

**KNOXVILLE/KNOX COUNTY METROPOLITAN PLANNING COMMISSION
 USE ON REVIEW REPORT**

▶ **FILE #:** 12-C-13-UR

AGENDA ITEM #: 35

AGENDA DATE: 12/12/2013

▶ **APPLICANT:** HORNE PROPERTIES, INC.

OWNER(S): Horne Properties, Inc.

TAX ID NUMBER: 132 02809

JURISDICTION: City Council District 2

STREET ADDRESS: N Cedar Bluff Rd

▶ **LOCATION:** East side of N. Cedar Bluff Rd., north of Kingston Pike.

▶ **APPX. SIZE OF TRACT:** 1.25 acres

SECTOR PLAN: Southwest County

GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)

ACCESSIBILITY: The primary access to the site will be via the internal access driveway system serving the Kingston Corner Subdivision with access out to N. Cedar Bluff Rd. and Kingston Pike, both of which are 6 lane median divided arterial streets at this location.

UTILITIES: Water Source: First Knox Utility District

Sewer Source: First Knox Utility District

WATERSHED: Ten Mile Creek

▶ **ZONING:** PC-1 (Retail and Office Park)

▶ **EXISTING LAND USE:** Vacant land

▶ **PROPOSED USE:** Retail shopping center

HISTORY OF ZONING: Property was rezoned to PC-1 (Retail and Office Park) on November 17, 2009.

SURROUNDING LAND USE AND ZONING: North: Vacant land (Kingston Corner Commercial Subdivision) / PC-1 (Retail and Office Park)

South: Vacant land (Kingston Corner Commercial Subdivision) / PC-1 (Retail and Office Park)

East: Vacant land (Kingston Corner Commercial Subdivision) / PC-1 (Retail and Office Park)

West: Shopping center / PC-1 (Retail and Office Park)

NEIGHBORHOOD CONTEXT: This site is located in an area that is dominated by shopping centers and general commercial uses. The zoning in the area is O-1, C-3, C-6, SC, SC-3, PC-1 and PC-2 commercial zones.

STAFF RECOMMENDATION:

▶ **APPROVE** the request for retail shops containing approximately 11,740 square feet of floor area as shown on the development plan, subject to 9 conditions

1. Connection to sanitary sewer and meeting any other relevant requirements of the Knox County Health

Department.

2. Meeting all applicable requirements of the Knoxville Zoning Ordinance.
3. An occupancy permit shall not be issued for this development until the internal access driveways serving the Kingston Corner Commercial Subdivision and any required off-site street improvements are installed by the developer and approved by the Knoxville Department of Engineering. If the driveway and street improvements are phased for the subdivision, the access driveways that adjoin this site must be completed prior to issuance of the occupancy permit.
4. An occupancy permit shall not be issued for this development until the stormwater facilities serving the Kingston Corner Commercial Subdivision and this proposed development are installed by the developer and approved by the Knoxville Department of Engineering.
5. Meeting all applicable requirements of the Knoxville Department of Engineering.
6. Installation of landscaping as shown on the landscape plan within six months of the issuance of occupancy permit for this project.
7. Meeting all applicable requirements of the Knoxville City Arborist.
8. Revising the building elevation and floor plan to create a second building frontage that would face N. Cedar Bluff Rd. The main frontage for the building faces the main entrance for the commercial subdivision off of N. Cedar Bluff Rd. (See comments below)
9. Proposed signage subject to approval by the Planning Commission staff and Knoxville's Sign Enforcement Inspector.

With the conditions noted, this plan meets the requirements for approval of a use on review in the PC-1 District.

