

► **FILE #:** 7-A-15-UR

AGENDA ITEM #: 49

AGENDA DATE: 7/9/2015

► **APPLICANT:** DAN BREWER
 OWNER(S): Victor Hubbell Williams

TAX ID NUMBER: 104 00804 [View map on KGIS](#)

JURISDICTION: County Commission District 6

STREET ADDRESS: 10509 Hardin Valley Rd

► **LOCATION:** North side of Hardin Valley Rd., east of Cherahala Blvd.

► **APPX. SIZE OF TRACT:** 1.09 acres

SECTOR PLAN: Northwest County

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via an access drive from Hardin Valley Road, a four-lane, median divided, minor arterial street at this location. An east bound left turn lane on Hardin Valley Road is provided at this intersection.

UTILITIES: Water Source: West Knox Utility District
 Sewer Source: West Knox Utility District

WATERSHED: Beaver Creek

► **ZONING:** BP (Business and Technology) / TO (Technology Overlay)

► **EXISTING LAND USE:** Dentist office

► **PROPOSED USE:** Dentist office expansion

HISTORY OF ZONING: None noted

SURROUNDING LAND USE AND ZONING:
 North: Businesses / BP (Business and Technology) / TO (Technology Overlay)
 South: Residences / A (Agricultural) / TO (Technology Overlay)
 East: Residence / PR (Planned Residential) / TO (Technology Overlay) & A/TO
 West: Vacant land / BP/TO and CA (General Business) / TO (Technology Overlay)

NEIGHBORHOOD CONTEXT: The site is located in an area of mixed residential and business park development.

STAFF RECOMMENDATION:

► **APPROVE the request for the dentist office expansion with a total building area of approximately 6214 square feet as shown on the development plan subject to 6 conditions**

1. Obtaining approval of a Certificate of Appropriateness from the Tennessee Technology Corridor Development Authority (TTEDA) for the proposed development (7-A-15-TOB).
2. Meeting all applicable requirements of the Knox County Zoning Ordinance
3. Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.

4. Obtaining approval from the pipe line company (identified as Duke Natural Gas Line Easement on recorded plat) for all development activity within the natural gas line easement that crosses the property.
5. Connecting the development to sanitary sewer, as well as meeting other applicable requirements of the Knox County Health Department.
6. Installing all landscaping identified on the approved landscape plan prior to obtaining an occupancy permit for the dentist office expansion.

With the conditions noted above, this request meets the requirements for approval in the BP (Business and Technology) / TO (Technology Overlay) zoning districts, as well as other criteria for approval of a use on review.

COMMENTS:

The existing dentist office on this 1.09 acre site was approved by the Planning Commission and the TTCDA Board in March, 2011 (3-E-11-UR and 3-A-11-TOB). While the original plans showed this proposed building expansion, it was not part of the original approval. The original office included approximately 2600 square feet. Variances had previously been approved to allow parking in the required front and side yards, to reduce the front yard landscaping setback, from 50 ft. to 5 ft. and the side yard landscaping setback, from 40 ft. to 5 ft., and to reduce the rear building setback from 30 ft. to 15 ft. (Approved by BZA, 1/28/2011).

This is a request for approval of a building expansion that will bring the total office area to 6214 sq ft. The building addition will be located on the east side of the existing building. A driveway will be extended from the existing parking lot along the front of the building to a new parking lot located on the east side of the building addition. The proposed development plan includes a total of 27 parking spaces.

Since the approved landscape plan for the original development was not fully installed, Staff is recommending a condition that the landscaping be installed prior to an occupancy permit being issued for the building expansion.

The site is located within the TO (Technology Overlay) zoning district and is subject to review and approval by the Tennessee Technology Corridor Development Authority (TTCDA). The TTCDA will consider this request on July 8, 2015 (7-A-15-TOB).

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTIES AND THE COMMUNITY AS A WHOLE

1. All utilities are available to serve this site.
2. There is adequate road capacity to handle the traffic generated by this development.
3. The proposed development is compatible with the scale and intensity of the surrounding development and zoning pattern.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

1. With the recommended conditions and approved variances, the proposal meets all requirements of the BP zoning district as well as the general criteria for approval of a use on review.
2. The proposed dental office expansion is consistent with the following general standards for uses permitted on review: The proposal is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas. No surrounding land uses will pose a hazard or create an unsuitable environment for the proposed use.

CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

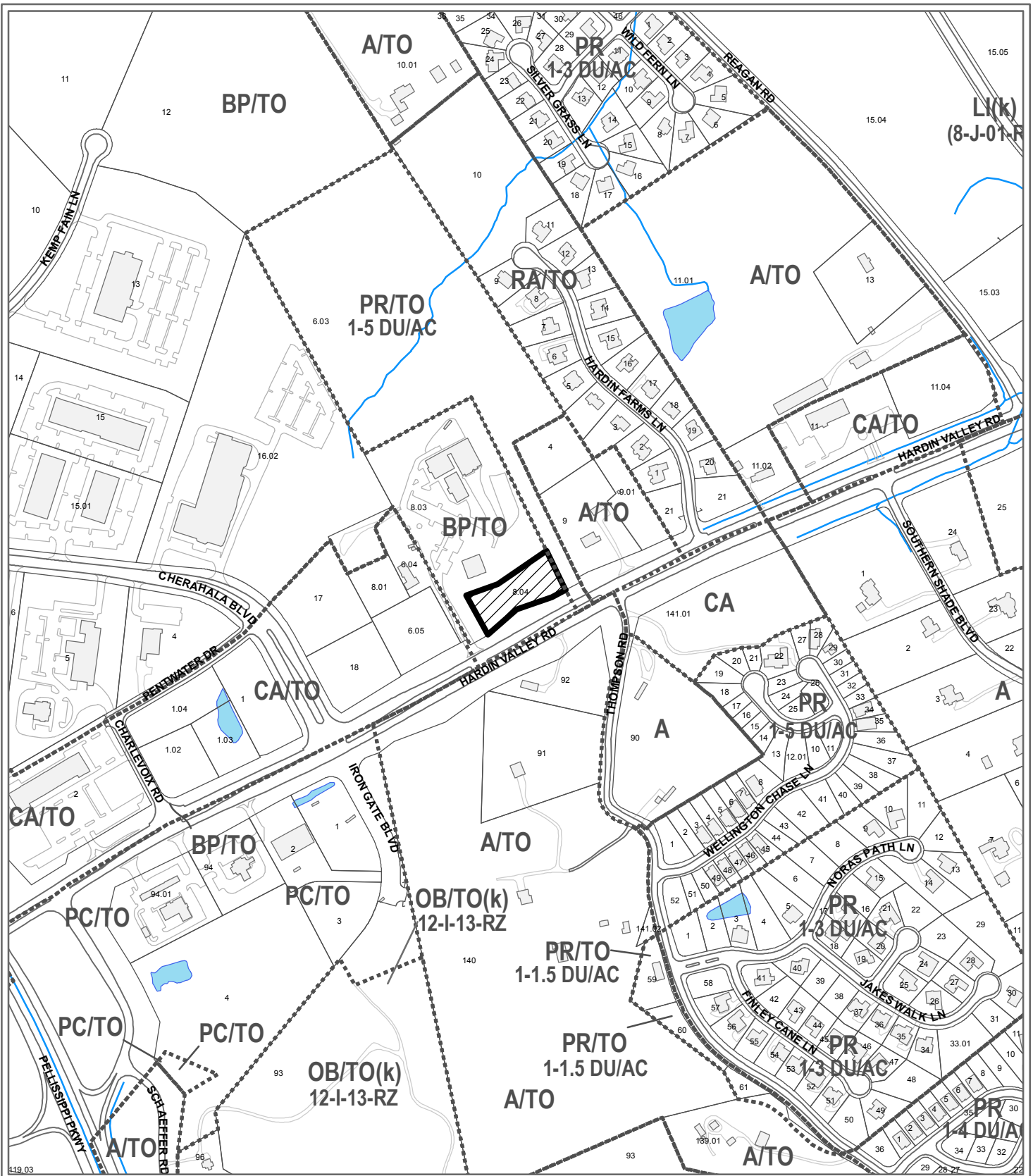
1. The Northwest County Sector Plan proposes technology park uses for the site. The proposed use is consistent with the BP (Business and Technology) zoning district and sector plan designation.
2. The site is located within the Planned Growth Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: 254 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal an MPC decision in the County.



