



**KNOXVILLE/KNOX COUNTY METROPOLITAN PLANNING COMMISSION  
PLAN AMENDMENT/REZONING REPORT**

▶ **FILE #:** 7-C-15-RZ  
7-B-15-PA

**AGENDA ITEM #:** 39  
**AGENDA DATE:** 7/9/2015

▶ **APPLICANT:** ROBERT AND LINDA PARKER  
OWNER(S): Robert T. Parker

TAX ID NUMBER: 119 M B 005 [View map on KGIS](#)

JURISDICTION: Council District 2

STREET ADDRESS: 8612 Kingston Pike

▶ **LOCATION:** South side Kingston Pike, east of Argonne Rd.

▶ **TRACT INFORMATION:** 0.48 acres.

SECTOR PLAN: Southwest County

GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)

ACCESSIBILITY: Access is via Kingston Pike, a major arterial street with 4 lanes and a center turn lane and 60' of pavement width within 80' of right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Ten Mile Creek

▶ **PRESENT PLAN DESIGNATION/ZONING:** LDR (Low Density Residential) / R-1E (Low Density Exclusive Residential)

▶ **PROPOSED PLAN DESIGNATION/ZONING:** O (Office) / O-3 (Office Park)

▶ **EXISTING LAND USE:** House

▶ **PROPOSED USE:** Office

EXTENSION OF PLAN DESIGNATION/ZONING: Yes, extension of O-3 zoning from the east and west

HISTORY OF ZONING REQUESTS: None noted

SURROUNDING LAND USE, PLAN DESIGNATION, ZONING North: Kingston Pike - House / RB (General Residential) - COUNTY

South: House / RAE (Exclusive Residential) - COUNTY

East: House / O-3 (Office Park)

West: House / O-3 (Office Park)

NEIGHBORHOOD CONTEXT: This area is developed with a mix of office and residential zoning on properties fronting on the south side of Kingston Pike.

**STAFF RECOMMENDATION:**

▶ **RECOMMEND that City Council APPROVE O (Office) One Year Plan designation.**

The requested O plan designation is an extension of the same designation from the east and west. This parcel

is the only one on the south side of Kingston Pike, between Argonne Rd. and Kingsridge Dr. that retains a residential plan designation. All others are already proposed for office uses. The proposal is consistent with the sector plan proposal for the site.

► **RECOMMEND that City Council APPROVE O-3 (Office Park) zoning.**

The requested O-3 is an extension of zoning from the east and west. This parcel is the only one on the south side of Kingston Pike, between Argonne Rd. and Kingsridge Dr. that retains residential zoning. All others have already been rezoned to O-3. The proposal is consistent with the sector plan proposal for the site.

**COMMENTS:**

**ONE YEAR PLAN AMENDMENT REQUIREMENTS:**

**CHANGES OF CONDITIONS WARRANTING AMENDMENT OF THE LAND USE PLAN (May meet any one of these.)**

A. **AN ERROR IN THE PLAN** - The Southwest County Sector Plan proposes office uses for the site. The current LDR designation on the One Year Plan is not consistent with the sector plan. Approval of this plan amendment will bring the two land use plans into consistency.

B. **A SIGNIFICANT CHANGE IN THE DEVELOPMENT PATTERN, OR THE COMPLETION OF A PUBLIC IMPROVEMENT (ROAD, PARK, SEWER), WHICH CHANGES THE BASIS ON WHICH THE PLAN WAS DEVELOPED FOR AN AREA** - No known improvements have been recently made to Kingston Pike or area utilities, but they are adequate to serve the proposed office uses. Public water and sewer utilities are available to serve the site.

C. **A CHANGE IN PUBLIC POLICY, UNANTICIPATED BY THE PLAN** - No changes in government policy apply in this case. However, considering the rest of the properties within the block between Argonne Rd. and Kingsridge Dr. are already designated for office uses, it has been established that office uses are appropriate for this area.

