

KNOXVILLE/KNOX COUNTY METROPOLITAN PLANNING COMMISSION USE ON REVIEW REPORT

► FILE #: 1-L-15-UR	AGENDA ITEM #: 34			
	AGENDA DATE: 1/8/2015			
APPLICANT:	BARRY BYRD ARCHITECTURE			
OWNER(S):	Mesa Properties LLC			
TAX ID NUMBER:	118 17323 View map on KGIS			
JURISDICTION:	County Commission District 6			
STREET ADDRESS:	10604 Murdock Dr			
► LOCATION:	Southeast side of Murdock Dr., northeast side of Simmons Rd.			
APPX. SIZE OF TRACT:	6.1 acres			
SECTOR PLAN:	Northwest County			
GROWTH POLICY PLAN:	Planned Growth Area			
ACCESSIBILITY:	Access is via Murdock Dr., a minor arterial street with a 40' pavement width within a 100' right-of-way, and Simmons Rd., a local street with a pavement width of 36' within a 60' right-of-way.			
UTILITIES:	Water Source: First Knox Utility District			
	Sewer Source: First Knox Utility District			
WATERSHED:	Turkey Creek			
ZONING:	BP (Business and Technology) / TO (Technology Overlay)			
EXISTING LAND USE:	Office			
PROPOSED USE:	Office expansion			
HISTORY OF ZONING:	Property zoned BP / TO in the early 1980's. Development plan for phase one of this development approved by MPC in 2002			
SURROUNDING LAND USE AND ZONING:	North: Office building / PC (Planned Commercial) / TO (Technology Overlay)			
	South: Vacant land / PC (Planned Commercial) / TO (Technology Overlay)			
	East: Residence / BP (Business and Technology) / TO (Technology Overlay)			
	West: Vacant land / BP (Business and Technology) / TO (Technology Overlay)			
NEIGHBORHOOD CONTEXT	The site is located in an area of mixed commercial and light industrial uses. Development in this area has occurred in the BP, PC and CB zones. This site and much of the surrounding area is subject to the development review authority of the Tennessee Technology Corridor Development Authority.			

STAFF RECOMMENDATION:

- APPROVE the request for an office building expansion of approximately 25,875 sq. ft. of floor area as shown on the development plan subject to 6 conditions
 - 1. Obtaining approval from the Tennessee Technology Corridor Development Authority (TTCDA) for the

AGENDATIEM #: 34 FILE #: 1-L-13-UR 12/31/2014 09.27 AM TOM BRECHKO PAGE #: 34	AGENDA ITEM #: 34	FILE #: 1-L-15-UR	12/31/2014 09:27 AM	TOM BRECHKO	PAGE #:	34-1
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proposed office expansion (1-A-15-TOB).

2. Connection to sanitary sewer and meeting all other applicable requirements of the Knox County Health Department.

3. Installing all landscaping as shown on the landscape plan within six months of issuance of occupancy permit for this project, or posting a bond with the Knox County Department of Engineering and Public Works to guarantee installation.

- 4. Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
- 5. Working with the Knox County Greenways Coordinator on establishing the greenway easement along
- Turkey Creek and providing a pedestrian connection to the future greenway from the building site.
- 6. Meeting all applicable requirements of the Knox County Zoning Ordinance.

With the conditions noted, this plan meets the requirements for approval in the BP (Business and Technology) / TO (Technology Overlay) districts and the criteria for approval of a use on review.

COMMENTS:

The applicant is proposing a 25,875 sq. ft. addition to a 45,323 sq. ft. office building for Mesa Associates, Inc. The expansion will include two stories and a basement. The total square footage for the office will be 71,198 sq. ft. This is the second expansion for this facility with the previous approval having been granted in 2006. The site is located on the south side of Murdock Rd. at Simmons Rd.

In addition to this use on review approval from the Planning Commission, approval is also required from the Tennessee Technology Corridor Development Authority (TTCDA). The TTCDA will be reviewing this project at their January 5, 2015 meeting.

The proposed building expansion will repeat the brick exterior of the existing building. The plan includes 284 parking spaces which meets off-street parking requirements for both the Knox County Zoning Ordinance and the TTCDA Design Guidelines. The majority of the new parking lot will include pervious pavement. There is no signage proposed with this submittal.

Staff has recommended a condition that the applicant work with the Knox County Greenways Coordinator in establishing a greenway easement along Turkey Creek. The Turkey Creek Greenway is identified in the "Knoxville-Knox County Park, Recreation and Greenways Plan" adopted in December 2009.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE

1. The proposed office expansion will have minimal impact on local services since water and sewer utilities are in place to serve this site.

2. The proposed use is consistent in use with the zoning designation.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

1. With the stated conditions, the proposed office expansion meets the standards for development within the BP (Business & Technology Park) zoning district and all other requirements of the Knox County Zoning Ordinance.

2. The proposed office expansion is consistent with the general standards for uses permitted on review: The proposed development is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential area since the subdivision has direct access to a minor arterial street.

CONFORMITY OF THE PROPOSAL TO ADOPTED PLANS

1. The Northwest County Sector Plan identifies this property for technology park use.

2. The site is located within the Planned Growth Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

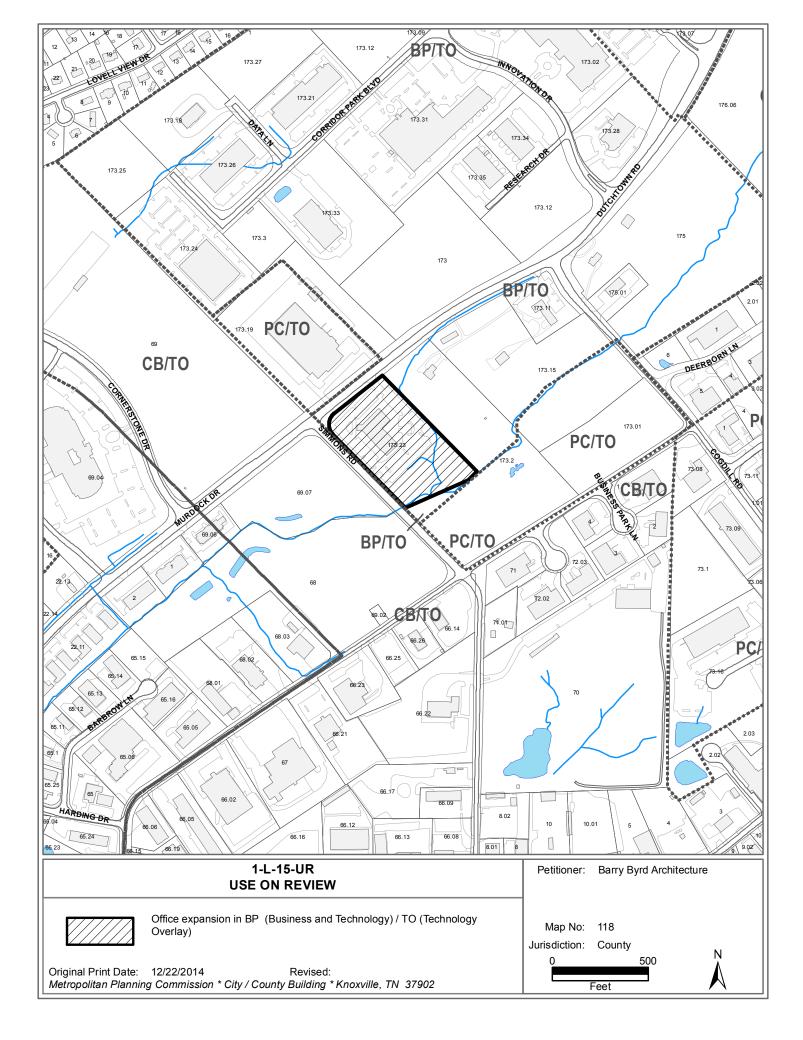
ESTIMATED TRAFFIC IMPACT: 471 (average daily vehicle trips)