**7-A-15-UR
USE ON REVIEW**



Dentist office expansion in BP (Business and Technology) / TO (Technology Overlay)

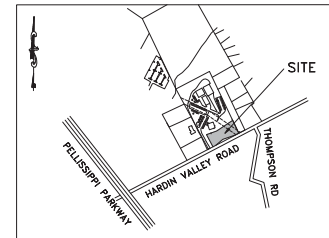
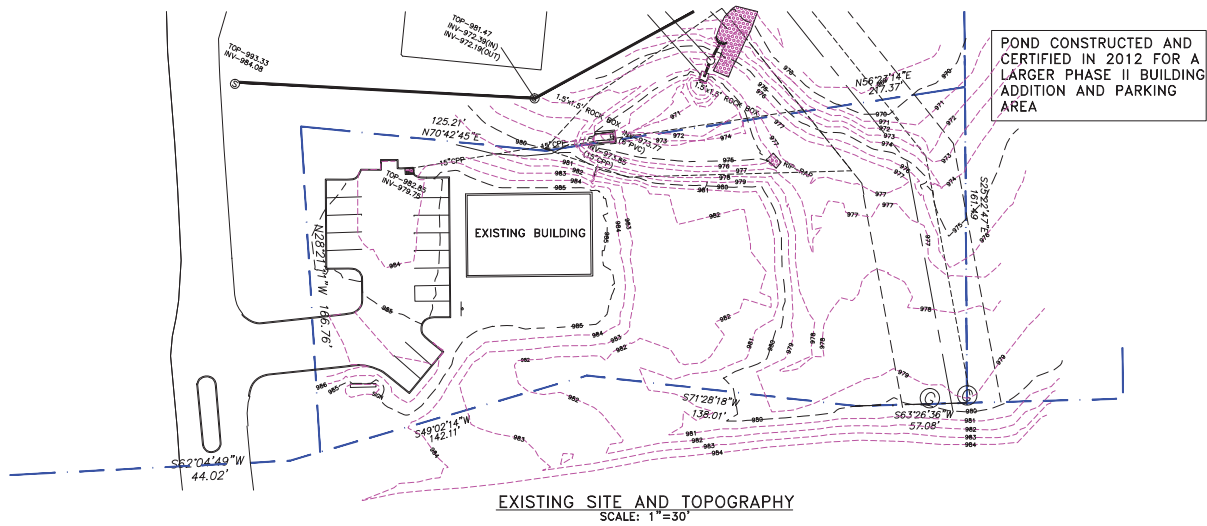
Petitioner: Brewer, Dan

Original Print Date: 6/24/2015
 Revised:
 Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

Map No: 104
 Jurisdiction: County

0 500
Feet



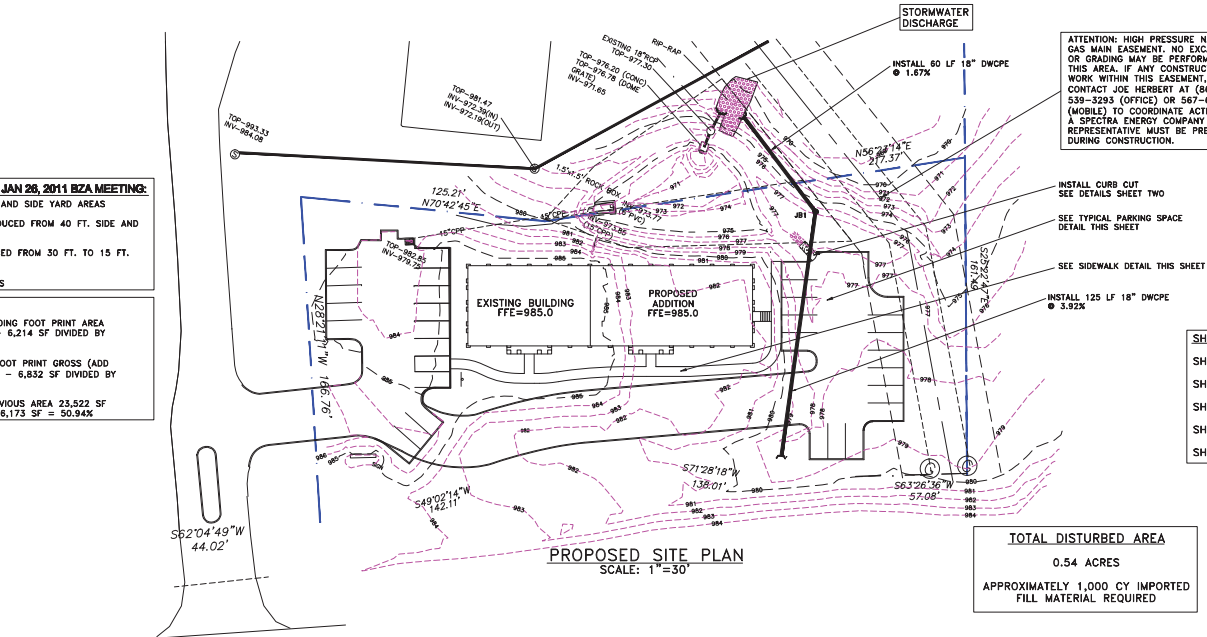


**BREWER
INGRAM
FULLER**
Architects Inc.

**KNOXVILLE
DENTAL CENTER
EXPANSION**

POND CONSTRUCTED AND CERTIFIED IN 2012 FOR A LARGER PHASE II BUILDING ADDITION AND PARKING AREA

EXISTING SITE AND TOPOGRAPHY
SCALE: 1"=30'



ATTENTION: HIGH PRESSURE NATURAL GAS MAIN EASEMENT. NO EXCAVATION OR GRADING MAY BE PERFORMED IN THIS AREA. IF ANY CONSTRUCTION WORK WITHIN THIS EASEMENT, CONTACT JOE HERBERT AT (865) 539-5293 (OFFICE) OR 567-6293 (MOBILE) TO COORDINATE ACTIVITIES. A SPECTRA ENERGY COMPANY REPRESENTATIVE MUST BE PRESENT DURING CONSTRUCTION.

