

## KNOXVILLE/KNOX COUNTY METROPOLITAN PLANNING COMMISSION SUBDIVISION REPORT - CONCEPT/USE ON REVIEW

► **FILE #:** 7-SA-15-C **AGENDA ITEM #:** 9  
**7-C-15-UR** **AGENDA DATE:** 9/10/2015

POSTPONEMENT(S): 8/13/2015

► **SUBDIVISION:** **HARDIN VALLEY SUBDIVISION**

► **APPLICANT/DEVELOPER:** **SHADY GLEN, LLC**

OWNER(S): Shady Glen, LLC

TAX IDENTIFICATION: 104 084 & 01708

[View map on KGIS](#)

JURISDICTION: County Commission District 6

STREET ADDRESS: 10105 Hardin Valley Rd

► **LOCATION:** **South side of Hardin Valley Rd., southern end of Westcott Blvd.**

SECTOR PLAN: Northwest County

GROWTH POLICY PLAN: Planned Growth Area

WATERSHED: Beaver Creek

► **APPROXIMATE ACREAGE:** **86.65 acres**

► **ZONING:** **PR (Planned Residential)**

► **EXISTING LAND USE:** **Vacant land**

► **PROPOSED USE:** **Detached residential subdivision and 248 apartment units**

SURROUNDING LAND USE AND ZONING: This site is located in an area along Hardin Valley Rd., that includes a mix of industrial, commercial and low to medium density residential development.

► **NUMBER OF LOTS:** **170**

SURVEYOR/ENGINEER: Fulgum MacIndoe & Assoc.

ACCESSIBILITY: Access is via Hardin Valley Rd., a minor arterial street with 4 lanes and a center median with a required 100' right-of-way

► **SUBDIVISION VARIANCES REQUIRED:** **NA**

### STAFF RECOMMENDATION:

► **POSTPONE until the October 8, 2015 MPC meeting as recommended by Staff.**

Planning Commission Staff is recommending that this item be postponed to the October 8, 2015 meeting. While the applicant has submitted revised plans addressing several of Staff's comments, the revisions still do not address how access will be provided to the 23.48 acres that are located directly south of this property that are under consideration for rezoning to PR (Planned Residential) (8-I-15-RZ). The traffic impact study for the development has also not addressed the impact from the additional units.

► **POSTPONE until the October 8, 2015 MPC meeting as recommended by Staff.**

## COMMENTS:

The applicant is proposing a residential development on the south side of Hardin Valley Rd. that will include a 248 unit apartment complex and a detached residential subdivision with 170 lots. The site is located directly south of Westcott Blvd. and the Westbridge Business Park. A single access point is proposed to serve the development.

ESTIMATED TRAFFIC IMPACT: 3848 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

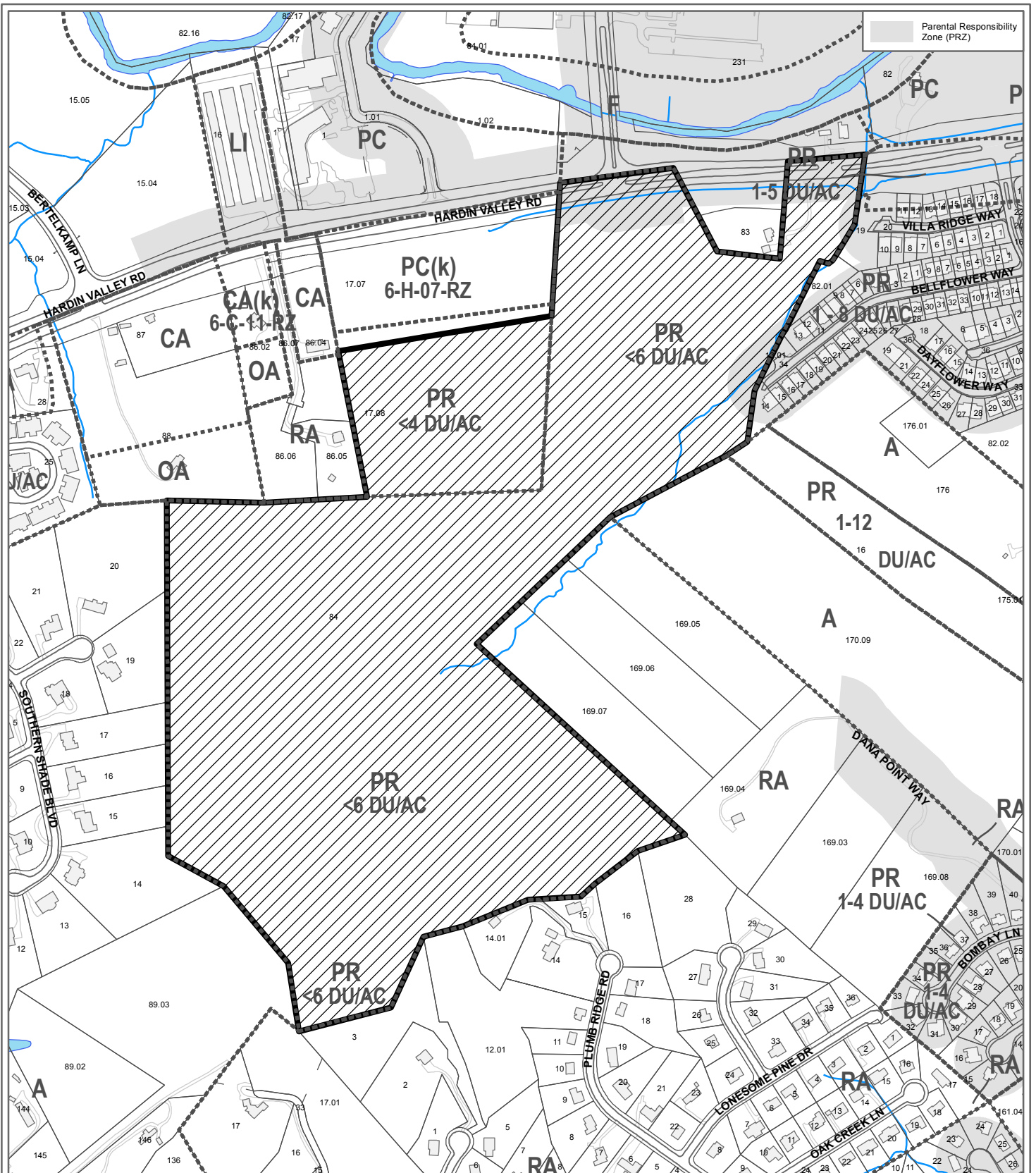
ESTIMATED STUDENT YIELD: 148 (public and private school children, ages 5-18 years)