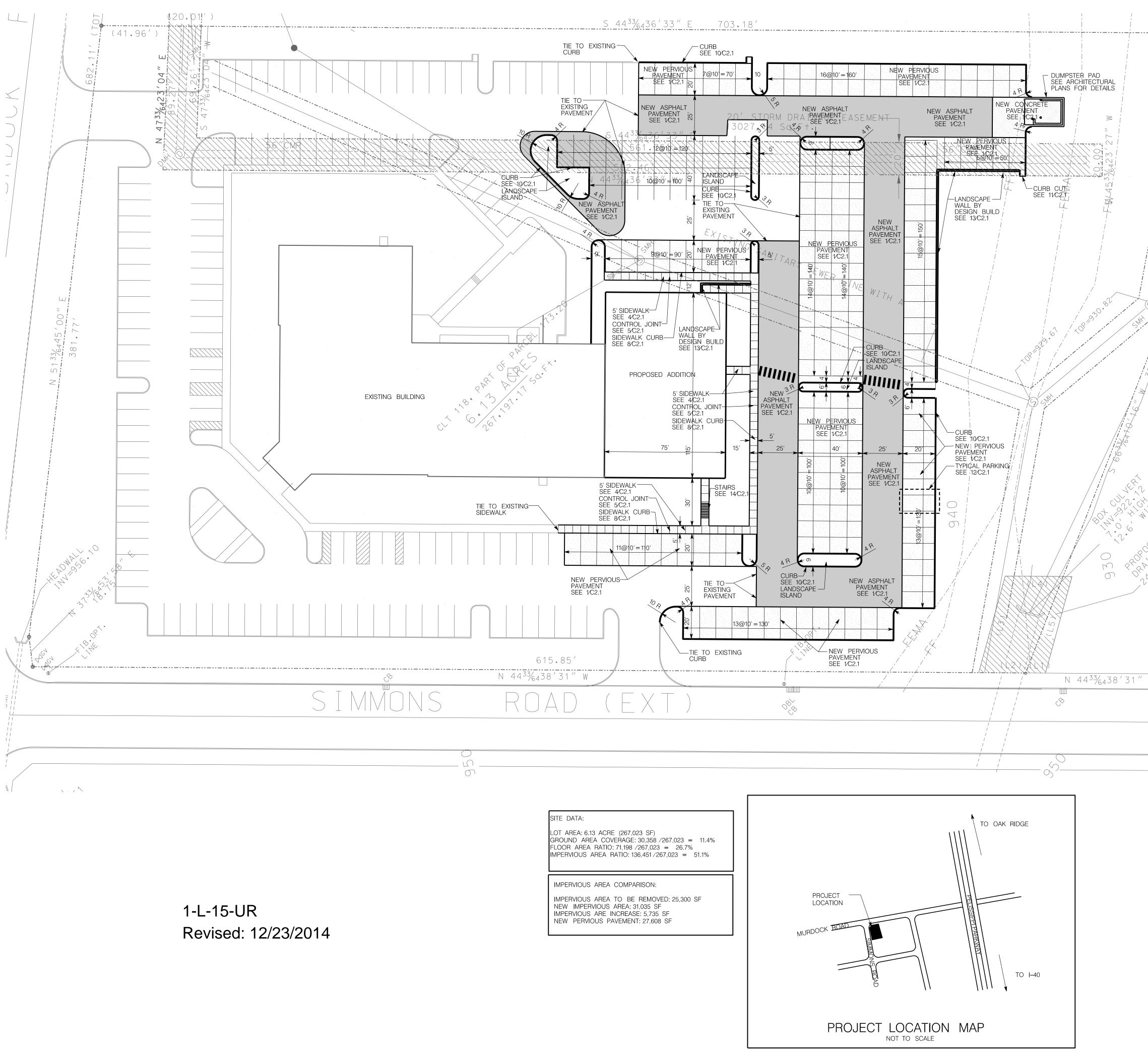
AGENDA ITEM #: 34 FILE #: 1-L-15-UR 12/31/2014 09:27 AM TOM BRECHKO PAGE #: 34-2
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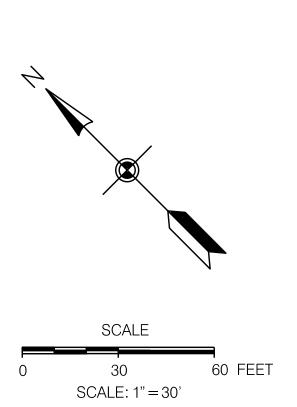
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

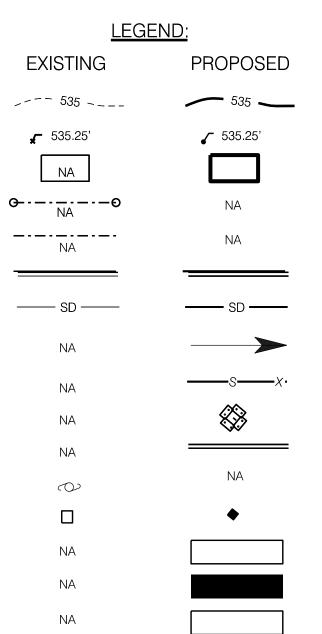
ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal an MPC decision in the County.









GROUND CONTOUR ELEVATION					
SPOT ELEVATION					
STRUCTURE					
PROPERTY LINE					
EASEMENT					
EDGE OF PAVEMENT					
STORM DRAIN					
SURFACE FLOW					
SILT FENCING					
STAKED HAYBALES					
CURB					
UTILITY POLE					
CATCH BASIN					
CONCRETE PAVEMENT					
ASPHALT PAVEMENT					
RIP RAP					

SITE LAYOUT NOTES

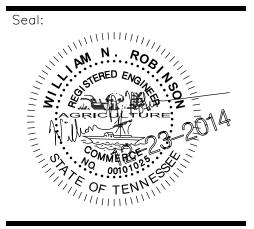
- 1. USE: COMMERCIAL, ZONING: BP-TO, TAX MAP 118 PARCEL 17323
- 2. TOTAL BUILDING AREA: EXISTING: 45,323 PROPOSED ADDITION 25,875 SF (3 STORY)
- 3. TOTAL SITE: 6.13 AC, TOTAL DIST AREA: 1.72 AC, TOTAL NEW IMPERV: 0 AC
- 4. DEED REFERENCE: 20020319-0076975
- 5. PORTIONS OF THIS PROPERTY ARE IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA.
- 6. SITE BENCHMARK: CONTACT SURVEYOR FOR SITE BENCHMARK. DATUM NGVD.
- 7. SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS FROM AS DESIGNED INFORMATION PROVIDED BY THE OWNER. THIS INFORMATION SHOULD BE CONSIDERED LOW QUALITY DATA. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION. THE ARCHITECT NOR THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY THE OTHERS.
- 8. UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS REPSONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
- 9 PARKING SUMMARY: TOTAL REQUIRED: 284 SPACES TOTAL PROVIDED: 284 SPACES BASIS: 1 SPACE PER 250 SF NET USABLE/LEASABLE CALCULATED PER BOMA = 71,198 SF
- 10. SETBACKS:

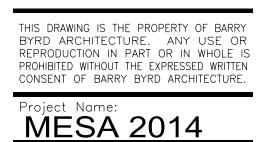
FRONT: 50' SIDE: 40'

- REAR: 30'
- 11. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES FOR EXECUTION OF THE WORK. ALL MATERIALS AND EXECUTION OF THE WORK SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS.
- 12. CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE 'MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION' ISSUED BY THE AGC OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE US DEPARTMENT OF LABOR. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION AND SEDIMENT CONTROL HANDBOOK.
- 13. VERIFY SITE CONDITIONS, DIMENSIONS, ELEVATIONS, AND LOCATION OF EXISTING FEATURES BEFORE STARTING WORK. THE OWNERS REPRESENTATIVE SHALL BE NOTIFIED OF ANY INTERFERENCES OR DISCREPANCIES.
- 14. TRAFFIC CONTROL IN CONSTRUCTION AREAS TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.



