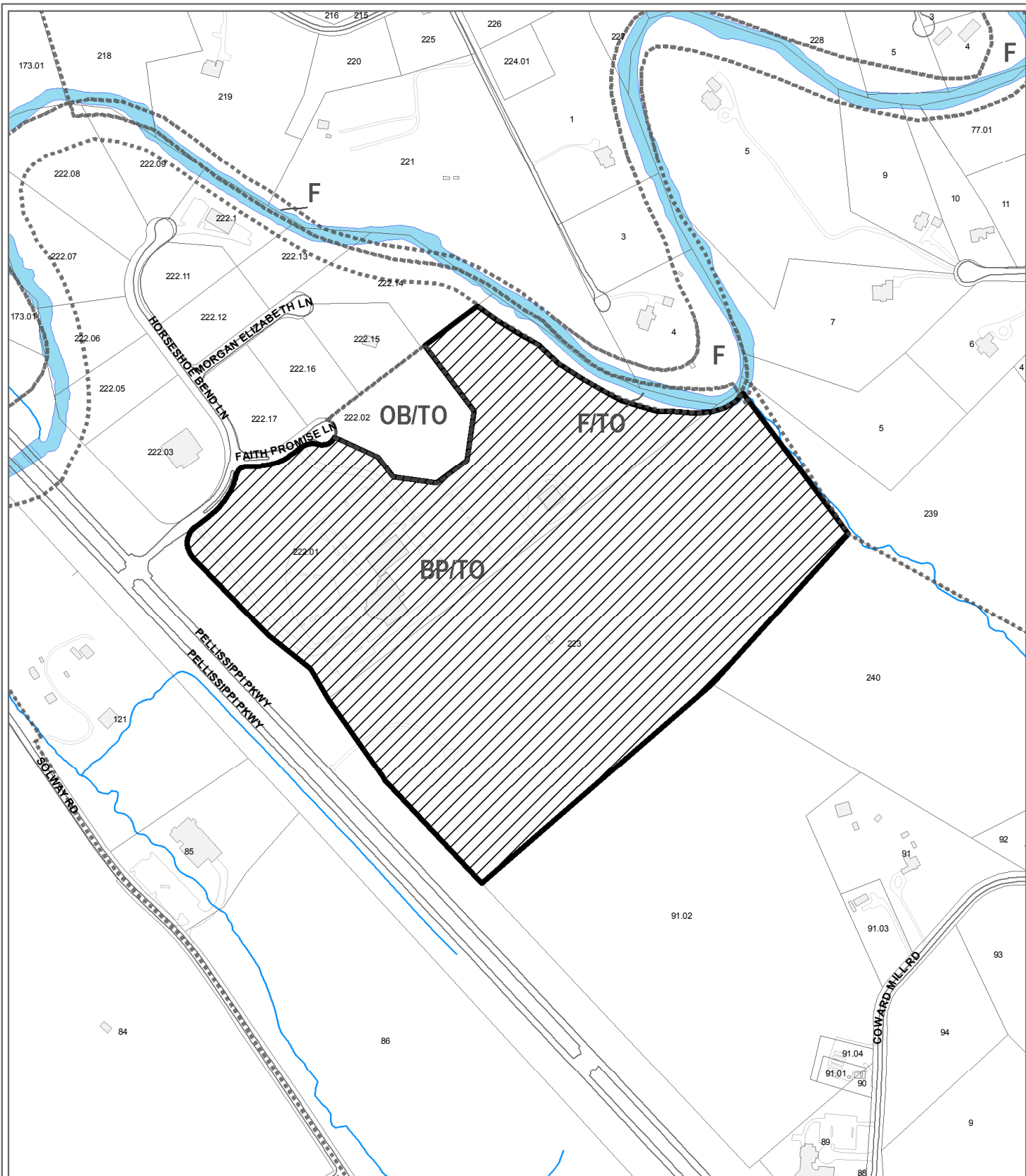
CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

1. The request conforms with the Knox County Northwest Sector Plan which proposes commercial uses for this area.

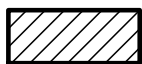
ESTIMATED TRAFFIC IMPACT: Not calculated.

ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal an MPC decision in the County.



**10-F-10-UR
USE ON REVIEW**



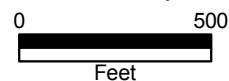
Church & Parking in BP (Business and Technology) & TO (Technology Overlay)

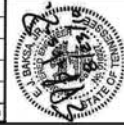
Original Print Date: 9/22/2010
 Revised:
 Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

Petitioner: Land Development Solutions

Map No: 89

Jurisdiction: County





Drawn By:	CCB
Checked:	ELB
Approved:	ELB
Job No.:	210009
Project:	8-23-10
Date:	

C102

GENERAL NOTES

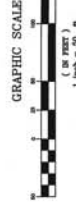
- The contractor is specifically cautioned that the location and/or elevation of existing utilities shown on this plan are shown for information only. It is the contractor's responsibility to verify the location and/or elevation of all utilities before construction. The contractor must call Tennessee One Call and any other applicable agencies to request exact utility locations of the utilities. It shall be the responsibility of the contractor to resolve any existing utilities which conflict with the proposed construction.
- Center: 975 Faith Promise Church, 10760 Faith Promise Lane, Knoxville, Tennessee 37921, P.O. Box 50521, 606-251-2299
- Survey by: Land Development Solutions, 310 Simmons Road, Suite K, Knoxville, Tennessee 37922, P.O. Box 50521, 606-251-2299
- Property is located in Knox County and is zoned GP & T3.
- Lot acreage = Approx 63.7 acres.

LAYOUT NOTES

- All dimensions to each line reference face of curb - see detail.
- See Utility Plans for new and existing utility locations. See Grading and Drainage Plans for new and existing utility locations. See Grading and Drainage Plans for new and existing utility locations. See Grading and Drainage Plans for new and existing utility locations.
- Existing Parking Spaces to remain = 533 (including 16 accessible spaces). Total Parking Provided = 1109 (including 28 accessible spaces).

