

**KNOXVILLE/KNOX COUNTY METROPOLITAN PLANNING COMMISSION
 USE ON REVIEW REPORT**

▶ **FILE #:** 6-B-14-UR

AGENDA ITEM #: 41

AGENDA DATE: 6/12/2014

▶ **APPLICANT:** PRESBYTERIAN HOMES OF TENNESSEE, INC.

OWNER(S): Presbyterian Homes of Tennessee, Inc

TAX ID NUMBER: 106 O B 005 & 008

JURISDICTION: City Council District 2

STREET ADDRESS: 7522 Middlebrook Pike

▶ **LOCATION:** South side of Middlebrook Pk., east of Connie Rd.

▶ **APPX. SIZE OF TRACT:** 27.6 acres

SECTOR PLAN: Northwest City

GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)

ACCESSIBILITY: Access is via Middlebrook , a four lane median divided major arterial street

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Ten Mile Creek

▶ **ZONING:** R-2 (General Residential)

▶ **EXISTING LAND USE:** Vacant

▶ **PROPOSED USE:** Nursing home expansion

HISTORY OF ZONING: None noted

SURROUNDING LAND USE AND ZONING: North: Retail & mobile home park / C-1 commercial & R-2 residential

South: Detached dwellings / R-1 residential

East: Nursing facility / R-2 residential

West: Detached dwellings / R-1 residential

NEIGHBORHOOD CONTEXT: Property in the area is zoned C-1 commercial and R-2 and RP-1 residential. Development consists of neighborhood businesses, apartments, a mobile home park and detached dwellings

STAFF RECOMMENDATION:

▶ **APPROVE the request for the expansion of the nursing home/assisted living facility as shown on the site plan subject to 6 conditions**

1. Meeting all applicable requirements of the Knoxville Zoning Ordinance
2. Meeting all applicable requirements and obtaining all required licenses from the State of Tennessee
3. Resubdividing this site to incorporate it in with the adjoining property owned by this applicant
4. Providing for retention of stormwater on the site as required by the Knoxville Engineering Dept.
5. Providing additional sidewalk(s) as may be required by the Knoxville Engineering Dept.
6. Meeting all other requirements of the Knoxville Engineering Dept.

With the conditions noted, this plan meets the requirements for approval in the R-2 zoning district and the other criteria for approval of a use-on-review.

COMMENTS:

The applicant is proposing to expand the current Shannondale nursing/assisted living facility by adding a 45,000 sq. ft. one story building that will contain 32 client rooms and the support facilities needed to serve the residents. This expansion will be taking place on the western end of the current Shannondale site. The plan proposes a landscape buffer between this project and the adjoining Farmington West Subdivision.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE

1. The proposed project will have minimal impact on local services since all utilities are in place to serve this site.
2. The proposed nursing home expansion is consistent in use with the existing zoning designation and surrounding development.
3. Access to this project will be from Middlebrook Pk via an existing driveway. Middlebrook Pk. is classified as an arterial street.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOXVILLE ZONING ORDINANCE

1. The proposed nursing home expansion meets the standards for development within an R-2 (General Residential) Zone and all other requirements of the Zoning Ordinance.
2. The proposed subdivision is consistent with the general standards for uses permitted on review: The proposed development is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas.