P.O. Box 5482 Knoxville, TN 37928 (865) 687-6500





Drawn By:

No. DATE DESCRIPTION

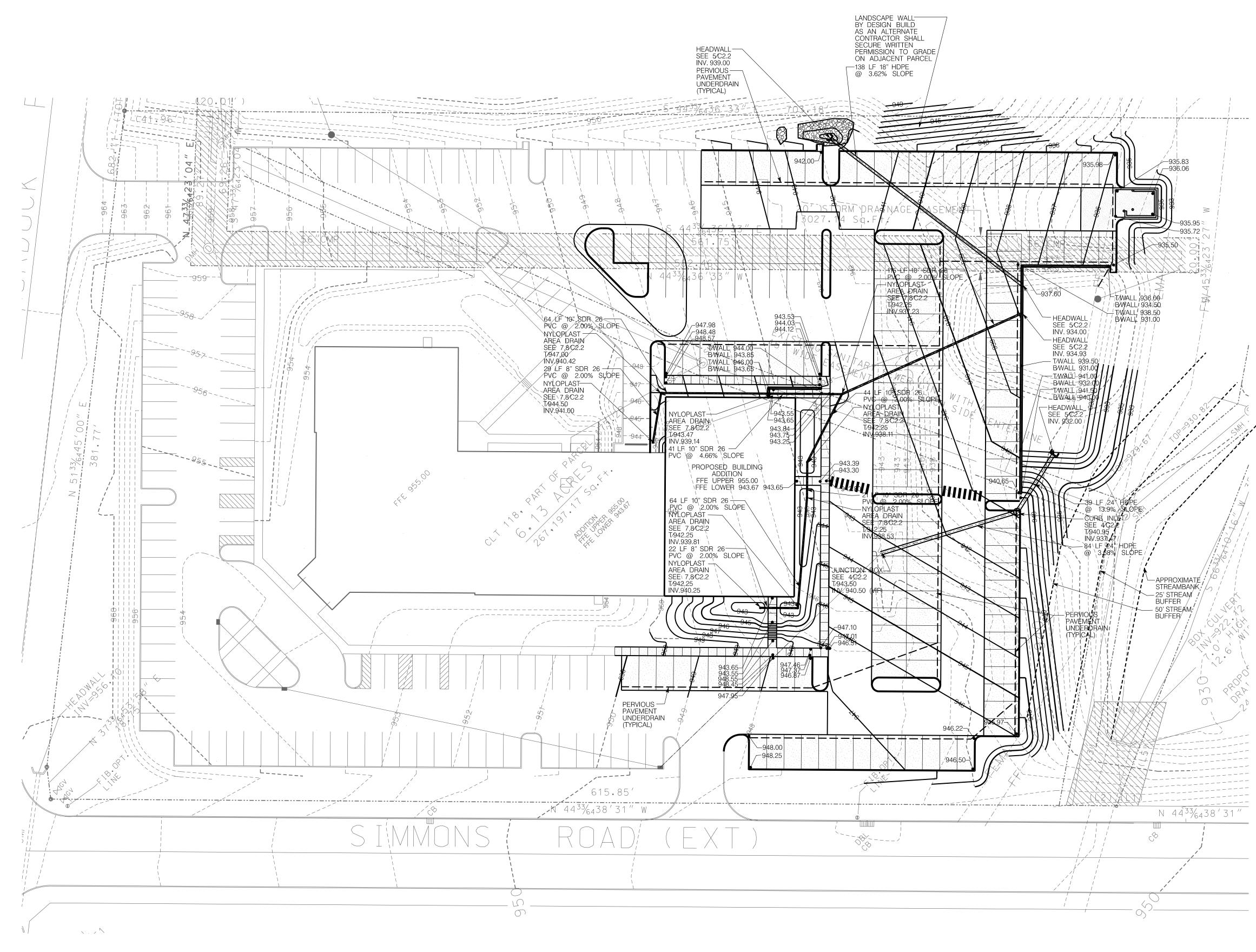
Project Title:

OFFICE EXPANSION FOR:



Location:			
Knox County, TN			
Sheet Contents: Site Layout Plan			

Date:		
Dec.	23,	2014
Sheet Nur	nber:	
C1.2)	



STANDARD NOTES:

1. THIS IS A PRIORITY CONSTRUCTION ACTIVITY.

2. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND/OR EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.

3. QUALITY ASSURANCE OF EROSION PREVENTION AND SEDIMENT CONTROLS SHALL BE CONDUCTED BY QUALIFIED PERSONNEL PERFORMING SITE ASSESSMENT AT EACH OUTFALL INVOLVING DRAINAGE TOTALING 10 OR MORE ACRES, OR FIVE OR MORE ACRES IF DRAINING TO IMPAIRED OR EXCEPTIONAL WATERS. THIS ASSESSMENT WILL BE CONDUCTED AT EACH QUALIFYING OUTFALL WITHIN A MONTH OF CONSTRUCTION COMMENCEMENT. (SEE CGP 3.1.2 FOR ASSESSMENT LANGUAGE)

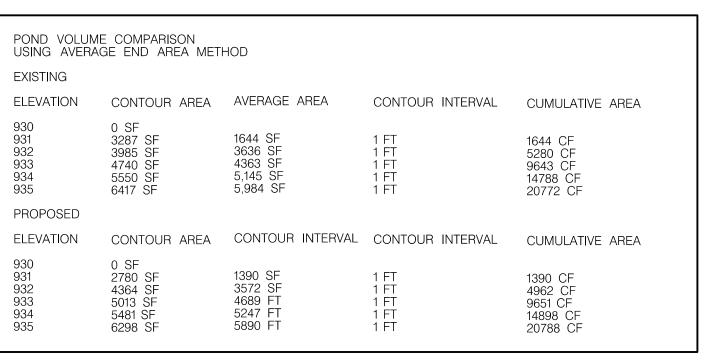
4. FUGITIVE SEDIMENT THAT HAS ESCAPED THE CONSTRUCTION SITE MUST BE REMOVED SO THAT IT IS NOT SUBSEQUENTLY WASHED INTO STORM SEWERS AND/OR STREAMS BY THE NEXT RAIN AND/OR SO THAT IT DOES NOT POSE A SAFETY HAZARD TO USERS OF PUBLIC STREETS. ARRANGEMENTS CONCERNING REMOVAL OF SEDIMENT ON ADJOINING PROPERTY MUST BE SETTLED BY THE PERMITTEE WITH THE ADJOINING LAND OWNER.

5. SEDIMENT SHOULD BE REMOVED FROM SEDIMENT TRAPS, SILT FENCES, SEDIMENTATION PONDS, OTHER SEDIMENT CONTROLS WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50%.
6. LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS EXPOSED TO STORMWATER SHALL BE PICKED UP PRIOR TO ANTICIPATED STORM EVENTS OR BEFORE BEING CARRIED OFF THE SITE BY WIND, OR OTHERWISE PREVENTED FROM BECOMING A POLLUTION SOURCE FOR STORMWATER DISCHARGES.

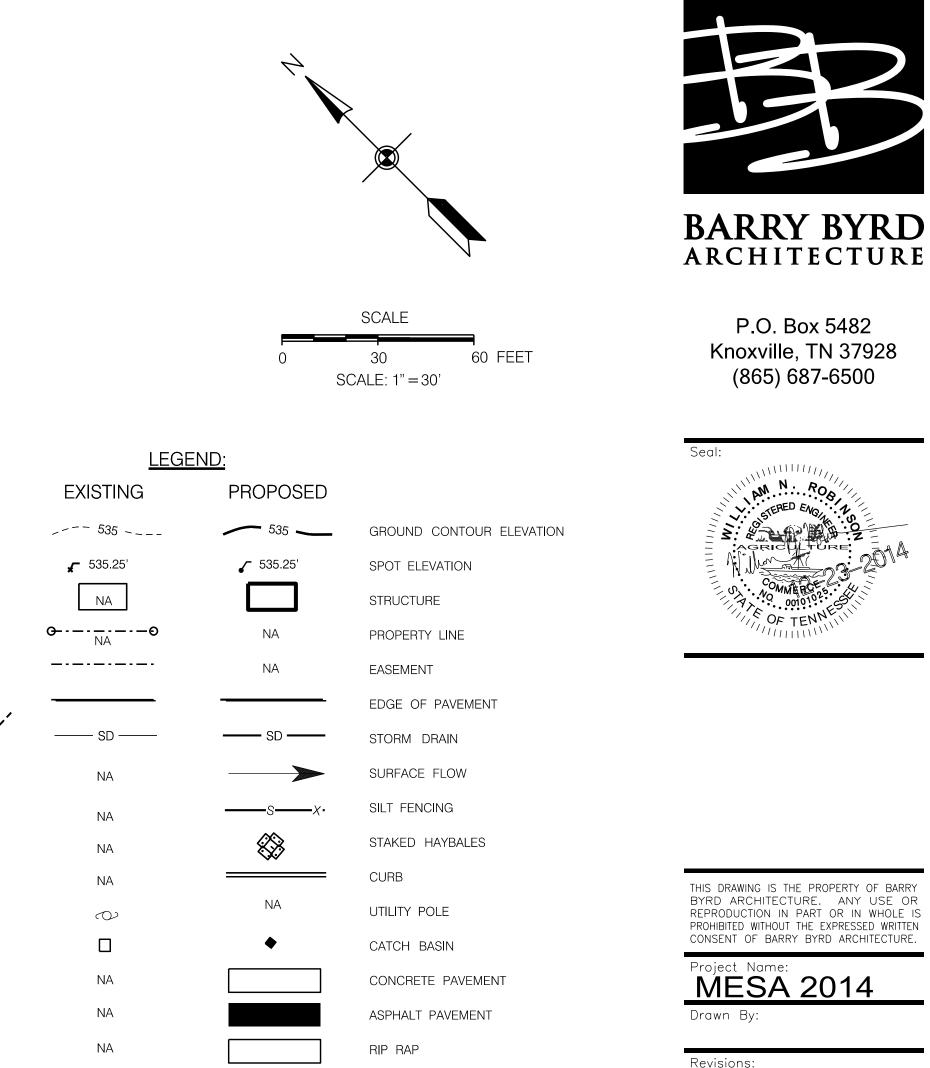
7. PRECONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED, OR DISTURBED MORE THAN 15 DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDED AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.
8. EXISTING VEGETATION SHOULD BE PRESERVED TO THE MAXIMUM EXTENT PRACTICABLE.