COMMENTS:

The applicant is proposing to develop retail shops with approximately 11,740 square feet of floor area on a 1.25 acre lot that is a part of the Kingston Corner Commercial Subdivision. The site is located on the east side of N. Cedar Bluff Rd., north of Kingston Pike. While the lot has frontage along N. Cedar Bluff Rd., there will be no direct access from the site to the arterial street. Access to the site will be through the driveway network for the commercial subdivision which provides access to N. Cedar Bluff Rd. and Kingston Pike. Stormwater management for this site will be tied into the overall stormwater system for the subdivision. The applicant has submitted plans for a 9' high monument sign for the retail shops along the N. Cedar Bluff Rd. frontage.

This proposed retail center is located on a lot that has frontage on N. Cedar Bluff Rd., two entrance roads into the commercial subdivision and a main internal driveway. As proposed, the retail shops face the main entrance driveway for the commercial subdivision off of N. Cedar Bluff Rd. at the signalized intersection. This layout makes the side and rear sides of the building highly visible from N. Cedar Bluff Rd. To create a more visually appealing look, Staff has recommended a condition that the building elevation and floor plan be revised to create a second building frontage that would face N. Cedar Bluff Rd.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTIES AND THE COMMUNITY AS A WHOLE

1. All public utilities are available to serve the site.
2. The traffic impact study that had been prepared for the Kingston Corner Commercial Subdivision recommended improvements that will address the traffic impacts of this development.
3. The proposed retail shops are compatible with the scale and intensity of the surrounding development and zoning pattern.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

1. With the recommended conditions, the proposal meets all requirements of the PC-1 zoning as well as the general criteria for approval of a use on review.
2. The proposed commercial development with the recommended conditions is consistent with the following general standards for uses permitted on review: The proposal is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas since the development is located off of two arterial streets. No surrounding land uses will pose a hazard or create an unsuitable environment for the proposed use.

CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

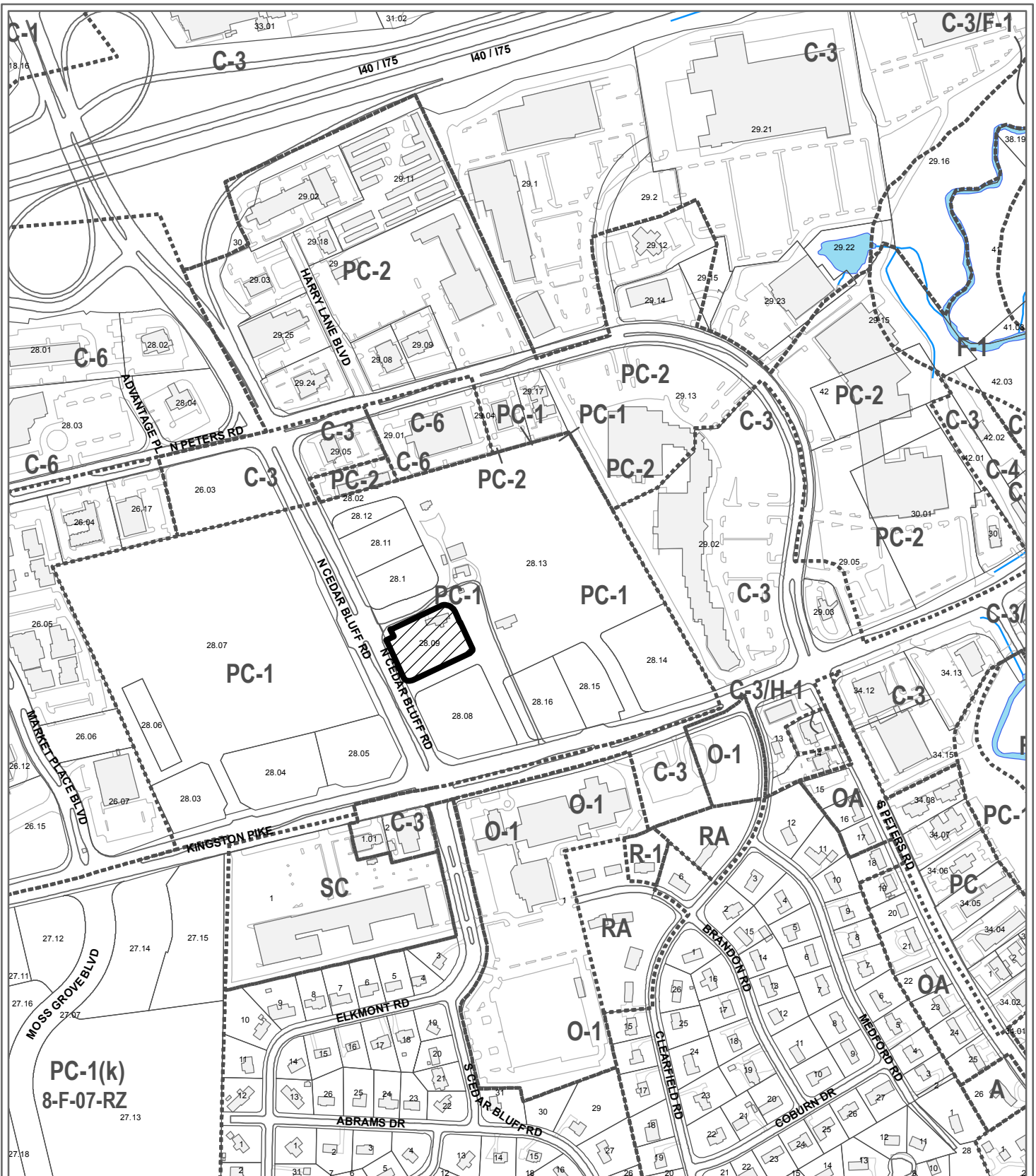
1. The Knoxville One Year Plan the Southwest County Sector Plan propose commercial use for this site.
2. The site is located within the Urban Growth Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: 477 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

