

▶ **FILE #:** 4-B-13-UR

AGENDA ITEM #: 27

AGENDA DATE: 4/11/2013

▶ **APPLICANT:** SEAN M. VASINGTON

OWNER(S): The Aslan Foundation

TAX ID NUMBER: 108 M A 019, 020, 023, 024 AND PART OF 003

JURISDICTION: City Council District 1

▶ **LOCATION:** South side of Cherokee Trail, east of Candora Rd.

▶ **APPX. SIZE OF TRACT:** 39.2 acres

SECTOR PLAN: South City

GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)

ACCESSIBILITY: Access is via Cherokee Trail, a minor collector street with an 18' pavement width with a required 60' right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Goose Creek & Tennessee River

▶ **ZONING:** RP-1 (Planned Residential) & R-1 (Low Density Residential)

▶ **EXISTING LAND USE:** Vacant land

▶ **PROPOSED USE:** Historic Park

HISTORY OF ZONING: Majority of property was rezoned to RP-1 (Planned Residential) in 2004.

SURROUNDING LAND USE AND ZONING: North: Vacant land and residences / OS-1 (Open Space Preservation), R-1A (Low Density Residential) & FD-SW-1 (Form Districts - South Waterfront)

South: Vacant land / RP-1 (Planned Residential)

East: Railroad / I-3 (General Industrial) & I-4 (Heavy Industrial)

West: KUB water tower, vacant land and student housing / RP-1 (Planned Residential) & OS-1 (Open Space Preservation)

NEIGHBORHOOD CONTEXT: The site is located in an area that includes a mix of low density residential development, student housing developments and large open space tracts.

STAFF RECOMMENDATION:

▶ **APPROVE the development plan for the historic park facilities for Fort Higley and access to historic Cherokee Trail, subject to 5 conditions**

1. Prior to the opening of the park facilities providing certification to the Knoxville Department of Engineering that 300 feet of unobstructed sight distance exists in both directions along Cherokee Trail at the exit from the parking lot.
2. Any revision to the parking lot layout will be subject to approval by the Knoxville Department of Engineering and Planning Commission staff.
3. Meeting all applicable requirements of the Knoxville Department of Engineering.
4. Meeting all applicable requirements of the Knoxville Fire Marshal's Office.

5. Meeting all applicable requirements of the Knoxville Zoning Ordinance.

With the conditions noted, this plan meets the requirements for approval within a RP-1 (Planned Residential) district and the criteria for approval of a use on review.

COMMENTS:

The applicant is proposing the development of park facilities for historic Fort Higley and connections to the historic Cherokee Trail as a part of Knoxville's Urban Wilderness system in South Knoxville. The plan includes a trailhead parking lot on the south side of Cherokee Trail, a minor collector street, just east of the KUB water tower site. The parking lot includes a one-way driveway with 19 parking spaces. The trailhead area includes an overlook to the south, a way finding kiosk, and the trailhead to Fort Higley. A 6 foot wide trail of approximately a third of a mile in length will take people to the High Ground terraces and meadow area of the site that includes views to Downtown Knoxville, the historic location of Fort Sanders and Fort Dickerson and the Great Smoky Mountains. Additional trails will take you to the redoubt and rifle trenches for the fort. A maintenance and emergency access area will be provided east of the parking lot at an existing driveway cut for one of the former house sites. The applicant's objective is to have ribbon cutting for the park site in November, 2013 as part of the Civil War Sesquicentennial Celebration.

City Engineering and Planning Commission staff has worked with the applicant to improve the safety of the access onto Cherokee trail. Staff is requiring the applicant to provide at a minimum, 300 feet of unobstructed sight distance in both directions along Cherokee Trail at the exit from the parking lot. This will require site grading and removal of a couple of larger trees. The applicant is looking at possible modifications to the parking lot design that would allow saving the two larger trees. Staff is recommending a condition that any revision to the parking lot layout would be subject to approval by City Engineering and Planning Commission staff. The applicant has also documented that there will be adequate braking sight distance for vehicles approaching stopped vehicles that are turning into the parking lot.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTIES AND THE COMMUNITY AS A WHOLE

1. With the establishment of the required sight distance at the entrance and the scheduled improvements to Cherokee Trail by the City of Knoxville, the traffic impact of this development will be minimal.
2. This low impact park development is compatible with Knoxville's Urban Wilderness system and the existing development in the area.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

1. With the recommended conditions, the proposal meets all requirements of the RP-1 zoning as well as the general criteria for approval of a use-on-review.
2. The proposed park facilities are consistent with the following general standards for uses permitted on review: The proposal is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw substantial additional traffic through residential areas since the development is located on a collector street. No surrounding land uses will pose a hazard or create an unsuitable environment for the proposed use.