- CONTRACTOR TO VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF UTILITIES IS BASED ON THE BEST AVAILABLE INFORMATION. CALL TENNESSEE "811" AT LEAST 72 HOURS PRIOR TO CONSTRUCTION ACTIVITIES FOR UTILITIES LOCATION.
- CONTRACTOR RESPONSIBLE FOR COMPLIANCE WITH OSHA REQUIREMENTS FOR SLOPE STABILITY, SHORING, AND SLOPE CONTROL DURING CONSTRUCTION.
- BACK FILL MUST BE PLACED AND COMPACTED TO 95% OF STANDARD PROCTOR PRIOR TO UTILITY INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING GRADES AND ALIGNMENTS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES OR INCONSISTENCIES IDEAL ENGINEERING SOLUTIONS, INC. AT 755-3575.
- TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA, INC.
- DEMOLITION OF EXISTING STRUCTURES AND ADJUSTMENT OF EXISTING UTILITIES TO BE PERMITTED AND COORDINATED WITH KNOX COUNTY.

PROPERTY NOTES:
1. CLT 104 PARCEL 8
2. TOTAL AREA= 1.06 ACRES
3. ZONING: BP/TO

TOPOGRAPHIC INFORMATION FROM SURVEY BY:
LYNCH SURVEYS, MAY 2012

VARIANCES APPROVED AT JAN 26, 2011 BZA MEETING:
ALLOW PARKING WITHIN FRONT AND SIDE YARD AREAS
LANDSCAPING REQUIREMENT REDUCED FROM 40 FT. SIDE AND 50 FT. FRONT TO 5 FT.
REAR BUILDING SETBACK REDUCED FROM 30 FT. TO 15 FT.

VARIANCE REQUESTED:
USE OF 9'x18' PARKING SPACES

TTCDA RATIOS:
GROUND AREA COVERAGE: BUILDING FOOT PRINT AREA DIVIDED BY GROSS LOT AREA = 6,214 SF DIVIDED BY 46,173 SF = 13.45%
FLOOR AREA RATIO: BUILDING FOOT PRINT GROSS (ADD PORCHES) BY GROSS LOT AREA = 6,832 SF DIVIDED BY 46,173 SF = 13.8%
IMPERVIOUS AREA RATIO: IMPERVIOUS AREA 23,522 SF DIVIDED BY GROSS LOT AREA 46,173 SF = 50.94%

TOTAL DISTURBED AREA
0.54 ACRES
APPROXIMATELY 1,000 CY IMPORTED FILL MATERIAL REQUIRED

SHEET INDEX:	
SHEET ONE	SITE PLAN
SHEET TWO	GRADING AND DRAINAGE
SHEET THREE	PAVING GEOMETRY AND MISCELLANEOUS DETAILS
SHEET FOUR	SITE UTILITY PLAN AND DETAILS
SHEET FIVE	LANDSCAPE PLAN

7-A-15-UR
Revised: 6/24/2015

ideal Engineering Solutions, Inc.
325 Wooded Lane
Knoxville, Tennessee 37922
(865) 755-3575

SHEET ONE
SITE PLAN



6/24/15 FOR BIDDING ONLY
1463 PROJECT NUMBER

EXCAVATION AND GRADING NOTES

THE REQUIREMENTS LISTED BELOW ARE INTENDED TO SERVE AS AN OUTLINE OF GENERAL REQUIREMENTS. ADDITIONAL REQUIREMENTS MAY BE SET FORTH ON THESE PLANS.

SOILS

CONTRACTOR SHALL PAY GRADING PERMIT FEE AND POST GRADING BOND, AS REQUIRED.

EROSION CONTROL

INSTALL EROSION CONTROL, SILT FENCE AND EROSION CONTROL, BEAMS AND SEDIMENT RETENTION FACILITIES PRIOR TO THE START OF GRADING.

CLEARING AND GRUBBING

COMPLY WITH LOCAL AND STATE ORDINANCES REGARDING DISPOSAL OF DEBRIS. DO NOT BURN DEBRIS ON SITE WITHOUT APPROVAL OF LOCAL AUTHORITY. CLEAR AND GRUB FOR NEW CONSTRUCTION AS REQUIRED.

EXCAVATION INFORMATION

VERIFY LOCATION OF EXISTING ON-SITE UTILITIES. PROTECT AND MAINTAIN EXISTING UTILITIES AS REQUIRED. ESTABLISH AND VERIFY EXISTING LIMITS, GRADES AND DIMENSIONS AS SHOWN ON THE DRAWING. REPORT ANY ERRORS OR INCONSISTENCIES TO IDEAL ENGINEERING SOLUTIONS, INC. AT (865) 755-3575 BEFORE COMMENCEMENT OF WORK.

SAFETY BARRIERS

SAFETY BARRIERS HAVING A MAXIMUM OPENING OF 4" SHALL BE PROVIDED FOR ANY PILE, OPENING OR EXCAVATION TO PREVENT CHILDREN OR LARGE ANIMALS FROM CRAWLING INTO THE STRUCTURES. SCREENS SHALL BE RELEASD 3/8" BARS @ 4" O.C. BOTH WAYS.

TEMPORARY DIVERSION SHELTERS

TEMPORARY DIVERSION SHELTERS SHALL BE CONSTRUCTED PRIOR TO STRIPPING OR ANY OTHER GRADING ACTIVITY. IF SHOWN THIS DRAWING ALSO TEMPORARY STRIPING MUST AND/OR PERMANENT EROSION BARRIERS SHALL BE CONSTRUCTED PRIOR TO STRIPPING OR OTHER GRADING ACTIVITY.

