

**KNOXVILLE/KNOX COUNTY METROPOLITAN PLANNING COMMISSION
 USE ON REVIEW REPORT**

▶ **FILE #:** 4-A-13-UR

AGENDA ITEM #: 26

AGENDA DATE: 4/11/2013

▶ **APPLICANT:** **DAMON A. FALCONNIER, NCARB, LEED AP**

OWNER(S): Alice Bell Baptist Church

TAX ID NUMBER: 70 C B 003

JURISDICTION: City Council District 4

▶ **LOCATION:** **South and west side of Alice Bell Rd. at the south end of Bellview Rd.**

▶ **APPX. SIZE OF TRACT:** **6.1 acres**

SECTOR PLAN: East City

GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)

ACCESSIBILITY: Access is via Alice Bell Rd., a local street with an 18' - 20' pavement width within a 40' right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Love Creek

▶ **ZONING:** **R-1 (Low Density Residential)**

▶ **EXISTING LAND USE:** **Church**

▶ **PROPOSED USE:** **Revision to parking lot expansion**

HISTORY OF ZONING: None noted

SURROUNDING LAND USE AND ZONING: North: Residences / R-1 (Low Density Residential)

South: Residences / R-1 (Low Density Residential)

East: Church and residences / R-1 (Low Density Residential)

West: Park and residences / R-1 (Low Density Residential) & OS-2 (Park and Open Space)

NEIGHBORHOOD CONTEXT: The site is located in an established residential neighborhood that also includes some public and institutional uses.

STAFF RECOMMENDATION:

▶ **APPROVE the revised parking layout for the existing church and approved family life center as shown on the development plan subject to 4 conditions**

1. Connection to sanitary sewer and meeting any other relevant requirement of the Knox County Health Department.
2. Providing the required on-site parking for the church in compliance with the Knoxville Zoning Ordinance requirements and the variances approved by the Knoxville Board of Zoning Appeals.
3. Meeting all applicable requirements of the Knoxville Department of Engineering.
4. Meeting all applicable requirements of the Knoxville Zoning Ordinance.

With the conditions noted, this plan meets the requirements for approval in the R-1 zoning district, and other

criteria for approval of a use on review.

COMMENTS:

On September 13, 2012, the Planning Commission approved a use-on-review application (9-D-12-UR) for a new family life center for the Alice Bell Baptist Church located on the west side of Alice Bell Rd. at the intersection with Bellview Rd. The use-on-review approval was granted for the existing church facilities, the new family life center and revisions to the existing parking lot.

The applicant is back before the Planning Commission for approval of a revision to the previously approved parking lot layout on the northeast corner of the site. The new parking layout includes the same number of parking spaces and adds a new outlet from the parking lot to Alice Bell Rd. on the north side of the property. The new parking lot complies with the minimum parking standards of the Knoxville Zoning Ordinance. The applicant had obtained variances from the Knoxville Board of Zoning Appeals on September 20, 2012 for the existing parking lot and a reduction in the total number of required spaces, from 187 to 157 spaces.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE

1. The proposed change to the parking lot will have minimal impact on traffic in the area since site changes are not increasing the area of the church's sanctuary.
2. All utilities are in place to serve this site.
3. The use as proposed will have minimal impact on the surrounding residential and institutional uses.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

1. The proposed parking lot changes are consistent with the general standards for uses permitted on review: The proposed development is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas,
2. The plan meets all applicable requirements of the Zoning Ordinance.