9. TEMPORARY OR PERMANENT SOIL STABILIZATION MUST BE COMPLETED NO LATER THAN 15 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS PERMANENTLY OR TEMPORARILY CEASED. STEEP SLOPES (>35%) MUST BE PERMANENTLY OR TEMPORARILY OR TEMPORARILY OR TEMPORARILY STABILIZED WITHIN 7 DAYS.

10. SITE INSPECTIONS SHALL BE PERFORMED AT LEAST TWICE WEEKLY AT A MINIMUM OF 72 HOURS APART ON ALL UNSTABILIZED SITES.



1-L-15-UR Revised: 12/23/2014



SITE GRADING NOTES

- 1. SITE BENCHMARK: CONTACT SURVEYOR FOR LOCATION AND ELEVATION OF SITE BENCHMARK BASIS NAVD88.
- 2. SITE BOUNDARY AND TOPOGRAPHIC SURVEY IS FROM AS DESIGNED INFORMATION PROVIDED BY THE OWNER. THIS INFORMATION SHOULD BE CONSIDERED LOW QUALITY DATA. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION. THE ARCHITECT NOR THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
- 3. UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
- 4. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES INCLUDING SILT FENCE, RIP RAP, AND EROSION CONTROL MAT AS SOON AS PRACTICAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE STRUCTURES UNTIL THE SITE HAS BEEN SUFFICIENTLY STABILIZED. Project Title:
- 5. THE CONTRACTOR SHALL EMPLOY SOILS CONSULTANTS FOR THE TESTING OF SOIL COMPACTION **OFFICE EXPANSION** IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. SOIL SHALL BE COMPACTED TO 98% OF **FOR:** ITS MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD. SOIL MOISTURE CONTENT SHALL BE MAINTAINED WITHIN +/- 3% OF OPTIMUM.
- 6. THIS PROJECT MAY INVOLVE IMPORT OR WASTE OF FILL MATERIAL. THE CONTRACTOR SHALL REVIEW THIS PLAN, THE SITE SURVEY, AND INSPECT THE SITE ITSELF. THE CONTRACTOR SHALL THEN FORMULATE HIS OWN OPINION AS TO THE APPLICABILITY OF THIS PLAN TO THE GOAL OF AN ECONOMICALLY OPTIMAL SITE. CONTACT THE ENGINEER IF CHANGES TO THIS GRADING PLAN ARE REQUIRED TO MEET THIS GOAL.
- 7. ALL SLOPES GREATER THAN 3:1 SHALL BE SPREAD WITH NORTH AMERICAN GREEN S-71 EROSION CONTROL FABRIC. INSTALL FABRIC PER MANUFACTURERS RECOMMENDATIONS.
- 8. NO SLOPES SHALL BE GREATER THAN 2 HORIZONTAL : 1 VERTICAL.
- 9. APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OR EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
- 10. APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
- 11. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED PLAN DETAILS. IF DETAILS ARE NOT SHOWN, REFERENCE THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- 12. SLOPES SHALL HAVE EROSION CONTROL MAT INSTALLED IMMEDIATELY AFTER SLOPE GRADING IS COMPLETED AND TOPSOIL HAS BEEN INSTALLED TO ENCOURAGE 'LOCK IN' OF EROSION MAT.
- 13. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
- 14. CONTRACTOR SHALL STORE CHEMICALS AND SOLUABLE MATERIALS IN AN ENCLOSED, WATERPROOF LOCATION OR PROVIDED WITH SECONDARY CONTAINMENT CAPABLE OF STORING THE CONTENTS OF THE TOTAL AMOUNT OF CHEMICALS STORED. SPILL CLEANUP MATERIALS MUST BE LOCATED WITHIN THE IMMEDIATE PROXIMITY OF THE MATERIALS AS WELL.
- 15. NO VEHICLE MAINTENANCE OF CONSTRUCTION VEHICLES WILL OCCUR ONSITE. 16. CONSTRUCTION MATERIALS WILL BE STAGED IN THE EXISTING PARKING AREA.
- FOR TRASH ON THE PROJECT, PROVIDE A TRASH RECEPTACLE WITH A LID. MAINTAIN THE MATERIAL STAGING AREA IN AN NEAT AND ORDERLY MANNER.
- 17. CONTRACTOR SHALL INSTALL 4" THICK LAYER OF QUALITY TOPSOIL ON ALL DISTURBED AREAS AND ESTABLISH A THICK STAND OF GRASS ACCEPTABLE TO THE KNOX COUNTY SITE INSPECTOR.



No. DATE DESCRIPTION

Site Plan	Gra	ading	
Date:	23.	2014	

Knox County, TN

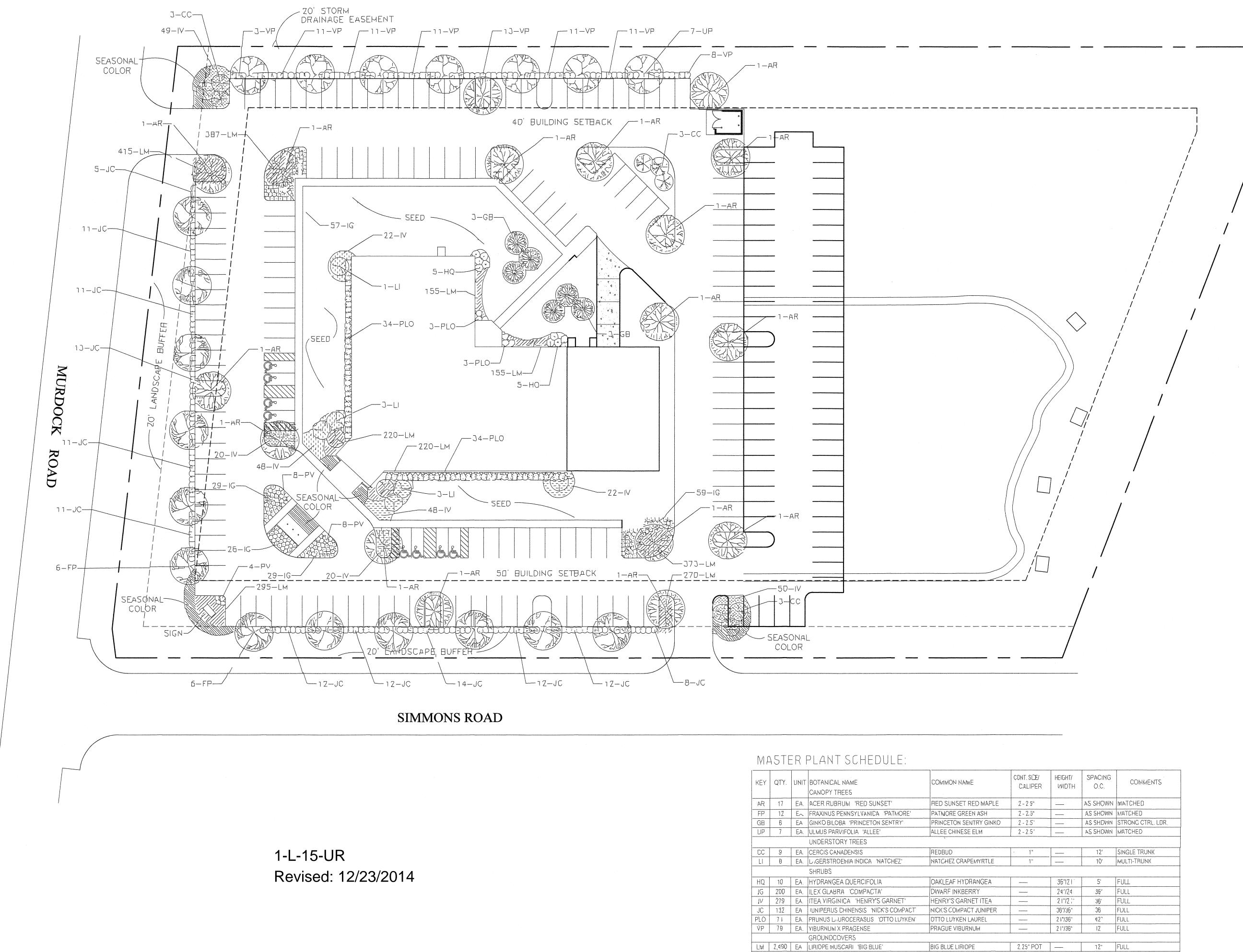
Location:

Sheet Contents

Sheet Number:

C1.5

Agenda Item # 34



Ņί	15te	ERF	PLANT SCHEDULE:	
KEY	QTY.	UNIT	BOTANICAL NAME CANOPY TREES	COMMON N
AR	17	EA.	ACER RUBRUNI 'RED SUNSET'	RED SUNSI
FP	12	En	FRAXINUS PENNSYLVANICA 'PATHORE'	PATNORE
GB	6	EA	GINKO BILOBA 'PRINCETON SENTRY'	PRINCETON
UP	7	EA.	ULMUS PARVIFOLIA 'ALLEE'	ALLEE CHIN
			UNDERSTORY TREES	· ·
CC	9	EA.	CERCIS CANADENSIS	AEDBUD
LI	θ	EA.	LIGERSTROEMIA INDICA 'NATCHEZ'	NATCHEZ C
			SHRUBS	
HQ	10	EA.	HYDRANGEA QUERCIFOLIA	OAKLEAF H
IG	2DD	EA.	ILEX GLABRA 'COMPACTA'	DWARF INK
IV	279	EA.	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S G
JC	132	EA	UNIPEAUS CHINENSIS 'NICK'S COMPACT	NICK'S COIH
PLO	71	EA.	PHUNUS LIUROCERASUS OTTO LUYKEN	DTTO LUYK
ŶР	79	EA.	VIBURNUNI X PRAGENSE	PRAGUE VIE
			GROUNDCOVERS	*****
LM	2,490	EA	LIRIDPE MUSCARI 'BIG BLUE'	BIG BLUE LI
			ORNAMENTAL GRASSES	
PV	20	EA.	PANICUM VIRGATUM 'REHBRAUN'	RED SWITCH
N	OTES.	1.	TRIANGULATE SPACING ON SHRUBS AND GRO	UNDCOVER TH
		2.	ALL SLOPES GREATER THAN J:1 SHALL BE SOL	DED OR OTH
		E	SEED ALL DISTURBED AREAS NOT OTHERWISE	PLANTED.
1			· · · · · · · · · · · · · · · · · · ·	

5. ALL SIZES ARE MINIMUMS

I GAL - 3D" FULL CHGRASS THAT ARE DOUBLE ROW OR GREATER HERWISE PLANTED WITH ACCEPTABLE METHOD TO PREVENT EROSION.

I. LIMB UP ALL CANOPY TREES & MIN. UNLESS OTHERWISE NOTED

Byrd & Cooper Architects **Inc**.

P.O. Box 1827 Knoxville, TN 37928 Office 865-689-6500 Fax 865-688-8037

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EXISTING PLAN FOR REFERENCE ONLY

Consultants:

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Project Title:





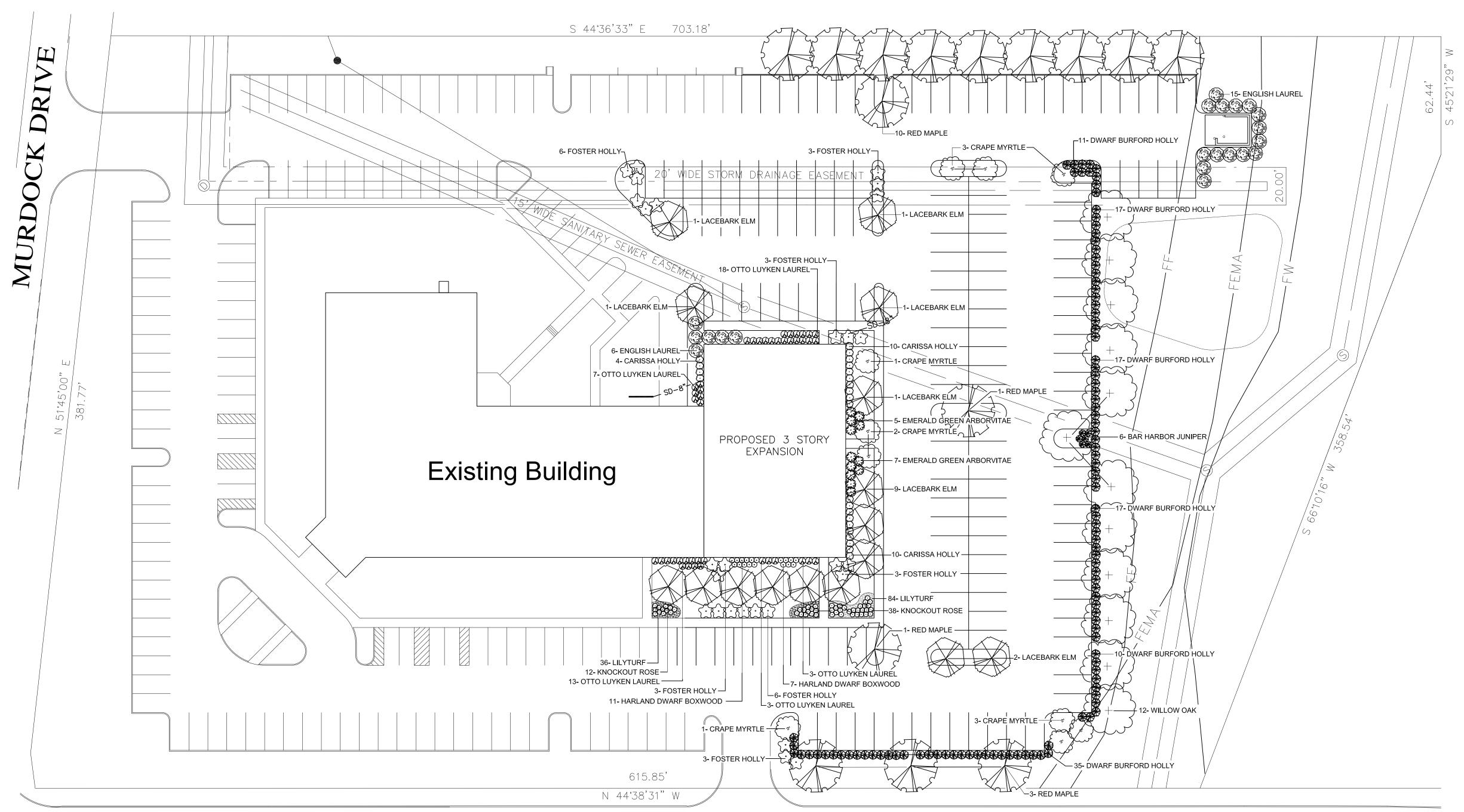
BLUE RIDGE DEVELOPMENT, LLI

Location:

Knox County, T

Sheet Contents: LandscapePlan

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Date: Tuly	13	2006	
Sheet I			
	Z.		

