



**KNOXVILLE/KNOX COUNTY METROPOLITAN PLANNING COMMISSION  
USE ON REVIEW REPORT**

▶ **FILE #:** 1-L-15-UR

**AGENDA ITEM #:** 34

**AGENDA DATE:** 1/8/2015

▶ **APPLICANT:** BARRY BYRD ARCHITECTURE

OWNER(S): Mesa Properties LLC

TAX ID NUMBER: 118 17323

[View map on KGIS](#)

JURISDICTION: County Commission District 6

STREET ADDRESS: 10604 Murdock Dr

▶ **LOCATION:** Southeast side of Murdock Dr., northeast side of Simmons Rd.

▶ **APPX. SIZE OF TRACT:** 6.1 acres

SECTOR PLAN: Northwest County

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via Murdock Dr., a minor arterial street with a 40' pavement width within a 100' right-of-way, and Simmons Rd., a local street with a pavement width of 36' within a 60' right-of-way.

UTILITIES: Water Source: First Knox Utility District

Sewer Source: First Knox Utility District

WATERSHED: Turkey Creek

▶ **ZONING:** BP (Business and Technology) / TO (Technology Overlay)

▶ **EXISTING LAND USE:** Office

▶ **PROPOSED USE:** Office expansion

HISTORY OF ZONING: Property zoned BP / TO in the early 1980's. Development plan for phase one of this development approved by MPC in 2002

SURROUNDING LAND USE AND ZONING: North: Office building / PC (Planned Commercial) / TO (Technology Overlay)

South: Vacant land / PC (Planned Commercial) / TO (Technology Overlay)

East: Residence / BP (Business and Technology) / TO (Technology Overlay)

West: Vacant land / BP (Business and Technology) / TO (Technology Overlay)

NEIGHBORHOOD CONTEXT: The site is located in an area of mixed commercial and light industrial uses. Development in this area has occurred in the BP, PC and CB zones. This site and much of the surrounding area is subject to the development review authority of the Tennessee Technology Corridor Development Authority.

**STAFF RECOMMENDATION:**

▶ **APPROVE the request for an office building expansion of approximately 25,875 sq. ft. of floor area as shown on the development plan subject to 6 conditions**

- 1. Obtaining approval from the Tennessee Technology Corridor Development Authority (TTCCA) for the

proposed office expansion (1-A-15-TOB).

2. Connection to sanitary sewer and meeting all other applicable requirements of the Knox County Health Department.
3. Installing all landscaping as shown on the landscape plan within six months of issuance of occupancy permit for this project, or posting a bond with the Knox County Department of Engineering and Public Works to guarantee installation.
4. Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
5. Working with the Knox County Greenways Coordinator on establishing the greenway easement along Turkey Creek and providing a pedestrian connection to the future greenway from the building site.
6. Meeting all applicable requirements of the Knox County Zoning Ordinance.

With the conditions noted, this plan meets the requirements for approval in the BP (Business and Technology) / TO (Technology Overlay) districts and the criteria for approval of a use on review.

#### **COMMENTS:**

The applicant is proposing a 25,875 sq. ft. addition to a 45,323 sq. ft. office building for Mesa Associates, Inc. The expansion will include two stories and a basement. The total square footage for the office will be 71,198 sq. ft. This is the second expansion for this facility with the previous approval having been granted in 2006. The site is located on the south side of Murdock Rd. at Simmons Rd.

In addition to this use on review approval from the Planning Commission, approval is also required from the Tennessee Technology Corridor Development Authority (TTCDA). The TTCDA will be reviewing this project at their January 5, 2015 meeting.

The proposed building expansion will repeat the brick exterior of the existing building. The plan includes 284 parking spaces which meets off-street parking requirements for both the Knox County Zoning Ordinance and the TTCDA Design Guidelines. The majority of the new parking lot will include pervious pavement. There is no signage proposed with this submittal.

Staff has recommended a condition that the applicant work with the Knox County Greenways Coordinator in establishing a greenway easement along Turkey Creek. The Turkey Creek Greenway is identified in the "Knoxville-Knox County Park, Recreation and Greenways Plan" adopted in December 2009.

#### **EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE**

1. The proposed office expansion will have minimal impact on local services since water and sewer utilities are in place to serve this site.
2. The proposed use is consistent in use with the zoning designation.

#### **CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE**

1. With the stated conditions, the proposed office expansion meets the standards for development within the BP (Business & Technology Park) zoning district and all other requirements of the Knox County Zoning Ordinance.
2. The proposed office expansion is consistent with the general standards for uses permitted on review: The proposed development is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential area since the subdivision has direct access to a minor arterial street.