D. **NEW INFORMATION (INCLUDING NEW PLANS AND STUDIES PRODUCED BY MPC) BECOMING AVAILABLE, WHICH REVEALS THE NEED FOR A PLAN AMENDMENT** - No new information has become available to reveal the need for a plan amendment. With the recommended One Year Plan amendment to office, it will be brought into consistency with the sector plan proposal for this site.

**REZONING REQUIREMENTS FROM ZONING ORDINANCES (must meet all of these):**

**THE PROPOSED AMENDMENT SHALL BE NECESSARY BECAUSE OF SUBSTANTIALLY CHANGED OR CHANGING CONDITIONS IN THE AREA AND DISTRICTS AFFECTED, OR IN THE CITY/COUNTY GENERALLY:**

1. The requested O-3 for the subject property is an extension of zoning from the east and west and will establish O-3 zoning along the entire south side of Kingston Pike between Argonne Rd. and Kingsridge Dr.
2. O-3 uses are compatible with the surrounding land use and zoning pattern.
3. O-3 zoning is consistent with the sector plan proposal for the property.

**THE PROPOSED AMENDMENT SHALL BE CONSISTENT WITH THE INTENT AND PURPOSE OF THE APPLICABLE ZONING ORDINANCE:**

1. The purpose of the O-3 zone, as described in the zoning ordinance, is to create a district which is compatible with surrounding residential areas and services as a transitional area from residential to other less compatible uses.
2. Based on the above general intent, this site is appropriate for O-3 zoning.

**THE PROPOSED AMENDMENT SHALL NOT ADVERSELY AFFECT ANY OTHER PART OF THE COUNTY, NOR SHALL ANY DIRECT OR INDIRECT ADVERSE EFFECTS RESULT FROM SUCH AMENDMENT:**

1. The recommended O-3 zoning is compatible with the surrounding land uses and zoning pattern.
2. O-3 zoning will not create any direct or indirect adverse effects in the surrounding area or any other part of the County.
3. Kingston Pike, a 4-lane, major arterial street is adequate to handle traffic generated by allowing office uses on the site.