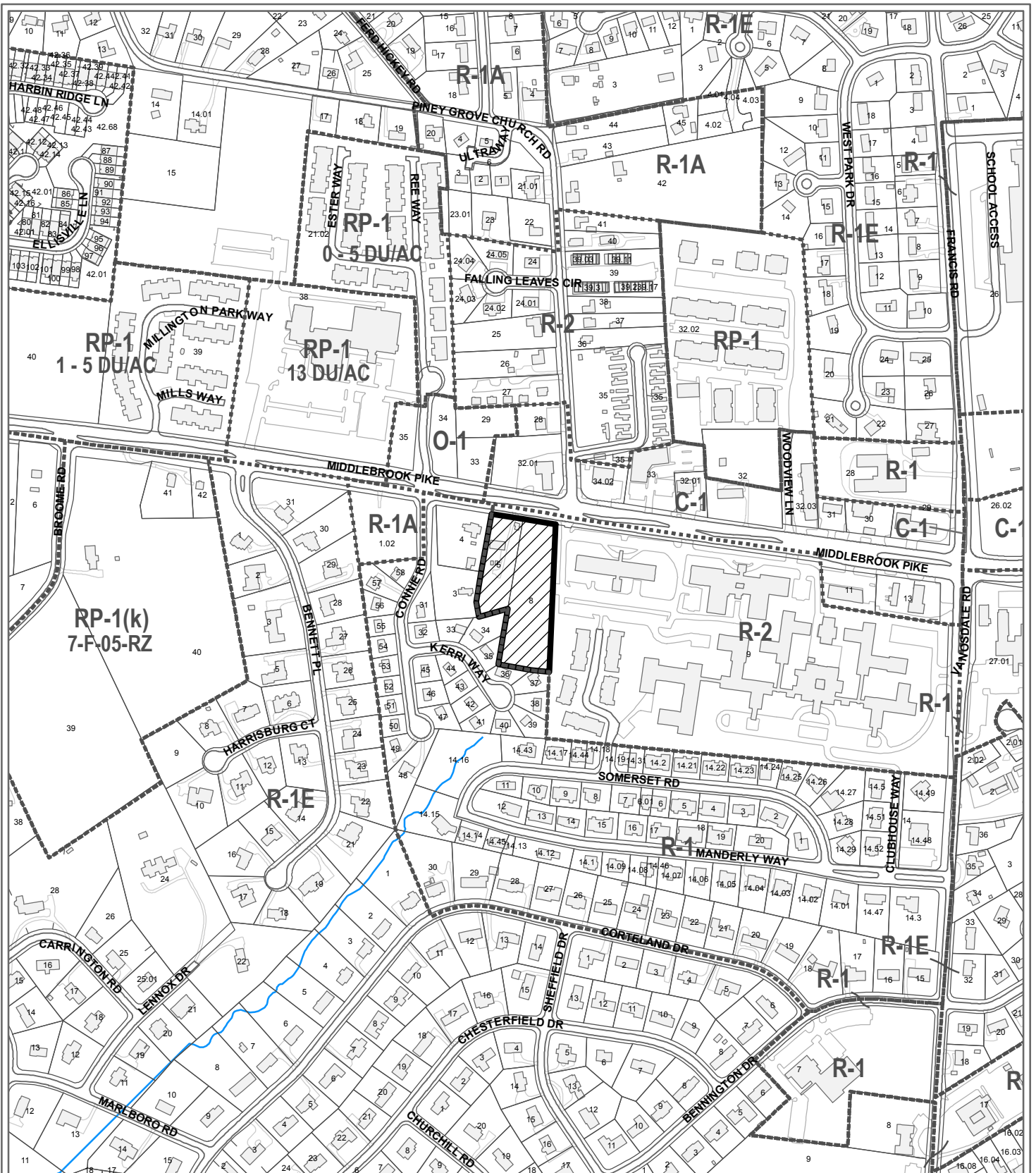
CONFORMITY OF THE PROPOSAL TO ADOPTED PLANS

1. The Northwest City Sector Plan designate this property for medium density residential use. The R-2 zoning approved for the site allows a nursing/assisted living facility as a use permitted on review. The use is consistent with the Sector and the zoning designation.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal an MPC decision in the City.



**6-B-14-UR
USE ON REVIEW**

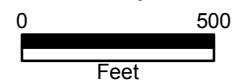


Nursing home expansion in R-2 (General Residential)

Petitioner: Presbyterian Homes of Tennessee, Inc.

Map No: 106

Jurisdiction: City



Original Print Date: 5/22/2014

Revised:

Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902



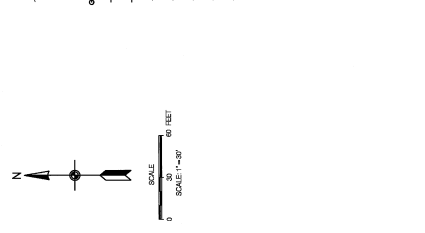
Contract: 1
 Date: 04/14/2014

| No. | Date | Description |
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Shannondale Retirement Center
 Knoxville, TN
 Date: April 14, 2014
 Sheet No. of: C1.2