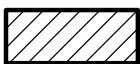
ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal an MPC decision in the City.



**12-C-13-UR
USE ON REVIEW**

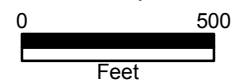
Petitioner: Home Properties, Inc.

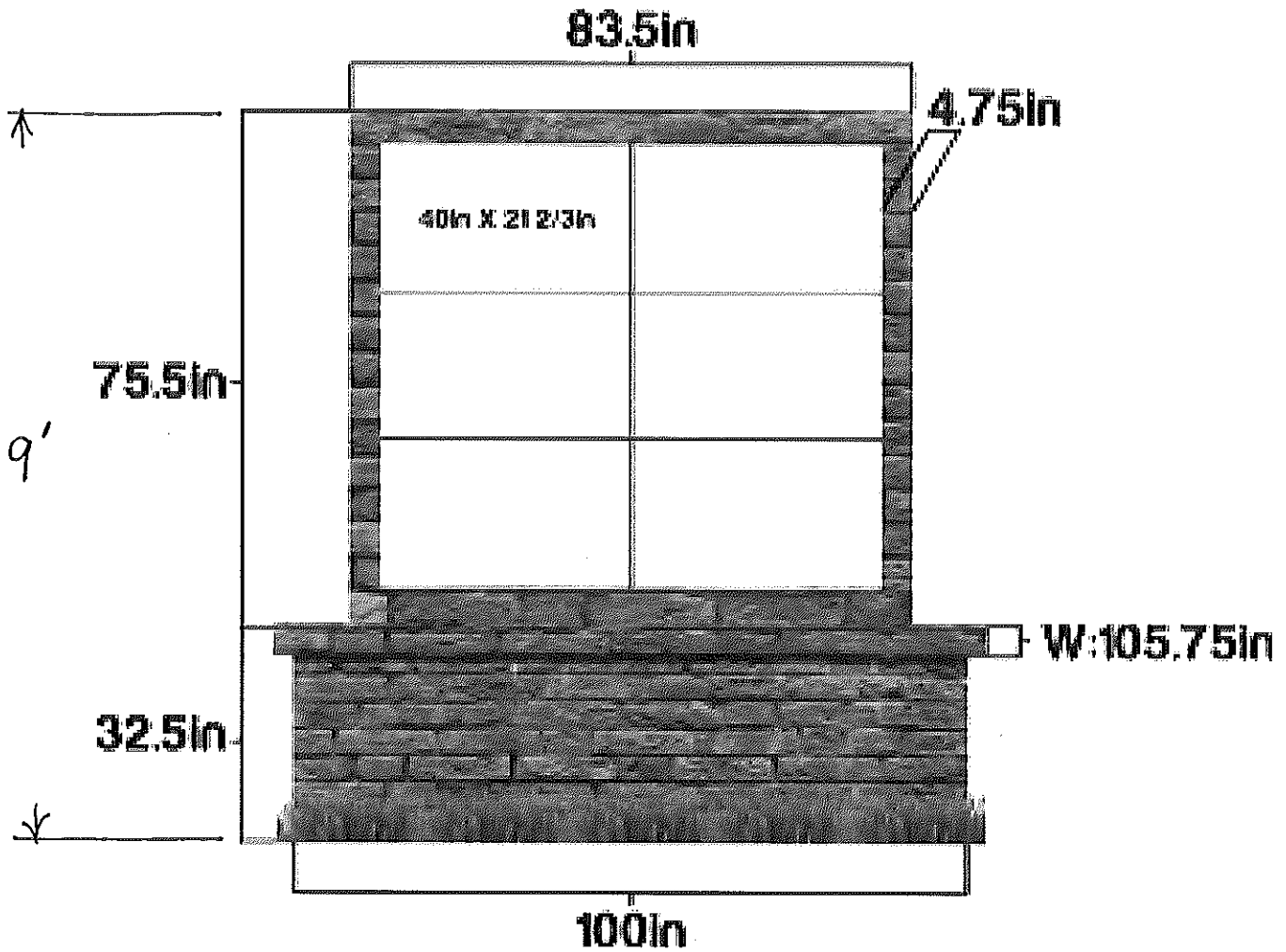


Retail shopping center in PC-1 (Retail and Office Park)

Map No: 132

Jurisdiction: City





Monument Sign

Lot #2 Retail Shops

Use on Review

10/28/13

12-C-13-UR

Vicinity Map
N.T.S.

Use on Review for Lot #2 Shops

N Cedar Bluff Road and Kingston Pike Knoxville, Tennessee

Developed By:
Home Properties, Inc.
412 N. Cedar Bluff Road, Suite 205
Knoxville, Tennessee 37923
(865) 560-1100

All necessary inspections and/or certifications required by codes and/or utility service companies shall be obtained prior to the final construction of project.

CONTACTS			
Municipality	Address	Phone	City
City of Knoxville	400 South Main, 37902	(865) 252-2448	Knoxville, TN
City of Knoxville	400 South Main, 37902	(865) 252-2448	Knoxville, TN
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NO.	DATE	REVISIONS
1	11/27/13	Revised per MFC comments

12-C-13-0A
REUSED
11-27-13

Printed ID: 139_038
Block Number: 46104

Use on Review - Cover Sheet

Developer: Home Properties, Inc.
N Cedar Bluff Road and Kingston Pike
Knoxville, Tennessee

10215 Technology Drive, Suite 308
Knoxville, TN 37922
Phone: (865) 777-4100
Fax: (865) 777-4189

INDEX TO DRAWINGS

CD	Site Plan	11/27/13
CD	Site Grading and Drainage Plan	11/27/13
CD	Site Layout Plan	11/27/13
CD	Site Elevation	11/27/13

A	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31
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Kingston Corner - Lot #2 Retail Shops
 N Cedar Bluff Road and Kingston Pike
 Knoxville, Tennessee
 Developer: Home Properties, Inc.