EXISTING TOPOGRAPHY

EXISTING CONTOURS SHOWN ARE INTENDED TO FORM A GENERAL DESCRIPTION OF SURFACE GROUND ELEVATIONS. TOPOGRAPHIC INFORMATION SHOWN HEREON SHALL BE CONSIDERED TO HAVE NOT MORE THAN THE FOLLOWING PLUS OR MINUS LIMITS OF ACCURACY: 0.10 FEET AT BENCHMARKS; 0.25 FEET AT SPOT GRADES; 1.0 FEET AT CONTOUR LINES. CONTRACTOR IS ADVISED THAT STRAIGHT LINE INTERPOLATION BETWEEN CONTOURS MAY NOT EXACTLY REFLECT EXISTING CONDITIONS. AREAS OF RELATIVELY QUICK CHANGES IN CONTOURS SHOULD NOT BE ALLOWED TO UNDELIY INFLUENCE INTERPRETATION OF CONTOURS. REPORT ANY ERRORS OR INCONSISTENCIES TO IDEAL ENGINEERING SOLUTIONS, INC. BEFORE COMMENCEMENT OF WORK. ANY ERROR NOT SO REPORTED CANNOT BE CONSIDERED FOR ADJUSTMENT IN CONTRACT PRICE.

STRIPPING AND SPREADING TOPSOIL

TOPSOIL SHALL BE STRIPPED AND TEMPORARILY STOCK PILED FOR LATER REUSE. IF NO STOCK PILE AREA IS SHOWN ON GRADING PLAN, STOCK PILE SHALL BE IN SUCH PLACE TO PROVIDE FOR READY ACCESS TO NECESSARY AREAS OF SITE. SITE OF OTHER TRAILS TO BE MAINTAINED THROUGHOUT PROJECT. PARALLEL TO EXISTING TRAILS, PROVIDE TOPSOIL THAT WILL BE REUSED BY LANDSCAPE CONTRACTOR. GENERAL TOPSOIL RESPECIATION WILL BE BY GRADING CONTRACTOR TO A MINIMUM DEPTH OF 4" AT ANY POINT EXCEPT ON SLOPE OF 2:1 TO 1 OR STEEPER, WHERE DEPTH SHALL BE 2" MIN. AT ANY POINT.

PROOF-ROLLING PRIOR TO FILL PLACEMENT

ALL AREAS TO RECEIVE FILL OR SHALL BE PROOF ROLLED WITH A 10,000 LB VIBRATORY DRUM ROLLER IN PRESENCE OF SOILS TESTING AGENT BEFORE COMMENCING ANY CONSTRUCTION ACTIVITY. ALL AREAS TO BE COMPACTED SHALL RECEIVE 3 PASSES WITH CONTRACTOR ROLLER OR MORE STRONG RECOMMENDED AS RECOMMENDED BY SOIL TESTING ENGINEER OR SOILS ENGINEERING SOLUTIONS. OWNER'S REPRESENTATIVE SHALL VERIFY IDEAL ENGINEERING SOLUTIONS, INC. THAT ALL AREAS HAVE PASSED PROOF ROLL INSPECTION PRIOR TO COMMENCEMENT OF STRUCTURE OR GENERAL BIDDING. DO NOT EXCEED FILL PRIOR TO SUCH NOTIFICATION.

GENERAL FILL

GENERAL FILL SHALL BE COMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY WITH MOISTURE CONTENT $\pm 1.0\%$ OF OPTIMUM. UNDESIRABLE OR QUESTIONABLE SOILS SHALL BE REMOVED FROM AREAS RECEIVING GENERAL BIDDING. ANY OFF SITE BORROW AREAS SHALL BE APPROVED BY IDEAL ENGINEERING SOLUTIONS, INC. PLACE FILL AND BENCHMARKS IN AREAS AS SPECIFIED IN THESE EXCAVATION AND GRADING NOTES. USE NO SLEETIOUS MATERIAL, ORGANIC, OR ROCK LARGER THAN 6". IN-SITU SOILS MAY REQUIRE ADDITIONAL DRYING TO REACH OPTIMUM MOISTURE CONTENT FOR COMPACTION.

STRUCTURAL FILL

STRUCTURAL FILL SHALL BE COMPACTED TO A MINIMUM OF 98% STANDARD PROCTOR DENSITY WITH MOISTURE CONTENT $\pm 1.0\%$ OF OPTIMUM. UNDESIRABLE OR QUESTIONABLE SOILS SHALL BE REMOVED FROM AREAS RECEIVING STRUCTURAL BIDDING. ANY OFF SITE BORROW AREAS SHALL BE APPROVED BY IDEAL ENGINEERING SOLUTIONS, INC. PLACE BIDDING IN 1/2" THICK LAYS. USE NO SLEETIOUS MATERIAL, ORGANIC, OR ROCK LARGER THAN 6". IN-SITU SOILS MAY REQUIRE ADDITIONAL DRYING TO REACH OPTIMUM MOISTURE CONTENT FOR COMPACTION.