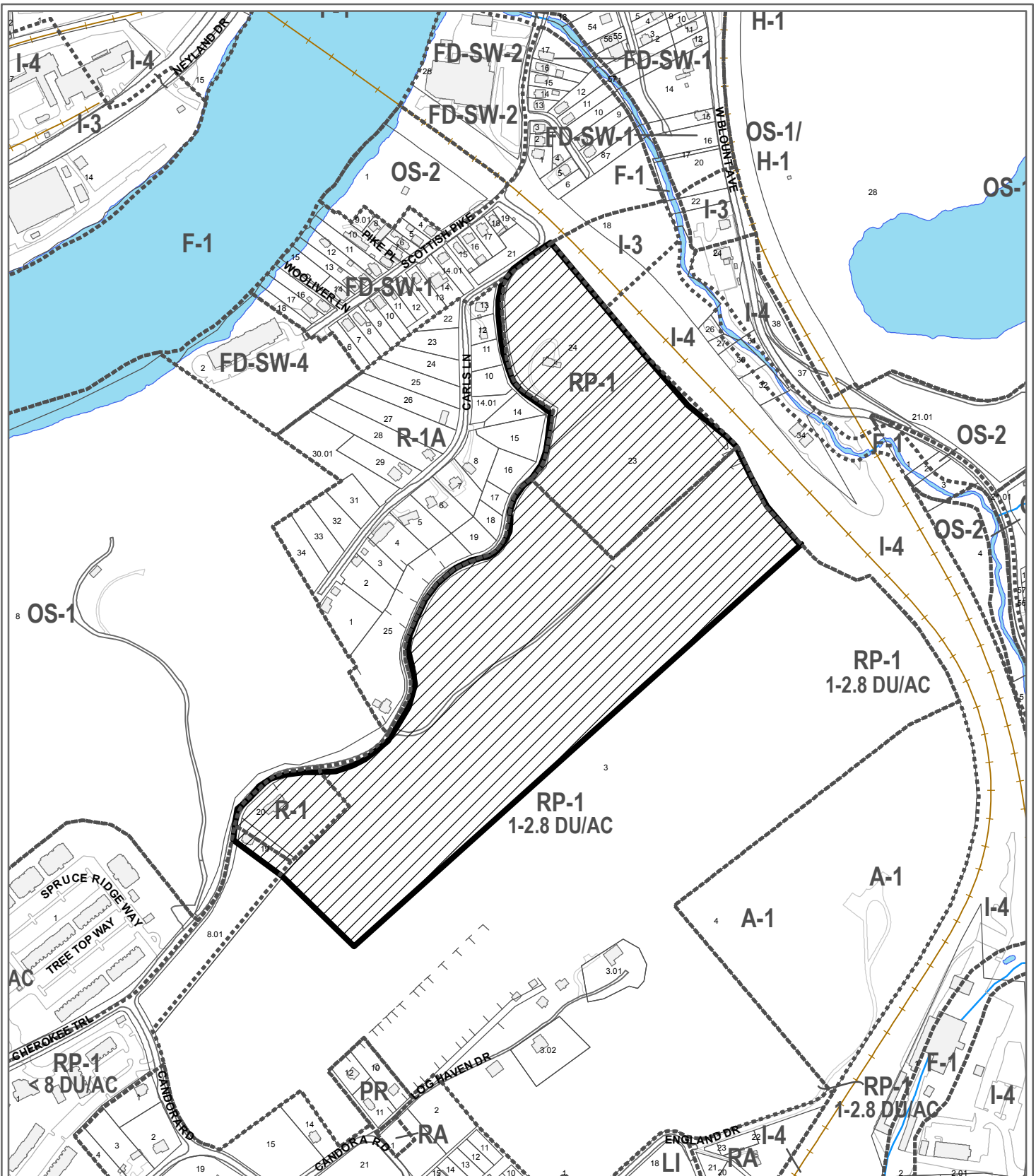
CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

1. The South City Sector Plan proposes low density residential uses for the site. The development as proposed complies with the Sector Plan and the current zoning of the site (RP-1).
2. The site is located within the Urban Growth Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: Not calculated.

ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal an MPC decision in the City.



**4-B-13-UR
USE ON REVIEW**

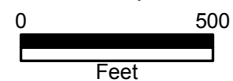


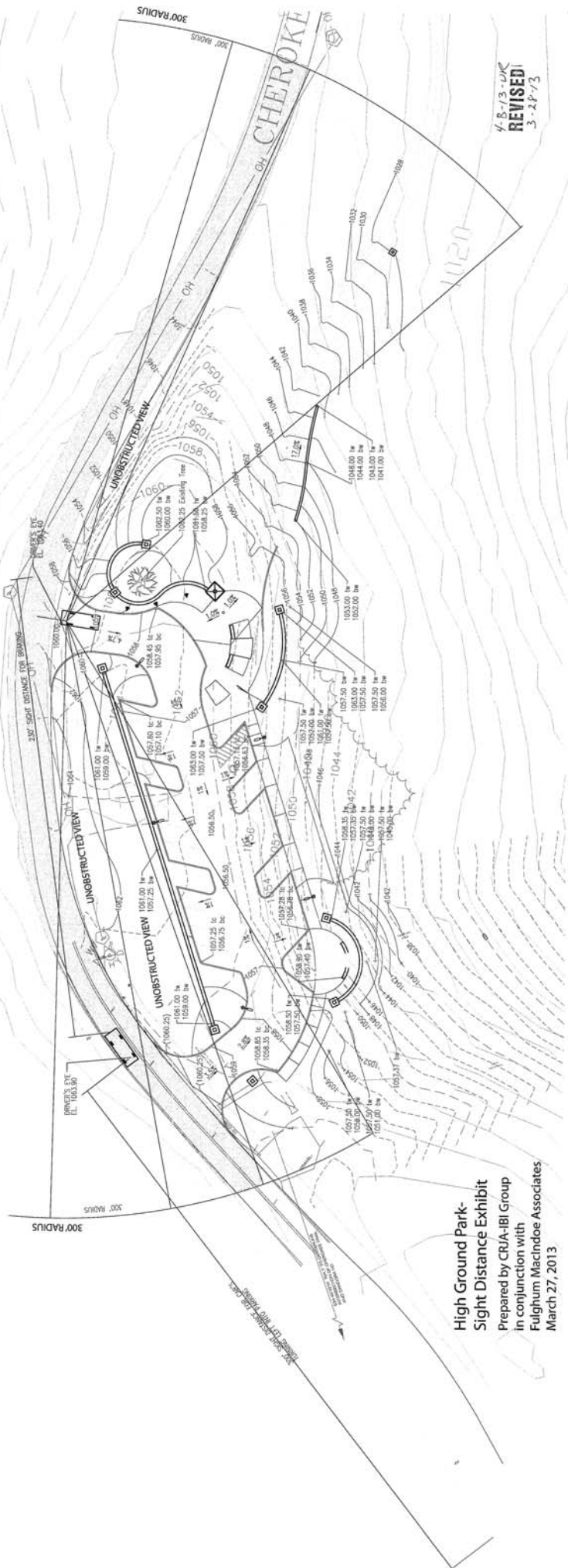
Historic Park in RP-1 (Planned Residential) & R-1 (Low Density Residential)

Original Print Date: 3/26/2013 Revised:
Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

Petitioner: Vasington, Sean M.

