

▶ **FILE #:** 11-C-13-UR

AGENDA ITEM #: 36

AGENDA DATE: 11/14/2013

▶ **APPLICANT:** BRANDON BARRETT (ZAXBY'S)

OWNER(S): Barrett Development Group

TAX ID NUMBER: 132 PART OF 028

JURISDICTION: City Council District 2

STREET ADDRESS: 9175 Kingston Pike

▶ **LOCATION:** East side of N. Cedar Bluff Rd., north of Kingston Pike.

▶ **APPX. SIZE OF TRACT:** 0.96 acres

SECTOR PLAN: Southwest County

GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)

ACCESSIBILITY: The primary access to the site will be via the internal access driveway system serving the Kingston Corner Subdivision with access out to N. Cedar Bluff Rd. and Kingston Pike, both of which are 6 lane median divided arterial streets at this location.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Ten Mile Creek

▶ **ZONING:** PC-1 (Retail and Office Park)

▶ **EXISTING LAND USE:** Vacant land

▶ **PROPOSED USE:** Restaurant

HISTORY OF ZONING: Property was rezoned to PC-1 (Retail and Office Park) on November 17, 2009.

SURROUNDING LAND USE AND ZONING: North: Vacant land (Kingston Corner Commercial Subdivision) / PC-1 (Retail and Office Park)

South: Vacant land (Kingston Corner Commercial Subdivision) / PC-1 (Retail and Office Park)

East: Vacant land (Kingston Corner Commercial Subdivision) / PC-1 (Retail and Office Park)

West: Shopping center / PC-1 (Retail and Office Park)

NEIGHBORHOOD CONTEXT: This site is located in an area that is dominated by shopping centers and general commercial uses. The zoning in the area is O-1, C-3, C-6, SC, SC-3, PC-1 and PC-2 commercial zones.

STAFF RECOMMENDATION:

▶ **APPROVE** the request for a restaurant containing approximately 3,847 square feet of floor area as shown on the development plan, subject to 8 conditions

1. Connection to sanitary sewer and meeting any other relevant requirements of the Knox County Health

Department.

2. Meeting all applicable requirements of the Knoxville Zoning Ordinance
3. An occupancy permit shall not be issued for this development until the internal access driveways serving the Kingston Corner Commercial Subdivision and any required off-site street improvements are installed by the developer and approved by the Knoxville Department of Engineering. If the driveway and street improvements are phased for the subdivision, the access driveways that adjoin this site must be completed prior to issuance of the occupancy permit.
4. An occupancy permit shall not be issued for this development until the stormwater facilities serving the Kingston Corner Commercial Subdivision and this proposed development are installed by the developer and approved by the Knoxville Department of Engineering.
5. Meeting all applicable requirements of the Knoxville Department of Engineering.
6. Installation of landscaping as shown on the landscape plan within six months of the issuance of occupancy permit for this project.
7. Meeting all applicable requirements of the Knoxville City Arborist.
8. Proposed signage subject to approval by the Planning Commission staff and Knoxville's Sign Enforcement Inspector.

With the conditions noted, this plan meets the requirements for approval of a use on review in the PC-1 District.

COMMENTS:

The applicant is proposing to develop a Zaxby's restaurant with approximately 3,847 square feet of floor area on a 0.96 acre lot that is a part of the Kingston Corner Commercial Subdivision. The site is located on the east side of N. Cedar Bluff Rd., north of Kingston Pike. While the lot has frontage along N. Cedar Bluff Rd., there will be no direct access from the site to the arterial street. Access to the site will be through the driveway network for the commercial subdivision which provides access to N. Cedar Bluff Rd. and Kingston Pike. Stormwater management for this site will be tied into the overall stormwater system for the subdivision.

The applicant has submitted plans for a 12' high monument sign for the restaurant along the N. Cedar Bluff Rd frontage.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTIES AND THE COMMUNITY AS A WHOLE

1. All public utilities are available to serve the site.
2. The traffic impact study that had been prepared for the Kingston Corner Commercial Subdivision recommended improvements that will address the traffic impacts of this development.
3. The proposed restaurant is compatible with the scale and intensity of the surrounding development and zoning pattern.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

1. With the recommended conditions, the proposal meets all requirements of the PC-1 zoning as well as the general criteria for approval of a use on review.
2. The proposed commercial development with the recommended conditions is consistent with the following general standards for uses permitted on review: The proposal is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas since the development is located off of two arterial streets. No surrounding land uses will pose a hazard or create an unsuitable environment for the proposed use.

CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

1. The Knoxville One Year Plan the Southwest County Sector Plan propose commercial use for this site.
2. The site is located within the Urban Growth Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT 501 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal an MPC decision in the City.



**11-C-13-UR
USE ON REVIEW**

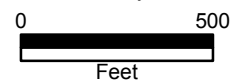


Restaurant in PC-1 (Retail and Office Park)

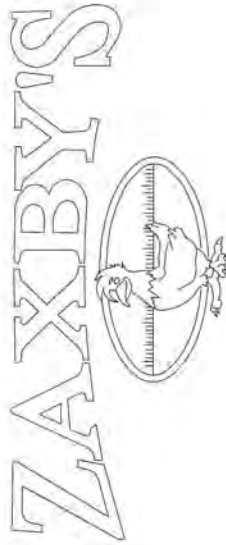
Original Print Date: 10/30/2013 Revised:
Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

Petitioner: Brandon Barrett (Zaxby's)

Map No: 132
Jurisdiction: City



SITE DEVELOPMENT PLANS



FOR

BARRETT DEVELOPMENT GROUP

LOT 4, KINGSTON CORNERS
 CEDAR BLUFF ROAD
 PARCEL NO.: 132 028
 CITY OF KNOXVILLE, TENNESSEE

AUGUST 21, 2013



LOCATION MAP
 SCALE N.T.S.