LEGEND

- BENCHMARK
- PROPERTY LINE
- EXISTING CURB LINE
- NEW CURB LINE
- NEW BUILDING EDGE
- EXISTING BUILDING EDGE

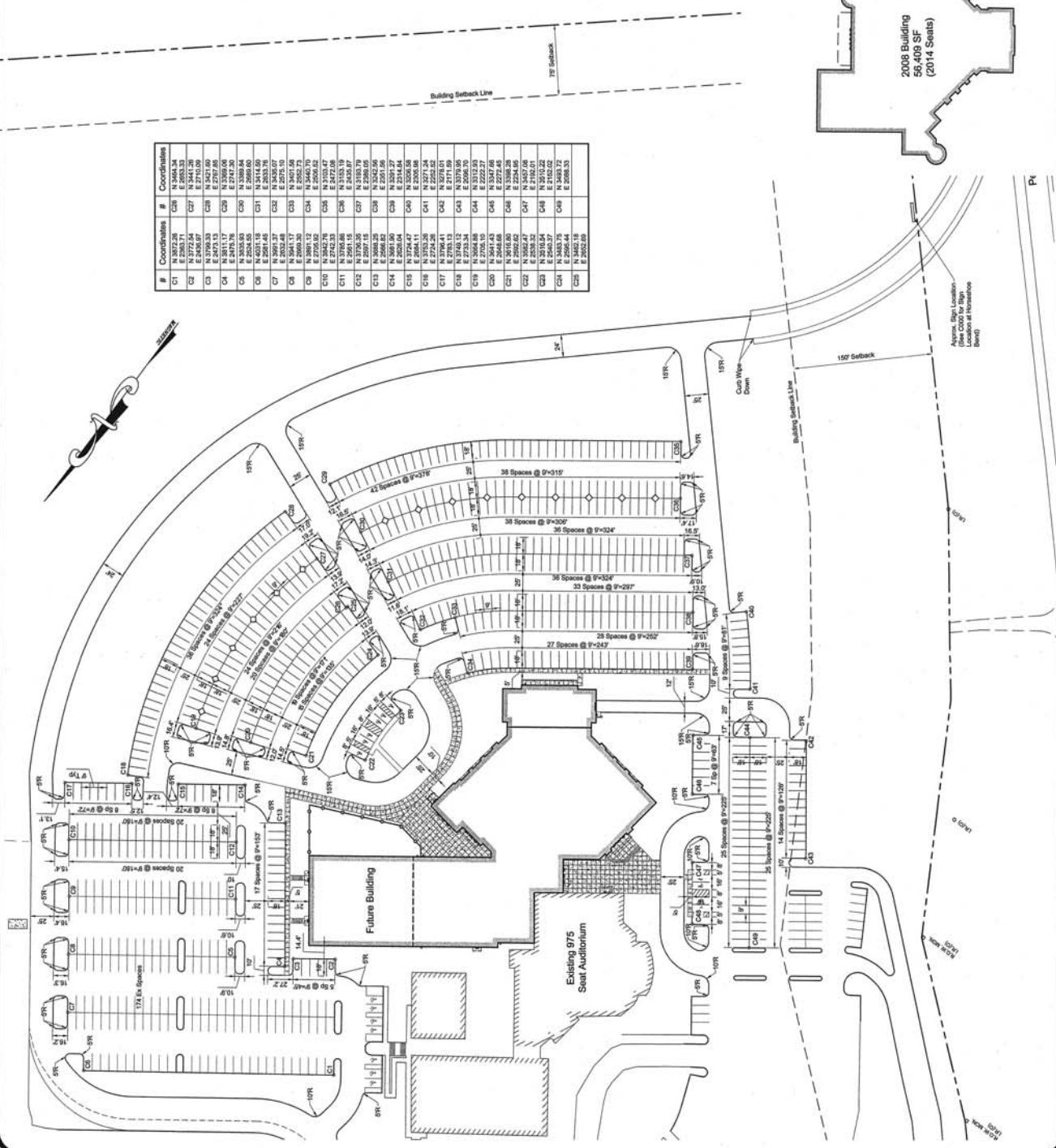


10-C-10-10P
REVISED
10-1-10

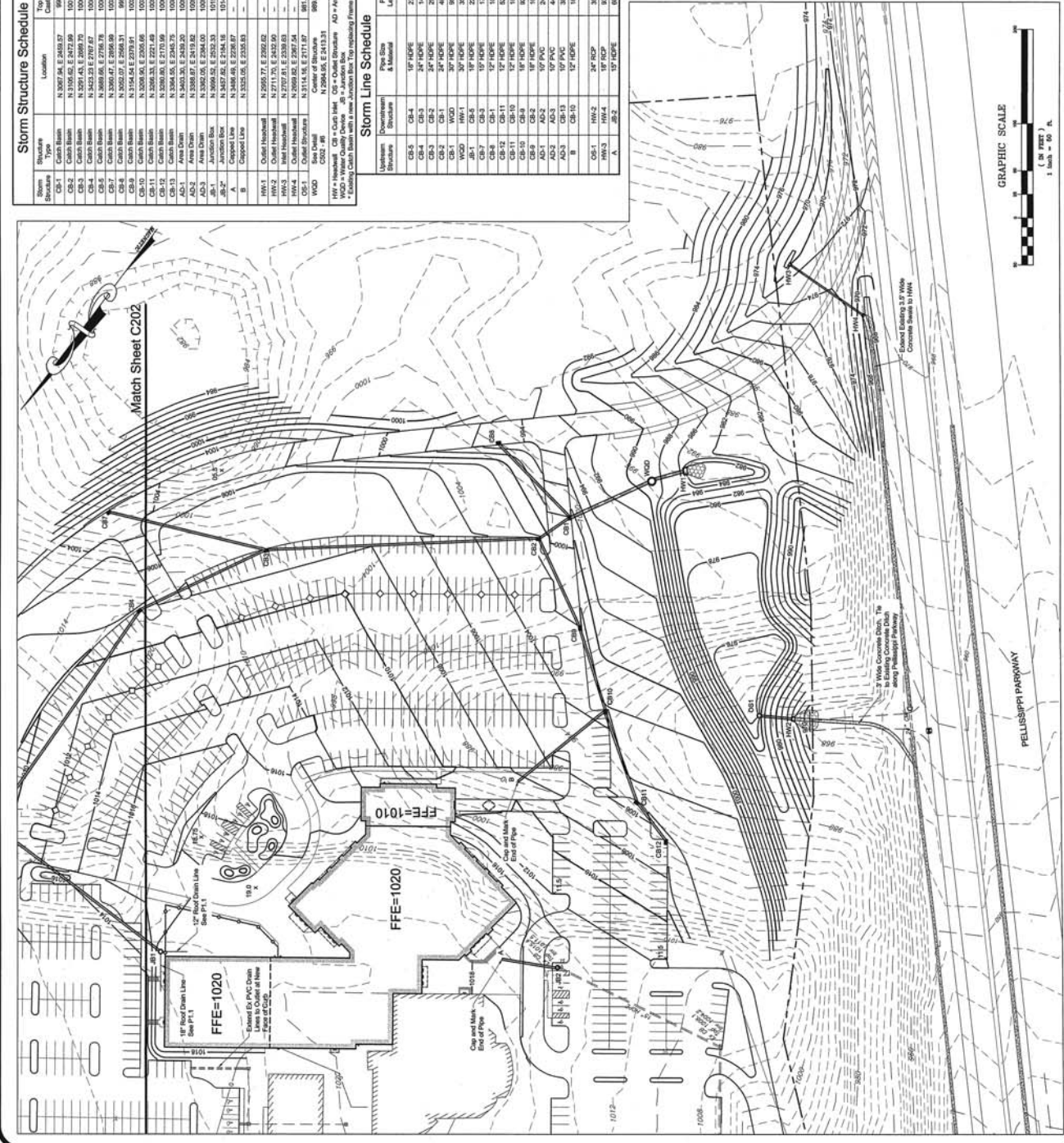
Future Addition
10,752 SF



#	Coordinates	#	Coordinates
C1	N 3302.28	C38	N 3443.33
C2	E 2993.71	C39	E 2953.33
C3	E 2416.97	C40	E 2711.00
C4	N 3208.03	C41	N 3441.00
C5	E 2475.76	C42	E 2712.25
C6	E 2024.50	C43	E 2686.00
C7	N 3621.18	C44	N 3414.00
C8	N 3691.37	C45	N 3424.07
C9	E 2922.49	C46	E 2542.33
C10	E 2669.30	C47	E 2542.75
C11	E 2705.12	C48	E 2506.22
C12	N 3642.76	C49	N 3163.47
C13	N 3765.98	C50	N 3153.19
C14	E 2927.15	C51	E 2588.05
C15	N 3688.25	C52	N 3502.98
C16	N 3691.80	C53	N 3597.27
C17	E 2520.04	C54	E 2514.54
C18	E 2064.11	C55	E 2006.08
C19	E 2724.28	C56	E 2552.22
C20	N 3706.41	C57	N 3278.01
C21	E 2733.34	C58	E 2008.70
C22	E 2705.10	C59	E 2222.27
C23	N 3641.42	C60	N 3527.48
C24	N 3616.80	C61	N 3588.28
C25	E 2627.42	C62	E 2442.08
C26	E 2628.52	C63	E 2166.01
C27	N 3630.39	C64	E 2163.22
C28	N 3443.75	C65	N 3483.72
C29	N 3462.18	C66	E 2088.33
C30	E 2602.89		

