

▶ **FILE #:** 12-B-13-UR

AGENDA ITEM #: 34

AGENDA DATE: 12/12/2013

▶ **APPLICANT:** SITE, INCORPORATED

OWNER(S): Horne Properties, Inc.

TAX ID NUMBER: 132 02815

JURISDICTION: City Council District 2

STREET ADDRESS: Kingston Pike

▶ **LOCATION:** North side of Kingston Pike, east of N. Cedar Bluff Rd.

▶ **APPX. SIZE OF TRACT:** 1.05 acres

SECTOR PLAN: Southwest County

GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)

ACCESSIBILITY: The primary access to the site will be via the internal access driveway system serving the Kingston Corner Subdivision with access out to N. Cedar Bluff Rd. and Kingston Pike, both of which are 6 lane median divided arterial streets at this location.

UTILITIES: Water Source: First Knox Utility District

Sewer Source: First Knox Utility District

WATERSHED: Ten Mile Creek

▶ **ZONING:** PC-1 (Retail and Office Park)

▶ **EXISTING LAND USE:** Vacant land

▶ **PROPOSED USE:** Bojangles Restaurant

HISTORY OF ZONING: Property was rezoned to PC-1 (Retail and Office Park) on November 17, 2009.

SURROUNDING LAND USE AND ZONING: North: Vacant land (Kingston Corner Commercial Subdivision) / PC-1 (Retail and Office Park)

South: Church / O-1 (Office, Medical, and Related Services) & C-3 (General Commercial)

East: Vacant land (Kingston Corner Commercial Subdivision) / PC-1 (Retail and Office Park)

West: Vacant land (Kingston Corner Commercial Subdivision) / PC-1 (Retail and Office Park)

NEIGHBORHOOD CONTEXT: This site is located in an area that is dominated by shopping centers and general commercial uses. The zoning in the area is O-1, C-3, C-6, SC, SC-3, PC-1 and PC-2 commercial zones.

STAFF RECOMMENDATION:

▶ **APPROVE** the request for a restaurant with drive thru containing approximately 3,808 square feet of floor area as shown on the development plan, subject to 8 conditions

1. Connection to sanitary sewer and meeting any other relevant requirements of the Knox County Health Department.
2. Meeting all applicable requirements of the Knoxville Zoning Ordinance
3. An occupancy permit shall not be issued for this development until the internal access driveways serving the Kingston Corner Commercial Subdivision and any required off-site street improvements are installed by the developer and approved by the Knoxville Department of Engineering. If the driveway and street improvements are phased for the subdivision, the access driveways that adjoin this site must be completed prior to issuance of the occupancy permit.
4. An occupancy permit shall not be issued for this development until the stormwater facilities serving the Kingston Corner Commercial Subdivision and this proposed development are installed by the developer and approved by the Knoxville Department of Engineering.
5. Meeting all applicable requirements of the Knoxville Department of Engineering.
6. Installation of landscaping as shown on the landscape plan within six months of the issuance of occupancy permit for this project.
7. Meeting all applicable requirements of the Knoxville City Arborist.
8. Revising the proposed monument sign by reducing the size and area of the reader board so that it appears to be accessory to the business identification portion of the sign. The proposed signage is subject to approval by the Planning Commission staff and Knoxville's Sign Enforcement Inspector.

With the conditions noted, this plan meets the requirements for approval of a use on review in the PC-1 District.

COMMENTS:

The applicant is proposing to develop a Bojangles Restaurant with approximately 3,808 square feet of floor area on a 1.05 acre lot that is a part of the Kingston Corner Commercial Subdivision. The site is located on the north side of Kingston Pike, east of N. Cedar Bluff Rd. While the lot has frontage along Kingston Pike, there will be no direct access from the site to the arterial street. Access to the site will be through the driveway network for the commercial subdivision which provides access to N. Cedar Bluff Rd. and Kingston Pike. Stormwater management for this site will be tied into the overall stormwater system for the subdivision.

The applicant has submitted plans for a 8' high monument sign for the restaurant along the Kingston Pike frontage. Staff is recommending a revision to the sign to reduce the size and area of the reader board so that it appears to be accessory to the business identification portion of the sign.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTIES AND THE COMMUNITY AS A WHOLE

1. All public utilities are available to serve the site.
2. The traffic impact study that had been prepared for the Kingston Corner Commercial Subdivision recommended improvements that will address the traffic impacts of this development.
3. The proposed restaurant is compatible with the scale and intensity of the surrounding development and zoning pattern.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

1. With the recommended conditions, the proposal meets all requirements of the PC-1 zoning as well as the general criteria for approval of a use on review.
2. The proposed commercial development with the recommended conditions is consistent with the following general standards for uses permitted on review: The proposal is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas since the development is located off of two arterial streets. No surrounding land uses will pose a hazard or create an unsuitable environment for the proposed use.

CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

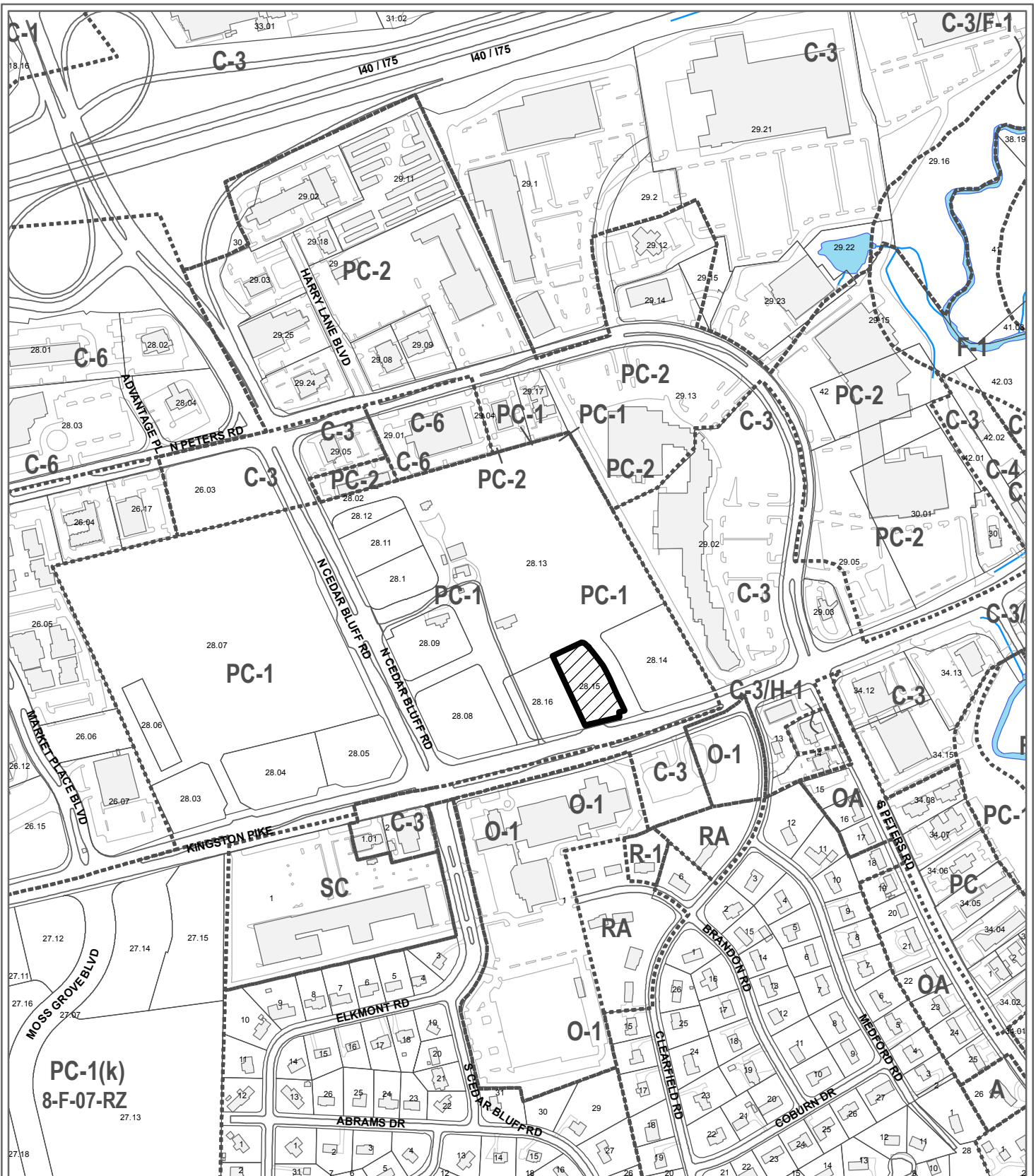
1. The Knoxville One Year Plan the Southwest County Sector Plan propose commercial use for this site.
2. The site is located within the Urban Growth Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: 1889 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal an MPC decision in the City.