SHEET INDEX	
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	SITE PLAN
3	UTILITY PLAN
4	GRADING & DRAINAGE PLAN
5	SNPPP PLAN
6	SNPPP DETAILS
7	PIPE PROFILES
8	STANDARD DETAILS
9	ADA ACCESS PLAN
10	LANDSCAPE PLAN
11	IRRIGATION PLAN
12	MENU BOARD DETAILS
13	OUTDOOR LIGHTING PLAN
14	SIGNAGE DETAILS
A105	EXTERIOR ELEVATIONS (FRONT AND REAR)
A106	EXTERIOR ELEVATIONS (LEFT AND RIGHT)

REVISION BLOCK		
REV. NO.	DATE	DESCRIPTION
A	08/21/13	INITIAL SUBMITTAL
B	08/16/13	ADDRESS OWNER COMMENT:
C	08/30/13	KNOXVILLE SUBMITTAL
D	10/23/13	ADDRESS KNOXVILLE COMMENT



Carter Engineering Consultants, Inc.
 1551 Jennings Mill Rd
 Bogart, GA 30822
 P: 706.556.7430
 F: 706.556.7435
 www.carterengineering.net

24-HOUR CONTACT:
 BRANDON BARRETT (706) 353-7627



11-C 13-UK
 REVIEWED
 /B-D-13

SITE DEVELOPMENT PLANS
 OF
ZAXBY'S
 BARRETT DEVELOPMENT GROUP
 0.19 ACRES
 KNOXVILLE, TN

EXHIBIT A - CONSTRUCTION SPECIFICATIONS

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR HIGHWAYS, BRIDGES, AND STRUCTURES, AS APPLICABLE, AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, AS APPLICABLE, AND THE STANDARD SPECIFICATIONS FOR UTILITIES, AS APPLICABLE, AND THE STANDARD SPECIFICATIONS FOR WATER SUPPLY SYSTEMS, AS APPLICABLE, AND THE STANDARD SPECIFICATIONS FOR SEWERAGE AND SANITATION SYSTEMS, AS APPLICABLE, AND THE STANDARD SPECIFICATIONS FOR TELECOMMUNICATIONS SYSTEMS, AS APPLICABLE, AND THE STANDARD SPECIFICATIONS FOR TRANSPORTATION SYSTEMS, AS APPLICABLE, AND THE STANDARD SPECIFICATIONS FOR AIRPORTS, AS APPLICABLE, AND THE STANDARD SPECIFICATIONS FOR MARINE STRUCTURES, AS APPLICABLE, AND THE STANDARD SPECIFICATIONS FOR PORTS AND WAREHOUSES, AS APPLICABLE, AND THE STANDARD SPECIFICATIONS FOR INDUSTRIAL STRUCTURES, AS APPLICABLE, AND THE STANDARD SPECIFICATIONS FOR PETROLEUM STRUCTURES, AS APPLICABLE, AND THE STANDARD SPECIFICATIONS FOR POWER PLANTS, AS APPLICABLE, AND THE STANDARD SPECIFICATIONS FOR WATER TREATMENT PLANTS, AS APPLICABLE, AND THE STANDARD SPECIFICATIONS FOR WASTE TREATMENT PLANTS, AS APPLICABLE, AND THE STANDARD SPECIFICATIONS FOR AIR POLLUTION CONTROL DEVICES, AS APPLICABLE, AND THE STANDARD SPECIFICATIONS FOR NOISE ABATEMENT DEVICES, AS APPLICABLE, AND THE STANDARD SPECIFICATIONS FOR VIBRATION ABATEMENT DEVICES, AS APPLICABLE, AND THE STANDARD SPECIFICATIONS FOR EROSION CONTROL DEVICES, AS APPLICABLE, AND THE STANDARD SPECIFICATIONS FOR LANDSLIDE PROTECTION DEVICES, AS APPLICABLE, AND THE STANDARD SPECIFICATIONS FOR FLOOD PROTECTION DEVICES, AS APPLICABLE, AND THE STANDARD SPECIFICATIONS FOR TERRORISM PROTECTION DEVICES, AS APPLICABLE, AND THE STANDARD SPECIFICATIONS FOR OTHER SPECIALTY DEVICES, AS APPLICABLE.

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CONSTRUCTION NOTES

1. THE DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED TO CONSTITUTE THE ENTIRE CONTRACT DOCUMENTS FOR THIS PROJECT. ANY AMBIGUITY OR CONFLICT SHALL BE RESOLVED BY THE ARCHITECT'S INTERPRETATION OF THE INTENT OF THE DOCUMENTS.

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES.

3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES DURING THE CONSTRUCTION PROCESS.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.

5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PROCESS.