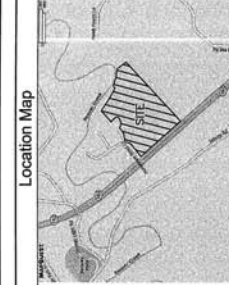


X:\Chad\Faith Promise Church\Design\Design\2011.dwg Aug 24, 2010 - 9:44am drcrow - LDB Copyright 2010



Storm Structure Schedule

Structure	Structure Type	Location	Flow	Flow Rate
CB-1	Catch Basin	N 3007.94, E 2459.57	988.00	895.74
CB-2	Catch Basin	N 3109.62, E 2872.99	1001.60	955.78
CB-3	Catch Basin	N 3201.45, E 3095.75	1009.50	956.63
CB-4	Catch Basin	N 3263.66, E 2765.78	1009.60	1004.88
CB-5	Catch Basin	N 3269.47, E 2949.99	1001.60	1000.60
CB-6	Catch Basin	N 3302.07, E 2969.31	996.00	962.00
CB-7	Catch Basin	N 3358.04, E 2799.91	1002.00	1000.37
CB-8	Catch Basin	N 3358.04, E 2799.91	1002.00	1000.37
CB-9	Catch Basin	N 3358.04, E 2799.91	1002.00	1000.37
CB-10	Catch Basin	N 3358.04, E 2799.91	1002.00	1000.37
CB-11	Catch Basin	N 3358.04, E 2799.91	1002.00	1000.37
CB-12	Catch Basin	N 3358.04, E 2799.91	1002.00	1000.37
CB-13	Catch Basin	N 3358.04, E 2799.91	1002.00	1000.37
CB-14	Catch Basin	N 3358.04, E 2799.91	1002.00	1000.37
CB-15	Catch Basin	N 3358.04, E 2799.91	1002.00	1000.37
AD-1	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-2	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-3	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-4	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-5	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-6	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-7	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-8	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-9	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-10	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-11	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-12	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-13	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-14	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-15	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-16	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-17	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-18	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-19	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-20	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-21	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-22	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-23	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
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AD-25	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-26	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-27	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-28	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-29	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-30	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-31	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
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AD-38	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-39	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-40	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-41	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-42	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-43	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-44	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-45	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-46	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-47	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-48	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-49	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00
AD-50	Area Drain	N 3300.00, E 2934.00	1000.00	1000.00



General Notes

- The contractor shall verify the location and depth of all existing structures and utilities shown on this plan. This information is not to be relied upon as a guarantee of accuracy. The contractor shall be responsible for verifying the location and depth of all existing structures and utilities shown on this plan. If any discrepancies are found, the contractor shall be responsible for correcting them before any construction begins.
- Owner: Faith Promise Church, 310 Simmons Rd., Suite K-Knoxville, Tennessee 37922, Phone: 865-671-2281
- Survey by: Land Development Solutions, 310 Simmons Rd., Suite K-Knoxville, Tennessee 37922, Phone: 865-671-2281
- Property is located in Knox County and is zoned RP 4.10.
- Lot coverage - Approx 60.7 acres.

Drainage Notes

- All storm lines on this sheet shall be HDPE Type '2' corrugated pipe with smooth interior, unless otherwise noted.
- All storm lines in paved areas shall be installed to prevent subgrade with #67 stone.
- All trenching and shoring shall comply with OSHA standards.
- Storm lines and structures shall be constructed as soon as possible. All structures shall be constructed in accordance with the specifications and standards of the local health department or other authority having jurisdiction. All structures shall be constructed in accordance with the specifications and standards of the local health department or other authority having jurisdiction.
- Pipe lengths and slope are measured from center of structure to center of structure.
- Contractor shall provide an as-built survey of the stormwater detention basin and shall be provided to the engineer on the same date and coordinate system as the design plan in AutoCAD format (DWG).
- All catch basins and stormwater structures shall be verified by a registered land surveyor and provided to the engineer in AutoCAD format (DWG).

Legend

[Symbol]	Benchmark
[Symbol]	Property Line
[Symbol]	Neat Building Edge
[Symbol]	Existing Contours
[Symbol]	New Spot Elevation
[Symbol]	New Top & Bottom Of Curb Elevations
[Symbol]	New Curb Line
[Symbol]	Existing Headwall
[Symbol]	Existing Storm Line
[Symbol]	Existing Water Line
[Symbol]	Existing Water Meter
[Symbol]	Existing Fire Hydrant
[Symbol]	Existing Sanitary Manhole
[Symbol]	Existing Gas Main
[Symbol]	Existing Gas Valve
[Symbol]	Existing Power Pole
[Symbol]	Existing Light Pole
[Symbol]	Neat Catch Basin
[Symbol]	Neat Storm Line

10-F-10-V-R
REVISED
/6-9-10

GENERAL NOTES

- The contractor is specifically cautioned that the location and/or extension of existing utilities as shown on these plans is based on records and where possible field verification. The contractor must call Tennessee One Call and any utility that does not answer for the Call for information. The contractor shall be responsible for the contractor to relocate all existing utilities which conflict with the proposed improvements shown on this plan.
- Owner: Faith Promise Church
10727 Faith Promise Church
Knoxville, Tennessee 37931
PH: 865-671-7281
- Survey by: Land Development Solutions
10727 Faith Promise Church
Knoxville, TN 37932
PH: 865-671-7281
- Property is located in Knox County and is zoned BP 1.0.
- Lot coverage = Approx 63.7 %.