**12-B-13-UR
USE ON REVIEW**

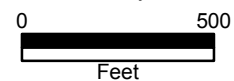


Bojangles Restaurant in PC-1 (Retail and Office Park)

Petitioner: Site, Incorporated

Map No: 132

Jurisdiction: City



Original Print Date: 11/25/2013

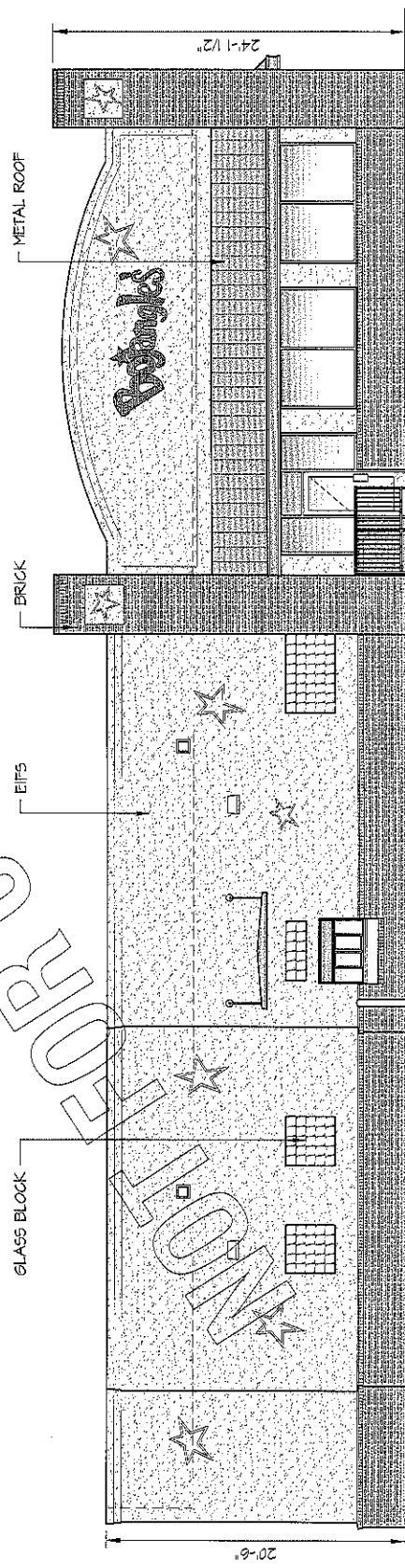
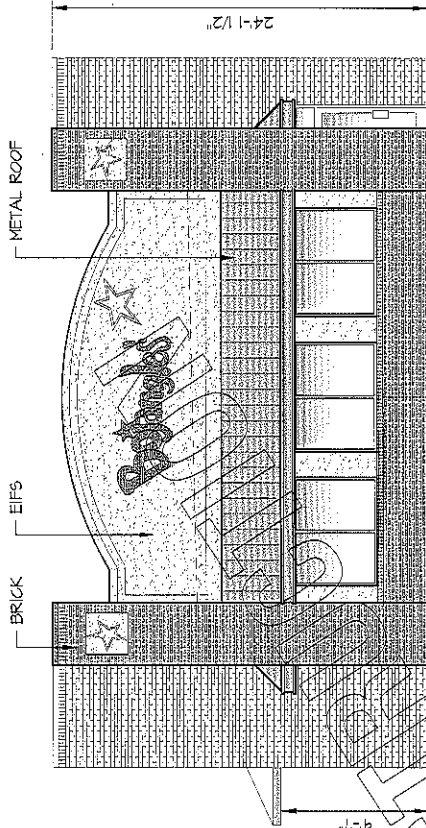
Revised: 12/5/2013

Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902



BOJANGLES' RESTAURANT
 PLAN 8

DATE: 03-12-2013
 PROJECT #:
 DRAWN BY: WCH
 CAD FILE NAME: PROBOJANGLES.HWD (1) 2/ELEVS
 SHEET NO. 12-B-13-UR
 THIS DRAWING IS THE PROPERTY OF EED ARCHITECTURES. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF EED ARCHITECTURES IS STRICTLY PROHIBITED.
 SCALE: AS SHOWN
 SHEET (1)
 ELEVATIONS



EXTERIOR FINISH SCHEDULE

MATERIAL	DESCRIPTION	MANUFACTURER	STYLE / MODEL	COLOR / FINISH	REMARKS
EIFS	EXTERIOR INSULATING FINISH SYSTEM WITH DRAINAGE	BDO CORP	CLASSIC DESIGN INSULATED WALL CLADDING SYSTEM	RWG-0022 IN SUB-PREMIUM FINE BRICK FINISH	INSTALL OVER STOWING LIQUID APPLIED FLEXIBLE RESISTIVE BARRIER
BRICK	HOSPITAL MASONRY UNITS	REYNOLDS BRICK CO.	61P 500H HANDBOOK	-	-
HOSPAS	HOSPITAL GROUT	ESPANCO GROUT CORP.	PROVIDER-IN-COLOR	TO MATCHETS FINISH	-
ALUM. COMPONENT	ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS	GANER	48\"/>		