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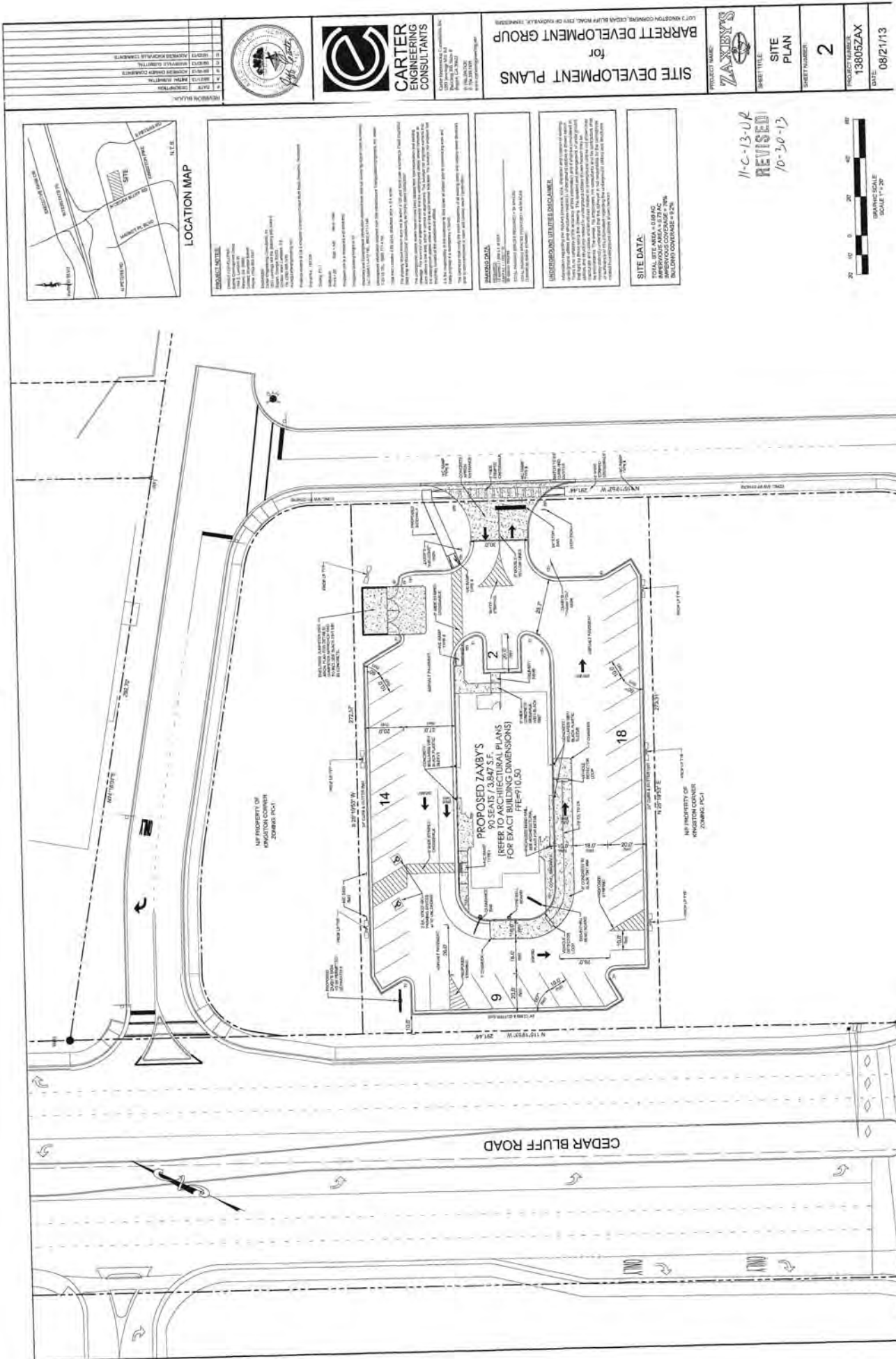
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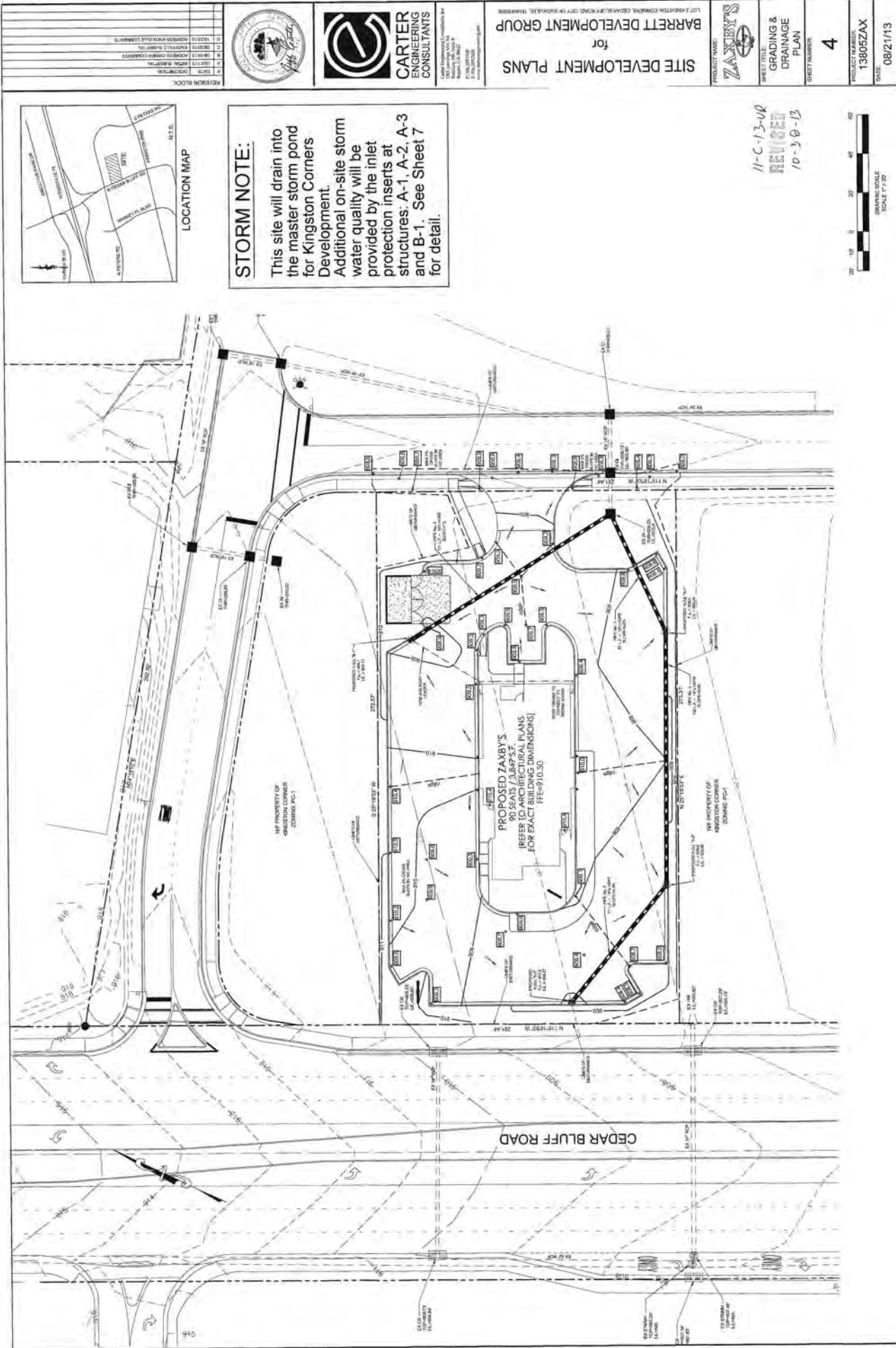
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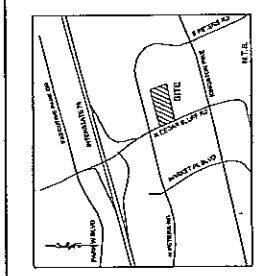
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CARTER ENGINEERING CONSULTANTS
 1011 Highway 104, Suite 104
 Raleigh, NC 27615
 P: 919.877.9300
 F: 919.877.9301
 www.carter-engineering.com