Map No: 108
Jurisdiction: City

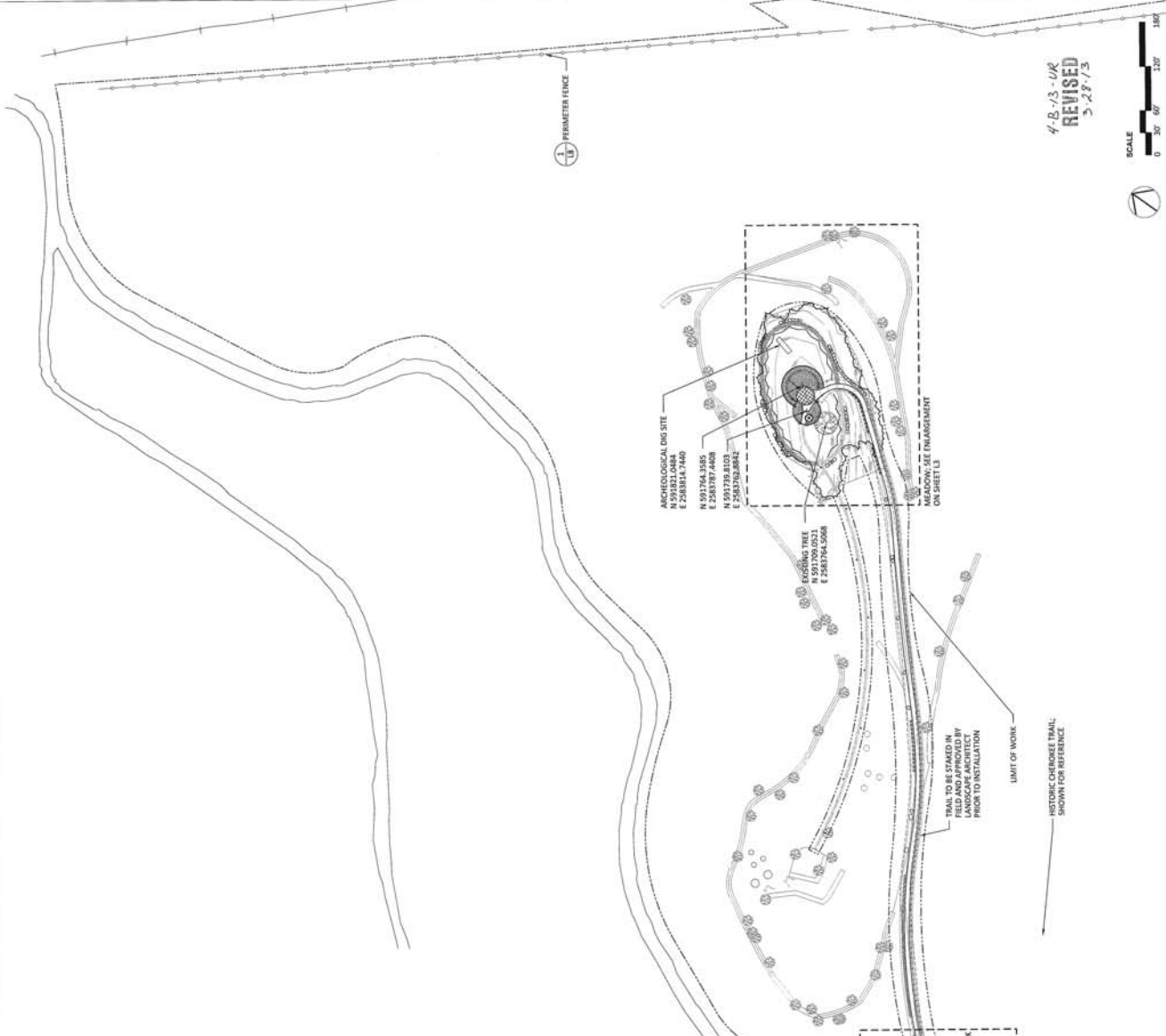
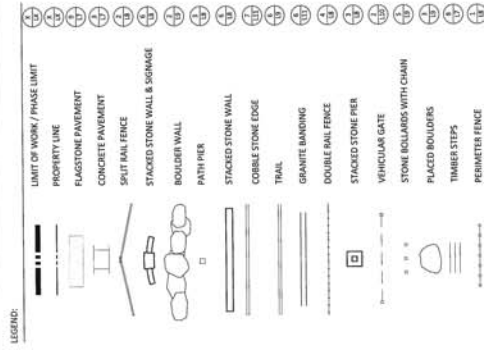