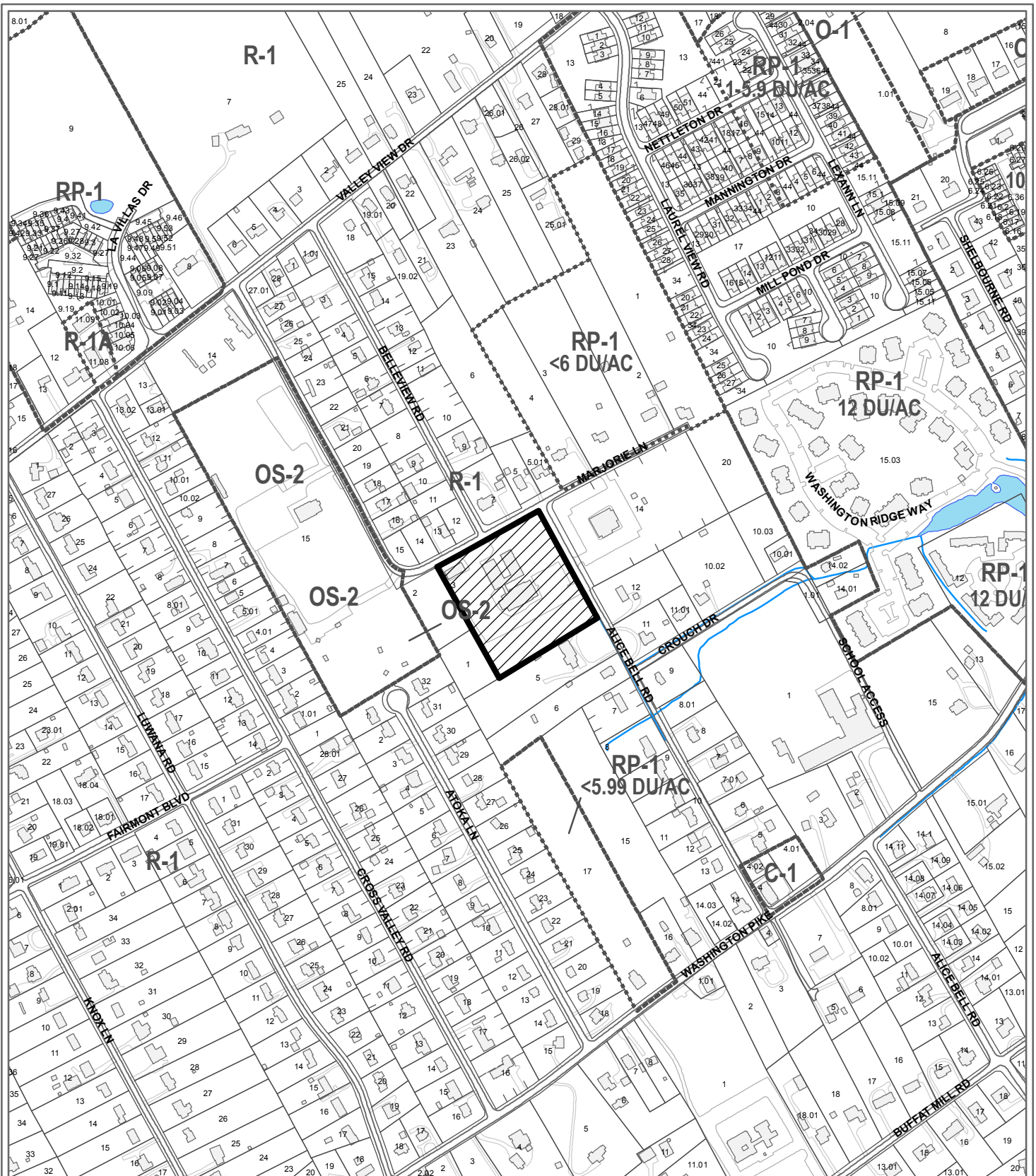
CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

1. The East City Sector Plan and Knoxville One Year Plan identify this property for low density residential use. The Knoxville Zoning Ordinance allows consideration of church facilities through the use on review process.
2. The site is located within the Urban Growth Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: Not calculated.

ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal an MPC decision in the City.



**4-A-13-UR
USE ON REVIEW**



Addition to existing church's family life center and parking lot expansion in R-1 (Low Density Residential)

Original Print Date: 3/26/2013

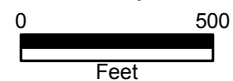
Revised:

Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

Petitioner: Damon A. Falconnier, NCARB,
LEED AP

Map No: 70

Jurisdiction: City





FAMILY LIFE CENTER

AI CE BELL BAPTIST CHURCH
3309 ALICE BELL ROAD
KNOXVILLE, TN 37917

SITE LAYOUT PLAN

4-A-13-06
REVISED
3-23-13

AS INSTRUMENTED BY: M.S. BRYAN
CH. EXC'D. BY: E.B. BRYAN
ISSUED: 9-21-12
REVISIONS: 0-24-12, 3-22-13
City of Knoxville
Comments: Re-Design
MP: 1-20-13
For: 2010-043
File: 2010-043

C-101



General Notes

- The contractor is responsible for obtaining all necessary permits and approvals from the City of Knoxville and the State of Tennessee. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Knoxville and the State of Tennessee. The contractor shall be responsible for obtaining all necessary permits and approvals from the City of Knoxville and the State of Tennessee.
- Property is located in Knoxville and is Zoned R-1.
- Utilities: Water, Gas, Electric, Sewer, Telephone, Cable, Satellite, etc.
- Total Area: 41.1 Acres
- Utility Provider: Water: AEP, Gas: AEP, Electric: AEP, Sewer: AEP, Telephone: AEP, Cable: AEP, Satellite: AEP.