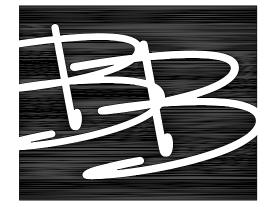


SIMMONS ROAD

1-L-15-UR Revised: 12/23/2014

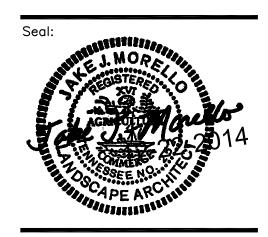
Morello & Associates Planning & Landscape Architecture

7032 Wakan Lane, Knoxville, TN 37721 Office: (865) 253-7288 + Cell: (865) 804-2160 + E-Mail: jakemorello@att.net



BARRY BYRD ARCHITECTURE

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SCALE

30 SCALE: 1"=30'

60 FEET

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MESA 2014 Drawn By:

Revisions:

No. DATE DESCRIPTION

Project Title:

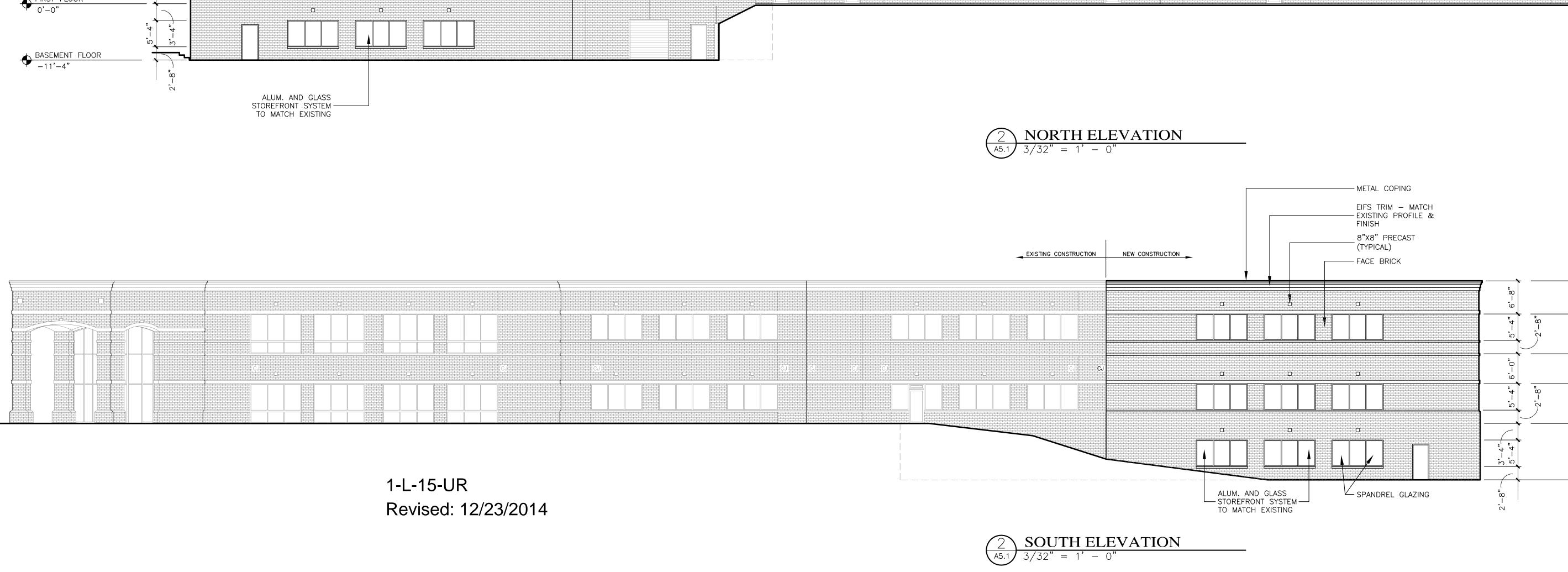
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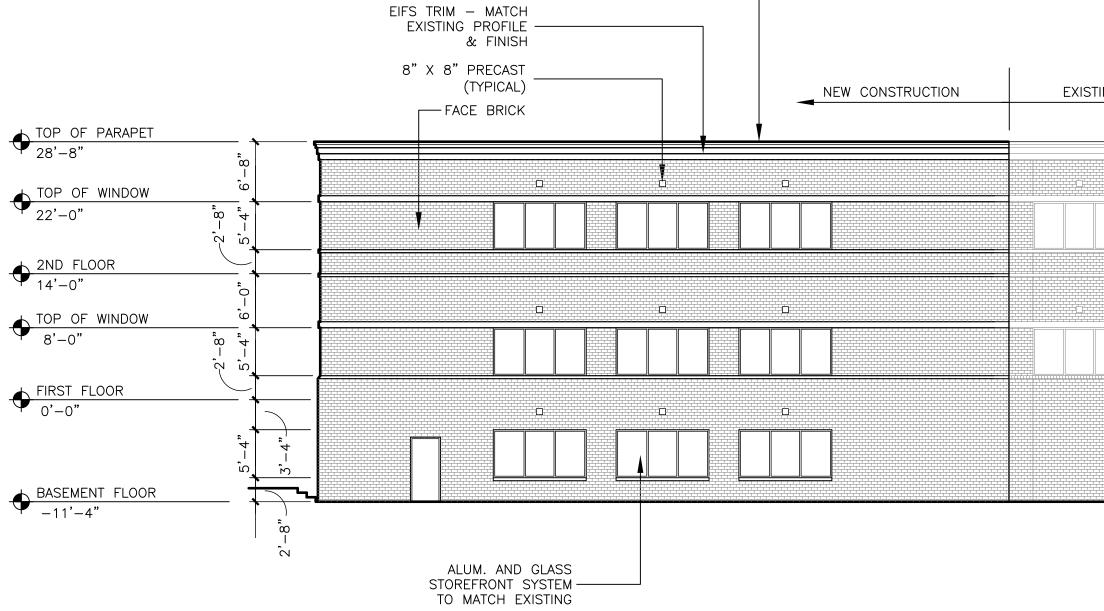


Location: Knox County, TN Landscape Design Plan

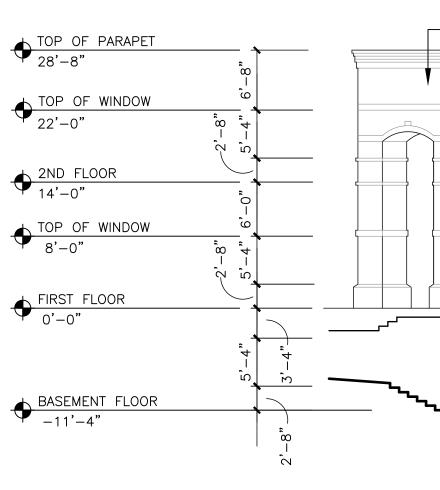
December 22, 2014



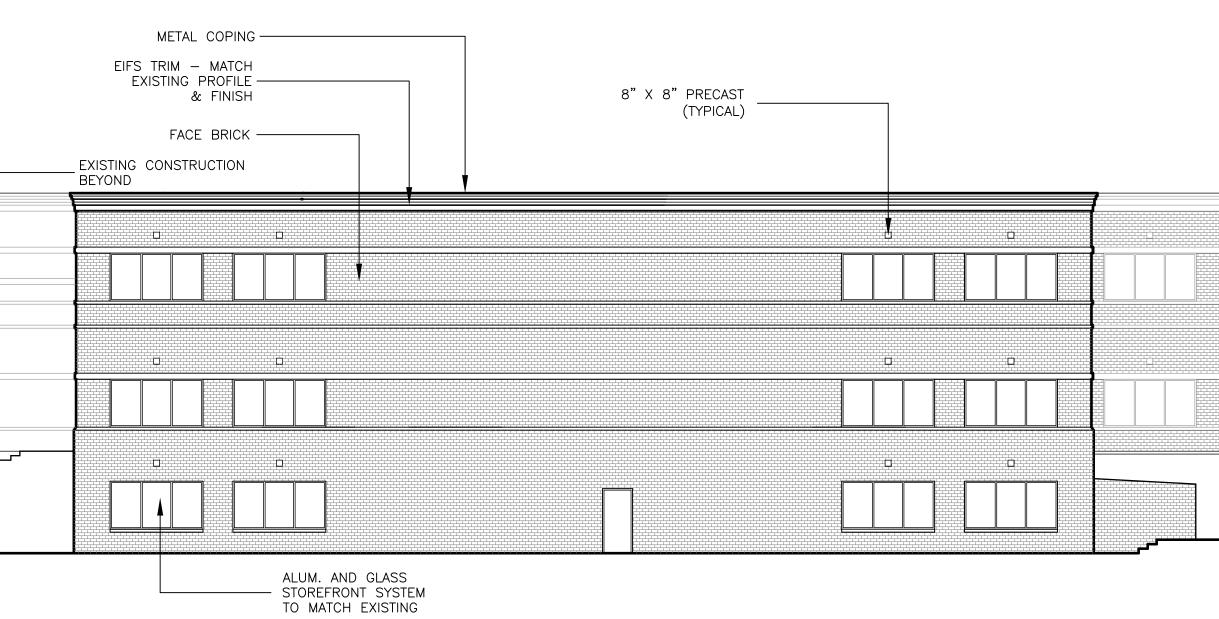




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EXISTING CONSTRUCTION

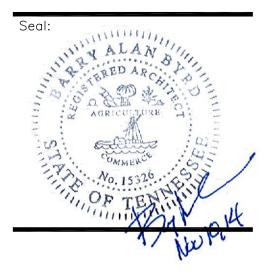


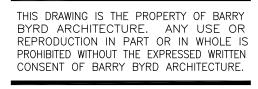
1 A5.1

EAST ELEVATION 3/32" = 1' - 0"