GRADING TOLERANCES

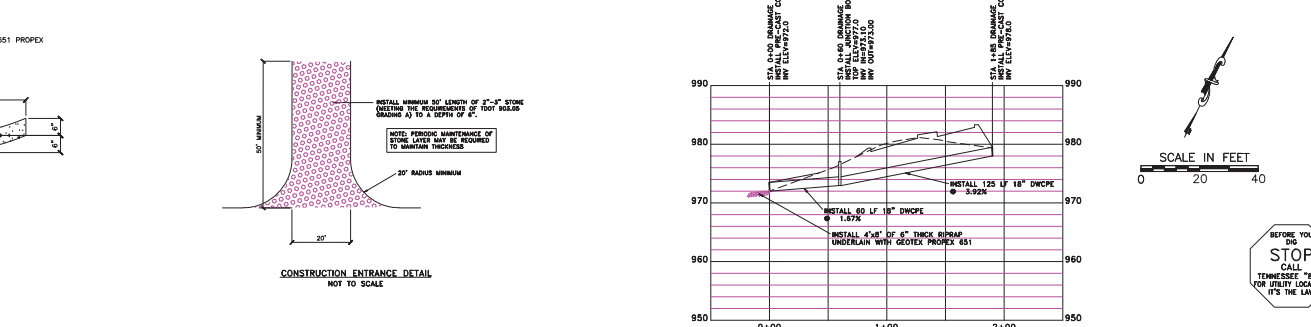
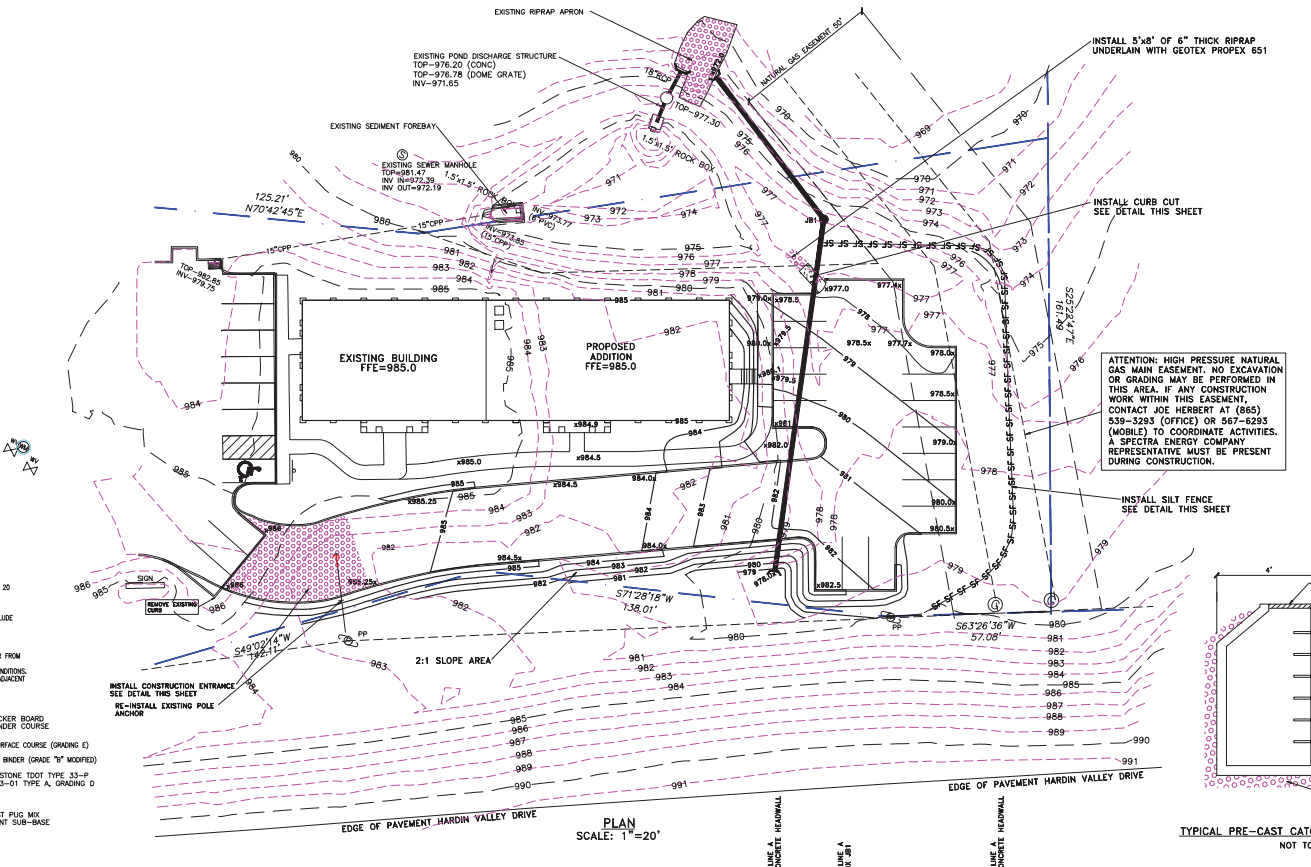
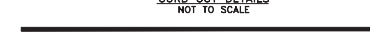
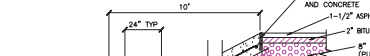
GRADING CONTRACTOR SHALL BE RESPONSIBLE TO WITHIN AN AREA OF 1/10 OF ONE FOOT OF REQUIRED ELEVATION TO NEAREST FINISHED GRADE INDICATED ON DRAWINGS EXCEPT AT LOCATIONS WHERE SPOT ELEVATIONS ARE SHOWN AND WHERE FLOOR ELEVATIONS ARE SHOWN WHICH SHALL BE WITHIN 1/10 OF 1 FOOT OF REQUIRED ELEVATION.

TESTING

CONTRACTOR SHALL INCLUDE PRICE FOR ONE PROCTOR DENSITY ANALYSIS FROM SAMPLES COLLECTED AT LOCATIONS SPECIFIED BY THE NEAREST QUALIFIED GEOTECHNICAL TESTING AGENT SUBJECT TO IDEAL ENGINEERING SOLUTIONS, INC. AND A TOTAL OF 20 IN-SITU SOIL DENSITY DETERMINATIONS BY USE OF NUCLEAR DENSITOMETER TO BE PERFORMED BY THE SAME SOILS TESTING AGENT DURING FILL PLACEMENT. TEST RESULTS MUST USE GRADING LOCATION MAP AT 1:50 SCALE FOR LOCATION OF DENSITY TESTS. ORIGINAL COPIES OF ALL TESTS SHALL BE FORWARDED DIRECTLY TO IDEAL ENGINEERING SOLUTIONS, INC. FROM TESTING AGENT. ALL TESTS SHALL SPECIFICALLY STATE THAT THE TEST EITHER PASSES OR FAILS TO MEET SPECIFICATIONS. CONTRACTOR SHALL INCLUDE IN HIS BIDDING 80 TO IN-SITU (NUCLEAR DENSITOMETER) SOIL DENSITY DETERMINATION TESTS AFTER COMPLETION OF GRADING IF REQUIRED.

STORMWATER RUNOFF

THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO KEEP THE WORK FREE OF WEEDS OTHER FROM SURFACE SOURCES OR FROM UNDERGROUND SOURCES OR BOTH. SELECTION OF EQUIPMENT AND METHODS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE INCURRED BY RUNNING WATER CONDITIONS. ADDITIONALLY, THE CONTRACTOR SHALL PROVIDE MEANS NECESSARY TO AVOID RUN-OFF FROM THIS PROJECT DISCHARGING OVER ADJACENT PROPERTIES.



KNOXVILLE DENTAL CENTER EXPANSION

7-A-15-UR
Revised: 6/24/2015

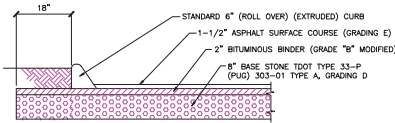
IDEAL ENGINEERING SOLUTIONS, INC.
325 Wooded Lane
Knoxville, Tennessee 37922
(865) 755-3575