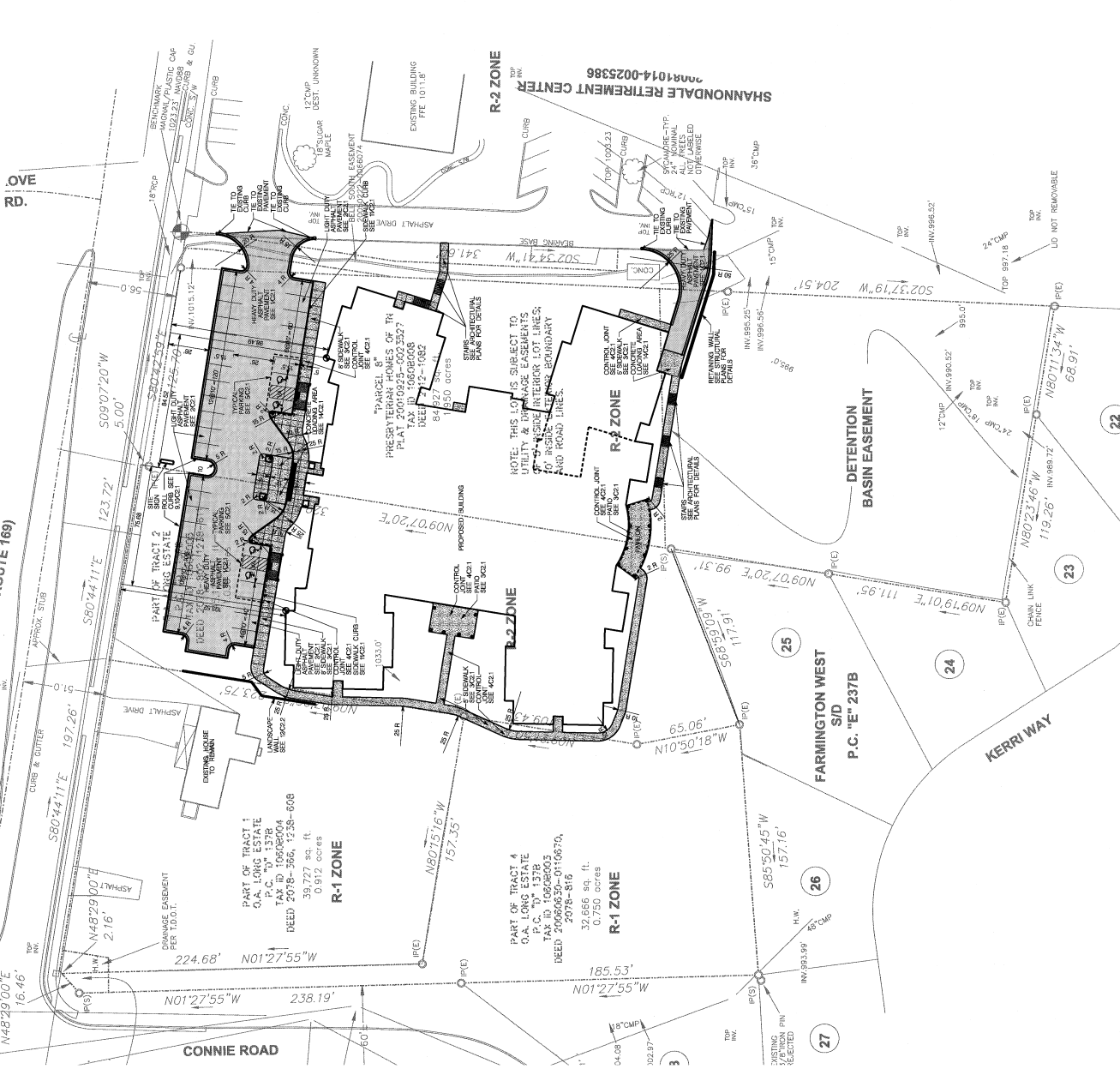
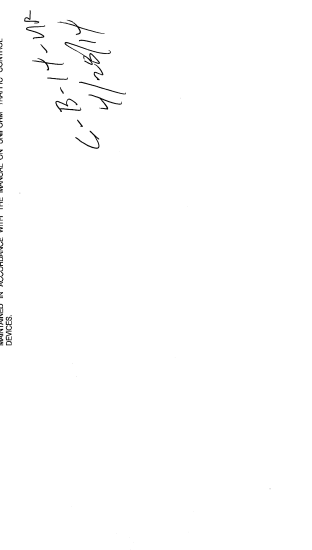
LEGEND

| EXISTING | PROPOSED |
|---------------------|--------------------------|
| SPOT ELEVATION | GROUND CONTOUR ELEVATION |
| STRUCTURE | STRUCTURE |
| PROPERTY LINE | PROPERTY LINE |
| EASEMENT | EASEMENT |
| EDGE OF PAVEMENT | EDGE OF PAVEMENT |
| STORM DRAIN | STORM DRAIN |
| SANITARY SEWER | SANITARY SEWER |
| POSSIBLE WATER | POSSIBLE WATER |
| NATURAL GAS | NATURAL GAS |
| OVERHEAD ELECTRICAL | OVERHEAD ELECTRICAL |
| WATER METER | WATER METER |
| FIRE HYDRANT | FIRE HYDRANT |
| SURFACE FLOW | SURFACE FLOW |
| SET FENCING | SET FENCING |
| CURB | CURB |
| CATCH BASIN | CATCH BASIN |
| CONCRETE PAVEMENT | CONCRETE PAVEMENT |
| ASPHALT PAVEMENT | ASPHALT PAVEMENT |
| RIP RAP | RIP RAP |