Survey Notes

- Partial Topographic Survey By: [Name], [Address], [City, TN], [State, TN], [Zip, TN].
- Utility Information: All utility lines shown are as shown from the utility provider. The contractor shall be responsible for obtaining all necessary permits and approvals from the utility provider. The contractor shall be responsible for obtaining all necessary permits and approvals from the utility provider.

Layout Notes

- All dimensions to curb line reference line of curb - see detail.
- See architectural drawings for building elevations. All dimensions to building are approximate unless specifically noted as building layout points.
- See Utility Plan for new and existing utility line locations. See Grading and Drainage Plan for new and existing storm drain line locations.

Parking Summary

Existing: 185 Spaces (P Accessibility) 1
Proposed: 185 Spaces (P Accessibility) 1
Total: 370 Spaces (P Accessibility) 2

Pavement Markings

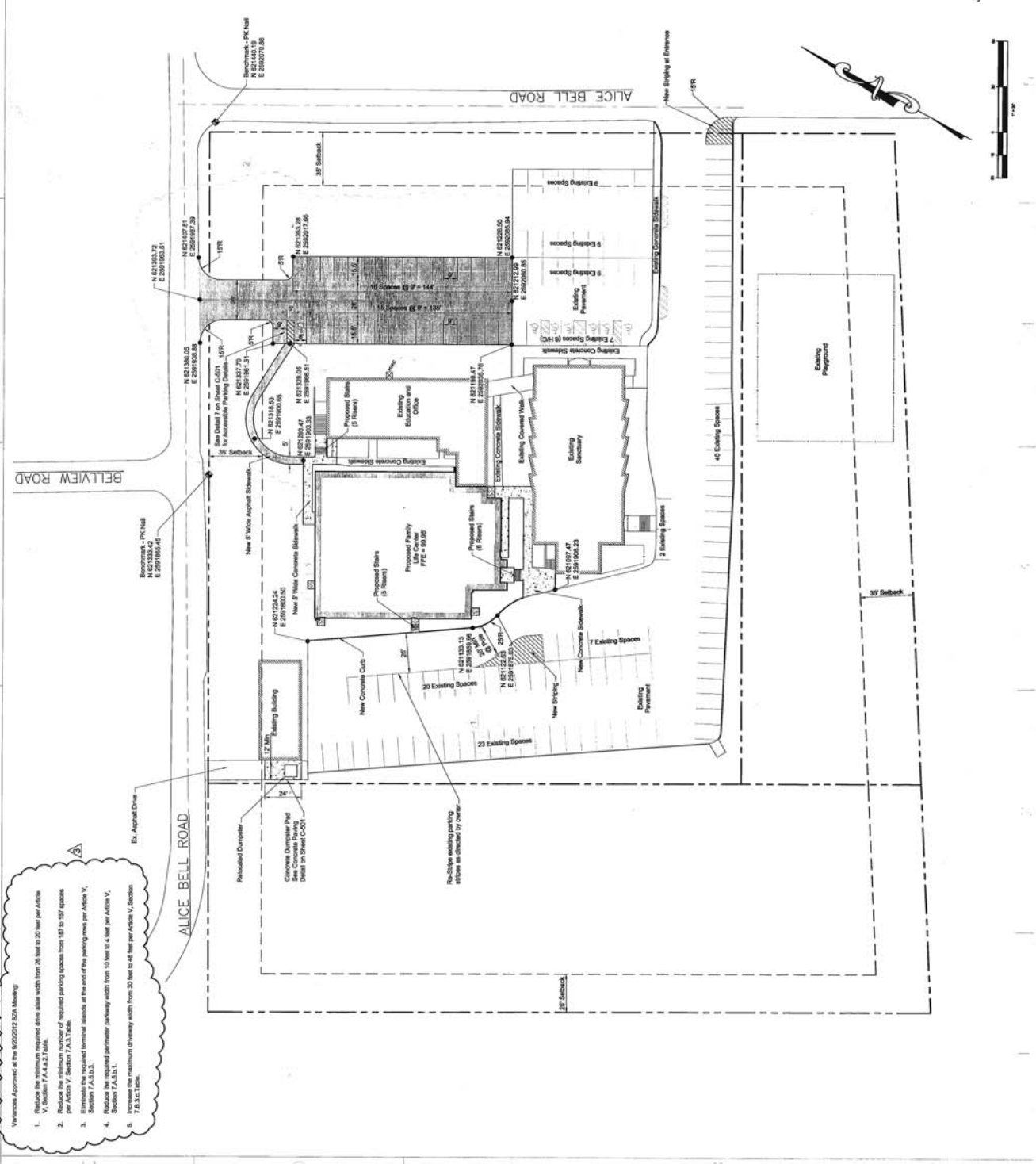
- All roadway pavement markings shall be in accordance with the Manual on Uniform Traffic Control Devices (MUTCD).
- All parking lot pavement markings shall be in accordance with the Manual on Uniform Traffic Control Devices (MUTCD).