FRONT ELEVATION
 SCALE: 1/8\"/>

LEFT SIDE ELEVATION
 SCALE: 1/8\"/>

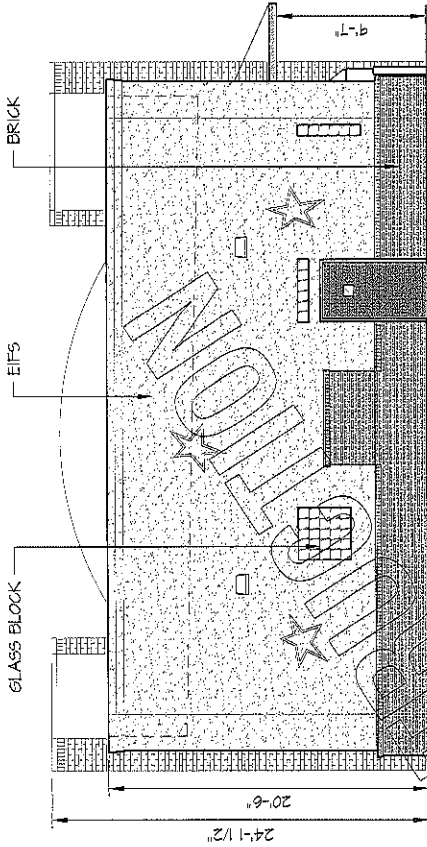
12-B-13-UR



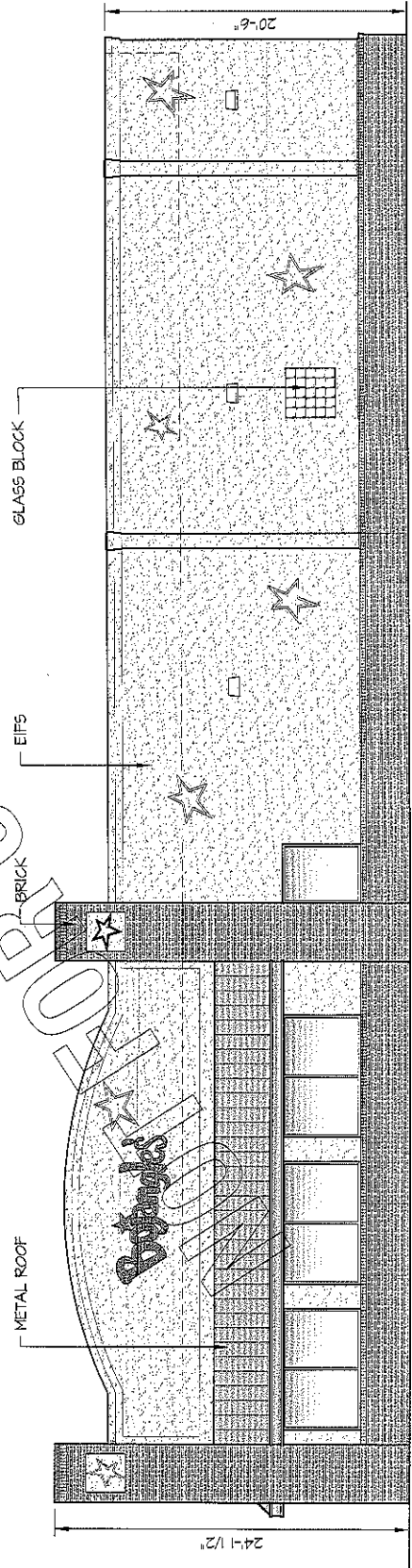
BOJANGLES RESTAURANT
 PLAN 8

DATE: 08.12.13
 PROJECT #:
 DRAWN BY: WCH
 CADD FILE NAME:
 EXTERIOR FINISH SCHEDULES
 ALL DIMENSIONS UNLESS OTHERWISE NOTED
 SHALL BE THE PROPERTY OF ESD
 AND SHALL BE KEPT CONFIDENTIAL
 AND NOT TO BE REPRODUCED OR
 USED FOR ANY OTHER PROJECT
 WITHOUT THE WRITTEN
 PERMISSION OF ESD ARCHITECTURE
 ANY VIOLATION IS SUBJECT TO
 LEGAL ACTION