SITE DEVELOPMENT PLANS
 for
BARRETT DEVELOPMENT GROUP
 101 FARMINGTON CORNERS, CEDAR BLUFF ROAD, CITY OF KINGSFORD, VIRGINIA

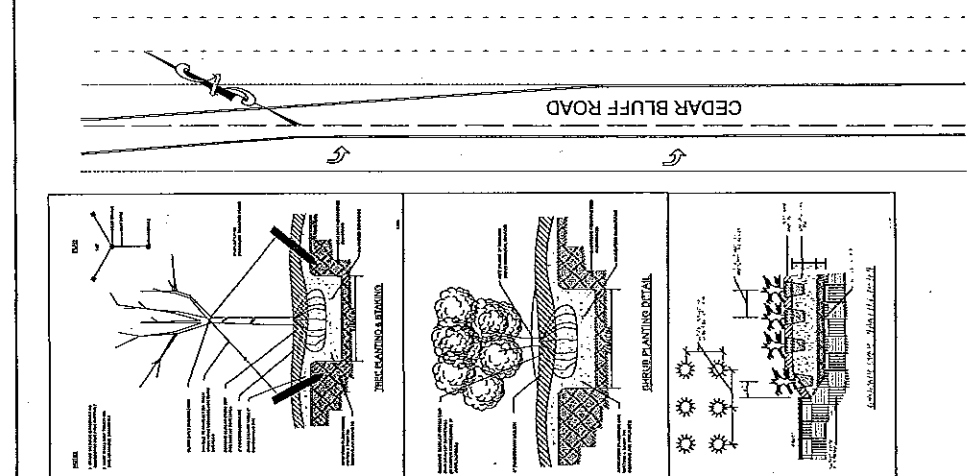
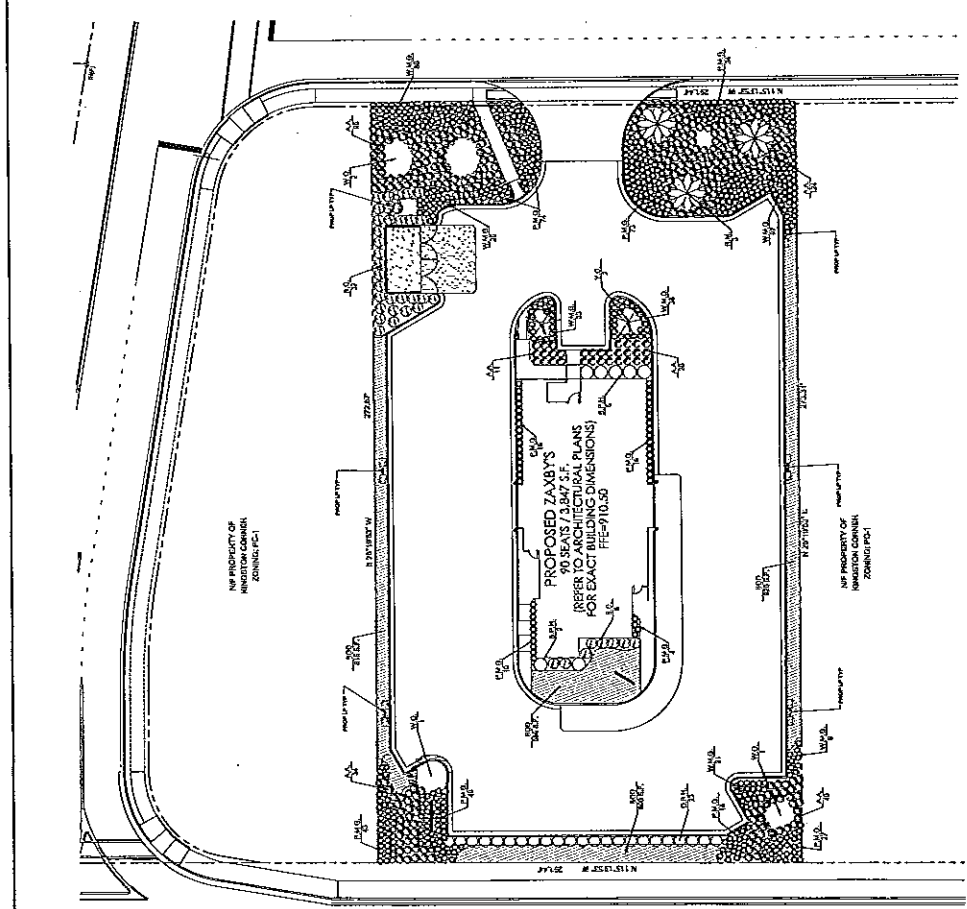
ZAXBY'S
 PROJECT NAME:
 SHEET TITLE:
GRADING & DRAINAGE PLAN
 PLAN
 SHEET NUMBER:
4
 PROJECT NUMBER:
13805ZAX
 DATE:
08/21/13