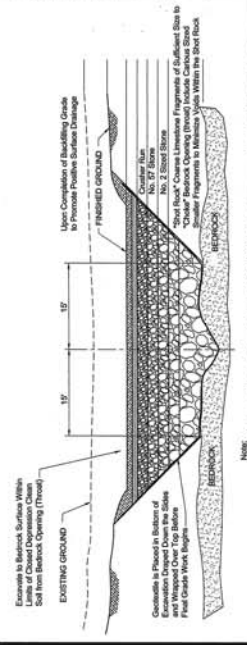
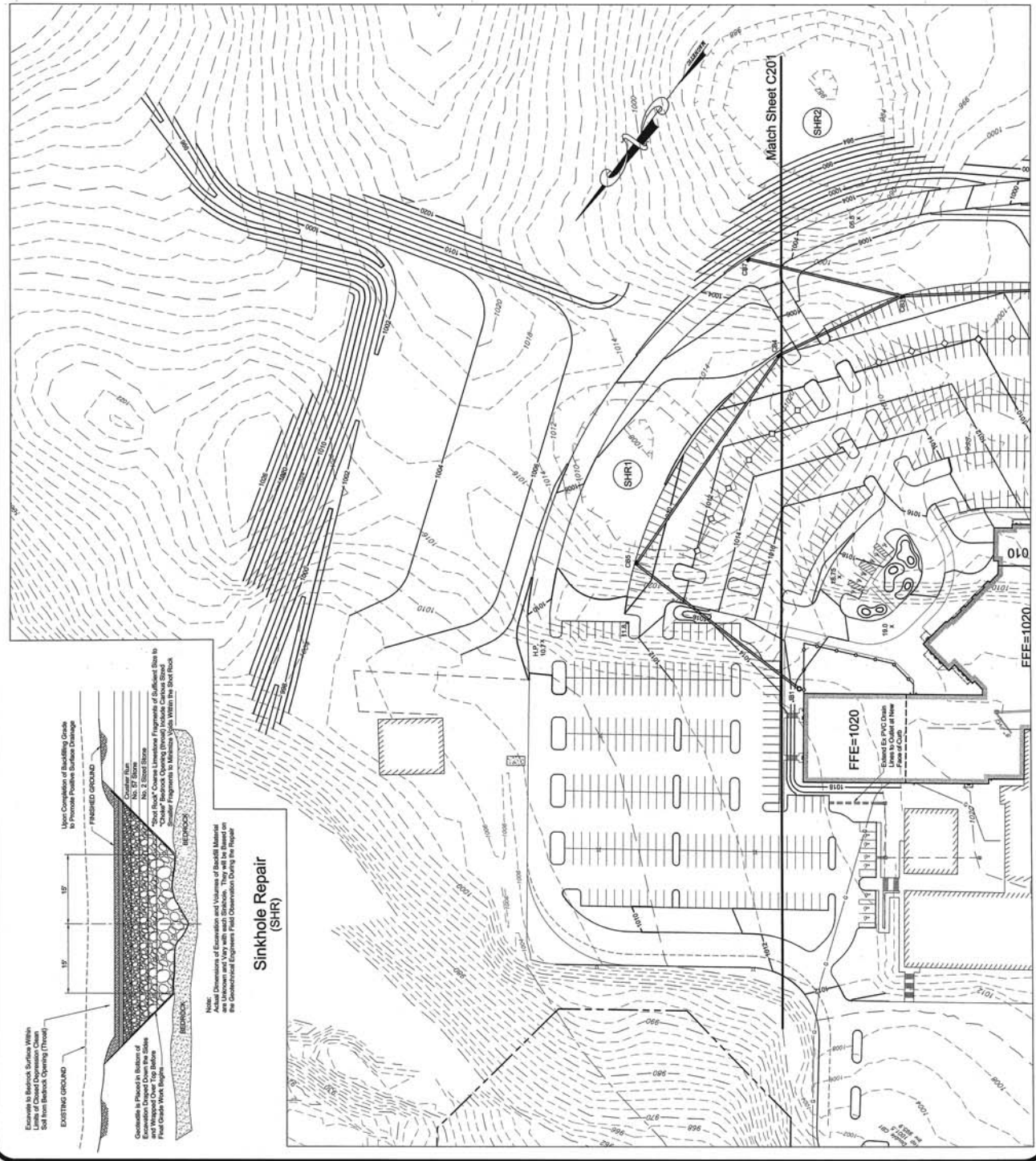
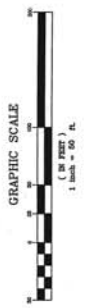
DRAINAGE NOTES

- All storm lines on this sheet shall be RCP 15" or "congrated pipe with rough interior, unless otherwise noted.
- All storm lines in paved areas shall be installed to permanent subgrade with 20' manholes.
- All trenching and shoring shall comply with OSHA standards.
- Existing drainage systems shall be maintained unless otherwise noted. Any proposed changes shall be noted on drawings and shall be approved by the local health department prior to construction. All old shall be removed from structures and lines.
- Pipe lengths and slopes are measured from center of structure.
- Contractor shall provide an in-situ survey of the stormwater retention basin and all storm drain lines and catch basins. Survey shall be done by a licensed surveyor at the same station and coordinate system as the design plan in AASD format (NAD).
- All catch basin top and level elevations shall be verified by a registered land surveyor and provided to Land Development Solutions prior to printing.

LEGEND

	Benchmark
	New Utility Edge
	Existing Catch Basin
	New Concrete
	New Spot Elevation
	New Catch Basin
	Existing Catch Basin
	New Storm Line
	Existing Storm Line
	New Sewer Line
	Existing Sewer Line
	New Gas Line
	Existing Gas Line
	New Water Main
	Existing Water Main
	New Sanitary Manhole
	Existing Sanitary Manhole
	New Overhead Line
	Existing Overhead Line
	New Power Pole
	Existing Power Pole
	New Fire Hydrant
	Existing Fire Hydrant
	New Storm Line
	Existing Storm Line

10-F-10-01A
REVISED
/P-V/C



Sinkhole Repair (SHR)
Note: Actual Dimensions of Excavation and Volumes of Backfill Material to be Determined by the Contractor. Engineer Field Observations During the Project.



MICHAEL VERSEN & ASSOCIATES
 LANDSCAPE ARCHITECTURE AND PLANNING
 289 N. BRIDGEMAN ROAD, SUITE 201
 KNOXVILLE, TN 37916
 (615) 521-4275