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Project Name: MESA 2014



No. DATE DESCRIPTION

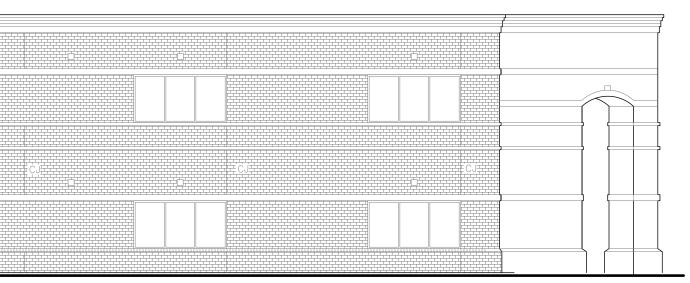
Project Title:

OFFICE EXPANSION FOR:



Location: Knox County, TN Sheet Contents: Exterior Elevations

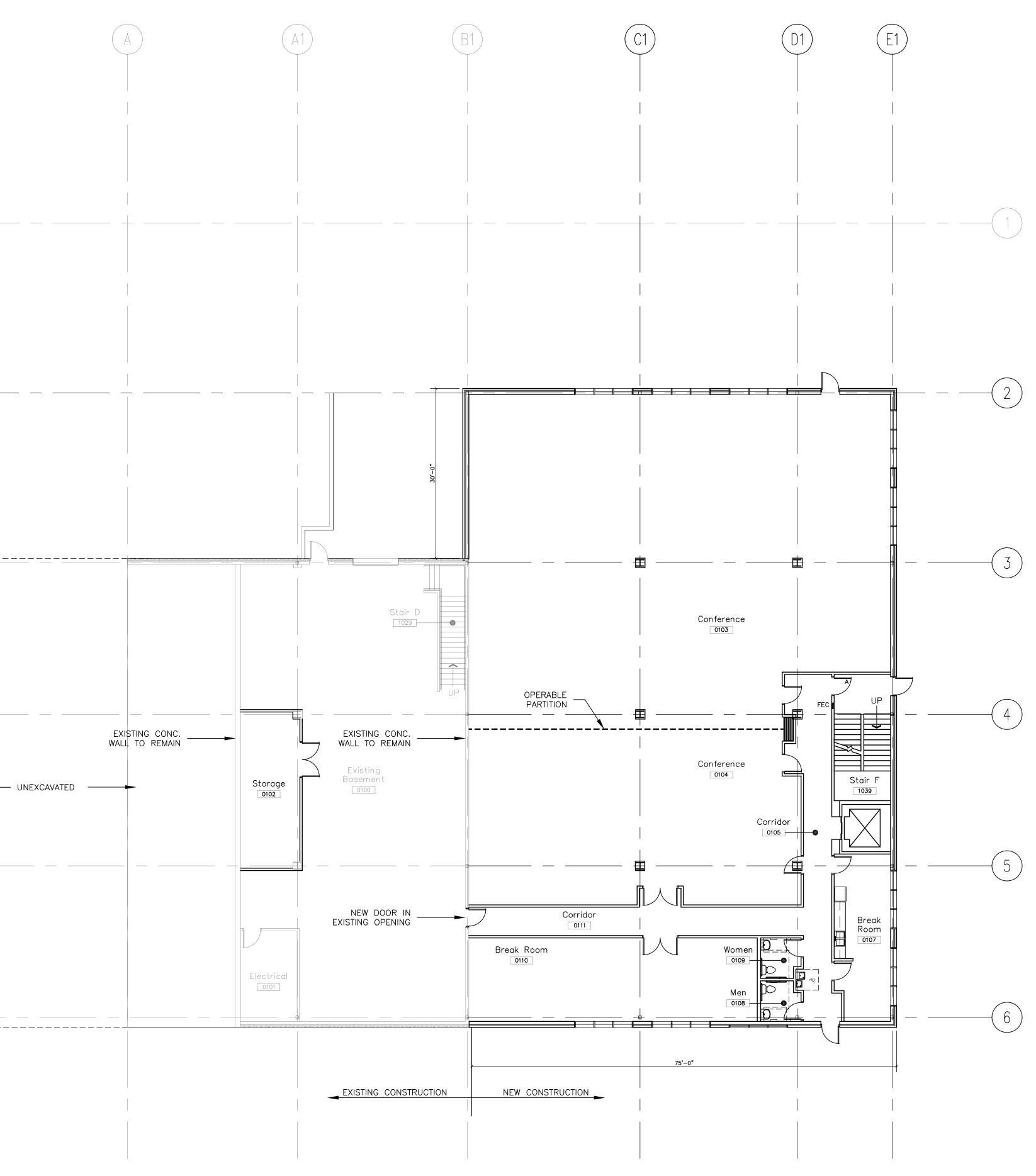
December 22, 2015 Sheet Number:



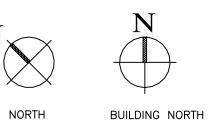
TOP OF PARAPET
28'−8" V
TOP OF WINDOW
22 0
2ND FLOOR 14'-0"
TOP OF WINDOW 8'-0"
FIRST FLOOR 0'-0"
BASEMENT FLOOR +
BASEMENT FLOOR -11'-4"





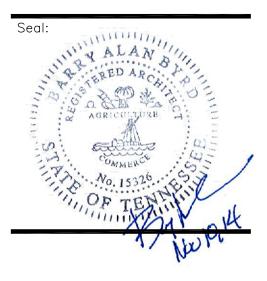


1-L-15-UR Revised: 12/23/2014





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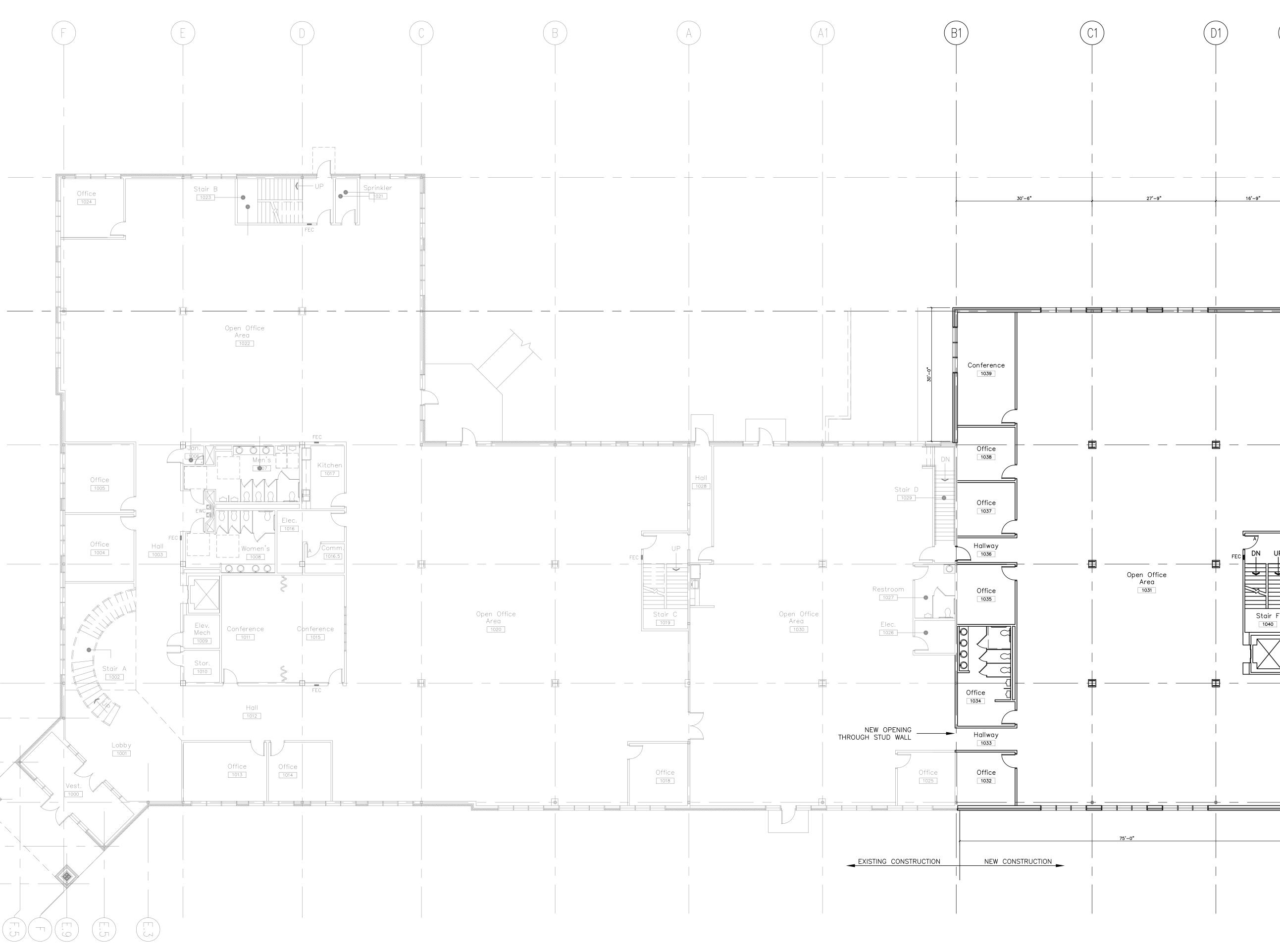
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Projec MI	ct Name: ESA 2	2014
Drawr RA		
Revisi	ions:	
No.	DATE	DESCRIPTION