Sheet (2)
 ELEVATIONS



2 REAR ELEVATION
 SCALE: 1/8" = 1'-0"

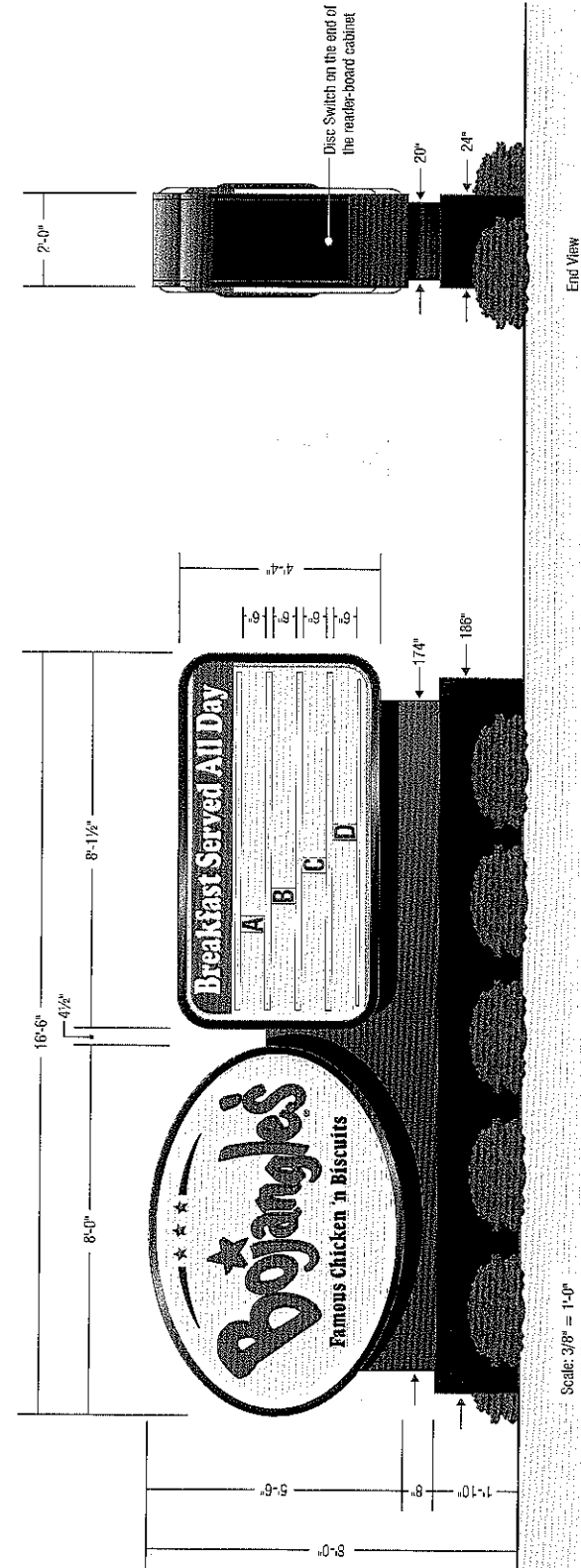


2 RIGHT SIDE ELEVATION
 SCALE: 1/8" = 1'-0"

1/2-B-13-UR

EXTERIOR FINISH SCHEDULE					
MATERIAL	DESCRIPTION	MANUFACTURER	STYLE / MODEL	COLOR / FINISH	REMARKS
EIFS	EXTERIOR INSULATING FINISH SYSTEM DRAINAGE	STO CORP	CLASSIC	AS PER ARCHITECT'S SPECIFICATIONS	INSTALL WITH EXTERIOR LIGHTS
BRICK	MODULAR HOLLOW BRICK	TRANGLE BRICK CO.	6 3/8" MODULAR	AS PER ARCHITECT'S SPECIFICATIONS	APPLIED WITH EXTERIOR RESISTIVE BARRIER
PORTLAND CEMENT	PORTLAND CEMENT	EMERSON CEMENT CORP.	EMERSON	TO MATCH EIFS FINISH	
ALUM. EXTERIOR	ALUMINUM-PAVED BRANGES AND COMPONENTS	EMERSON	48" T CENTER SET	CEMEX ANODIZED	
METAL ROOF	STANDING SEAM METAL ROOF	CONSTRUCTION METAL PRODUCTS	9" x 12" RIBS	PAINT COLOR: TAN 10	INSTALL FLASHING SHIMMED ON ROOF
CORNING CAP	METAL CORNING CAP OUTLET			PAINTED - BRONZE	CUSTOM MANUFACTURED
GLASS BLOCK WINDOWS	PRE-ANODIZED WINDOW UNIT	FITTINGSH-CORNING	LUMINANCE	EXTERIOR FINISH	

5'-6" x 8'-0" x 80% = 35.2 Sq Ft
 4'-4" x 8'-1/2" = 35.2 Sq Ft
 TOTAL = 70.4 Sq Ft

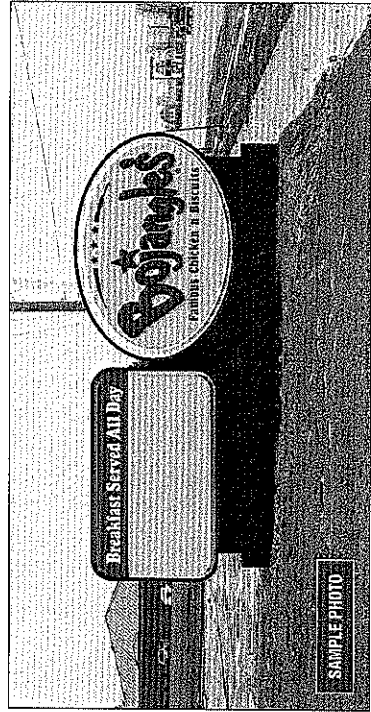


Scale: 3/8" = 1'-0"