Use On Review - Site Layout Plan

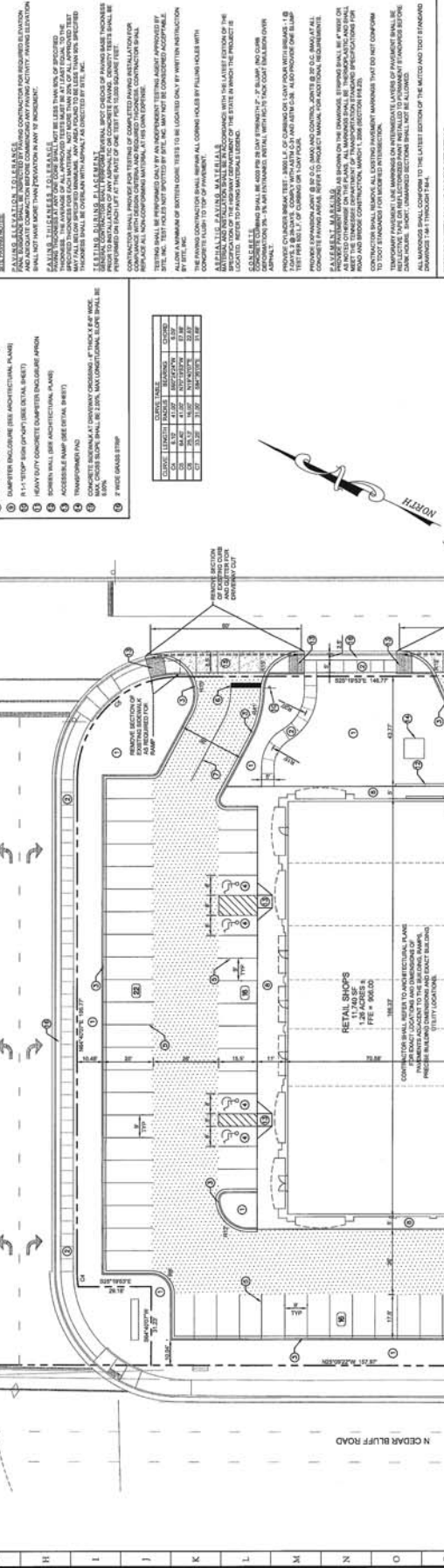
NO.	DATE	REVISIONS
1	11/27/13	REVISED PER KRC COMMENTS
2	11/27/13	REVISED PER KRC COMMENTS

CHECKED BY: [Signature] DATE: 11/27/13
 FILED: 11/10 Shop - 190113

DESIGNED BY: [Signature] DATE: 11/27/13
 DRAWN BY: [Signature] DATE: 11/27/13

C4.0

- SITE SPECIFICATIONS:**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY REGULATIONS AND CODES AND CITY STANDARDS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF KNOXVILLE, TENNESSEE, AND THE STATE OF TENNESSEE, INCLUDING BUT NOT LIMITED TO: PERMITS FOR CONSTRUCTION, UTILITIES, AND EROSION CONTROL.
 - ALL BRANDS, TYPES, AND QUANTITIES OF MATERIALS TO BE USED SHALL BE APPROVED BY THE CITY OF KNOXVILLE, TENNESSEE, AND THE STATE OF TENNESSEE.
 - ALL CONCRETE AND ASPHALT WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MTCOS AND TOST STANDARDS.
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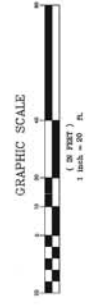


PAVING SCHEDULE:

ITEM	DESCRIPTION	THICKNESS	UNIT	REMARKS
1	STANDARD DUTY ASPHALT PAVING	4"	SQ YD	100% TYPE A CLASS A GRANULAR
2	HEAVY DUTY ASPHALT PAVING	4"	SQ YD	100% TYPE A CLASS A GRANULAR
3	PORTLAND CEMENT CONCRETE	4"	SQ YD	100% TYPE A CLASS A GRANULAR
4	HEAVY DUTY CONCRETE PAVING	4"	SQ YD	100% TYPE A CLASS A GRANULAR
5	PORTLAND CEMENT CONCRETE	4"	SQ YD	100% TYPE A CLASS A GRANULAR

REFER TO SHEET C4 AND C4B FOR SITE DETAILS.