FAITH PROMISE CHURCH
 Knoxville, Tennessee

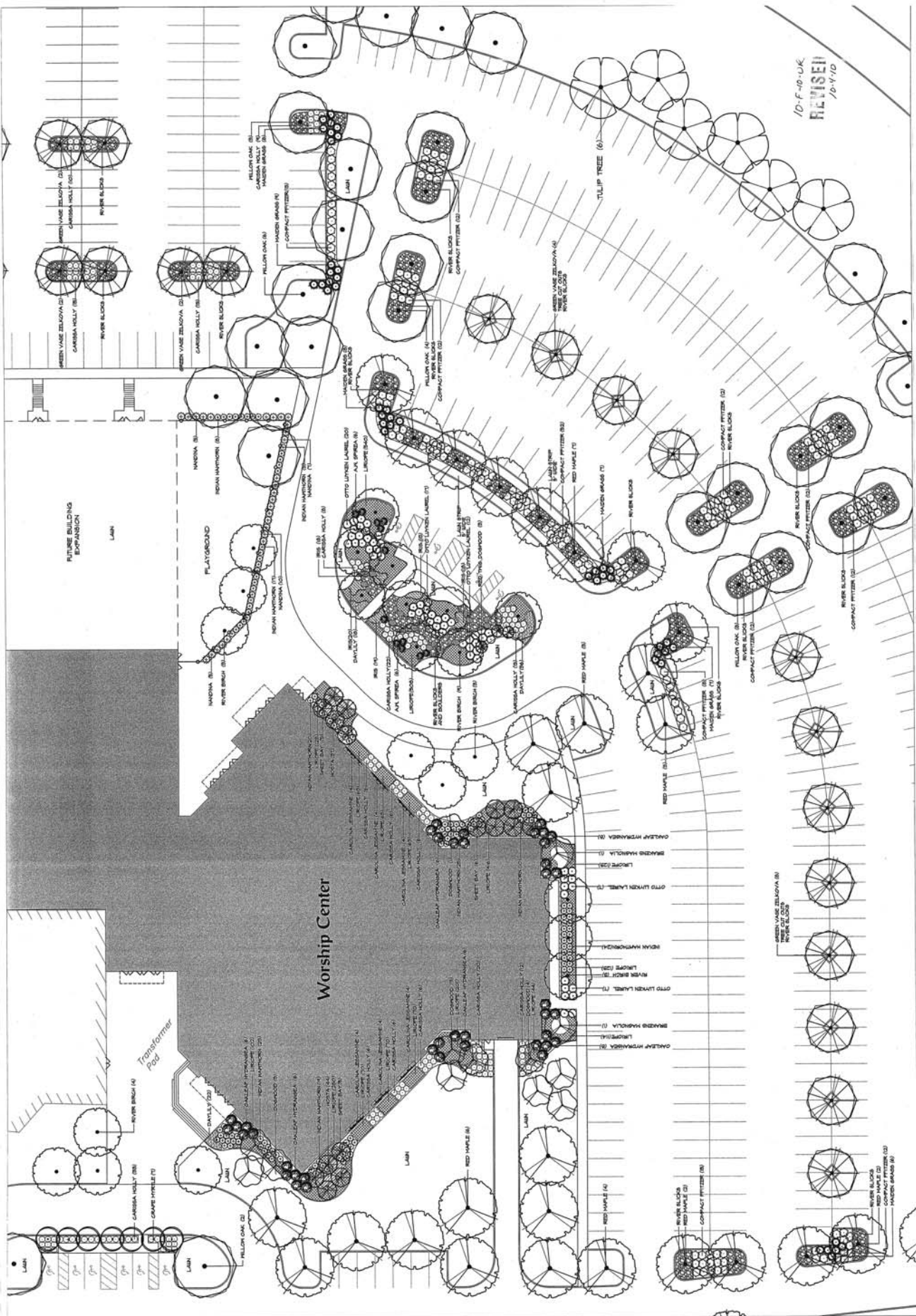
Planting Plan

DATE: 01/20/10
 DRAWN: JAV/AVP
 DATE: MAY 25, 2010
 REVIEW: JAV/AVP
 DATE: JUNE 1, 2010
 DATE: JULY 1, 2010



SCALE: 1" = 20'

L-2





For TTCA/MPC Review

faith promise CHURCH



GMLLI Architects
1000 N. A. Street
Memphis, TN 38102
901.252.1111
www.gmlli.com

OWNER: FAITH PROMISE CHURCH

PROJECT NO. 929

DATE: 09/28/10

SCALE: 1/8" = 1'-0"

DATE: 10-1-10

PROJECT NO. 929

DATE: 10-1-10

SCALE: 1/8" = 1'-0"

DATE: 10-1-10

SCALE: 1/8" = 1'-0"

DATE: 10-1-10

SCALE: 1/8" = 1'-0"

DATE: 10-1-10

SCALE: 1/8" = 1'-0"

DATE: 10-1-10

SCALE: 1/8" = 1'-0"

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SCALE: 1/8" = 1'-0"

DATE: 10-1-10

SCALE: 1/8" = 1'-0"

DATE: 10-1-10

SCALE: 1/8" = 1'-0"

DATE: 10-1-10

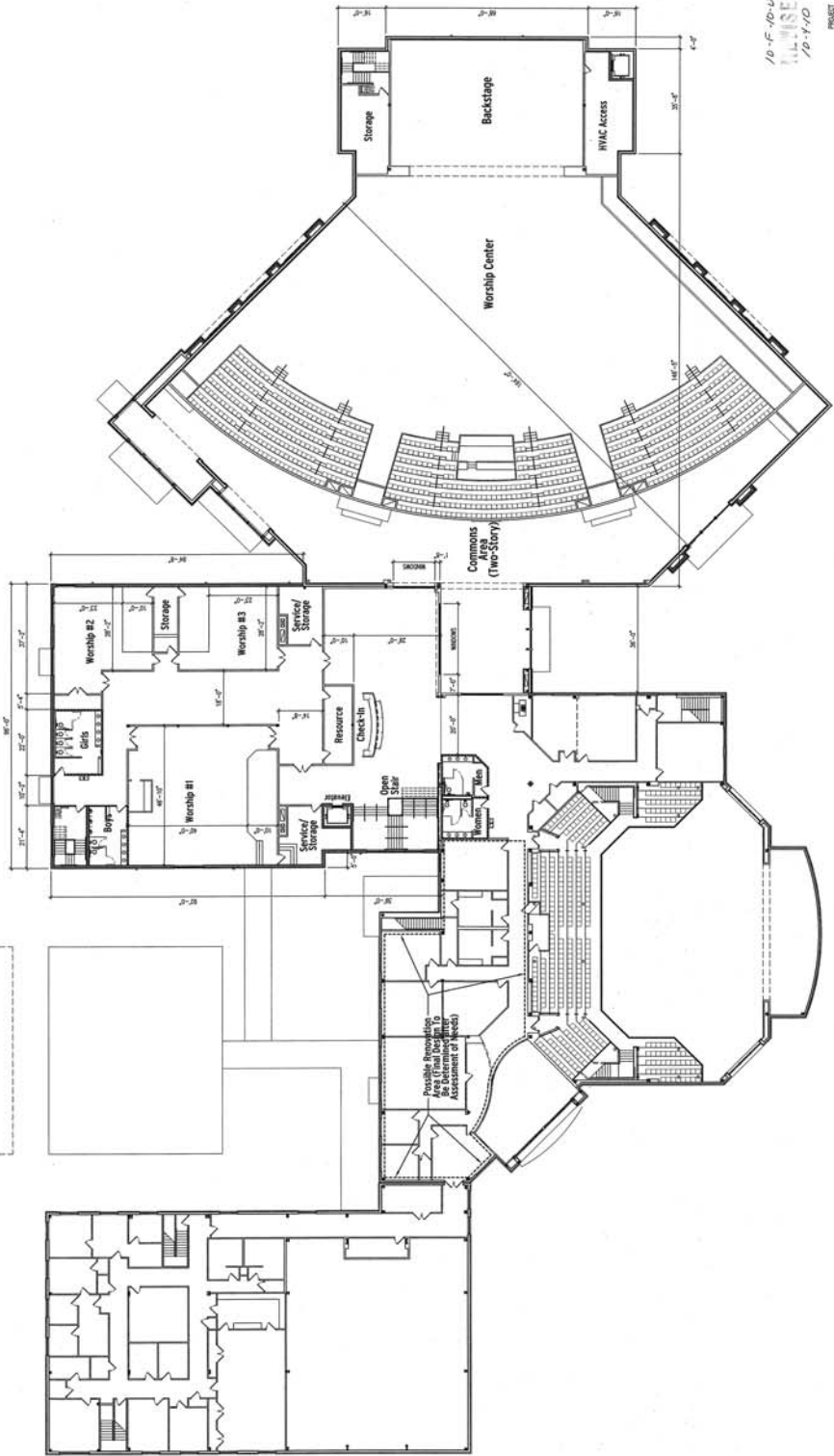
SCALE: 1/8" = 1'-0"

DATE: 10-1-10

SCALE: 1/8" = 1'-0"

DATE: 10-1-10

1/8" = 1'-0" (1/8" = 1'-0")
DATE: 10-1-10
PROJECT NO. 929
DATE: 10-1-10



OVERALL UPPER LEVEL FLOORPLAN
10-1-10



For TTCA/MPC Review

faith promise



CMU Architects
3000 South Main Street
Memphis, TN 38103
901-525-1234
www.cmuarchitects.com