Layout

- New Building
- New Edge Pavement
- New Concrete Curb
- New Concrete Sidewalk
- New Concrete Driveway
- New Concrete Parking Slab
- New Concrete Parking Slope



310 SIMMONS RD., SUITE K • KNOXVILLE, TENNESSEE 37922
PH. 865-671-2281 LOS PROJECT NO. 212054



Variations Approved at the 6/20/2013 BOA Meeting

- Reduce the minimum required drive aisle width from 26 feet to 20 feet per Article V, Section 7.A.4.2.7 table.
- Reduce the minimum number of required parking spaces from 185 to 157 spaces per Article V, Section 7.A.3.1 table.
- Eliminate the required terminal stalls at the end of the parking rows per Article V, Section 7.A.3.1.3.
- Reduce the required perimeter parking width from 10 feet to 4 feet per Article V, Section 7.A.3.1.1.
- Increase the maximum driveway width from 20 feet to 48 feet per Article V, Section 7.B.3.1.1 table.

General Notes

- The contractor is specifically instructed that the business vehicle circulation of existing streets shown on these plans is limited to emergency and authorized law enforcement vehicles. All other vehicles must use the existing streets. All other vehicles must use the existing streets. All other vehicles must use the existing streets.
- Proposed to be located in accordance with Zoned R-1.
- Setbacks: Front - 20'; Side - 30'; Rear - 20'.
- Total Coverage = 41.1 Acres
- Utility Treatment:
 - Site - A-2B
 - Site - A-2B
 - Site - A-2B
 - Site - A-2B

Survey Notes

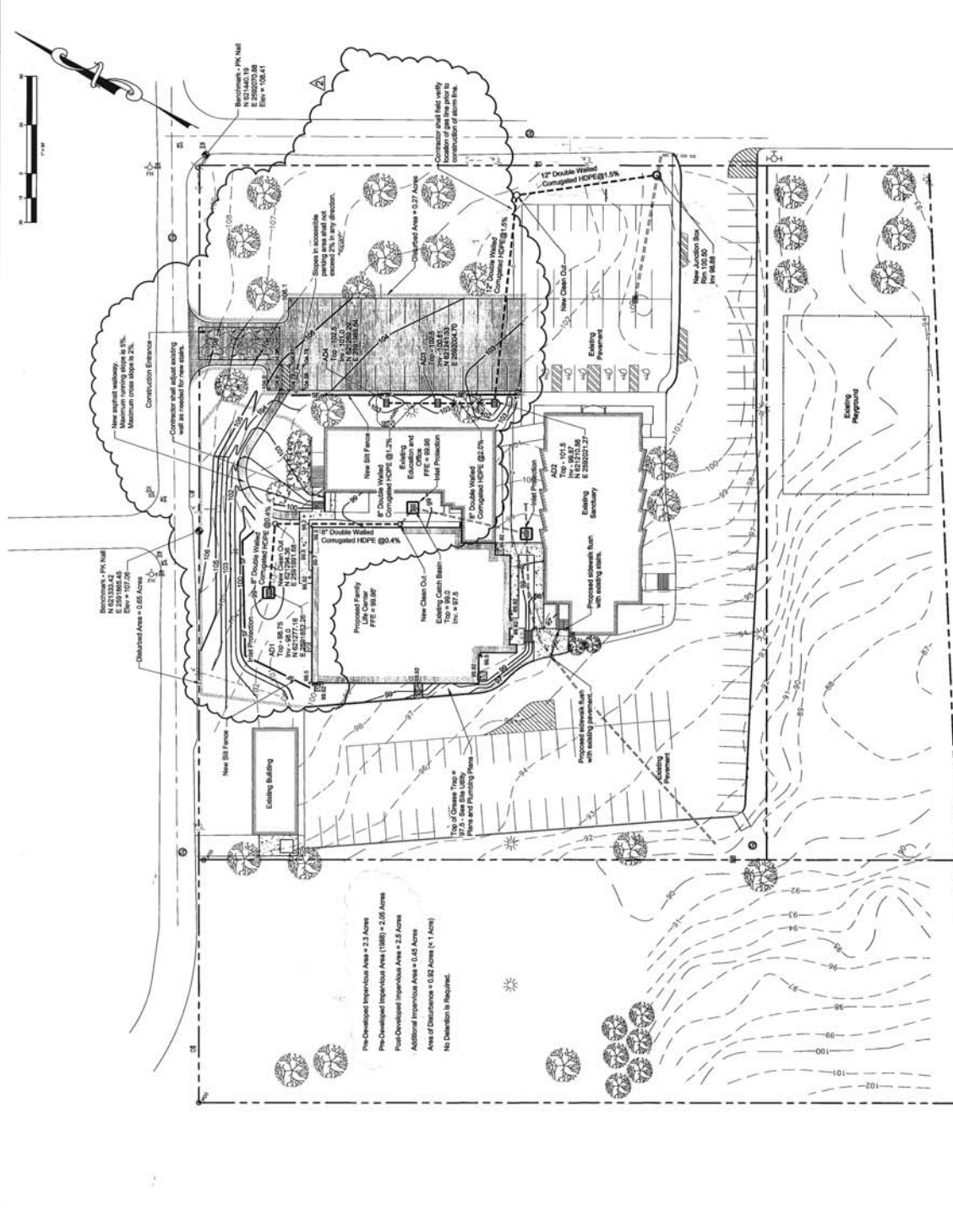
- Partial Topographic Survey by: Land Development Solutions, Knoxville, TN 37922, 800-971-0281
- Utility information is based on information obtained from the utility providers. The contractor shall verify the location and depth of all utilities. The contractor is responsible for determining the accuracy of this information.