LANDSCAPE CALCULATIONS

1. OPEN SPACE: 10,000 S.F.
 2. TREES: 10
 3. SHRUBS: 20
 4. PERENNIALS: 100
 5. ANNUALS: 100
 6. MULCH: 100 S.F.
 7. IRRIGATION: 100 S.F.

- NOTES:**
1. LANDSCAPE CALCULATIONS: THIS PLAN SHALL BE SUBMITTED IN COMPLIANCE WITH CITY ORDINANCE 11-C-13-UR.
 2. TREES AND SHRUBS TO BE PLANTED SHALL BE PLANTED WITHIN THE OPEN SPACE AREAS AND SHALL BE PLANTED IN ACCORDANCE WITH THE CITY ORDINANCE 11-C-13-UR.
 3. ALL TREES TO BE PLANTED SHALL BE PLANTED IN ACCORDANCE WITH THE CITY ORDINANCE 11-C-13-UR.
 4. ALL PERENNIALS AND ANNUALS SHALL BE PLANTED IN ACCORDANCE WITH THE CITY ORDINANCE 11-C-13-UR.
 5. ALL MULCH AND IRRIGATION SHALL BE PLANTED IN ACCORDANCE WITH THE CITY ORDINANCE 11-C-13-UR.
 6. ALL PERENNIALS AND ANNUALS SHALL BE PLANTED IN ACCORDANCE WITH THE CITY ORDINANCE 11-C-13-UR.
 7. IRRIGATION SHALL BE PROVIDED.



11-C-13-UR
 11-5-13
 SCALE: 1" = 20'
 0' 12' 24' 36' 48'

Plant Name	Common Name	Key	Size - Units	Quantity	Location
Redwood	Redwood	SRD	2,000 S.F.		
White Oak	White Oak	W.O.	18" High	305	3,0 S.E.
Black Oak	Black Oak	B.O.	18" High	305	3,0 S.E.
Red Oak	Red Oak	R.O.	18" High	305	3,0 S.E.
White Birch	White Birch	W.B.	24" High	71	4, 9 S.E.
Black Birch	Black Birch	B.B.	24" High	71	4, 9 S.E.
Red Birch	Red Birch	R.B.	24" High	71	4, 9 S.E.
White Pine	White Pine	W.P.	2" Diameter	4	SIT PLAN
Black Pine	Black Pine	B.P.	2" Diameter	3	SIT PLAN
Red Pine	Red Pine	R.P.	2" Diameter	3	SIT PLAN
White Cherry	White Cherry	W.C.			

1	DATE	DESCRIPTION
2	DESIGN	DESIGN
3	REVISIONS	REVISIONS
4	APPROVED	APPROVED
5	PROJECT	PROJECT
6	CLIENT	CLIENT
7	LOCATION	LOCATION
8	SCALE	SCALE
9	SHEET	SHEET
10	TITLE	TITLE

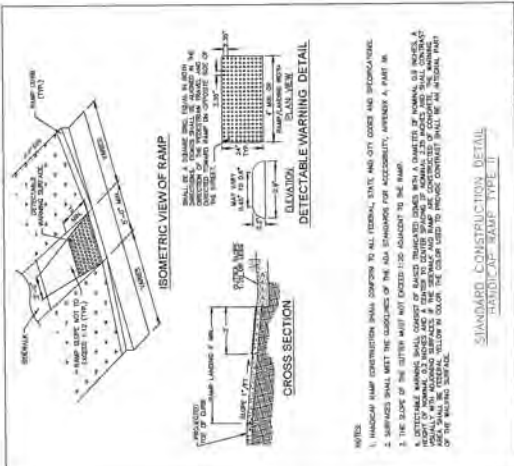


CARTER ENGINEERING CONSULTANTS
 1000 Highway 40
 Nashville, TN 37203
 Phone: (615) 252-1000
 Fax: (615) 252-1001
 www.cartereng.com