SITE LAYOUT NOTES

- USE NAD83 HORIZONTAL COORDINATES (HRC) 1060000, 1060000, 1060000.
- TOTAL BUILDING AREA PROPOSED 45,000 SF (EVEN WITH BASEMENT).
- TOTAL SITE 3.06 AC. TOTAL NET AREA 3.46 AC. TOTAL IMPROV. 1.16 AC.
- USED REFERENCE POINTS: 0000000, 2000000, 3000000, 4000000.
- WARRANTY CITY BLOCK: 4600.
- AREA PROPERTY IS NOT IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD.
- THE CONTRACTOR SHALL VERIFY THE SITE BENCHMARK DATUM.
- THE SITE BENCHMARK DATUM IS BASED ON A SURVEY OF THE AREA AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF REVENUE AND CONSTRUCTION ENGINEER AND SOILS CONTROL HANDBOOK.
- VERIFY SITE CONDITIONS, DIMENSIONS, ELEVATIONS, AND LOCATION OF EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY INFORMATION.
- TRAFFIC CONTROL IN CONSTRUCTION AREAS TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES FOR THE EXECUTION OF THE WORK AND THE PROTECTION OF THE WORK.
- CONTRACTOR SHALL COMPLY WITH ALL PERMITS AND LICENSES FOR THE WORK OF AMERICA AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF REVENUE AND CONSTRUCTION ENGINEER AND SOILS CONTROL HANDBOOK.
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LEGEND

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| | SPOT ELEVATION | | STRUCTURE |
| | PROPERTY LINE | | EASEMENT |
| | EDGE OF PAVEMENT | | STORM DRAIN |
| | SAWTOOTH SEWER | | PORTABLE WATER |
| | NATURAL GAS | | OVERHEAD ELECTRICAL |
| | WATER METER | | FIRE HYDRANT |
| | SURFACE FLOW | | SET FENCING |
| | CURB | | CATCH BASIN |
| | CONCRETE PAVEMENT | | ASPHALT PAVEMENT |
| | RIP RAP | | |

SCALE
SCALE 1" = 20'

North Arrow
N



Cooper Architecture, LLC
P.O. Box 18275
Knoxville, TN 37928
Office 865-689-6500
mcooper@cooper-arc.com

CONTRACT NO. 2014-0004

Seal of the State of Tennessee
OFFICE OF THE REGISTERED PROFESSIONAL ENGINEER
No. 2014-0004