4-8-13-DK
 REVISED
 3-24-13

High Ground Park-
 Sight Distance Exhibit
 Prepared by CRJA-IBI Group
 in conjunction with
 Fulghum MacIndoe Associates
 March 27, 2013

- LAYOUT AND MATERIALS NOTES:**
- ALL LINE AND GRADE WORK PER DRAWINGS AND SPECIFICATIONS SHALL BE LAID OUT BY A REGISTERED CIVIL ENGINEER OR SURVEYOR ENGAGED BY THE CONTRACTOR.
 - ALL LINES AND DIMENSIONS ARE IN FEET. FOR REFERENCE TO THE FIELD-HIGH WHICH IS THE CASE MEASURED UNLESS OTHERWISE INDICATED.
 - BEFORE ANY CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE MOVED WITHIN LIMITS OF WORK AS SHOWN ON PLANS AND AS APPROVED BY THE ARCHITECT.
 - CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES IN THE SITE SURVEY TO THE ARCHITECT PRIOR TO STARTING WORK.
 - ALL LAYOUTS FOR WALLS AND PATHS SHALL BE ADEQUATELY STAKED BY THE CONTRACTOR AND APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR SHALL ESTABLISH REMAINING CONSTRUCTION BENCH MARKS. MAINTAIN ALL ESTABLISHED BOUNDS AND BENCH MARKS AS DIRECTED IN PROJECT MANUAL AND REPLACE AS DIRECTED ANY WHICH ARE DESTROYED OR DISTURBED.
 - CONTRACTOR SHALL COORDINATE LOCATION OF ALL UTILITIES (WELLS, ROOTBALLS, PROPOSED LIGHTING FOOTINGS, ETC.). CONTRACTOR SHALL VERIFY ANY DISCREPANCIES TO ARCHITECT PRIOR TO CONTINUING WORK.
 - LIMIT OF WORK LINE IS NOTED ON DRAWINGS. CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE DUE TO OPERATIONS INSIDE AND OUTSIDE OF THE CONTRACT LIMIT LINE. ANY AREAS OUTSIDE THE LIMIT OF WORK SHALL BE REPAIRED TO ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER.
 - PROVIDE EXPANSION JOINTS AT ALL CURBS, WALLS, STEPS, LIGHT POLE BASES, PULL BOXES, MANHOLES, EXISTING PAVEMENTS, CHANGE IN PAVEMENTS, ETC. AND AS SHOWN ON PLAN AND IN ACCORDANCE WITH DETAIL.



95%
CHECK SET
NOT FOR
CONSTRUCTION

HIGH GROUND PARK - PHASE I
PREPARED FOR THE ASLAN FOUNDATION

CRJA
landscape architects
Carol E. Johnson Associates, Inc.
1000 W. 10th St., Suite 100
Tulsa, Oklahoma 74106
P: 918.438.1111
F: 918.438.1112