BARRETT DEVELOPMENT GROUP
 for
SITE DEVELOPMENT PLANS

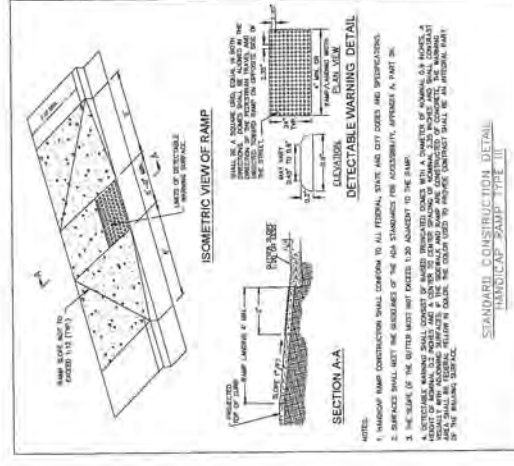
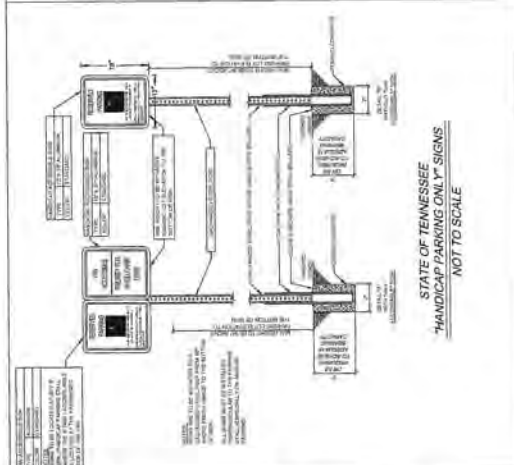
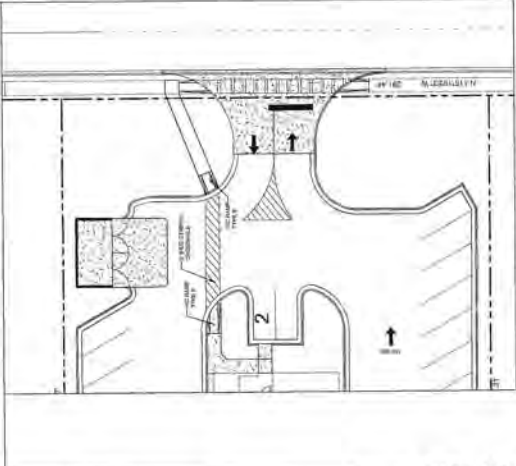
PROJECT NUMBER: **13805ZAX**
 DATE: **08/21/13**
 SHEET NUMBER: **9**
 PROJECT TITLE: **ADA ACCESS PLAN**