Project Name: Shannondale Retirement Center

Location: Knoxville, TN

Sheet No.: 6-B-4-UR

Date: April 25, 2014

Scale: As Shown

Project File: C15

Shannondale Retirement Center

Location: Knoxville, TN

Sheet No.: 6-B-4-UR

Date: April 25, 2014

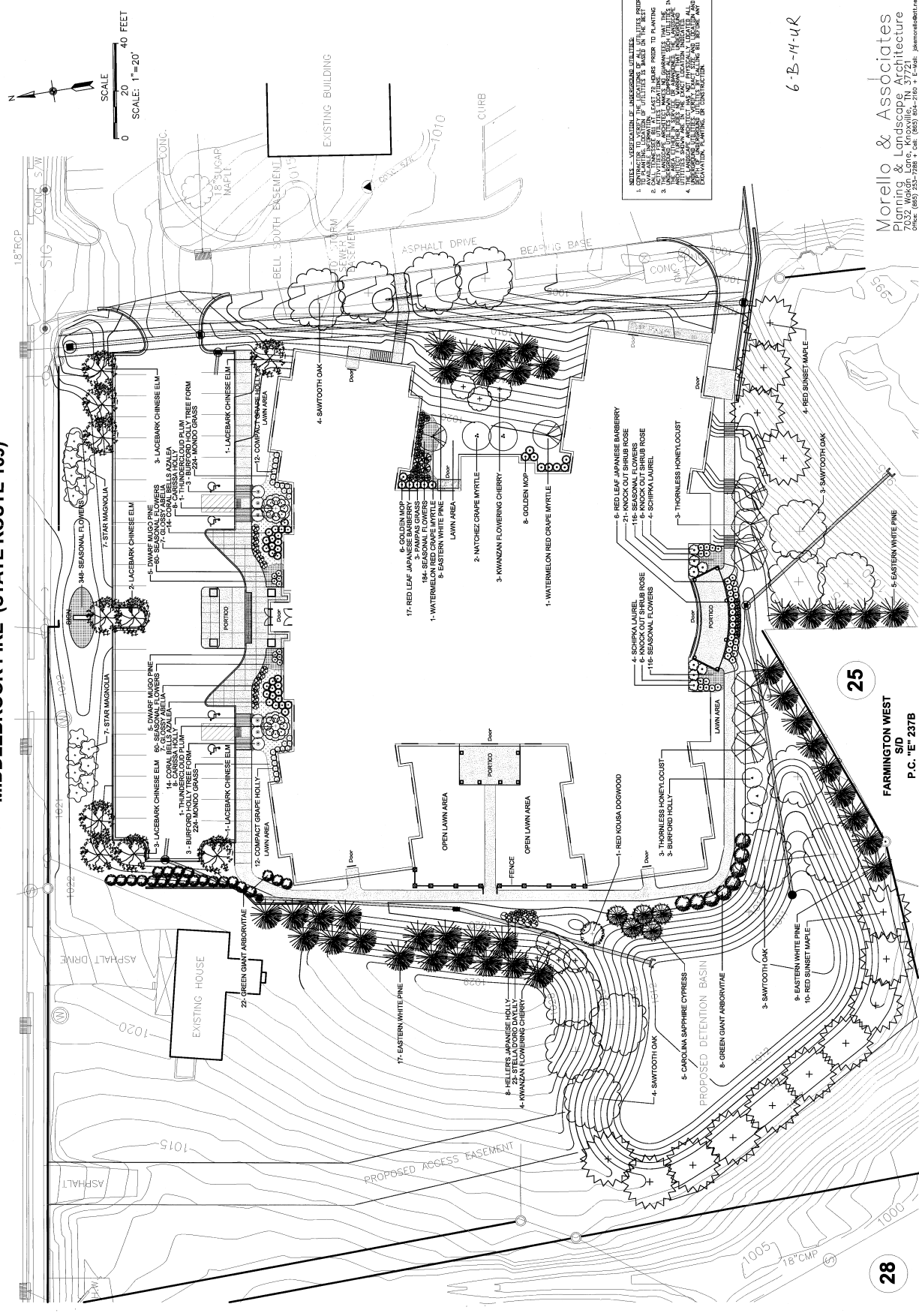
Scale: As Shown

Project File: C15

SITE GRADING NOTES

- SITE BENCHMARK CONTACT SURVEYOR FOR LOCATION AND ELEVATION OF SITE BENCHMARK MARKS INDICATED.
- SITE BENCHMARK AND TOPOGRAPHIC INFORMATION IS BASED ON A SURVEY SHALL VERIFY CONDITIONS AND INFORMATION. THE LIABILITY OF ANY SURVEYOR SHALL BE LIMITED TO THE ACCURACY AND COMPLETENESS OF THE INFORMATION PROVIDED BY OTHERS. PROVIDED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
- EXISTING EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL EROSION CONTROL MEASURES CAN BE INSTALLED AS SHOWN ON THE DRAWINGS. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL EROSION CONTROL MEASURES CAN BE INSTALLED AS SHOWN ON THE DRAWINGS. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL EROSION CONTROL MEASURES CAN BE INSTALLED AS SHOWN ON THE DRAWINGS.
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- ALL SLOPES INDICATED SHALL BE GREATER THAN 2 HORIZONTAL: 1 VERTICAL. NO SLOPES SHALL BE GREATER THAN 2 HORIZONTAL: 1 VERTICAL.
- APPLY TEMPORARY SEEDING WHENEVER OPERATIONS ARE TEMPORARILY INTERRUPTED. TEMPORARY SEEDING SHALL BE MAINTAINED UNTIL PERMANENT SEEDING IS APPLIED. TEMPORARY SEEDING SHALL BE MAINTAINED UNTIL PERMANENT SEEDING IS APPLIED.
- APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SEEDING IS APPLIED. PERMANENT SEEDING SHALL BE MAINTAINED UNTIL PERMANENT SEEDING IS APPLIED.
- SLOPES SHALL HAVE EROSION CONTROL MAT INSTALLED IMMEDIATELY AFTER EROSION CONTROL MEASURES ARE INSTALLED. EROSION CONTROL MAT SHALL BE MAINTAINED UNTIL PERMANENT SEEDING IS APPLIED.
- ADEQUATE DRAINAGE EROSION AND EROSION CONTROL MEASURES MUST BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SEEDING IS APPLIED. EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SEEDING IS APPLIED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND EASEMENTS FROM ALL APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND EASEMENTS FROM ALL APPLICABLE AGENCIES.
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MIDDLEBROOK PIKE (STATE ROUTE 169)



ALL PLANTINGS SHALL BE SUBSTITUTED WITH THE FOLLOWING: 1. CONSIDERATION TO VARIETY OF SPECIES, PLANTING IN CLUSTERS OR ALONG THE PERIMETER OF THE BUILDING. 2. PLANTINGS SHOULD BE SUITABLE TO THE CLIMATE AND SOIL CONDITIONS. 3. PLANTINGS SHOULD BE SUITABLE TO THE MAINTENANCE PROGRAM. 4. PLANTINGS SHOULD BE SUITABLE TO THE BUDGET. 5. PLANTINGS SHOULD BE SUITABLE TO THE AESTHETIC QUALITIES OF THE SITE. 6. PLANTINGS SHOULD BE SUITABLE TO THE FUNCTIONAL REQUIREMENTS OF THE SITE. 7. PLANTINGS SHOULD BE SUITABLE TO THE ENVIRONMENTAL CONDITIONS. 8. PLANTINGS SHOULD BE SUITABLE TO THE CULTURAL AND HISTORICAL VALUES OF THE SITE. 9. PLANTINGS SHOULD BE SUITABLE TO THE SOCIAL AND COMMUNITY VALUES OF THE SITE. 10. PLANTINGS SHOULD BE SUITABLE TO THE ECONOMIC VALUES OF THE SITE. 11. PLANTINGS SHOULD BE SUITABLE TO THE POLITICAL AND LEGISLATIVE VALUES OF THE SITE. 12. PLANTINGS SHOULD BE SUITABLE TO THE ETHICAL AND MORAL VALUES OF THE SITE. 13. 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6-B-14-R