#### **CONFORMITY OF THE PROPOSAL TO ADOPTED PLANS**

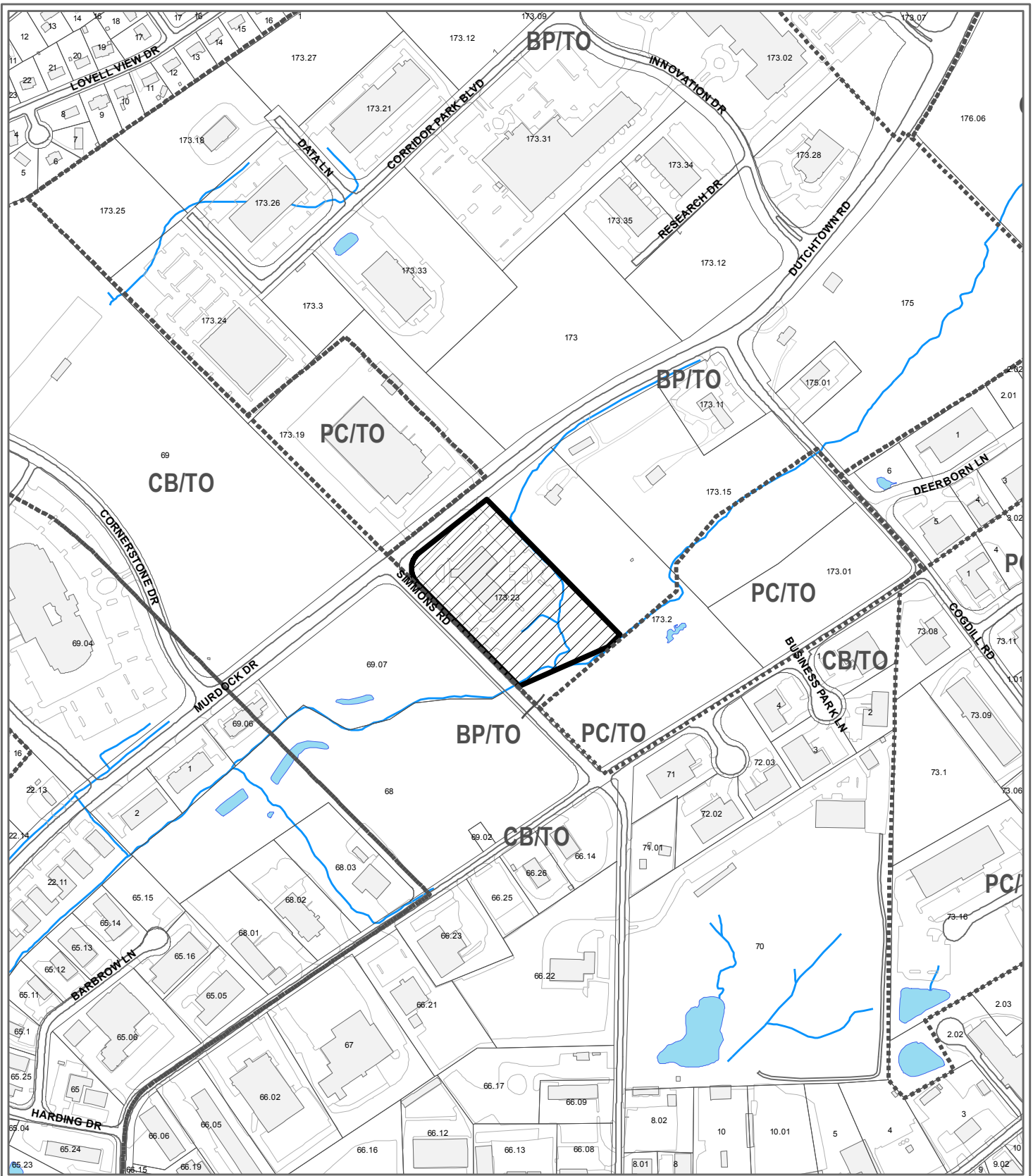
1. The Northwest County Sector Plan identifies this property for technology park use.
2. The site is located within the Planned Growth Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: 471 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal an MPC decision in the County.



**1-L-15-UR  
USE ON REVIEW**



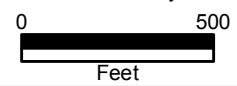
Office expansion in BP (Business and Technology) / TO (Technology Overlay)

Petitioner: Barry Byrd Architecture

Map No: 118

Jurisdiction: County

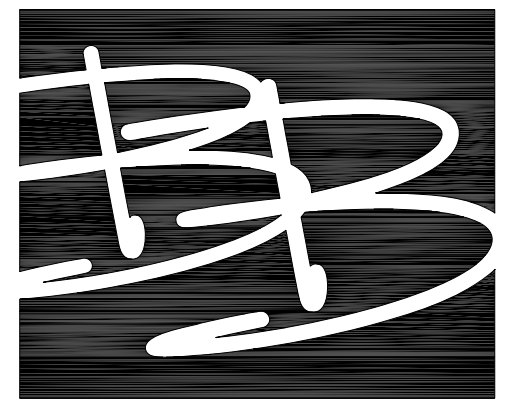
Original Print Date: 12/22/2014      Revised:  
Metropolitan Planning Commission \* City / County Building \* Knoxville, TN 37902