11-C-13-06
 REVISED
 /0-30-13



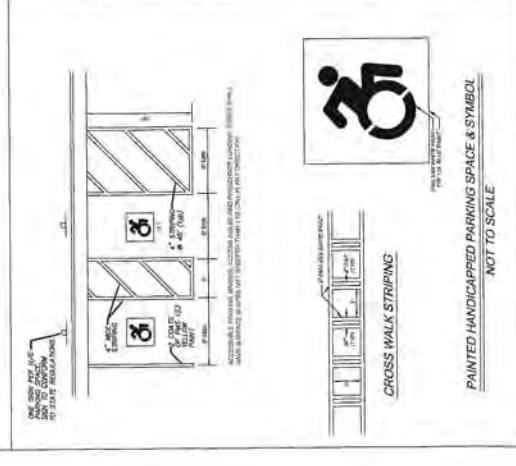
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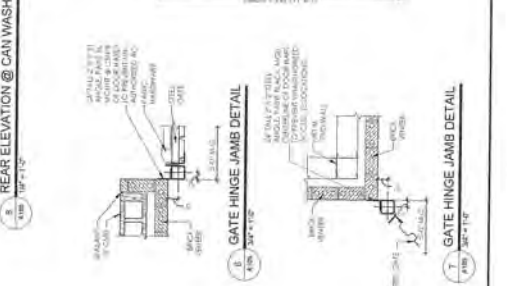
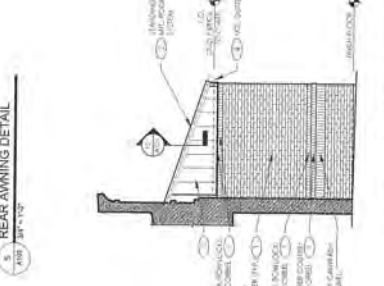
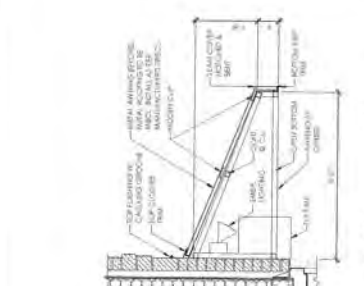
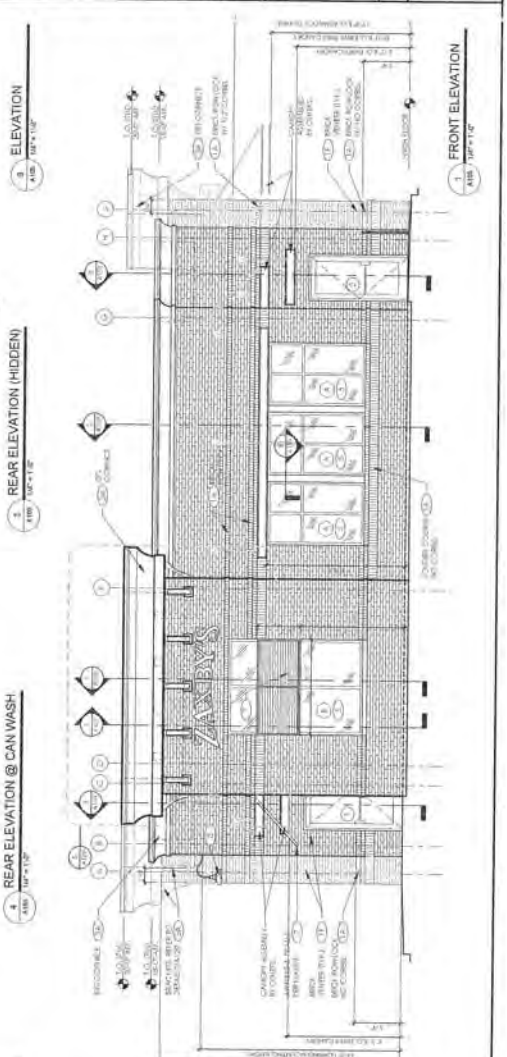
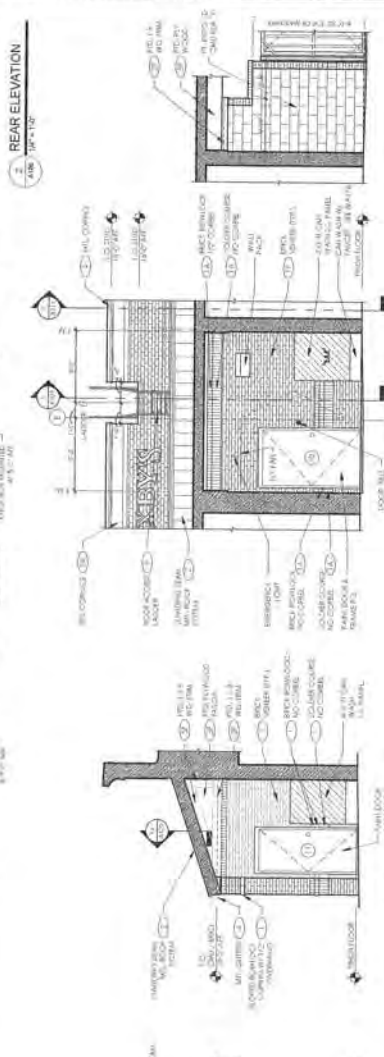
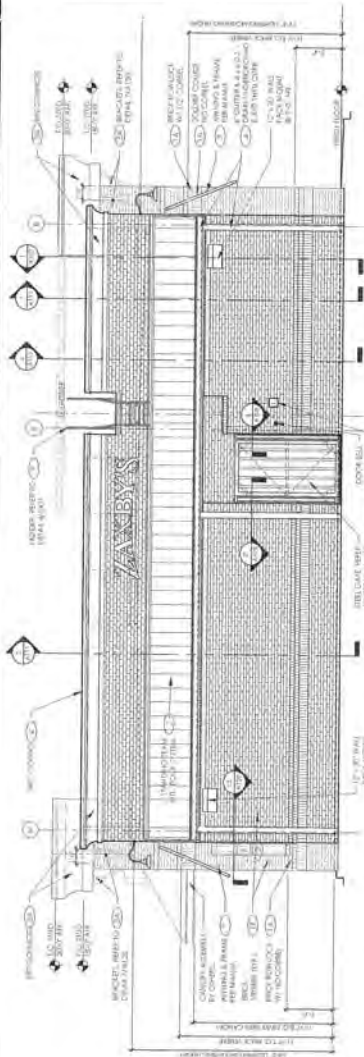
- HANDICAP RAMP CONSTRUCTION SHALL CONFORM TO ALL FEDERAL, STATE AND CITY CODES AND REGULATIONS.
- SURFACES SHALL MEET THE SURFACES OF THE ADA STANDARDS FOR ACCESSIBILITY, APPENDIX A, PART III.
- THE SLOPE OF THE RAMP SHALL NOT EXCEED 1:12 ADJACENT TO THE RAMP.
- UNDETECTABLE WARNING SHALL CONSIST OF RAISED, PROTRUSIVE DOMES WITH A MINIMUM HEIGHT OF 0.15" TO 0.25" AND A SPACING OF 24" TO 30" IN ANY DIRECTION. THE SURFACE SHALL BE FINISHED WITH A NON-SLIP SURFACE.



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EXTERIOR FINISH SCHEDULE

1. BRICK: BRICK, COMMON, 8" X 8" X 16", FACE BRICK, 1/2" MORTAR JOINTS, 1/2" SAND

2. BRICK: BRICK, COMMON, 8" X 8" X 16", FACE BRICK, 1/2" MORTAR JOINTS, 1/2" SAND

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20. BRICK: BRICK, COMMON, 8" X 8" X 16", FACE BRICK, 1/2" MORTAR JOINTS, 1/2" SAND