SITE PLAN & KEY

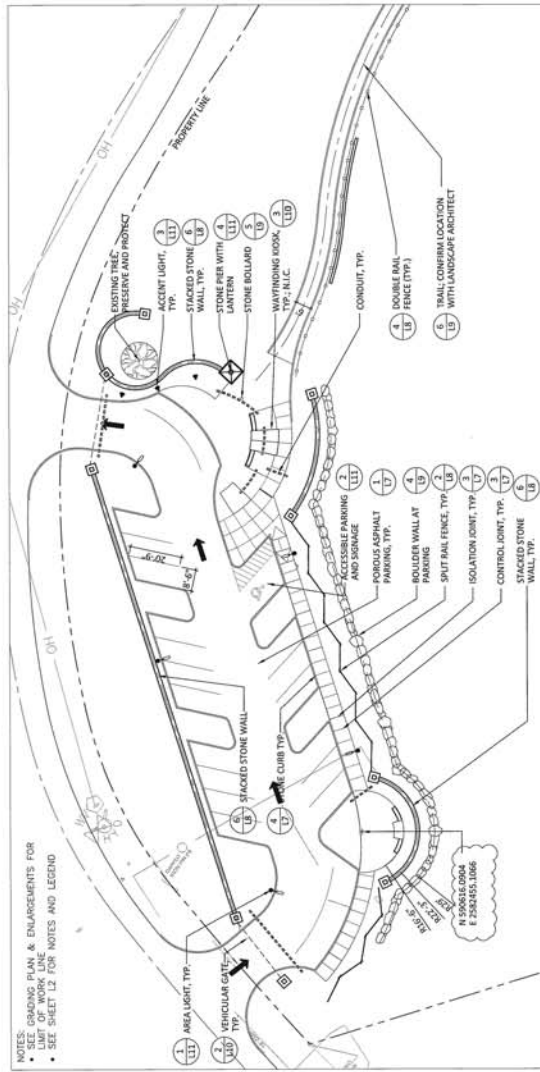
No.	Description	Date

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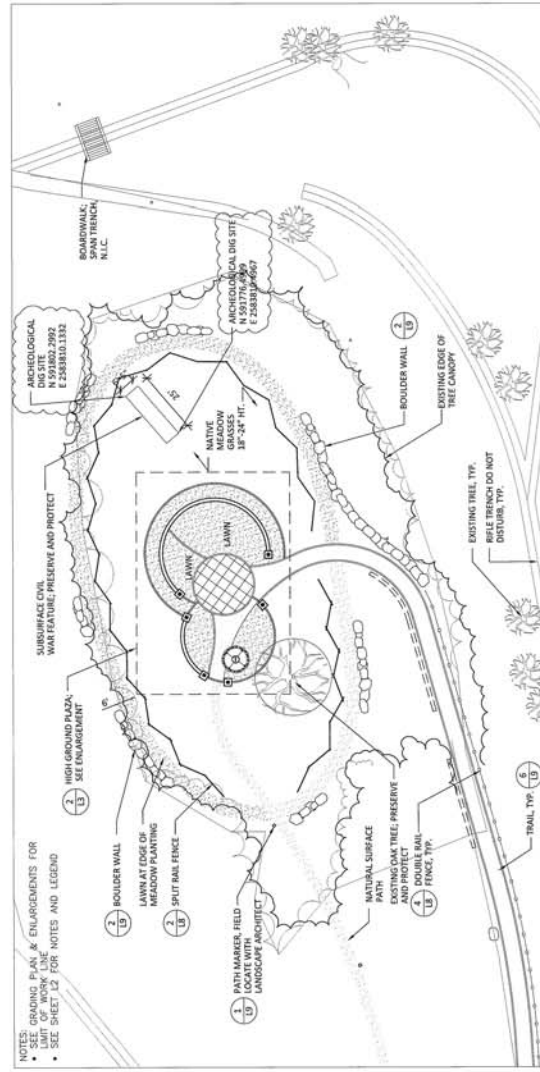
Project Name: HIGH GROUND PARK
Drawing No.: 2012.0111 SITE PLAN
Drawn by: W.S., C.S., J.C.
Date: 12/27/12
Scale: AS SHOWN