Barry Byrd  
ARCHITECTURE

P.O. Box 5482  
Knoxville, TN 37928  
(865) 687-6500

Seal:



SCALE  
0 30 60 FEET  
SCALE: 1"=30'

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Project Name:  
**MESA 2014**  
Drawn By:

Revisions:

No. DATE DESCRIPTION

Project Title:

OFFICE EXPANSION  
FOR:

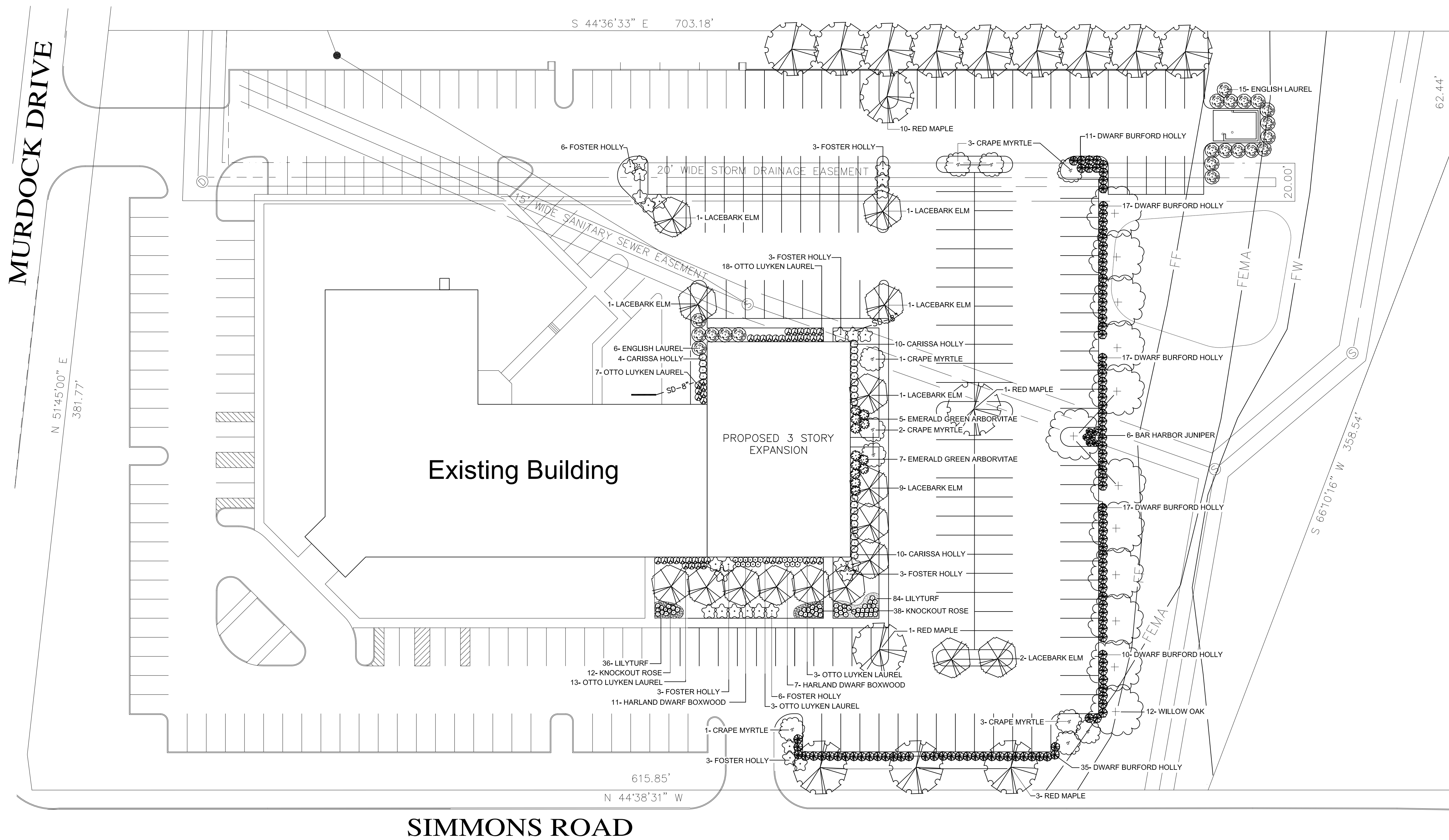


Location:  
**Knox County, TN**

Sheet Contents:

Landscape  
Design Plan

December 22, 2014



1-L-15-UR  
Revised: 12/23/2014

**Morello & Associates**  
Planning & Landscape Architecture  
7032 Wakan Lane, Knoxville, TN 37721  
Office: (865) 253-7288 + Cell: (865) 804-2160 + E-Mail: jakemorello@att.net

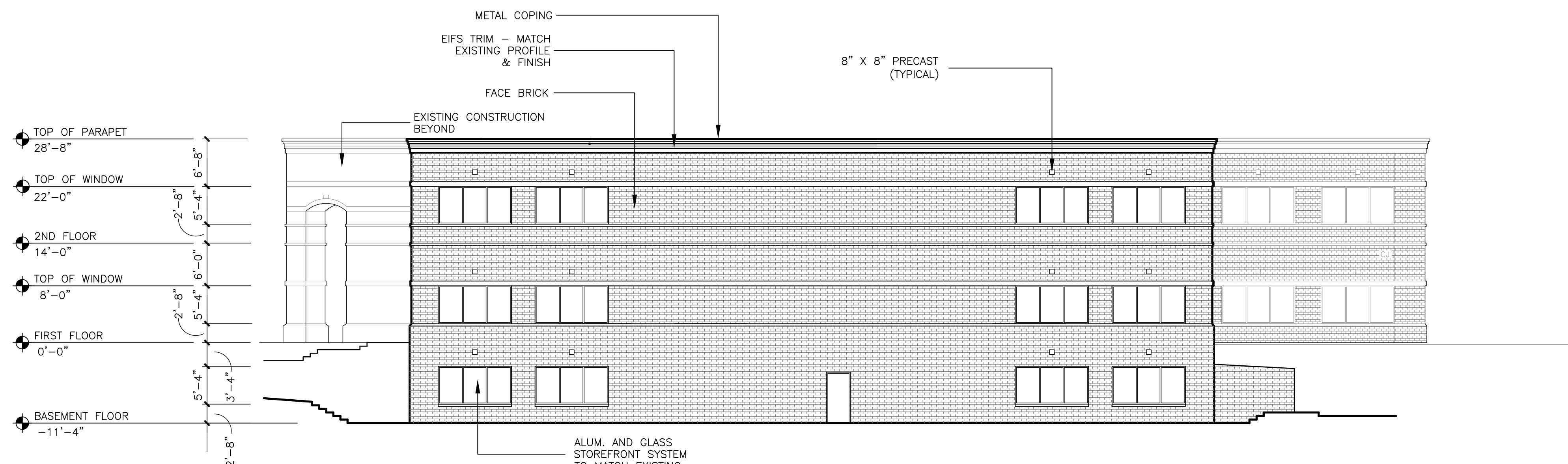
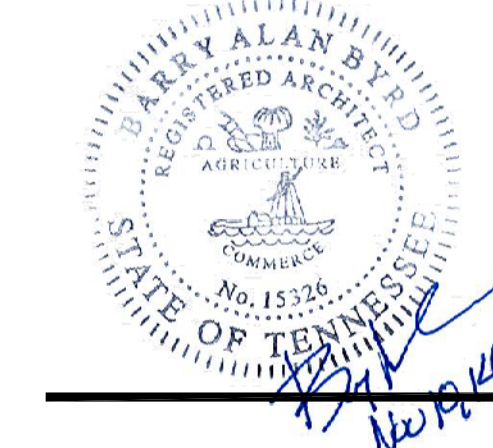