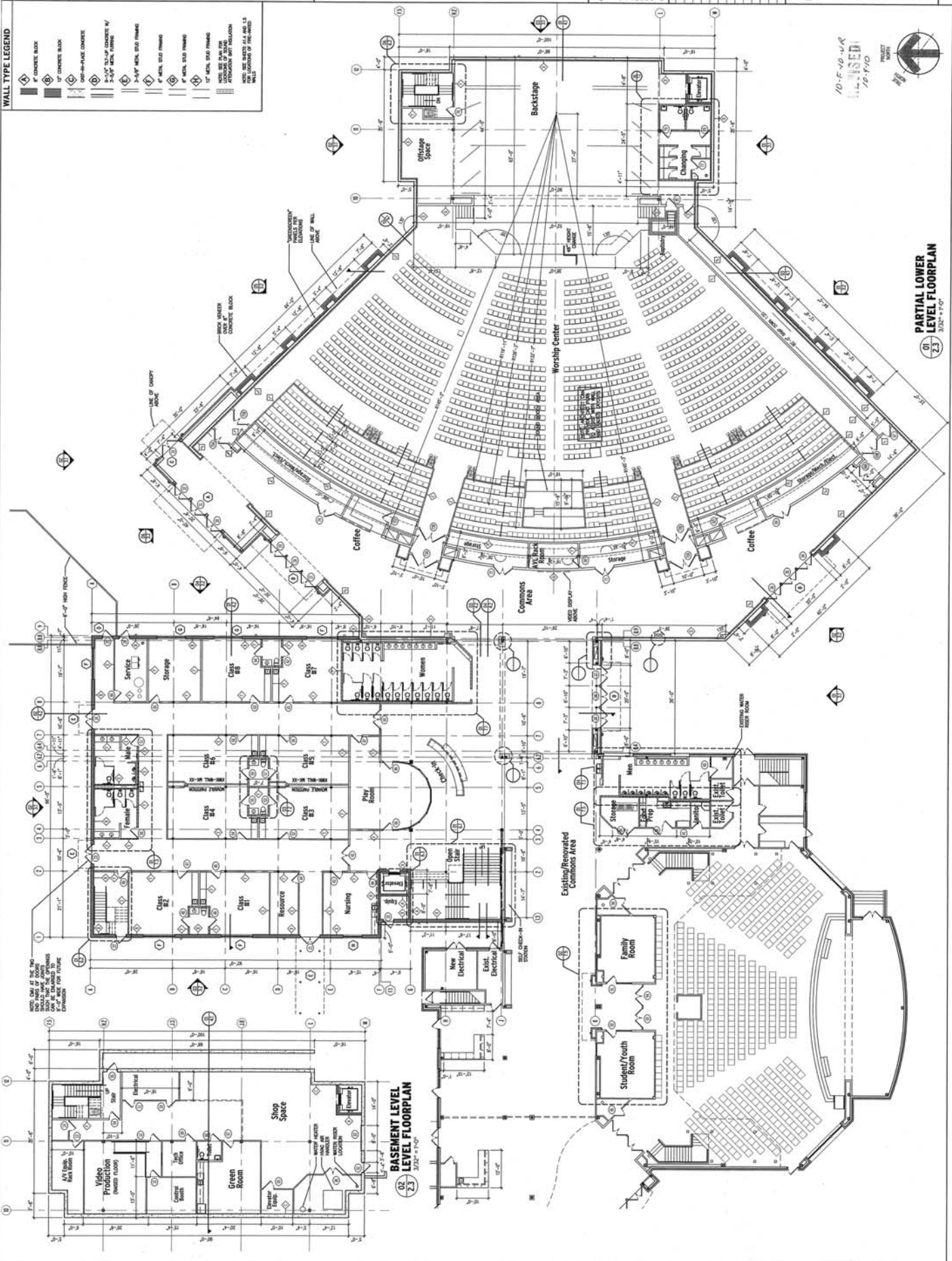
PROJECT TITLE	PARTIAL LOWER LEVEL FLOORPLAN
PROJECT NUMBER	929
DATE	09/28/10
DESIGNED BY	SC/NPO
CHECKED BY	NPO
DATE	10/15/10
PROJECT NUMBER	A2.3
PROJECT NAME	FAITH PROMISE

10-F-10-V-R
11-1-10-10
1/8"=1'-0"



WALL TYPE LEGEND

	8" CONCRETE BLOCK
	12" CONCRETE BLOCK
	8" MASONRY BLOCK
	8" MASONRY BLOCK WITH METAL STUD FRAMING
	12" MASONRY BLOCK WITH METAL STUD FRAMING
	12" MASONRY BLOCK WITH METAL STUD FRAMING AND INSULATION
	12" MASONRY BLOCK WITH METAL STUD FRAMING AND INSULATION AND EXTERIOR FINISH



BASEMENT LEVEL FLOORPLAN 2.3 3/32" = 1'-0"

PARTIAL LOWER LEVEL FLOORPLAN 2.3 3/32" = 1'-0"



For TTCA/MPC Review

faith promise



CMV Architects
1000 North Point Road
Baltimore, MD 21203
(410) 528-1100
www.cmv.com

DATE: 09/28/10

PROJECT: 925

REVISIONS:

NO. 1

NO. 2

NO. 3

NO. 4

NO. 5

NO. 6

NO. 7

NO. 8

NO. 9

NO. 10

NO. 11

NO. 12

10'-0" = 1" OK
10'-0" = 1" OK
10'-0" = 1" OK

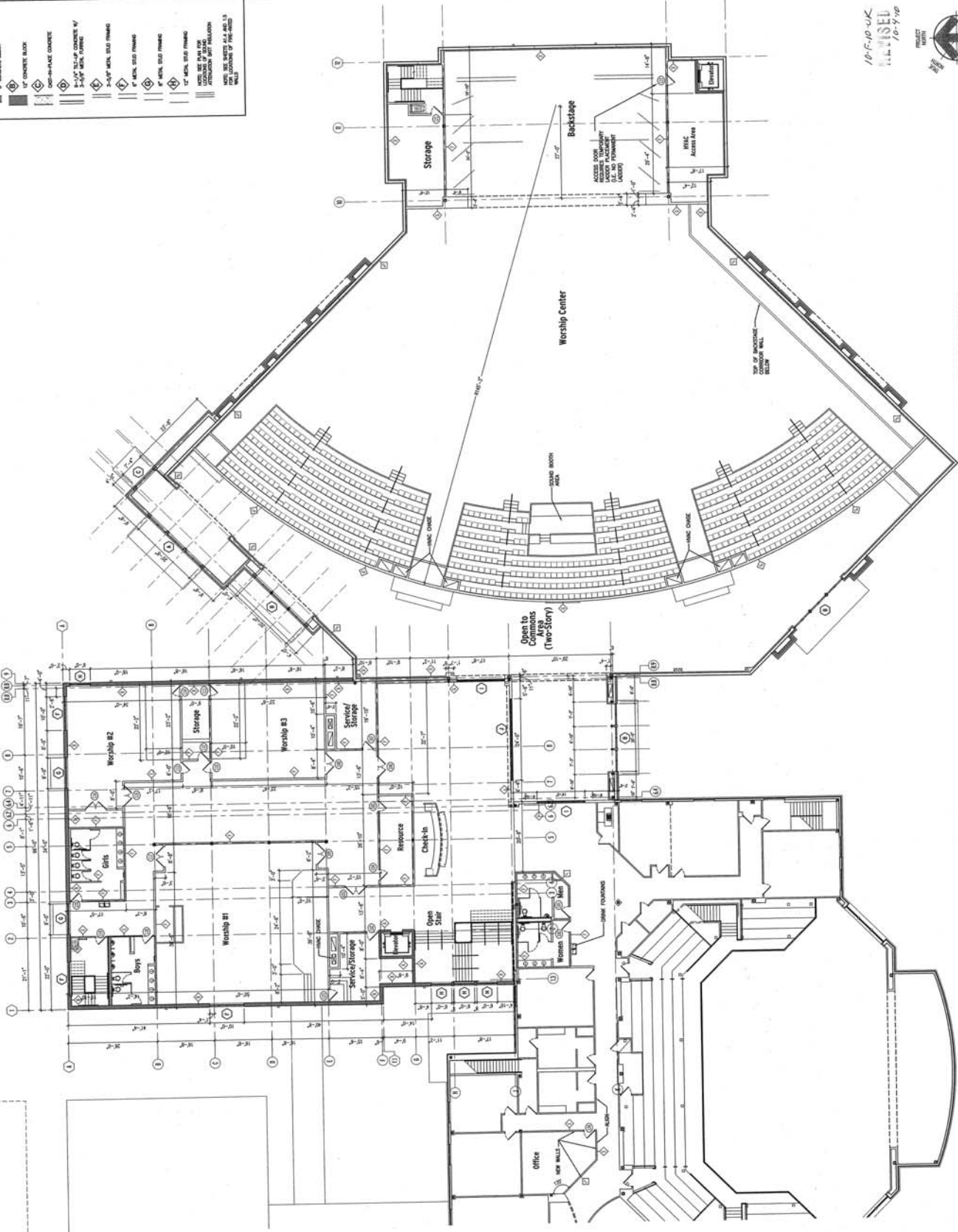


A2.4

Faith Promise

WALL TYPE LEGEND

- 1" CONCRETE BLOCK
- 4" CONCRETE BLOCK
- 8" CONCRETE BLOCK
- 12" CONCRETE BLOCK
- 16" CONCRETE BLOCK
- 20" CONCRETE BLOCK
- 24" CONCRETE BLOCK
- 30" CONCRETE BLOCK
- 36" CONCRETE BLOCK
- 42" CONCRETE BLOCK
- 48" CONCRETE BLOCK
- 54" CONCRETE BLOCK
- 60" CONCRETE BLOCK
- 66" CONCRETE BLOCK
- 72" CONCRETE BLOCK
- 78" CONCRETE BLOCK
- 84" CONCRETE BLOCK
- 90" CONCRETE BLOCK
- 96" CONCRETE BLOCK
- 102" CONCRETE BLOCK
- 108" CONCRETE BLOCK
- 114" CONCRETE BLOCK
- 120" CONCRETE BLOCK
- 126" CONCRETE BLOCK
- 132" CONCRETE BLOCK
- 138" CONCRETE BLOCK
- 144" CONCRETE BLOCK
- 150" CONCRETE BLOCK
- 156" CONCRETE BLOCK
- 162" CONCRETE BLOCK
- 168" CONCRETE BLOCK
- 174" CONCRETE BLOCK
- 180" CONCRETE BLOCK
- 186" CONCRETE BLOCK
- 192" CONCRETE BLOCK
- 198" CONCRETE BLOCK
- 204" CONCRETE BLOCK
- 210" CONCRETE BLOCK
- 216" CONCRETE BLOCK
- 222" CONCRETE BLOCK
- 228" CONCRETE BLOCK
- 234" CONCRETE BLOCK
- 240" CONCRETE BLOCK
- 246" CONCRETE BLOCK
- 252" CONCRETE BLOCK
- 258" CONCRETE BLOCK
- 264" CONCRETE BLOCK
- 270" CONCRETE BLOCK
- 276" CONCRETE BLOCK
- 282" CONCRETE BLOCK
- 288" CONCRETE BLOCK
- 294" CONCRETE BLOCK
- 300" CONCRETE BLOCK



PARTIAL UPPER LEVEL FLOORPLAN



For TTCA/MPC Review

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CMH Architects

1000 W. Wacker Drive
Chicago, IL 60601
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www.cmharchitects.com

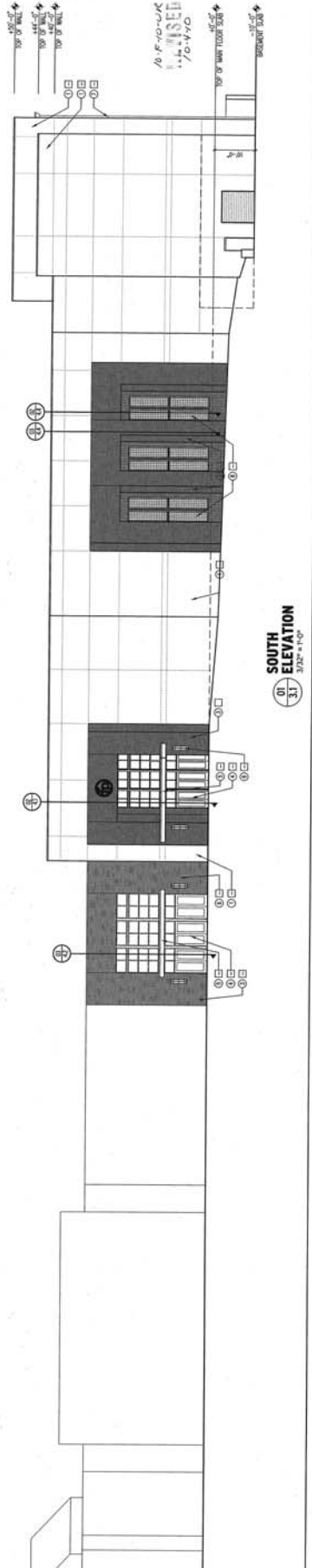
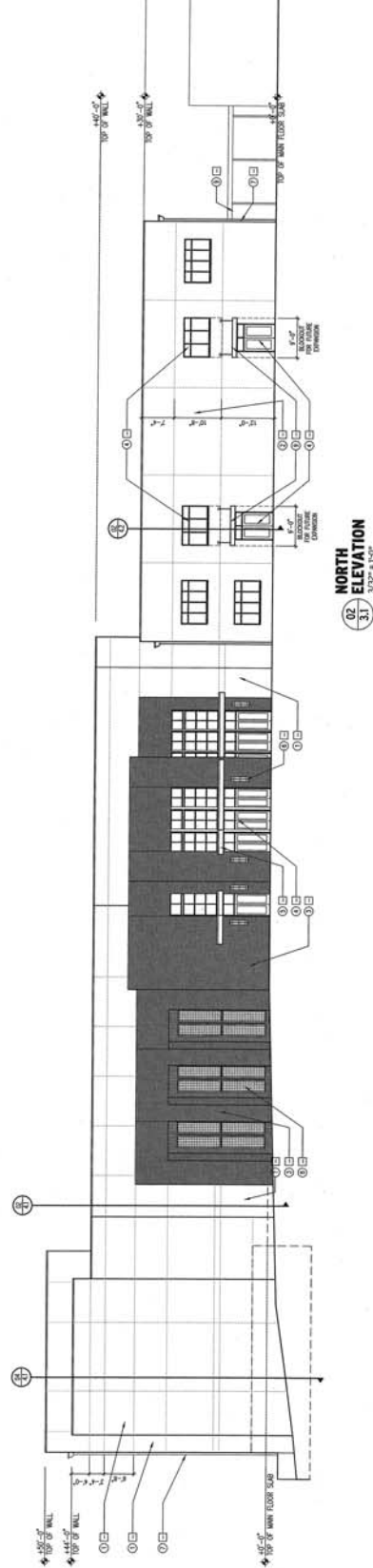
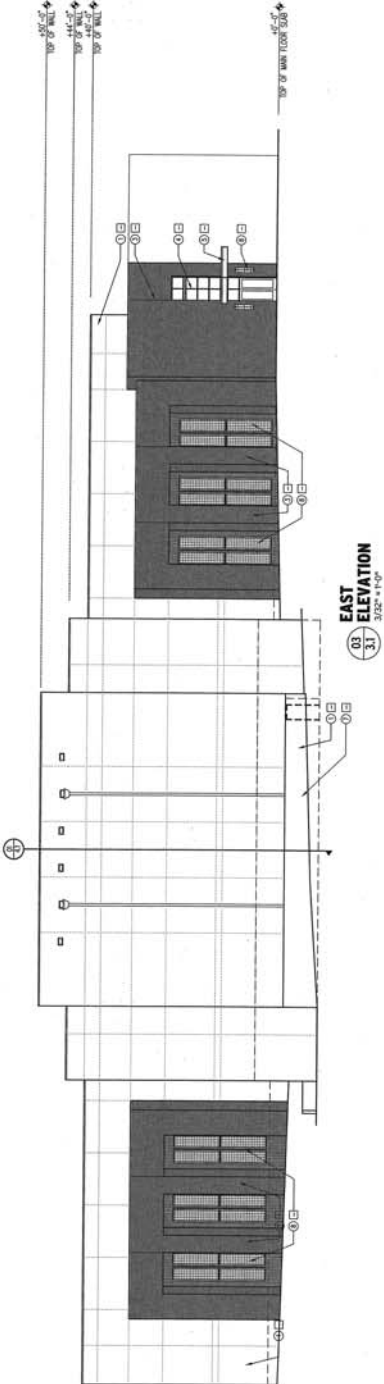
PROJECT NUMBER	929
DATE	09/26/10
ARCHITECT	CMH/SC
CLIENT	MPC
PROJECT NAME	MPC