ATTACHMENT	LOCATION	AREA	FINISH	QTY	UNIT	PRICE	TOTAL
1	BRICK	1000	BRICK	1000	SQ. FT.	1.00	1000.00
2	BRICK	1000	BRICK	1000	SQ. FT.	1.00	1000.00
3	BRICK	1000	BRICK	1000	SQ. FT.	1.00	1000.00
4	BRICK	1000	BRICK	1000	SQ. FT.	1.00	1000.00
5	BRICK	1000	BRICK	1000	SQ. FT.	1.00	1000.00
6	BRICK	1000	BRICK	1000	SQ. FT.	1.00	1000.00
7	BRICK	1000	BRICK	1000	SQ. FT.	1.00	1000.00
8	BRICK	1000	BRICK	1000	SQ. FT.	1.00	1000.00
9	BRICK	1000	BRICK	1000	SQ. FT.	1.00	1000.00
10	BRICK	1000	BRICK	1000	SQ. FT.	1.00	1000.00
11	BRICK	1000	BRICK	1000	SQ. FT.	1.00	1000.00
12	BRICK	1000	BRICK	1000	SQ. FT.	1.00	1000.00
13	BRICK	1000	BRICK	1000	SQ. FT.	1.00	1000.00
14	BRICK	1000	BRICK	1000	SQ. FT.	1.00	1000.00
15	BRICK	1000	BRICK	1000	SQ. FT.	1.00	1000.00
16	BRICK	1000	BRICK	1000	SQ. FT.	1.00	1000.00
17	BRICK	1000	BRICK	1000	SQ. FT.	1.00	1000.00
18	BRICK	1000	BRICK	1000	SQ. FT.	1.00	1000.00
19	BRICK	1000	BRICK	1000	SQ. FT.	1.00	1000.00
20	BRICK	1000	BRICK	1000	SQ. FT.	1.00	1000.00

GATE HINGE JAMB DETAIL

1. BRICK: BRICK, COMMON, 8" X 8" X 16", FACE BRICK, 1/2" MORTAR JOINTS, 1/2" SAND

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1 SIDE ELEVATION
1/4" = 1'-0"

2 SIDE ELEVATION
1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE

1. INTERIORS: WALL, CEILING, CORNER, DOOR, WINDOW, CROWN MOULDING, BASEBOARD, TRIM, CASEWORK, CABINETS, ISLAND, STAIRS, ETC.

2. EXTERIORS: WALL, CEILING, CORNER, DOOR, WINDOW, CROWN MOULDING, BASEBOARD, TRIM, CASEWORK, CABINETS, ISLAND, STAIRS, ETC.

3. METALS: WALL, CEILING, CORNER, DOOR, WINDOW, CROWN MOULDING, BASEBOARD, TRIM, CASEWORK, CABINETS, ISLAND, STAIRS, ETC.

4. GLASS: WALL, CEILING, CORNER, DOOR, WINDOW, CROWN MOULDING, BASEBOARD, TRIM, CASEWORK, CABINETS, ISLAND, STAIRS, ETC.

5. FINISHES: WALL, CEILING, CORNER, DOOR, WINDOW, CROWN MOULDING, BASEBOARD, TRIM, CASEWORK, CABINETS, ISLAND, STAIRS, ETC.

6. PAINTS: WALL, CEILING, CORNER, DOOR, WINDOW, CROWN MOULDING, BASEBOARD, TRIM, CASEWORK, CABINETS, ISLAND, STAIRS, ETC.

7. ROOFING: WALL, CEILING, CORNER, DOOR, WINDOW, CROWN MOULDING, BASEBOARD, TRIM, CASEWORK, CABINETS, ISLAND, STAIRS, ETC.

8. FLOORING: WALL, CEILING, CORNER, DOOR, WINDOW, CROWN MOULDING, BASEBOARD, TRIM, CASEWORK, CABINETS, ISLAND, STAIRS, ETC.

9. MECHANICAL: WALL, CEILING, CORNER, DOOR, WINDOW, CROWN MOULDING, BASEBOARD, TRIM, CASEWORK, CABINETS, ISLAND, STAIRS, ETC.

10. ELECTRICAL: WALL, CEILING, CORNER, DOOR, WINDOW, CROWN MOULDING, BASEBOARD, TRIM, CASEWORK, CABINETS, ISLAND, STAIRS, ETC.

11. PLUMBING: WALL, CEILING, CORNER, DOOR, WINDOW, CROWN MOULDING, BASEBOARD, TRIM, CASEWORK, CABINETS, ISLAND, STAIRS, ETC.

12. SPECIALTIES: WALL, CEILING, CORNER, DOOR, WINDOW, CROWN MOULDING, BASEBOARD, TRIM, CASEWORK, CABINETS, ISLAND, STAIRS, ETC.

13. ACCESSORIES: WALL, CEILING, CORNER, DOOR, WINDOW, CROWN MOULDING, BASEBOARD, TRIM, CASEWORK, CABINETS, ISLAND, STAIRS, ETC.

3 DECORATIVE METAL GUARD RAIL
1/4" = 1'-0"

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE
1	STEEL GUARD RAIL	100	LINEAL FEET	15.00
2	POSTS	10	EACH	120.00
3	BRACKET	10	EACH	10.00
4	FLANGE	10	EACH	5.00
5	WASHER	10	EACH	2.00
6	NUT	10	EACH	2.00
7	SCREW	10	EACH	2.00
8	ANCHOR BOLT	10	EACH	5.00
9	CONCRETE PATCH	10	SQ. YD.	10.00
10	PAINT	10	GAL.	5.00
11	LABOR	10	HOUR	15.00
12	PERMIT	1	PERMIT	500.00
13	TOTAL			1050.00

PROJECT TITLE ZAXBY'S	PROJECT NUMBER 13805ZAX
SHEET TITLE SIGNAGE DETAILS	DATE 08/21/13
SHEET NUMBER 14	
BARRETT DEVELOPMENT GROUP for SITE DEVELOPMENT PLANS	
CARTER ENGINEERING CONSULTANTS	
1871 HOUSTON CENTER, DEPT. 400, SUITE 400, HOUSTON, TEXAS 77002	
11-C-13-UR 11-5-13	