SHEET TWO
GRADING AND DRAINAGE



BEFORE YOU STOP CALL TENNESSEE #811 FOR UTILITY LOCATIONS IT'S THE LAW

6/24/15 FOR BIDDING ONLY
1462 PROJECT NUMBER



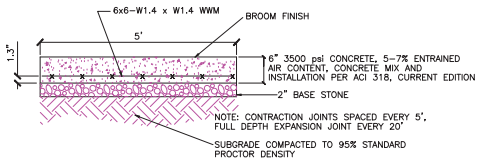
TYPICAL PAVEMENT DETAIL
NOT TO SCALE

KNOX COUNTY PARKING REQUIREMENTS

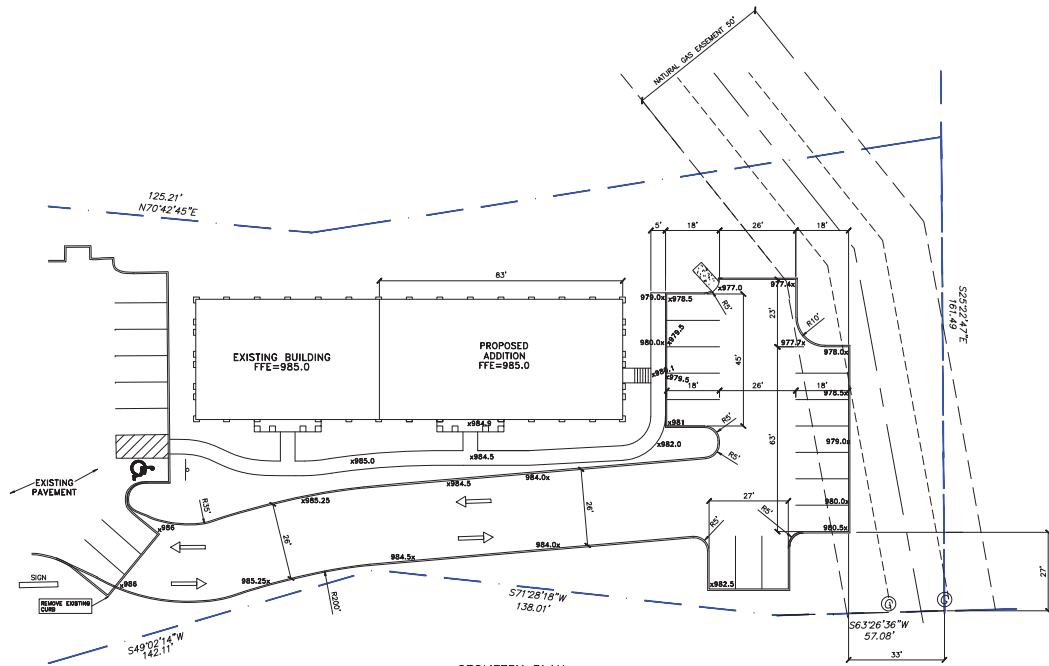
1. PLACEMENT OF FILL MATERIAL:
BORROW MATERIAL TO BE USED FOR SOIL FILL WILL BE COLLECTED AND TESTED FOR MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT (STANDARD PROCTOR DENSITY ASTM D998) AS DIRECTED BY THE SOIL TESTING AGENT PRIOR TO COMMENCEMENT OF FILL PLACEMENT ACTIVITIES. FILL SOILS WILL BE COMPACTED IN THIN LAYERS OF NO MORE THAN EIGHT (8) INCHES BY SHEEPSFOOT COMPACTOR OR OTHER EQUIPMENT APPROVED BY KNOX COUNTY AS DIRECTED BY THE SOIL TESTING AGENT. ALL FILL SOILS SHALL BE COMPACTED TO A MINIMUM OF 98 PERCENT STANDARD PROCTOR MAXIMUM DRY DENSITY WITHIN ± MINUS THREE (3) PERCENT OF OPTIMUM MOISTURE CONTENT.

SOILS IN FILL AREAS PRIOR TO FILL PLACEMENT AND SOILS AT FINISHED SUBGRADE ELEVATION IN BOTH CUT AND FILL AREAS SHOULD BE PROCTORROLLED. PROCTORROLING SHALL BE PERFORMED UNDER THE OBSERVATION OF THE SOIL TESTING AGENT.

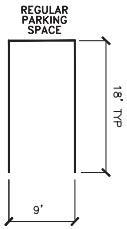
2. SUBGRADE:
ALL REQUIRED TESTING SHALL BE PERFORMED BY A QUALIFIED, INDEPENDENT, PRE-APPROVED TESTING AGENT. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE TESTING AND NOTIFYING THE TESTING AGENT AS TO THE SCHEDULED TESTING TIME. TESTING RESULTS INDICATING PASS/FAIL WILL BE FORWARDED TO ENGINEER FOR APPROVAL PRIOR TO PAVING.



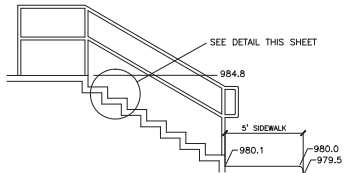
SIDEWALK DETAIL
NOT TO SCALE



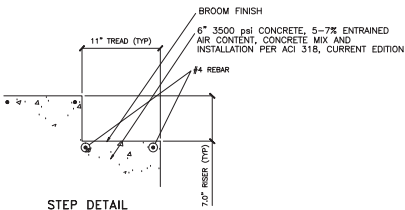
GEOMETRY PLAN
SCALE: 1"=20'



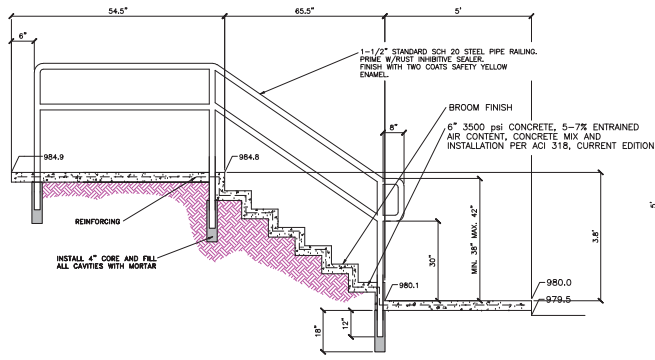
TYPICAL PARKING SPACE DETAILS
NOT TO SCALE



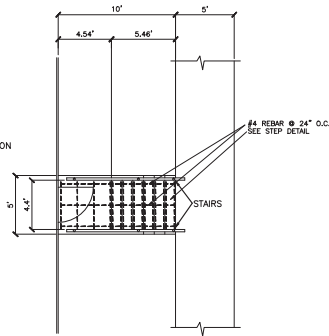
SIDEWALK AND LANDING PROFILE
NOT TO SCALE



STEP DETAIL
NOT TO SCALE



SAFETY RAILING DETAIL
NOT TO SCALE



SIDEWALK AND LANDING PLAN
NOT TO SCALE



KNOXVILLE DENTAL CENTER EXPANSION

7-A-15-UR
Revised: 6/24/2015

IDEAL ENGINEERING SOLUTIONS, INC.
325 Wooded Lane
Knoxville, Tennessee 37922
(865) 755-3575