**THE PROPOSED AMENDMENT SHALL BE CONSISTENT WITH AND NOT IN CONFLICT WITH THE**

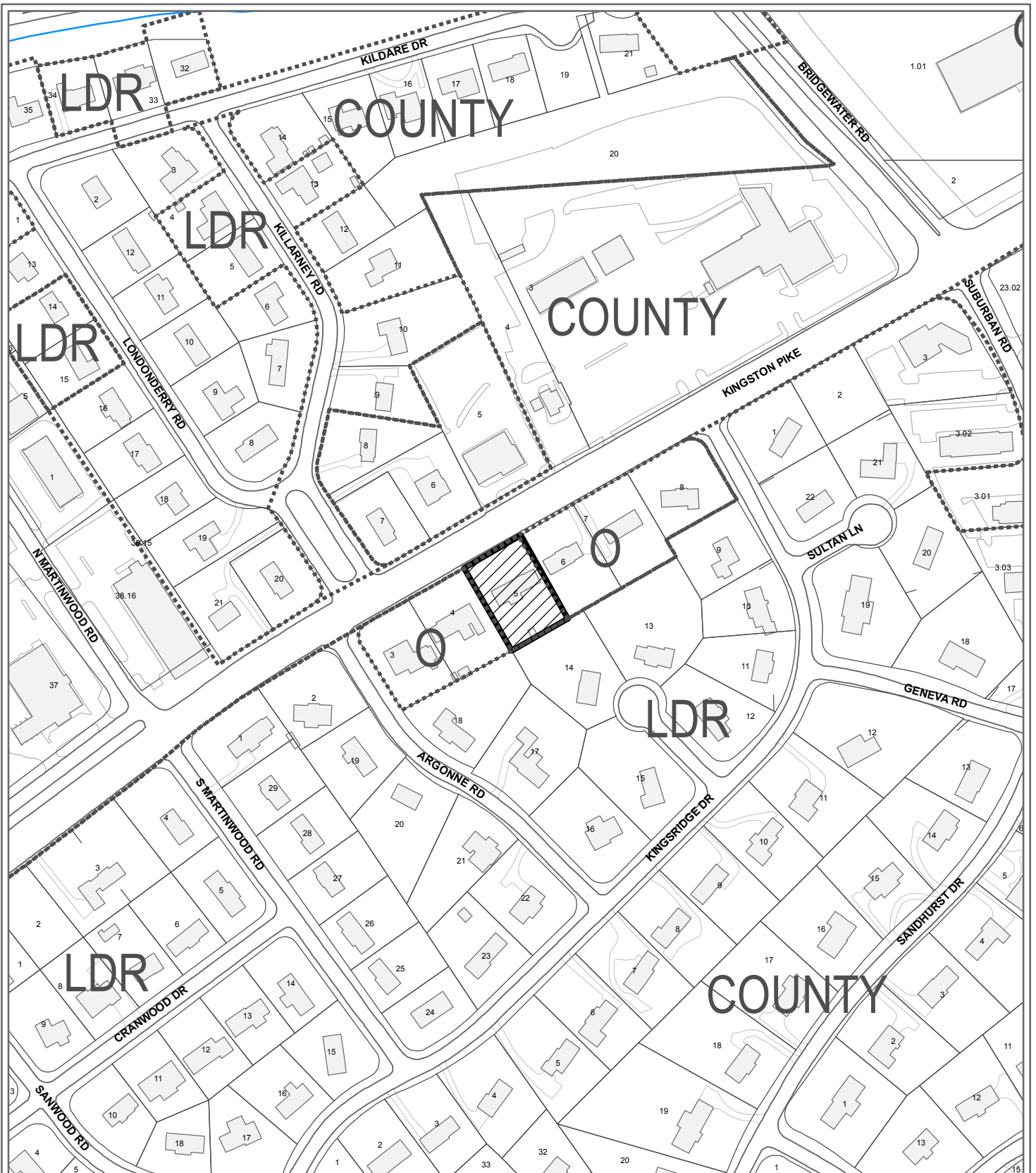
GENERAL PLAN OF KNOXVILLE AND KNOX COUNTY, INCLUDING ANY OF ITS ELEMENTS, MAJOR ROAD PLAN, LAND USE PLAN, COMMUNITY FACILITIES PLAN, AND OTHERS:

1. With the recommended amendment to the City of Knoxville One Year Plan to O (Office), the requested O-3 zoning would be consistent with that plan.
2. The Southwest County Sector Plan proposes O (Office) uses for the site, consistent with the proposed O-3 zoning.
3. The site is located within the City Limits of Knoxville on the Knoxville-Knox County-Farragut Growth Policy Plan map.
4. This recommended O-3 zoning does not present any apparent conflicts with any other adopted plans.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

If approved, this item will be forwarded to Knoxville City Council for action on 8/4/2015 and 8/18/2015. If denied, MPC's action is final, unless the action to deny is appealed to Knoxville City Council. The date of the appeal hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal an MPC decision in the City.



**7-B-15-PA / 7-C-15-RZ  
PLAN AMENDMENT**

From: LDR (Low Density Residential)

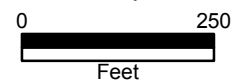
To: O (Office)