1/2-C-13-DK
 REVISED
 11-27-13



C3.0

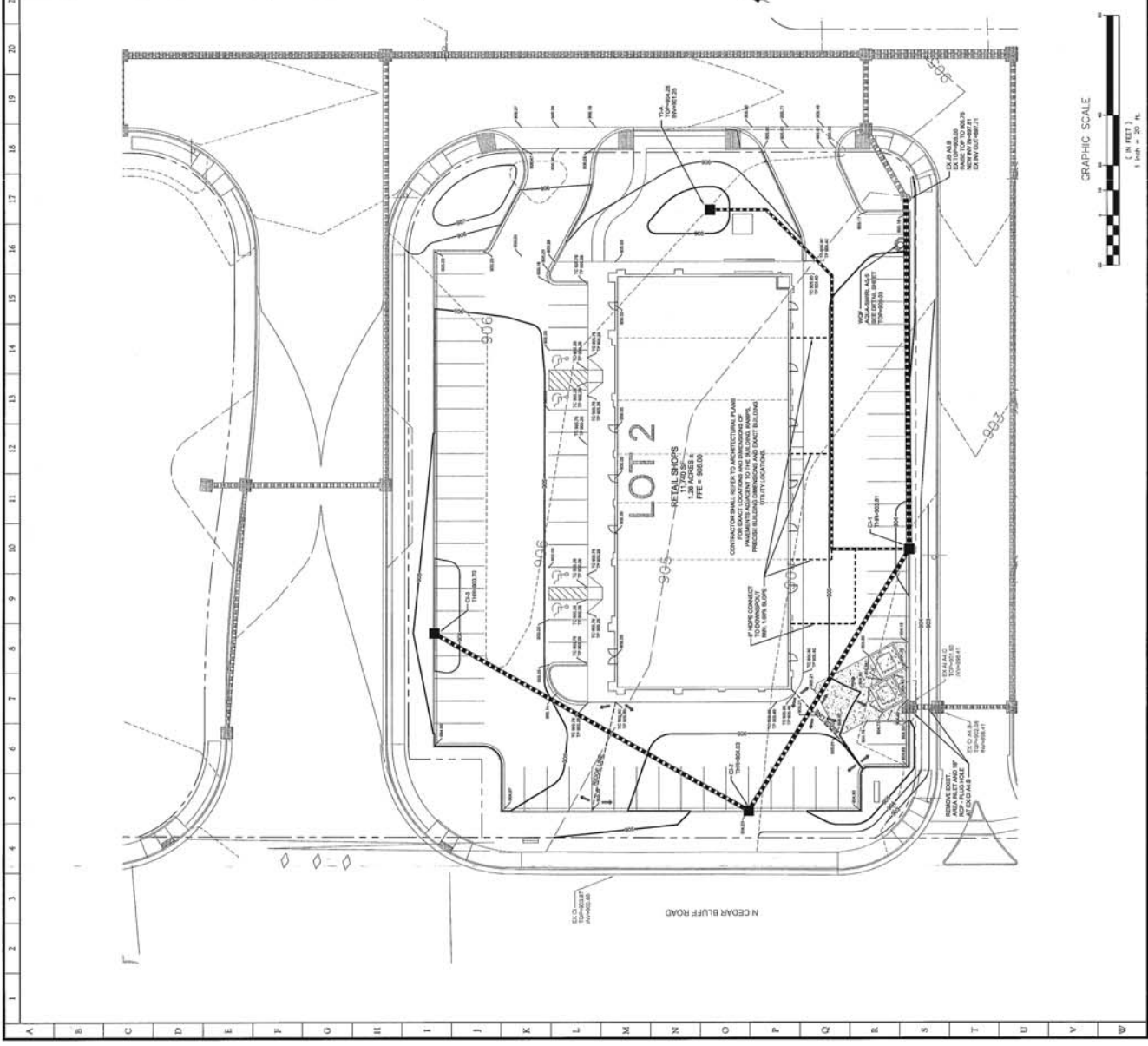
NO.	DATE	COMMENTS
1	11/27/13	REVISED
2	12/15/13	REVISED