Grading Notes

- All disturbed areas not scheduled to be paved shall have a minimum of 2 inches of topsoil placed on them and shall be seeded as specified.
- All grading construction practices shall conform to the Tennessee Erosion and Sediment Control Handbook.
- Maximum topsoil thickness for slopes steeper than 3:1 shall be 3".
- Total disturbed area = 0.82 acres.
- The grades shown are finished grades. Contractor shall determine subsgrade elevations by existing typical pavement sections and the building drawings.

Erosion Control Notes

- Total disturbed area = 0.82 Acres
- The stormwater and erosion control measures at temporary erosion control locations on the site shall be approved by the City of Knoxville and State of Tennessee Erosion Control Commission.
- Contractor shall maintain construction entrances to prevent dirt and mud from leaving the site. The contractor shall install an automatic silt and sand trap. The contractor shall install an automatic silt and sand trap. The contractor shall install an automatic silt and sand trap.
- Contractor shall install and maintain a temporary erosion control device after establishment of permanent vegetation.
- Erosion control devices shall be monitored during and after while with any modifications and/or repair made as soon as conditions permit.



Legend

- Existing Contour
- Existing Edge Pavement
- Existing Building
- Existing Storm Catch Basin
- Property Line (Boundary)
- Existing Tree
- Existing Fire Hydrant
- Existing Overhead Electric
- Existing Power Pole
- Existing Light Pole
- New Building
- New Edge Pavement
- New Concrete Curb
- New Concrete Sidewalk
- Limit of Disturbed Area
- Proposed Catch Basin
- Proposed Check Dam
- Proposed Check Dam Elevation
- Rock Check Dam
- Structure Construction
- Structure Elevation
- Site Fence
- Site Fencing Existing
- Catch Basin

LAND DEVELOPMENT SOLUTIONS

310 SIMMONS RD., SUITE K • KNOXVILLE, TENNESSEE 37922
 PH: 865-671-3281 • LOS PROJECT NO. 212054



FAMILY LIFE CENTER

AL CE BELL BAPTIST CHURCH
 3308 ALICE BELL ROAD
 KNOXVILLE, TN 37917

SITE GRADING AND DRAINAGE PLAN

4-A-13-02K
REVISED
 3-2-5-13

12 INCHES OF SERVICE WATER SHALL BE INSTALLED TO SERVE THE SITE. THE SERVICE WATER SHALL BE INSTALLED TO SERVE THE SITE. THE SERVICE WATER SHALL BE INSTALLED TO SERVE THE SITE.

DR. PLAN BY: MSS
 CH. SKED BY: EJB
 ISS. ED.: 9-21-12
 REVISION(S):
 0-24-12 A 2-22-13
 City of Knoxville, TN
 Comments: Re-Design
 FILE #: 2010-043

C-201