Morello & Associates
 Planning & Landscape Architecture
 6032 Woodloch Lane, Knoxville, TN 37721
 (615) 585-4881 Fax: (615) 585-1811 E-Mail: jmorello@aol.com

Cooper
 Architecture,
 LLC
 P.O. Box 18275
 Knoxville, TN 37928
 Office 855-689-6500



Project Number:
 Drawing No. 6-B-14-R
 Revision:
 Name:
 Date:
 Description:

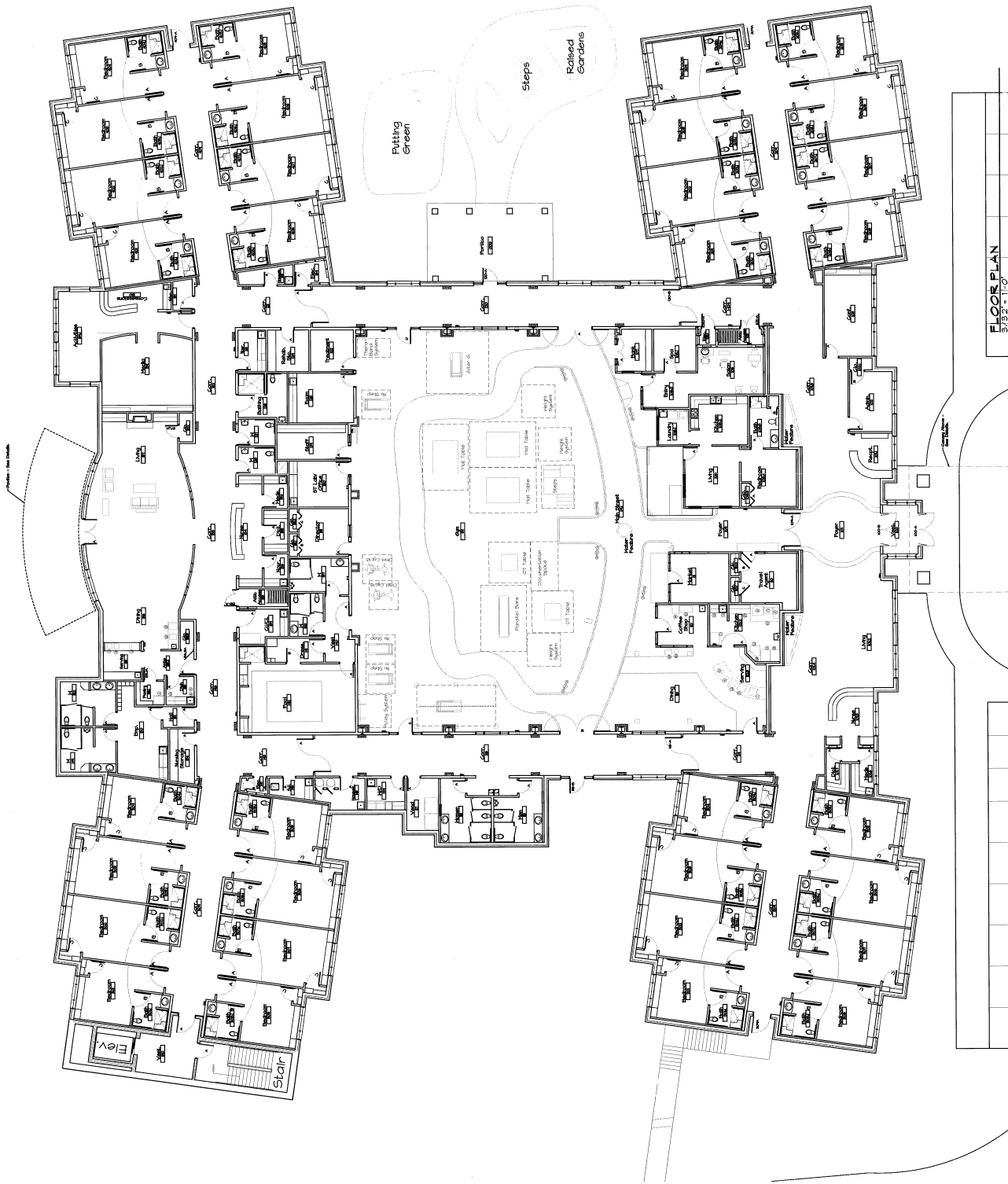
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 Shannondale Retirement Center