Project Title:

OFFICE EXPANSION FOR:

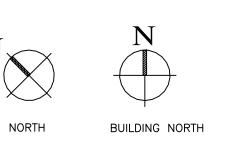


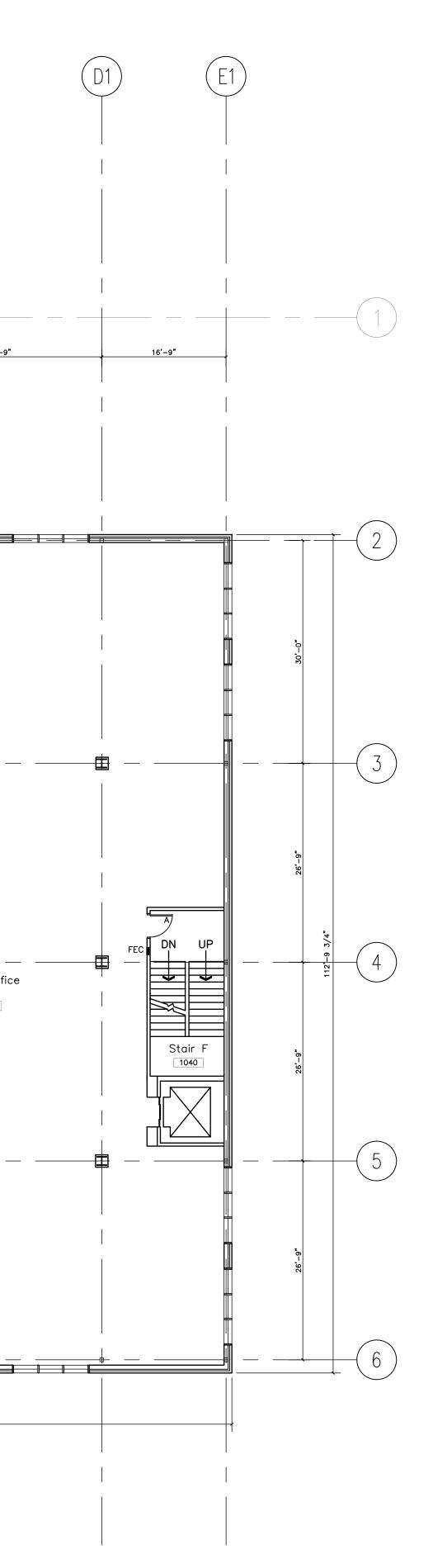
Location: Knox County, TN Sheet Contents: Overall Basement Floor Plan





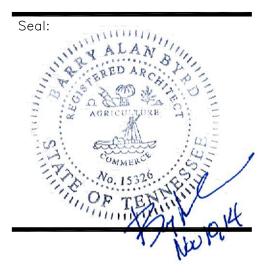
1-L-15-UR Revised: 12/23/2014







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Project Name: MESA 2014 Drawn By: RAS

Revisions:

No. DATE DESCRIPTION

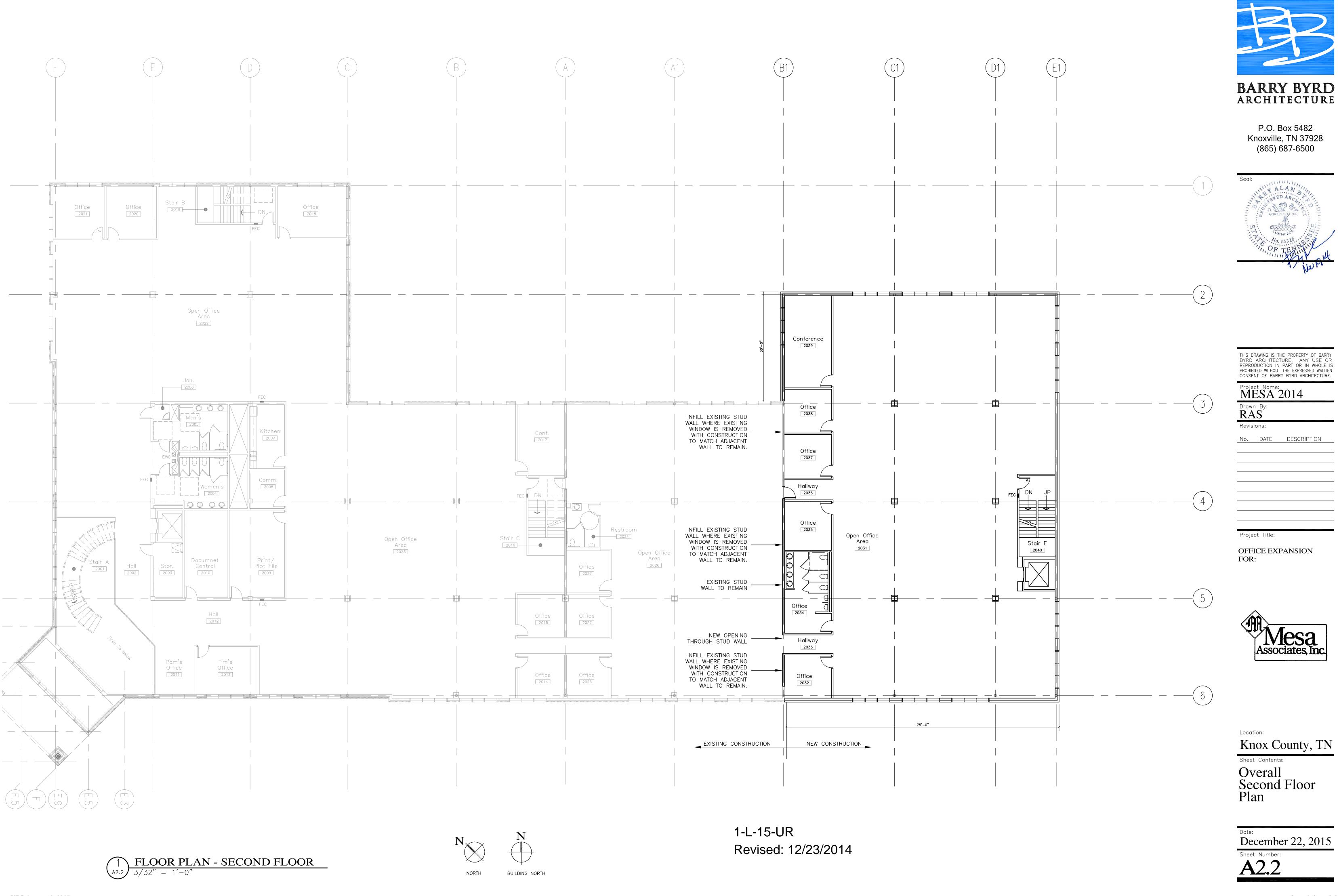
Project Title:

OFFICE EXPANSION FOR:



Location: Knox County, TN Sheet Contents: Overall First Floor Plan

December 22, 201	5
Sheet Number: A2.1	





Agenda Item # 34