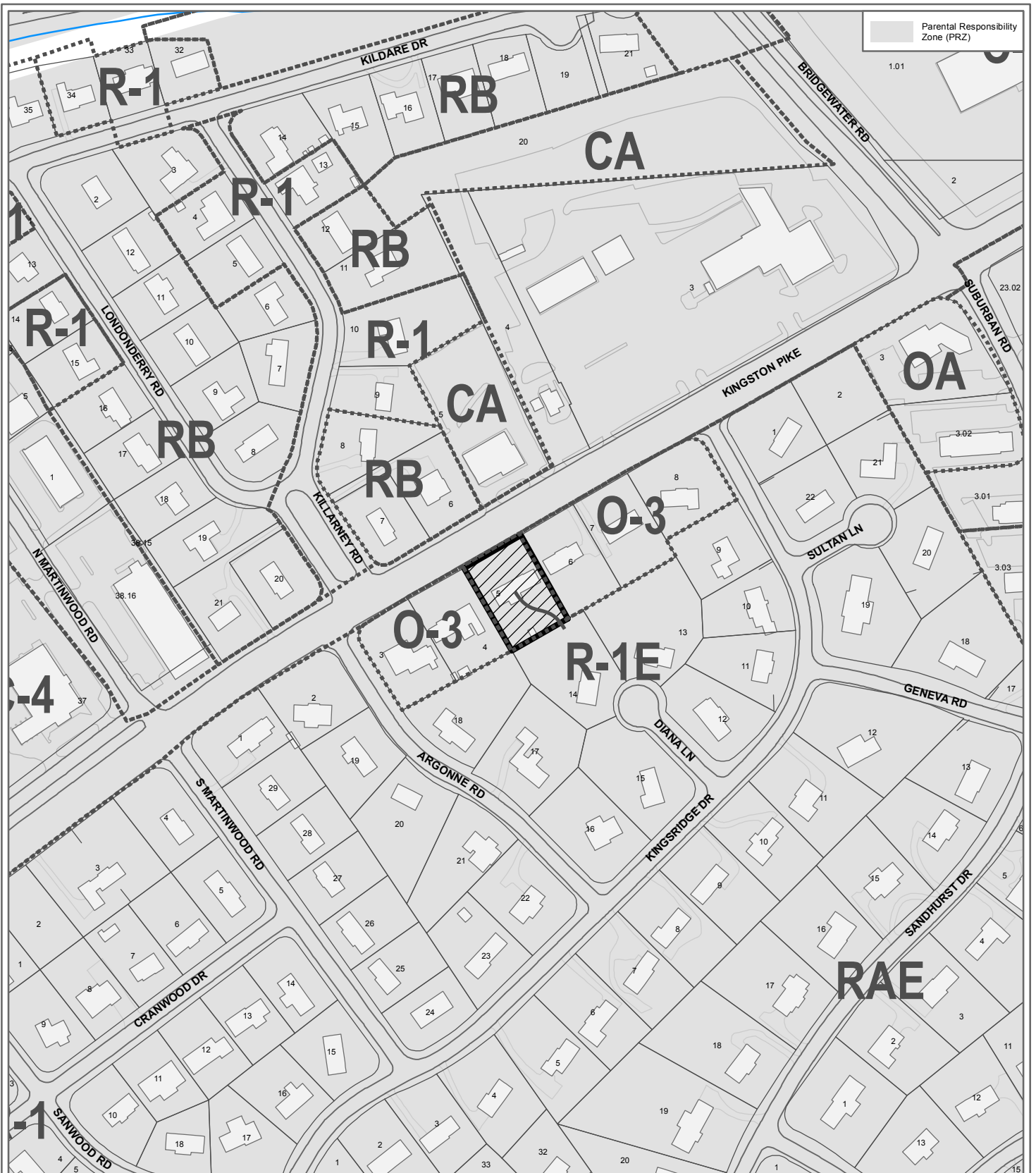
Petitioner: Parker, Robert and Linda

Map No: 119

Jurisdiction: City



Original Print Date: 6/24/2015      Revised:  
Metropolitan Planning Commission \* City / County Building \* Knoxville, TN 37902



**7-C-15-RZ  
REZONING**

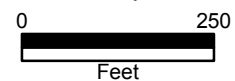
From: R-1E (Low Density Exclusive Residential)  
To: O-3 (Office Park)



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