Use On Review - Site Grading and Drainage Plan
 Kingston Corner - Lot #2 Retail Shops
 N Cedar Bluff Road and Kingston Pike
 Knoxville, Tennessee
 Developer: Home Properties, Inc.



NO.	DATE	COMMENTS
1	11/27/13	REVISED
2	12/15/13	REVISED

CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EARTHWORK REQUIRED TO PREPARE THE UNCLASSIFIED SITE TO THE LINES AND GRADES AS SHOWN ON PLANS. THIS INCLUDES, BUT IS NOT LIMITED TO, ANY QUANTITY OF EXCAVATION, FILL, GRADING, EROSION CONTROL, DISPOSAL OF UNSUITABLE MATERIAL AS REQUIRED. ALL COSTS SHALL BE INCLUDED IN OVERALL BASE BID. ALL EXCAVATION SHALL BE CONSIDERED UNCLASSIFIED.





Use On Review - Landscape Plan

NO.	DATE	REVISIONS
1	11/27/13	Revised per MPC comments

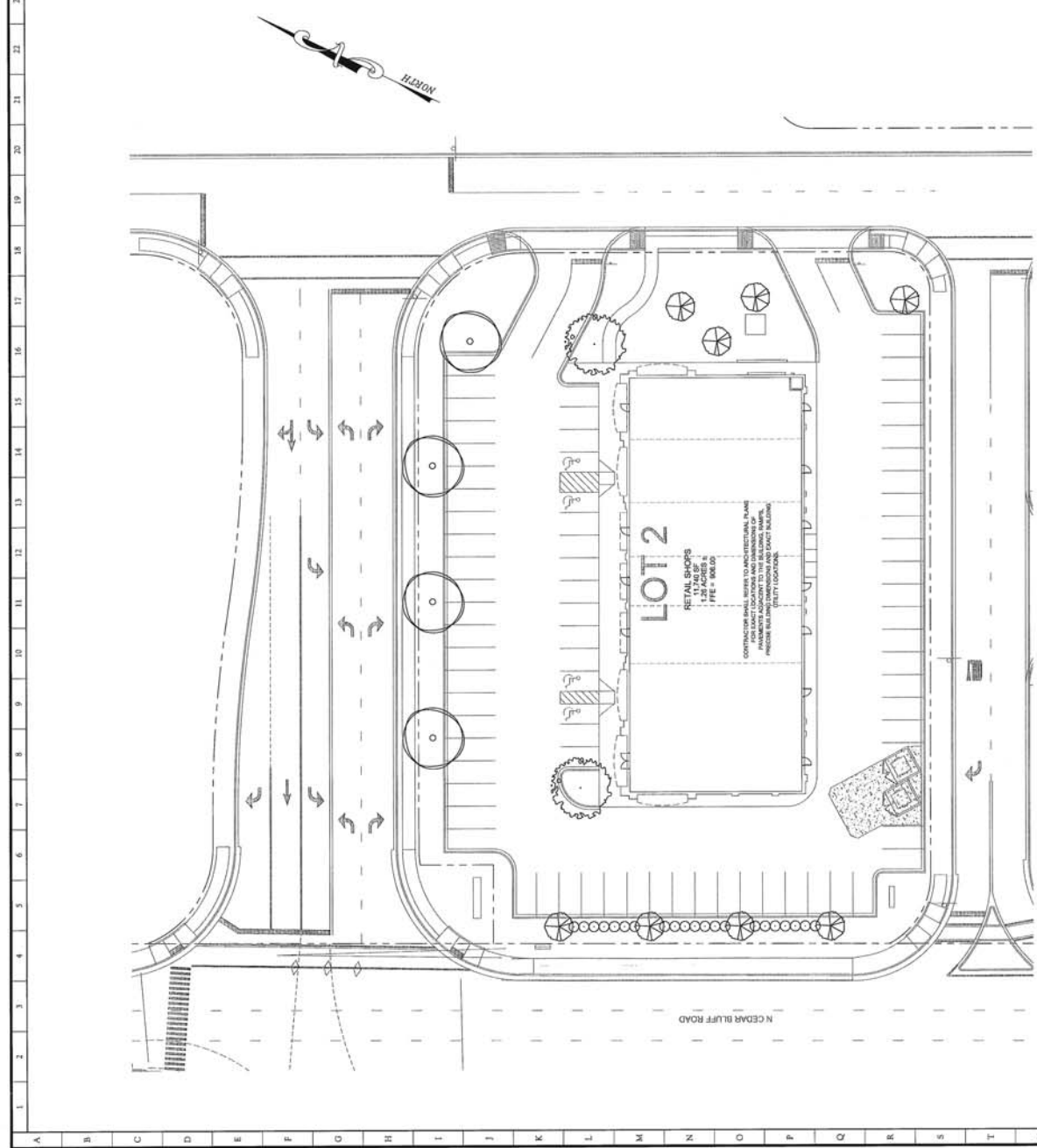
CHECKED BY: [Signature] PLS: 1810 Shop-Landscape
 DATE: 11/27/13