(1) Double face internally illuminated OVAL sign cabinet AND (1) double face INT. ILLUM. READER BOARD cabinet of aluminum w/ 2" aluminum retainers. Cabinets & retainers finished in black acrylic urethane enamel. OVAL faces of pan-formed acrylic w/ logo embossed. READER BOARD faces to be pan-formed acrylic w/ (4) rows of 6" Zip-Change copy. Internal illumination of cabinets by high output fluorescent lamps powered by low temperature ballasts. 120 volts. All wiring UL approved

Sign cabinet mounted onto steel post(s) set in concrete foundation(s). Pole cover and base constructed of aluminum & finished in black acrylic urethane enamel.

-  Black (High Gloss)
-  Acrylic Flame Red, 3M 3630-83
-  PMS 109 Yellow



12-B-13-UK



NATIONAL HEADQUARTERS
 177 West Hesse Blvd., West Palm Beach, FL 33411
 Phone: (561) 832-6221 (561) 772-7222 Fax: (561) 832-6224

NORTHEAST DIVISION
 707 Commerce Dr., Concord, NC 28025
 Phone: (704) 268-3323 (704) 772-7322 Fax: (704) 268-3324
 www.atlassignindustries.us

This design is the property of Atlas Sign Industries and cannot be used or distributed without the approval of said company.

DRWG. # :
 DATE :
 REV. DATE :
 LOCATION :
 FILE :
 SALES REP. :
 DRAWN BY :
 SCALE :
 PAGE # :



Approved by:

Date: APPROVED AS SHOWN
 APPROVED AS NOTED
 CORRECT & RESUBMIT





Site Infrastructure Transportation Division
10213 Technology Drive, Suite 304
Knoxville, TN 37922
Phone: (865) 777-4100
Fax: (865) 777-4189



Kingston Pike & N Cedar Bluff Road
Knoxville, Tennessee



Use on Review - Cover Sheet

NO.	DATE	REVISIONS

DATE: 10/29/13
LAYOUT BY: [redacted]

C.O.

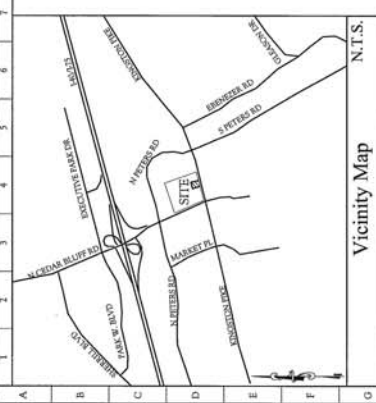
INDEX TO DRAWINGS

COVER SHEET	1102703
SITE LAYOUT PLAN	1102703
SITE LOCATION PLAN	1102703
SITE LAYOUT PLAN	0710
STATIONING REVISIONS - S, STREET 1	0812113
STATIONING REVISIONS - S, STREET 2	0812113
MEASUREMENT POINT PLAN	0812113

Use On Review Plans
of
Bojangles!
Kingston Pike & N Cedar Bluff Road
Knoxville, Tennessee

Developed By:
Horne Properties, Inc.
412 N. Cedar Bluff Road, Suite 205
Knoxville, Tennessee 37923
(865) 560-1100

All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to the final connection of services.



Vicinity Map
N.T.S.

1-2-13-15-OK
REVISED
11-27-13

Parcel ID: 132 038
Block Number: 403A

CS-0
CS-1
CS-2
CS-3
CS-4
CS-5



CONTACTS

Water & Sewer	Gas	Electric	Department of Transportation	Telephone	City
First Utility Services of Knox County Knoxville, Tennessee 37929 Phone: (865) 406-5144 Fax: (865) 406-4528	Knoxville Utility Board 605 S. Third Ave. Knoxville, TN 37903 Contact: (865) 560-2524	Knoxville Utilities Board 605 S. Third Ave. Knoxville, TN 37903 Contact: (865) 560-2524	TENN. T.R.C.C. 405 E. Main Knoxville, TN 37903 Phone: (865) 564-0350	(865) 560-2524 Knoxville, TN 37903 Phone: (865) 537-6262	City of Knoxville 400 N. Third Knoxville, TN 37903 Phone: (865) 524-2148 Fax: (865) 532-8221