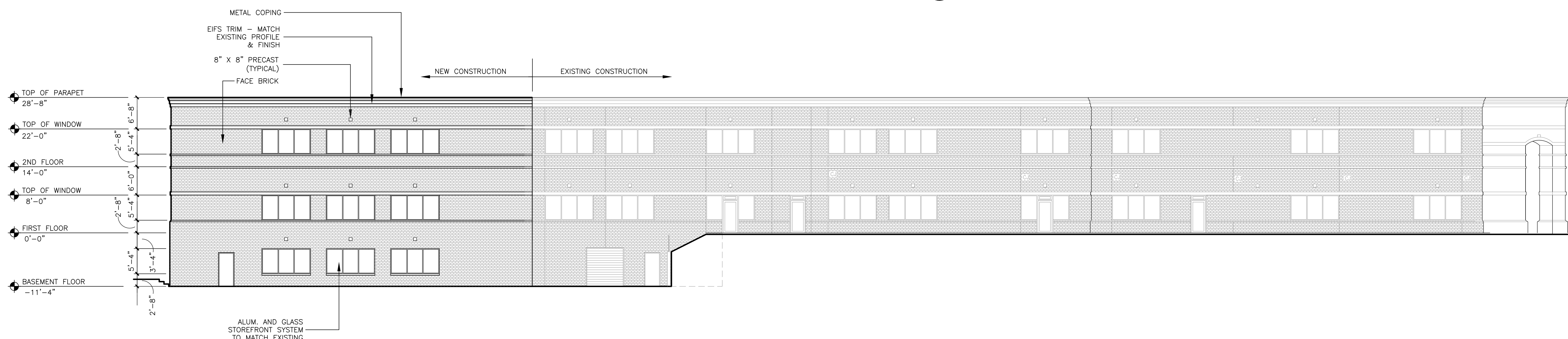
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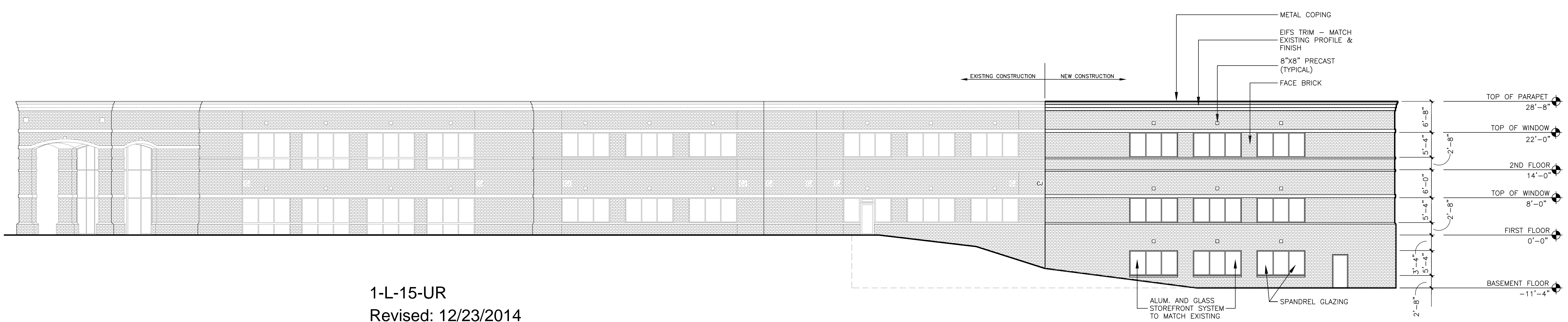
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**1 EAST ELEVATION**  
A5.1 3/32" = 1' - 0"



**2 NORTH ELEVATION**  
A5.1 3/32" = 1' - 0"



**2 SOUTH ELEVATION**  
A5.1 3/32" = 1' - 0"

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Revisions:

No.	DATE	DESCRIPTION

Project Title:

**OFFICE EXPANSION  
FOR:**



Location:  
**Knox County, TN**

Sheet Contents:  
**Exterior Elevations**

Date:  
**December 22, 2015**

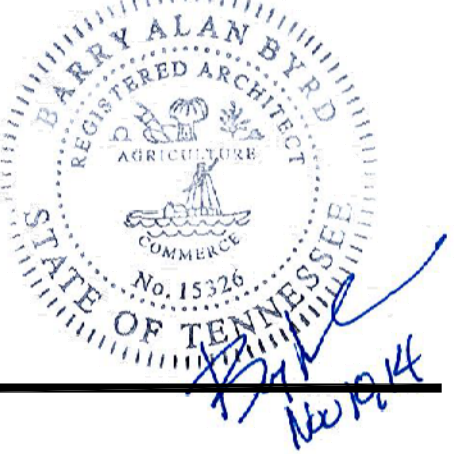
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**A5.1**



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Revisions:

No. DATE DESCRIPTION

Project Title:

**OFFICE EXPANSION  
FOR:**



Location:  
**Knox County, TN**

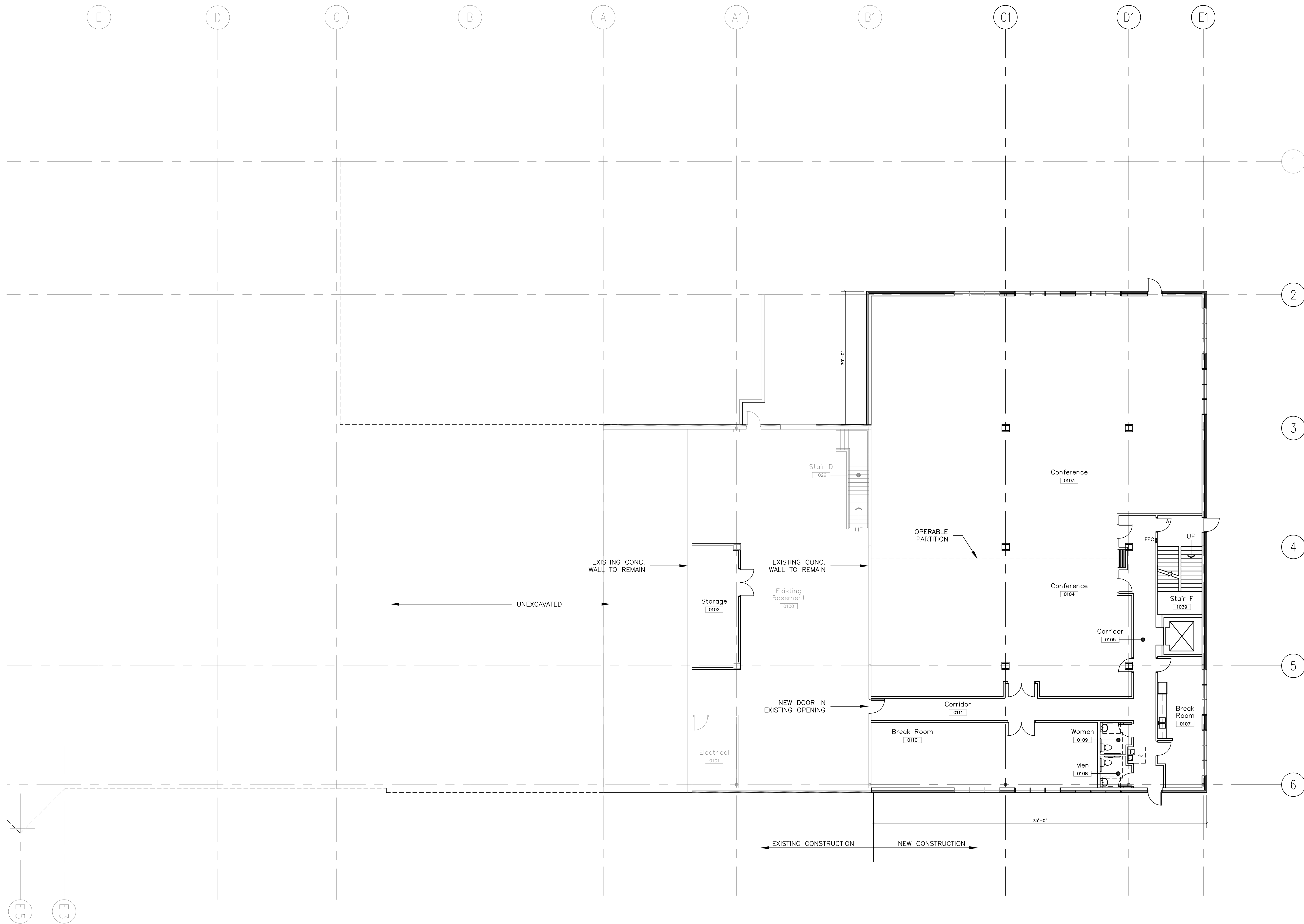
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**Overall  
Basement  
Floor Plan**

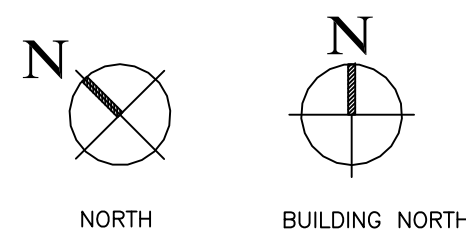
Date:  
**December 22, 2015**

Sheet Number:

**A2.0**



**1 FLOOR PLAN - BASEMENT**  
A2.0 3/32" = 1'-0"



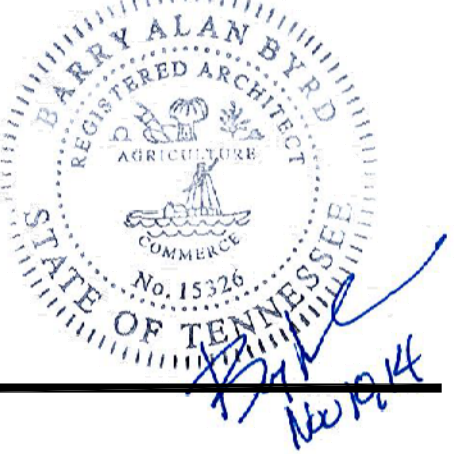
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Revisions:

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FOR:**



Location:

**Knox County, TN**

Sheet Contents:

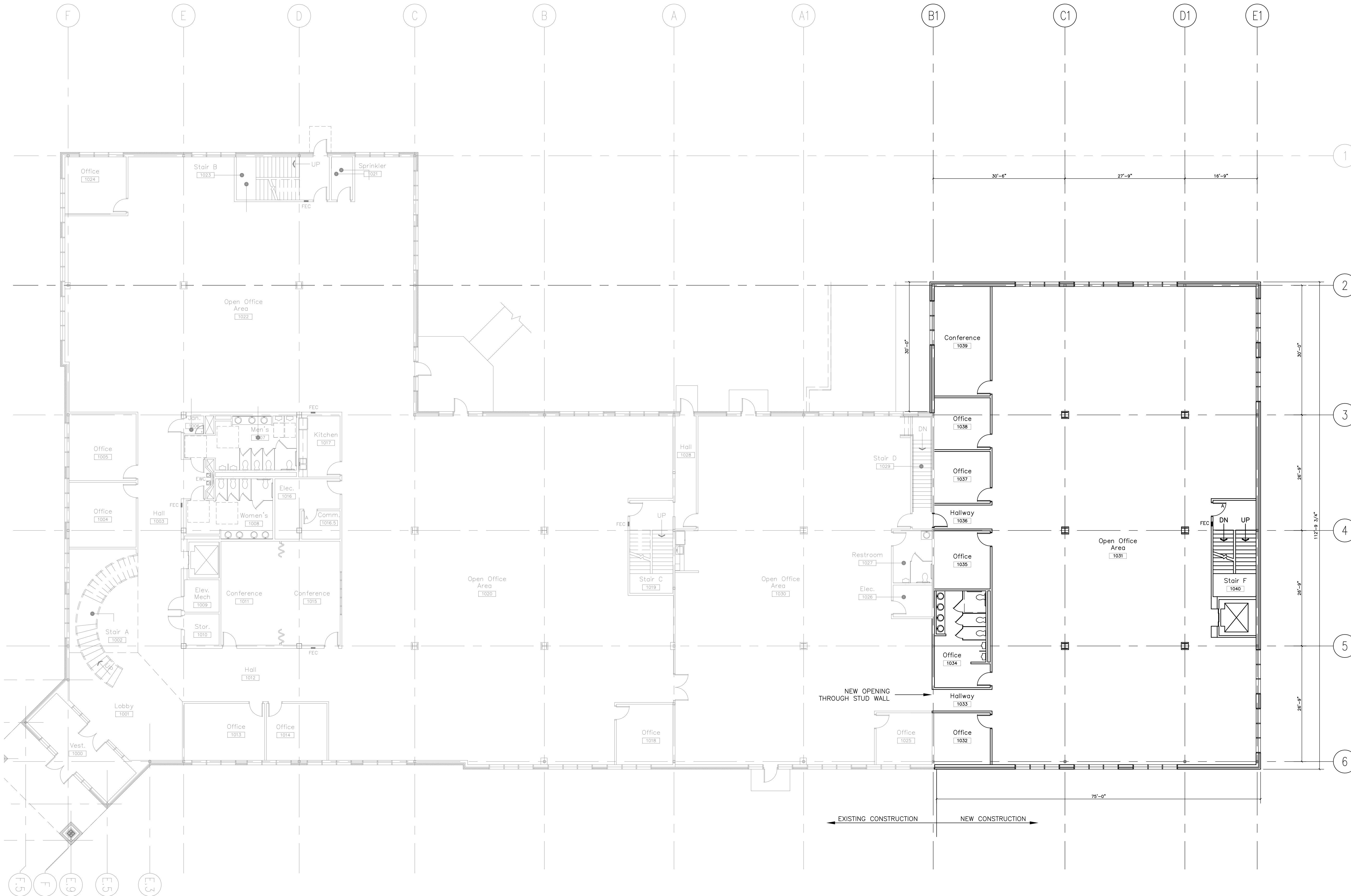
**Overall  
First Floor  
Plan**

Date:

**December 22, 2015**

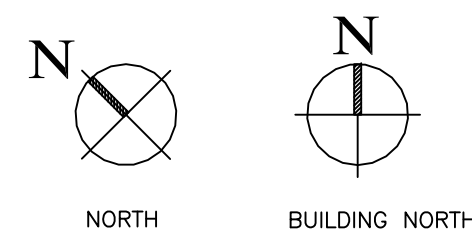
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1-L-15-UR  
Revised: 12/23/2014