SHEET THREE
PAVING GEOMETRY AND MISCELLANEOUS DETAILS

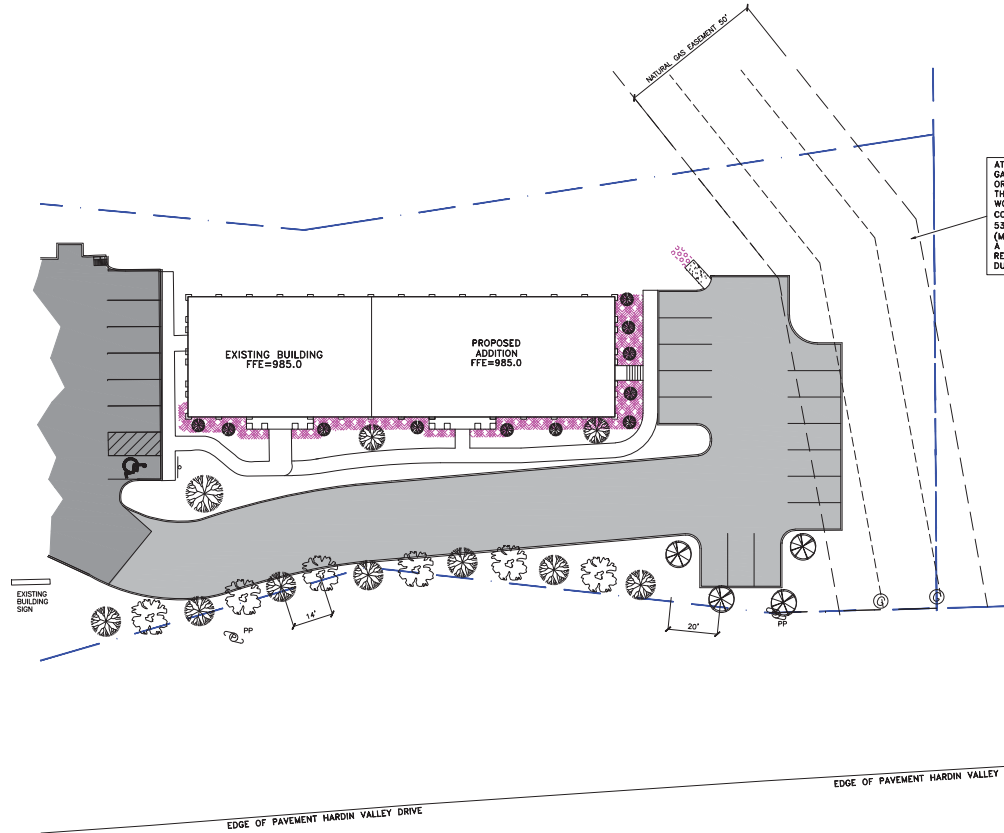
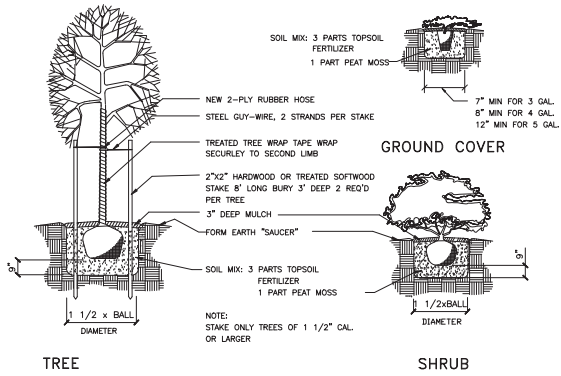


6/24/15 FOR BIDDING ONLY
1462 PROJECT NUMBER

**KNOXVILLE
DENTAL CENTER
EXPANSION**

LANDSCAPE SCHEDULE			
SYMBOL	TREE	PLANTING SIZE	# REQUIRED
	PIN OAK (QUERCUS PALUSTRIS)	2" CALIPER	4
	FLOWERING DOGWOOD (CORNUS FLORIDA)	2" CALIPER	6
	CREPE MYRTLE (LAGERSTROEMIA INDICA)	2" CALIPER	10
	BOXWOOD (BUXUS SEMPERVIRENS)		
	SEASONAL FLOWERS AND BOXWOODS (BUXUS SEMPERVIRENS) IN MULCH BED		

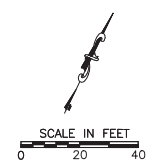
EXISTING ASPHALT PAVEMENT
 PROPOSED ASPHALT PAVEMENT



1. CONTRACTOR TO VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION. LOCATION OF UTILITIES IS BASED ON THE BEST AVAILABLE INFORMATION. CALL TENNESSEE "811" AT LEAST 72 HOURS PRIOR TO CONSTRUCTION ACTIVITIES FOR UTILITIES LOCATION.
2. CONTRACTOR RESPONSIBLE FOR COMPLIANCE WITH OSHA REQUIREMENTS FOR SLOPE STABILITY, SHORING, AND SLOPE CONTROL DURING CONSTRUCTION.
3. BACK FILL MUST BE PLACED AND COMPACTED TO 95% OF STANDARD PROCTOR PRIOR TO UTILITY INSTALLATION.
4. CONTRACTOR IS RESPONSIBLE FOR VERIFYING GRADES AND ALIGNMENTS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES OR INCONSISTENCIES IDEAL ENGINEERING SOLUTIONS, INC. AT 755-3575.
5. TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
6. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA, INC.
7. DEMOLITION OF EXISTING STRUCTURES AND ABANDONMENT OF EXISTING UTILITIES TO BE PERMITTED AND COORDINATED WITH KNOX COUNTY.