47-B-13-018
REVISED
3-27-13

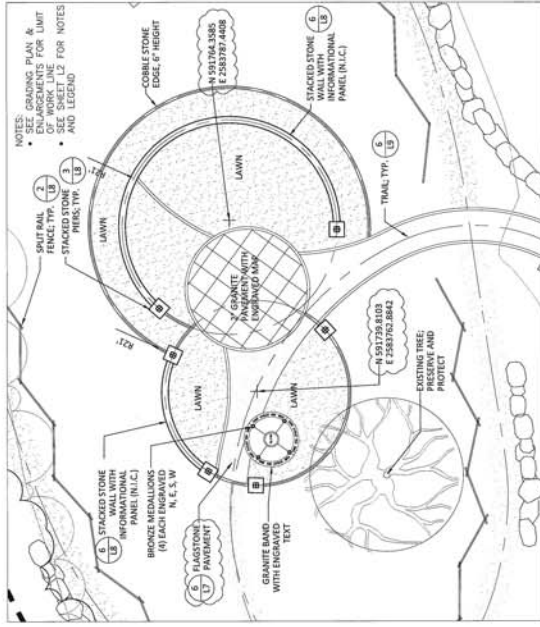




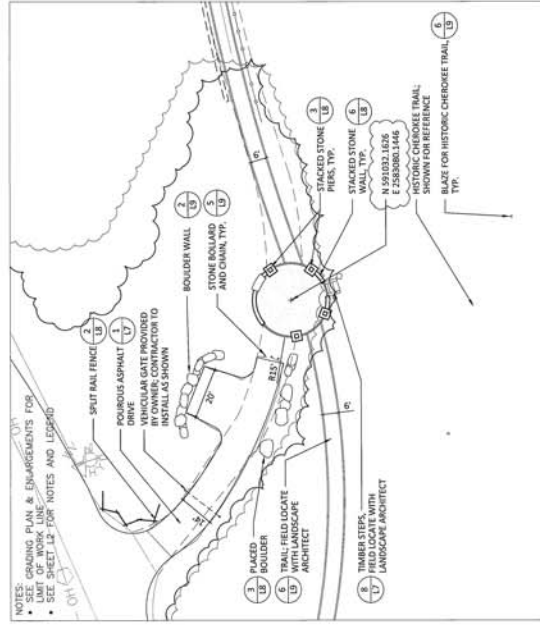
1 TRAILHEAD ENLARGEMENT N.I.C. SCALE: 1" = 20'-0"