EXTERIOR ELEVATIONS

A3.1

- MATERIAL LEGEND**
- 1 PAINTED TILT-UP CONCRETE
 - 2 EIFS
 - 3 BRICK VENEER
 - 4 ALUMINUM STOREFRONT
 - 5 WOOD/GOODS
 - 6 STRUCTURAL CHIMNEY
 - 7 PORTLAND-CEMENT MOUNTED LIGHT
 - 8 PREPARED ALUMINUM WINDOW/DOOR HEAD AND SILLING
 - 9 "GREEN SCREEN" LANDSCAPE
 - 10 TILT-UP CONCRETE
 - 11 UNFINISHED METAL

- COLOR LEGEND**
- A TILT-UP CONCRETE COLOR #1
 - B TILT-UP CONCRETE COLOR #2
 - C STUCCO COLOR #1
 - D STUCCO COLOR #2
 - E BRICK COLOR #1
 - F BRICK COLOR #2
 - G ACCENT BRICK COLOR
 - H METAL CHIMNEY FINISH COLOR
 - I XXXX
 - J XXXX
 - K XXXX
 - L XXXX





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EXTERIORS

EXTERIOR ELEVATIONS

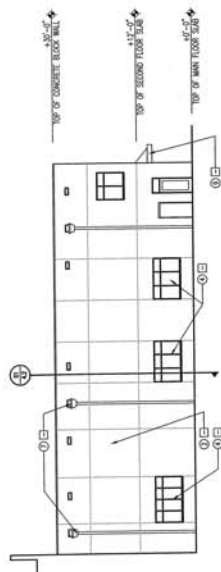
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A3.2

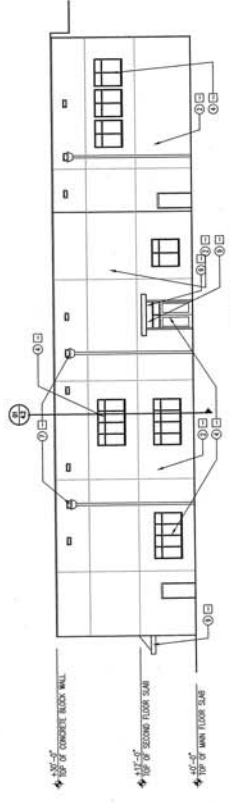
FAITH PROMISE

- MATERIAL LEGEND**
- 1 PAINTED TILT-UP CONCRETE
 - 2 EPS
 - 3 BRICK VENEER
 - 4 BRICK VENEER WITH CONCRETE CORE
 - 5 STRUCTURAL CANOPY
 - 6 SURFACE-MOUNTED LIGHT
 - 7 FINISHED ALUMINUM
 - 8 CONCRETE WITH CONCRETE FORMWORK
 - 9 "TRUSS BRICK" LANDSCAPE
 - 10 "TRUSS BRICK" LANDSCAPE
 - 11 PERFORATED METAL
 - 12 CANOPY

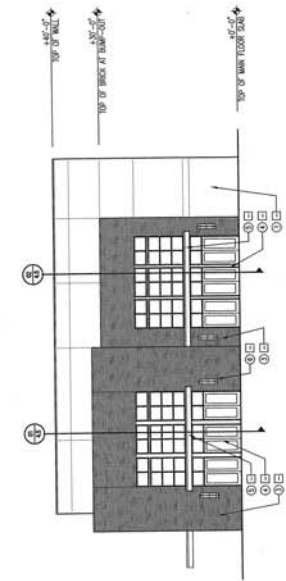
- COLOR LEGEND**
- 1 TILT-UP CONCRETE COLOR #1
 - 2 TILT-UP CONCRETE COLOR #2
 - 3 BRICK COLOR #1
 - 4 BRICK COLOR #2
 - 5 BRICK COLOR #3
 - 6 BRICK COLOR #4
 - 7 BRICK COLOR #5
 - 8 BRICK COLOR #6
 - 9 BRICK COLOR #7
 - 10 BRICK COLOR #8
 - 11 BRICK COLOR #9
 - 12 BRICK COLOR #10
 - 13 BRICK COLOR #11
 - 14 BRICK COLOR #12
 - 15 BRICK COLOR #13
 - 16 BRICK COLOR #14
 - 17 BRICK COLOR #15
 - 18 BRICK COLOR #16
 - 19 BRICK COLOR #17
 - 20 BRICK COLOR #18
 - 21 BRICK COLOR #19
 - 22 BRICK COLOR #20



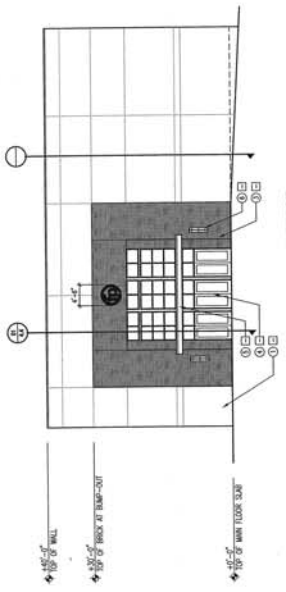
EAST ELEVATION
04 3.2 3/32" = 1'-0"



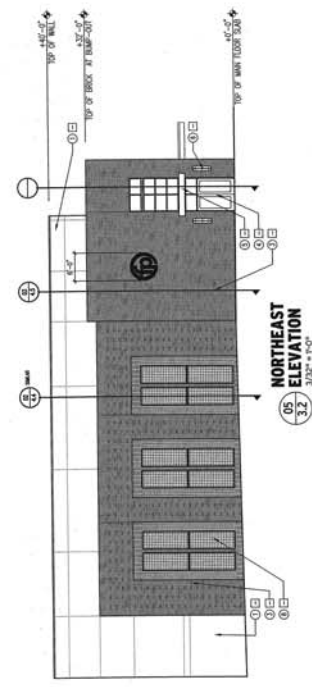
WEST ELEVATION
05 3.2 3/32" = 1'-0"



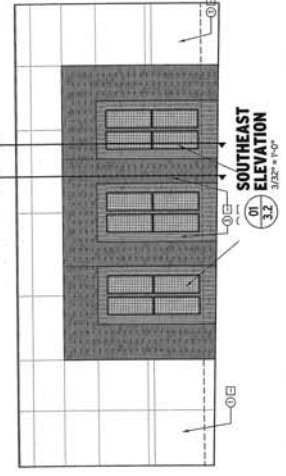
NORTHWEST ELEVATION
06 3.2 3/32" = 1'-0"



SOUTHWEST ELEVATION
03 3.2 3/32" = 1'-0"



NORTHEAST ELEVATION
05 3.2 3/32" = 1'-0"



SOUTH ELEVATION
01 3.2 3/32" = 1'-0"