7-A-15-UR
Revised: 6/24/2015

LANDSCAPING DETAILS
NOT TO SCALE



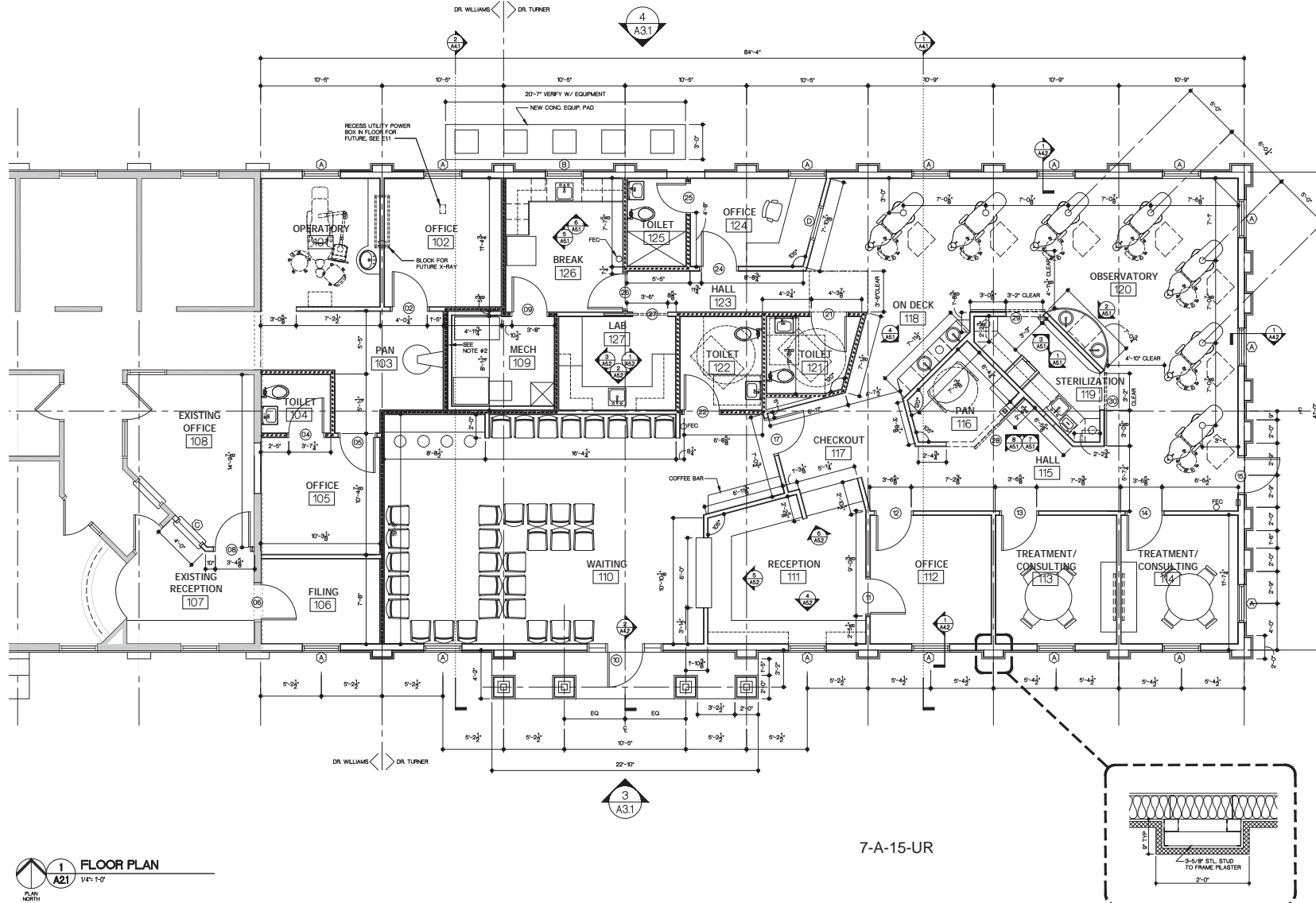
IDEAL ENGINEERING SOLUTIONS, INC.
325 Wooded Lane
Knoxville, Tennessee 37922
(865) 755-3575

SHEET FIVE
LANDSCAPE PLAN



6/24/15 FOR BIDDING ONLY
1463 PROJECT NUMBER

**KNOXVILLE
DENTAL CENTER
EXPANSION**



- WALL TYPES**
- NEW EXTERIOR 6\"/>

- PLAN NOTES**
1. SEE DENTAL SUPPLIER DETAILS FOR X-RAY UNIT BLOCKING AND OPENINGS.
 2. PLACE INTERIOR ACOUSTICAL WALL ON INSIDE MECH ROOM NEXT TO FIRE WALL. 3-5/8\"/>

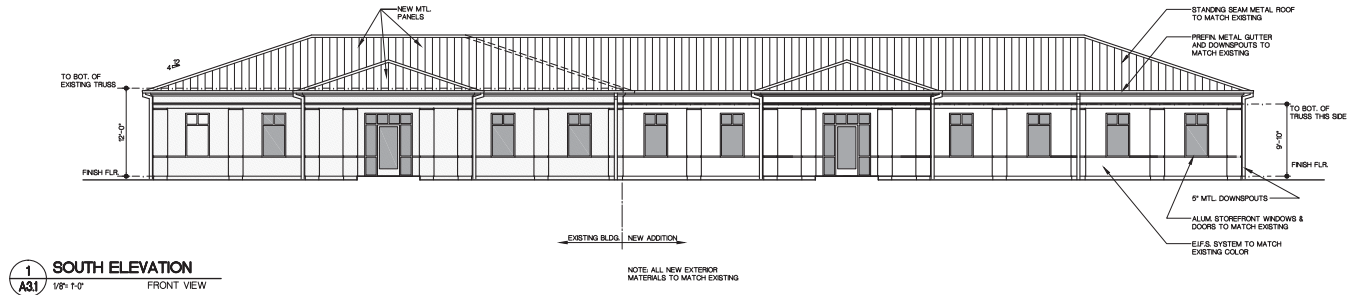
FLOOR PLAN

1
A21
FLOOR PLAN
1/4\"/>

7-A-15-UR

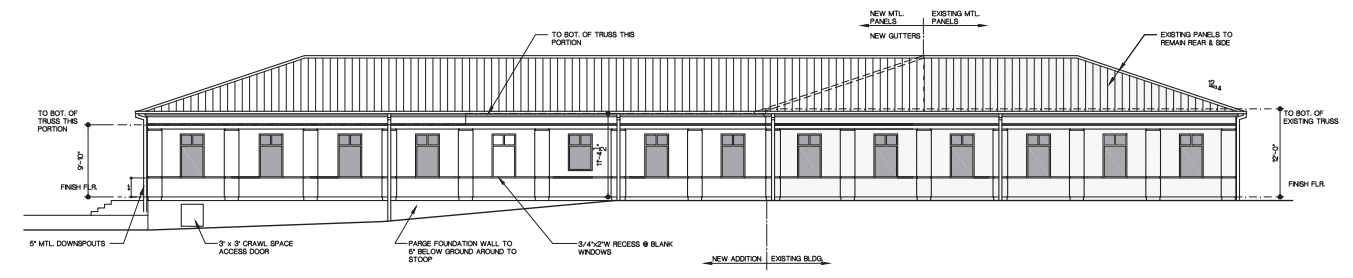


04/20/15 FOR PERMIT & CONSTRUCTION
1442 PROJECT NUMBER **A21**

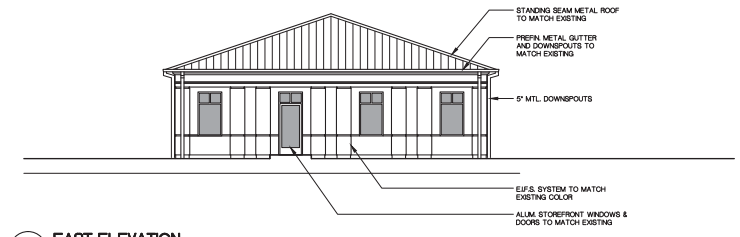


1 SOUTH ELEVATION
FRONT VIEW
1/8" = 1'-0"

NOTE: ALL NEW EXTERIOR MATERIALS TO MATCH EXISTING



2 NORTH ELEVATION
REAR VIEW
1/8" = 1'-0"



3 EAST ELEVATION
SIDE VIEW
1/8" = 1'-0"

7-A-15-UR

ELEVATIONS



04/20/15 FOR PERMIT & CONSTRUCTION
1442 PROJECT NUMBER

A3.1