C6.0

SYMBOL	CITY MATERIAL SCHEDULE	COMMON NAME	SIZE
	Acer glabrum "Red Baron"	Red Baron Red Maple	2" CALIPER
	Malus melanocarpa "Empire State"	Empire State Malus	2" CALIPER
	Ligustrum "Vandalia"	Vandalia Ligustrum	1 1/2" DBH @ 4' HEIGHT
	Prunella lauro-coccinea "Old Lady"	Old Lady Laurel	1/2" DBH @ 4' HEIGHT AND SPREAD

- LANDSCAPE REQUIREMENTS:**
- MAINTAIN OPEN SPACE AND CHANGE AREAS. LANDSCAPING OR MAINTENANCE IN PROPOSED AREAS SHALL BE COMPLETED WITHIN 12 MONTHS OF THE DATE OF THE PERMITTING AGENCY'S APPROVAL OF THIS PLAN. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING TREES AND SHRUBS TO REMAIN AND SHALL PROTECT THEM FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND SHALL PROTECT THEM FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND SHALL PROTECT THEM FROM DAMAGE DURING CONSTRUCTION.
 - PLANTING AREAS SHALL BE 100% PLANTED WITHIN 12 MONTHS OF THE DATE OF THE PERMITTING AGENCY'S APPROVAL OF THIS PLAN. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING TREES AND SHRUBS TO REMAIN AND SHALL PROTECT THEM FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND SHALL PROTECT THEM FROM DAMAGE DURING CONSTRUCTION.
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- LANDSCAPE DATA:**
- 5.00 SF PLANTING AREA
 - 4 TREES PROVIDED
 - 10.00 SF PLANTING AREA
 - 8 TREES PROVIDED
 - 20.00 SF PLANTING AREA
 - 16 TREES PROVIDED
 - 40.00 SF PLANTING AREA
 - 32 TREES PROVIDED



12-C-13-UR
 REVISION
 11-27-13

Tennessee811
 Know what's below. Call before you dig.