12-B-13-04
 REVISED
 11/22/14

NO.	DATE	REVISIONS
1	10/28/13	DATE: 10/28/13 DRAWN BY: JLB

C3.0

- REGULATIONS:**
1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY REGULATIONS AND CODES AND O.E.H.A. STANDARDS.
 2. ALL MATERIALS SHALL BE STORED IN A PROTECTED AREA TO PREVENT DAMAGE TO ADJACENT PROPERTIES AND TO PREVENT POLLUTION OF SURFACE WATER.
 3. ALL MATERIALS SHALL BE STORED IN A PROTECTED AREA TO PREVENT DAMAGE TO ADJACENT PROPERTIES AND TO PREVENT POLLUTION OF SURFACE WATER.
 4. ALL CURBS AND STREETS SHALL BE TO BE FIVE FEET WIDER THAN NOTED.
 5. ALL CURBS AND STREETS SHALL BE TO BE FIVE FEET WIDER THAN NOTED.
 6. BALDING DIMENSIONS SHOWN ON SITE LAYOUT PLAN AND NORMAL DIMENSIONS ONLY ARE TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 7. EXISTING STRUCTURES WITHIN THE CONSTRUCTION LIMITS ARE TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 8. CONSTRUCTION SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 9. ALL UTILITIES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 11. ALL UTILITIES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 12. ELECTRICITY SHALL BE PROVIDED TO THE GENERAL CONTRACTOR AT HIS REQUEST FOR LAYOUT PURPOSES AFTER THE JOB APPROVED.

- STANDARD MATERIALS SCHEDULE:**
- | ITEM | DESCRIPTION | QUANTITY |
|------|------------------------------|----------|
| 1 | STANDARD CITY ASPHALT PAVING | 1000 YD |
| 2 | HEAVY DUTY ASPHALT PAVING | 1000 YD |
| 3 | CONCRETE PAVING | 1000 YD |
| 4 | PORTLAND CEMENT CONCRETE | 1000 YD |
| 5 | STEEL FENCING | 1000 YD |
| 6 | LANDSCAPE LIGHTING | 1000 YD |
| 7 | CONCRETE CURB | 1000 YD |
| 8 | CONCRETE SIDEWALK | 1000 YD |
| 9 | CONCRETE DRIVE | 1000 YD |
| 10 | CONCRETE DRIVE | 1000 YD |
| 11 | CONCRETE DRIVE | 1000 YD |
| 12 | CONCRETE DRIVE | 1000 YD |
| 13 | CONCRETE DRIVE | 1000 YD |
| 14 | CONCRETE DRIVE | 1000 YD |
| 15 | CONCRETE DRIVE | 1000 YD |
| 16 | CONCRETE DRIVE | 1000 YD |
| 17 | CONCRETE DRIVE | 1000 YD |
| 18 | CONCRETE DRIVE | 1000 YD |
| 19 | CONCRETE DRIVE | 1000 YD |
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| 24 | CONCRETE DRIVE | 1000 YD |
| 25 | CONCRETE DRIVE | 1000 YD |
| 26 | CONCRETE DRIVE | 1000 YD |
| 27 | CONCRETE DRIVE | 1000 YD |
| 28 | CONCRETE DRIVE | 1000 YD |
| 29 | CONCRETE DRIVE | 1000 YD |
| 30 | CONCRETE DRIVE | 1000 YD |
| 31 | CONCRETE DRIVE | 1000 YD |

STANDARD MATERIALS SCHEDULE:

REFER TO SHEETS 02.2 AND 02.3 FOR SITE DETAILS.

STANDARD CITY ASPHALT PAVING:

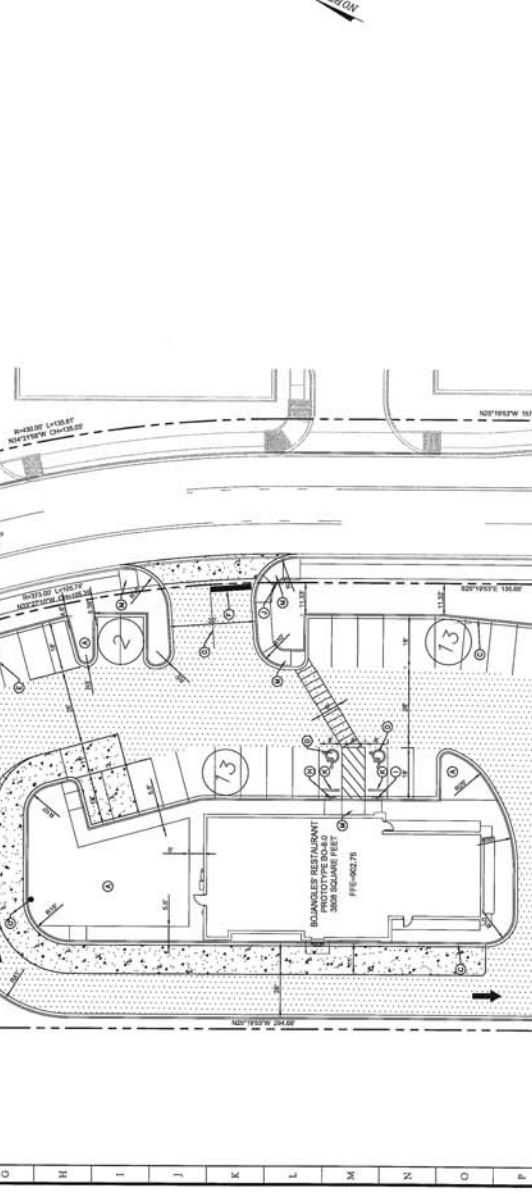
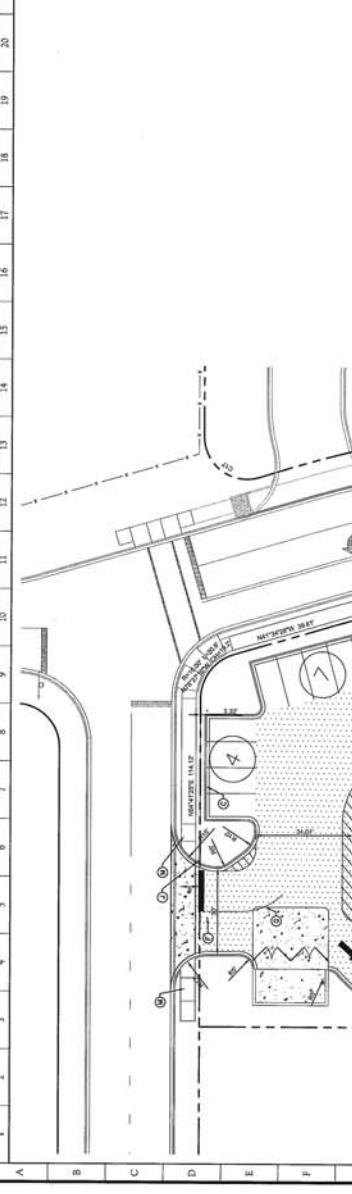
ITEM	DESCRIPTION	QUANTITY
1	STANDARD CITY ASPHALT PAVING	1000 YD
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31	CONCRETE DRIVE	1000 YD

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REFER TO SHEETS 02.2 AND 02.3 FOR SITE DETAILS.

STANDARD CITY ASPHALT PAVING:

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28	CONCRETE DRIVE	1000 YD
29	CONCRETE DRIVE	1000 YD
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31	CONCRETE DRIVE	1000 YD





**1215 Technology Drive, Suite 304
Knoxville, TN 37932
Phone: (865) 777-1160
Fax: (865) 777-1192**

Use On Review

Use On Review - Landscape Plan
Boyanich
Kingston Pike & N Cedar Bluff Road
Knoxville, Tennessee

REVISIONS	
NO.	DATE

CHECKED BY: _____ FILED: 1810 BGL-Landsc
DATE: _____

C7.0

PLANT MATERIAL SCHEDULE		
SYMBOL	CITY REFERENCE NUMBER	COMMON NAME
	B	Plant Material Not Specified
	C1	Plant Material Not Specified

LANDSCAPE REQUIREMENTS:
 1. ALL PLANT MATERIAL SPECIFIED SHALL BE AVAILABLE TO BE PLANTED IN THE PROPOSED SCHEDULED TIME FRAME FOR EACH LOT OR PARCEL OR LOT.
 2. PLANTING SCHEDULES SHALL BE PROVIDED FOR EACH LOT OR PARCEL OR LOT.
 3. PLANTING SCHEDULES SHALL BE PROVIDED FOR EACH LOT OR PARCEL OR LOT.
 4. PLANTING SCHEDULES SHALL BE PROVIDED FOR EACH LOT OR PARCEL OR LOT.
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 9. PLANTING SCHEDULES SHALL BE PROVIDED FOR EACH LOT OR PARCEL OR LOT.
 10. PLANTING SCHEDULES SHALL BE PROVIDED FOR EACH LOT OR PARCEL OR LOT.

LANDSCAPE SCHEDULE:
 VARIOUS OPEN SPACE AND DRAINAGE AREAS SHALL BE PROVIDED FOR EACH LOT OR PARCEL OR LOT.
 ALL PLANTING SHALL BE PROVIDED FOR EACH LOT OR PARCEL OR LOT.
 ALL PLANTING SHALL BE PROVIDED FOR EACH LOT OR PARCEL OR LOT.
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