Location:
 Knoxville, TN

Sheet Title:
 Lan Inscap Plan

Date:
 April 25, 2014

Sheet Number:
 11



FLOOR PLAN
3/132 - 110

Cooper Architecture LLC
 793 Bell Road Knoxville TN 37939 665422059
 FOR NOT CONSTRUCTION

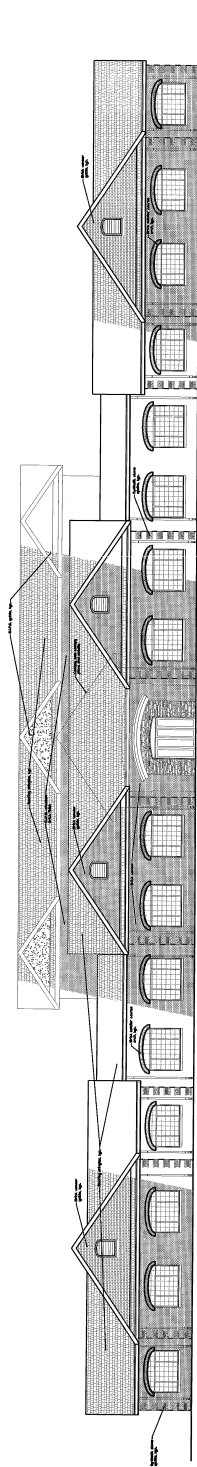
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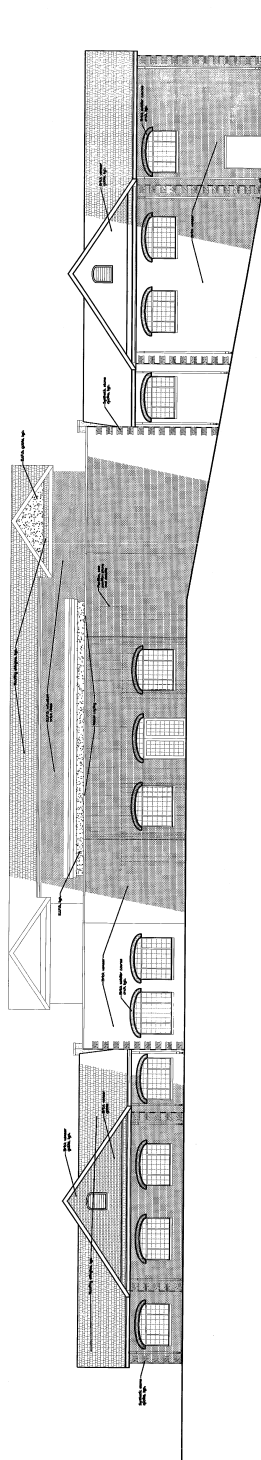
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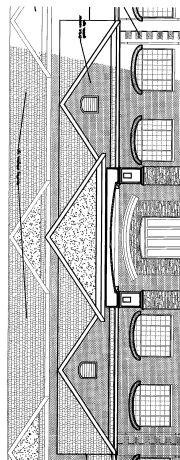
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 DATE: 03/14/14



FRONT ELEVATION



REAR ELEVATION



FRONT ELEVATION
with canopy

EXTERIOR ELEVATIONS
3/32 = 1'-0"

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PROJECT NO: RC/M-1
 DRAWING NO: 3/32
 DATE: 03/14/14
 DRAWN BY: [Name]

PROJECT TITLE:
**St. Mondale
 Rehabilitation
 Center**

LOCATION:
 Knoxville, TN
**Exterior
 Elevations**

6-B-14-UR

DATE:
 April 14, 2014
 SCALE:
A 5.1

NOT FOR CONSTRUCTION

DATE: 05/14/14

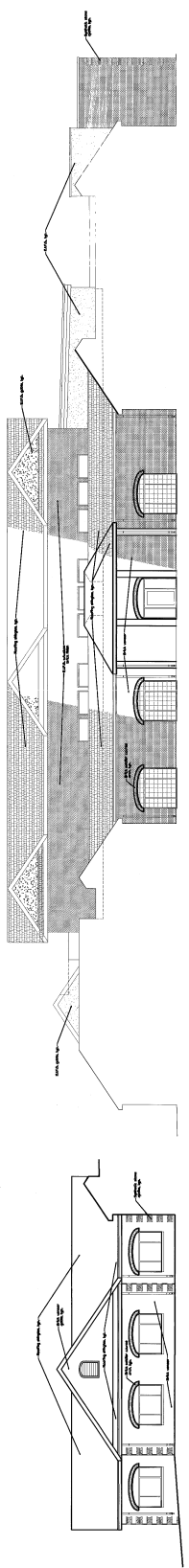
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 ARCHITECT: COOPER ARCHITECTURE LLC
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 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