3 MEADOW ENLARGEMENT SCALE: 1" = 20'-0"



2 HIGHGROUND PLAZA ENLARGEMENT SCALE: 1" = 10'-0"



4 MAINTENANCE ACCESS ENLARGEMENT SCALE: 1" = 20'-0"

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CONSTRUCTION

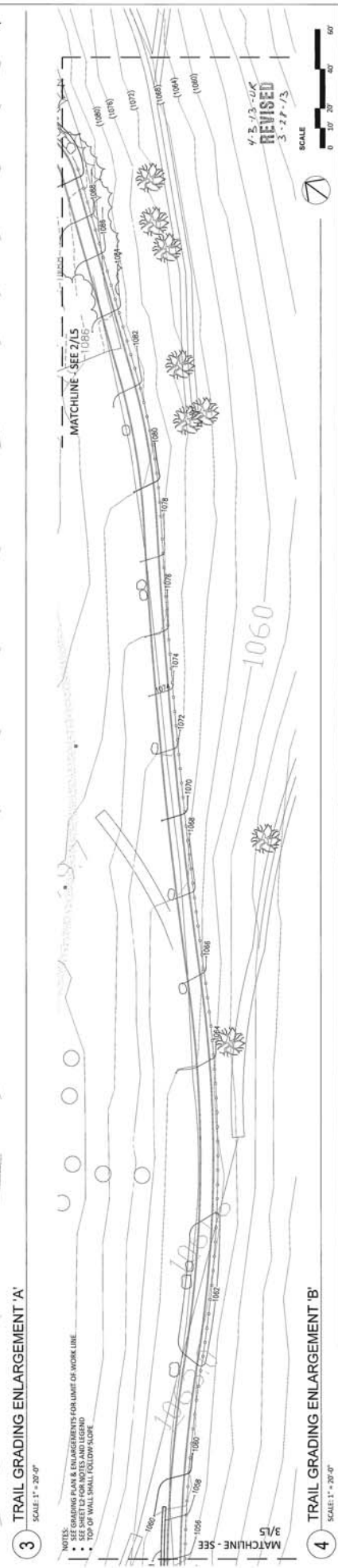
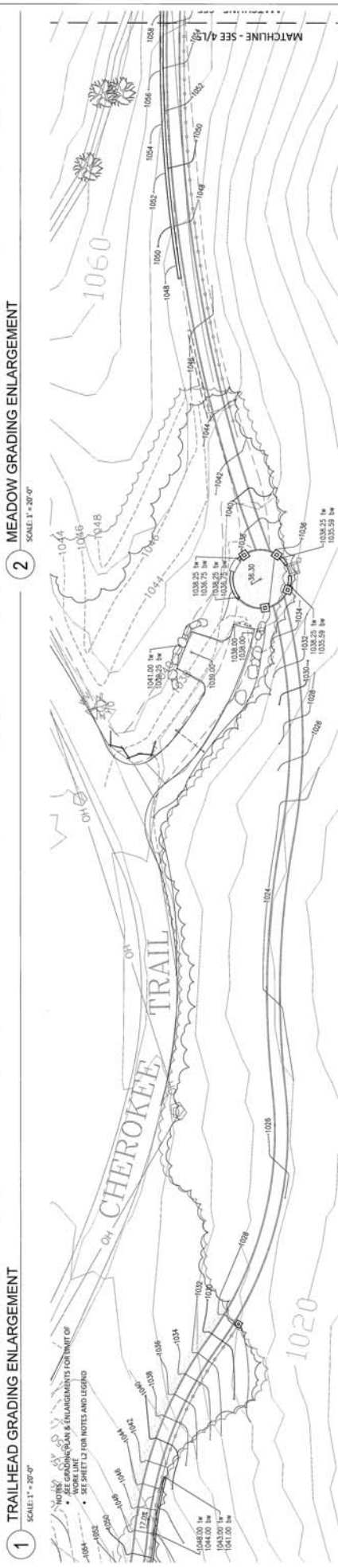
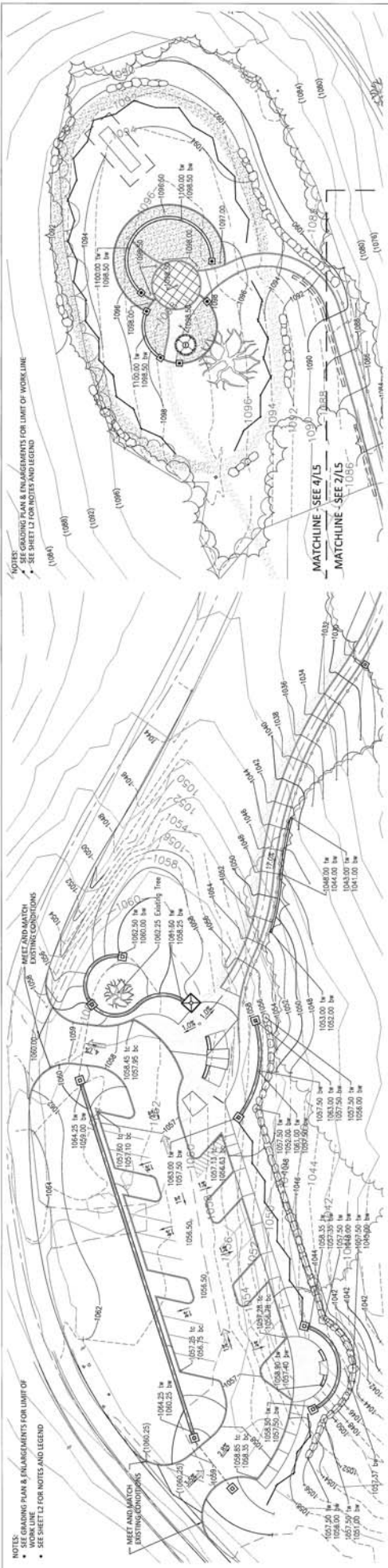
HIGH GROUND PARK - PHASE I
PREPARED FOR THE ASLAN FOUNDATION

CRJA
LANDSCAPE ARCHITECTS INC.
A MEMBER OF THE BRUCE W. FINE GROUP
1000 15TH AVENUE, SUITE 100
DENVER, COLORADO 80202

REV.	DESCRIPTION	DATE

SITE PLAN ENLARGEMENTS

PROJECT NAME: HIGH GROUND PARK
 PROJECT NUMBER: 2011.13.01
 PROJECT DATE: 10/2011
 DRAWN BY: J. W. CR
 CHECKED BY: J. W. CR
 DATE: 4-8-13-UR
 REVISED 3-27-13



4.5.73-04
REVISED
3-27-13
SCALE
0 10' 20' 40' 60'

CRJA
 CONSULTING ENGINEERS
 1000 N. 10th Street, Suite 100
 Oklahoma City, Oklahoma 73102
 Phone: (405) 241-1111
 Fax: (405) 241-1112
 www.crja.com

NO.	DESCRIPTION	DATE

GRADING PLAN ENLARGEMENTS
 PROJECT NUMBER: 2011-142-0000
 DRAWN BY: W.S. SE
 CHECK BY: D.C. CE

95% CHECK SET
 NOT FOR CONSTRUCTION

HIGH GROUND PARK - PHASE I
 PREPARED FOR THE ASLAN FOUNDATION

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