**1 FLOOR PLAN - FIRST FLOOR**  
A2.1 3/32" = 1'-0"

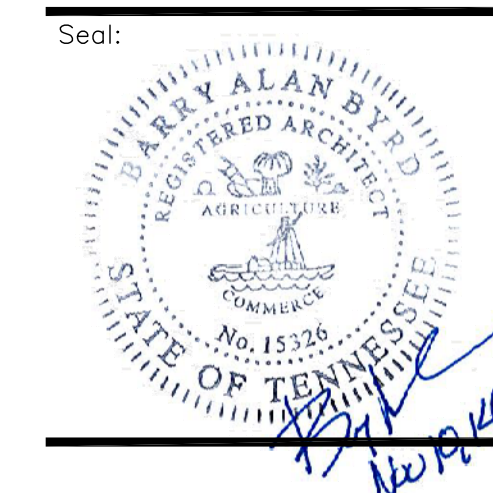




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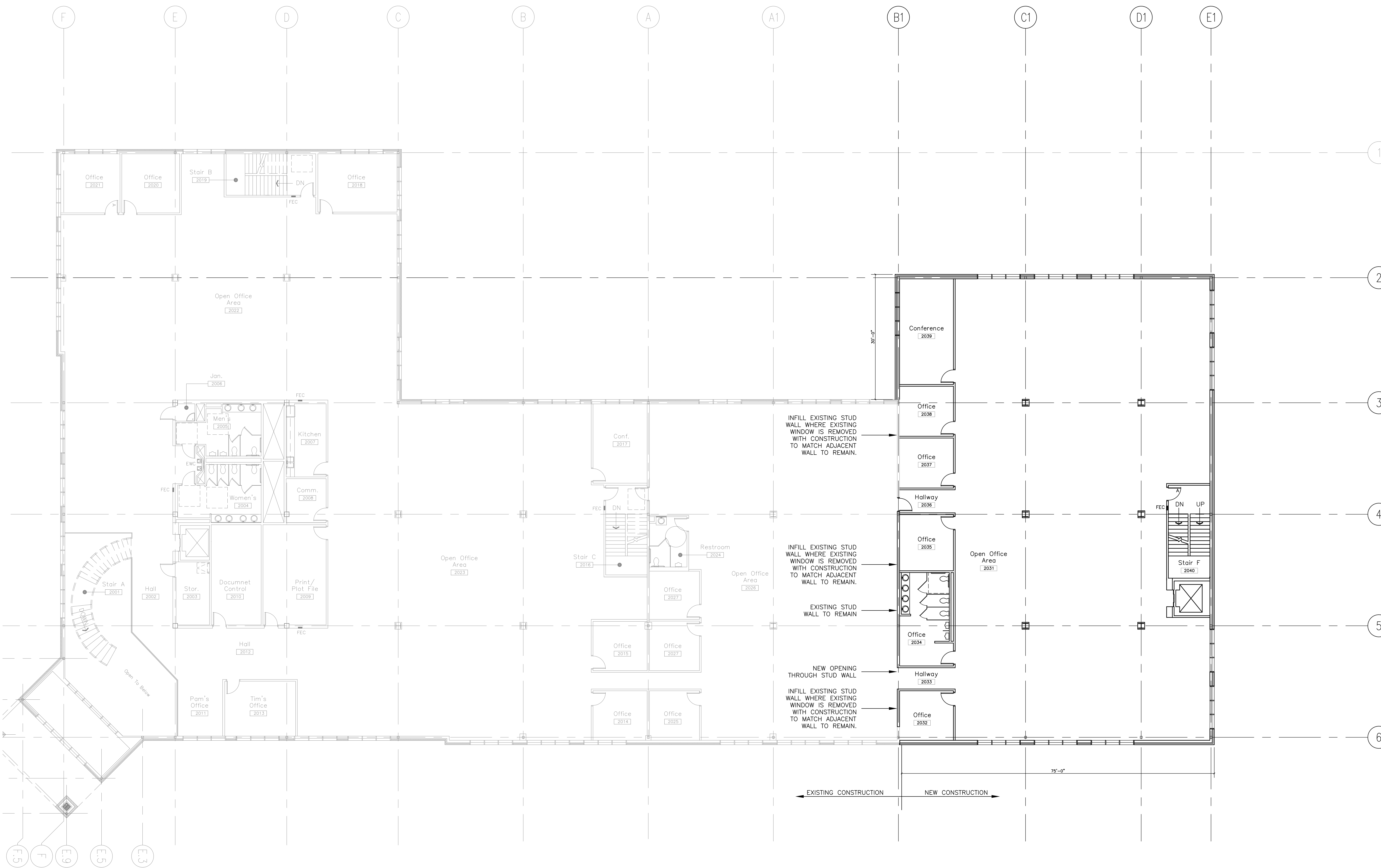


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**Knox County, TN**

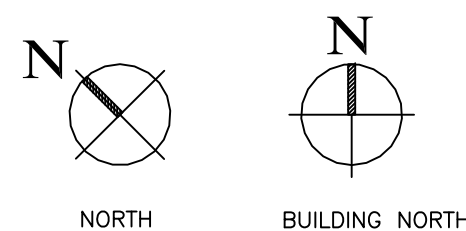
Sheet Contents:  
**Overall  
Second Floor  
Plan**

Date:  
**December 22, 2015**

Sheet Number:  
**A2.2**



**1 FLOOR PLAN - SECOND FLOOR**  
A2.2 3/32" = 1'-0"



**1-L-15-UR**  
Revised: 12/23/2014