PROJECT TITLE: Shamondale Rehabilitation Center

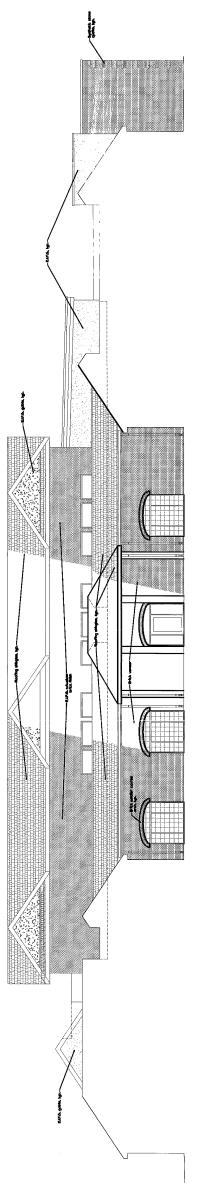
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6-B-14-UR

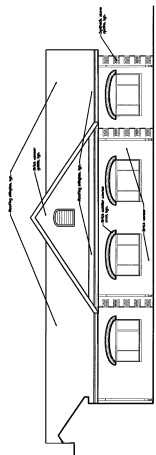
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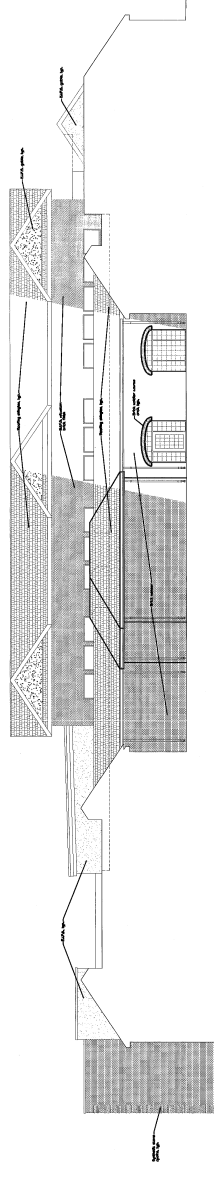
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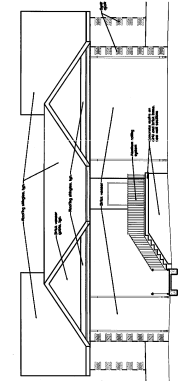
ELEVATION B



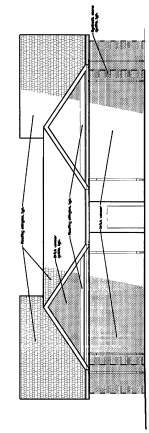
ELEVATION C



ELEVATION D

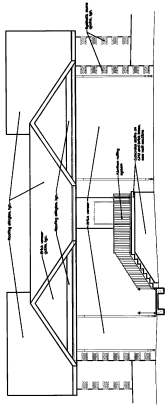


ELEVATION E

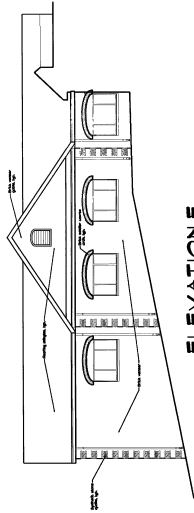


ELEVATION F

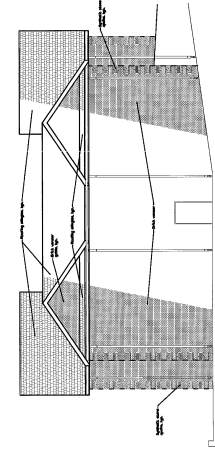
EXTERIOR ELEVATIONS
 5/12 - 1'-0"



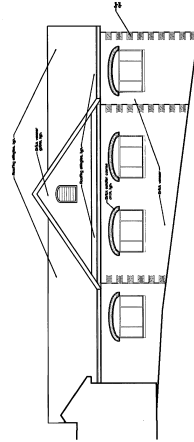
ELEVATION E



ELEVATION F



ELEVATION H



ELEVATION G

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COMMENT

0 3014 0000P KOSHERSIPFELLC
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REVISION

NO.

DATE

DESCRIPTION

PROJECT:
**Shannondale
Rehabilitation
Center**

LOCATION:
**Knoxville, TN
Exterior
Elevations**

6-13-14-UR

DATE:
Apr 114, 2014
DRAWING
A 3.3

EXTERIOR ELEVATIONS
5/32" = 1'-0"