Schools affected by this proposal: Hardin Valley Elementary, Karns Middle, and Karns High.

- School-age population (ages 5–18) is estimated by MPC using data from a variety of sources.
- While most children will attend public schools, the estimate includes population that may be home-schooled, attend private schools at various stages of enrollment, or drop out of the public system.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.
- School capacities are subject to change by Knox County Schools through building additions, curriculum or scheduling changes, or amendments to attendance zone boundaries.

MPC's approval or denial of this concept plan request is final, unless the action is appealed to Knox County Chancery Court. The date of the Knox County Chancery Court hearing will depend on when the appeal application is filed.

MPC's approval or denial of this use on review request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed.



**7-SA-15-C / 7-C-15-UR  
CONCEPT PLAN/USE ON REVIEW**



Detached residential subdivision and apartments in PR (Planned Residential)

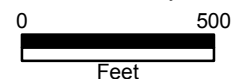
Original Print Date: 6/24/2015  
Metropolitan Planning Commission \* City / County Building \* Knoxville, TN 37902

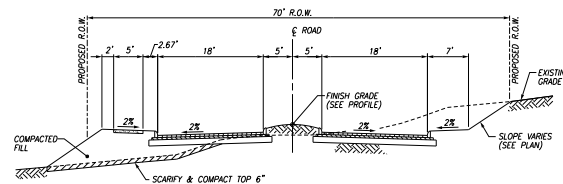
Revised:

Petitioner: Shady Glen, LLC  
Hardin Valley Subdivision

Map No: 104

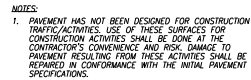
Jurisdiction: County



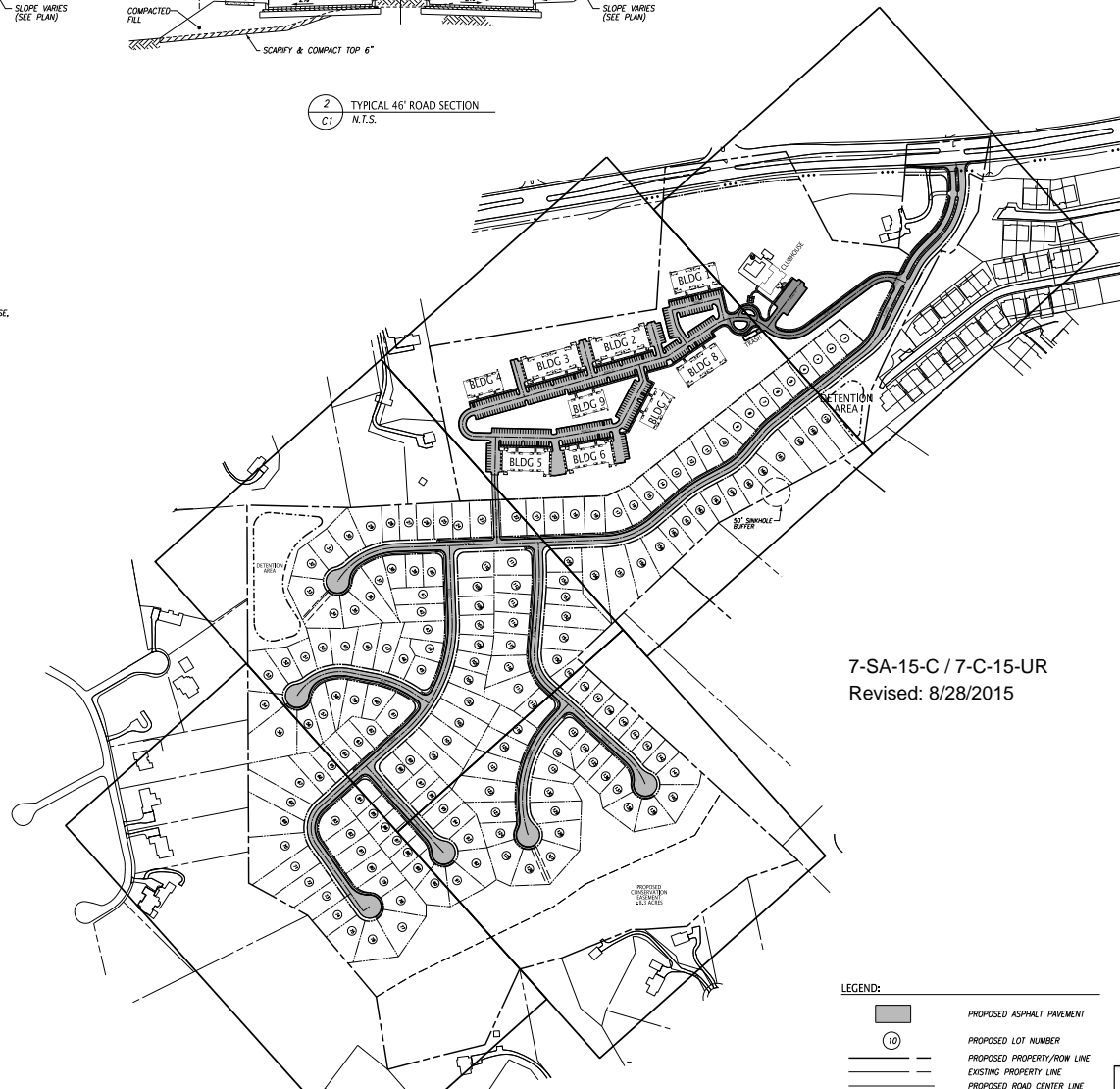


2  
C1












TYPICAL 46' ROAD SECTION  
N.T.S.



3 ASPHALT PAVEMENT SECTION  
C1 N.T.S.



**LEGEND:**

|   |                             |
|---|-----------------------------|
|  | PROPOSED ASPHALT PAVEMENT   |
|  | PROPOSED LOT NUMBER         |
|  | PROPOSED PROPERTY/ROW LINE  |
|  | EXISTING PROPERTY LINE      |
|  | PROPOSED ROAD CENTER LINE   |
|  | EXISTING CONTOUR LINE (KGS) |
|  | PROPERTY SETBACKS           |
|  | PROPOSED STORM DRAINAGE     |
|  | PROPOSED CATCH BASIN        |
|  | PROPOSED STORM MANHOLE      |
|  | PROPOSED HEADWALL           |

1. THE TOPOGRAPHIC & BOUNDARY DATA WAS TAKEN FROM KRS. EXISTING CONTOURS ARE AT 2-FT INTERVALS. VERTICAL DATUM IS BASED ON NAVD80.
2. PROPERTY CENTERED REFLECTS PARCELS 104084 & 104015 AS SHOWN IN THE ATTACHED PLAT MAP. THE ZONING FOR THE PROPERTY IS PR, PLANNED RESIDENTIAL ZONE. TOTAL AREA = 688.2 AC. & 10.003 AC RESPECTIVELY.

OWNER: SHADY GLEN, LLC  
353 MONTGOMERY LANE  
KNOXVILLE, TN 37919

3. BUILDING SETBACKS INTERNAL TO SUBDIVISION ARE 20-FT. IN FRONT, 5-FT. ON ONE SIDE, 0-FT. ON OPPOSITE SIDE, 15-FT. REAR, AND 25-FT. AT THE PERIMETRY.
4. ACCESS TO LOTS IS RESTRICTED TO INTERNAL STREETS.
5. PROPOSED IMPROVEMENTS INCLUDE 26" DEEP PUBLIC ROAD, EXTENDED CURB, STORM SEWER, SANITARY SEWER, WATER, GAS, ELECTRIC TELEPHONE, & CABLE TV.
6. ROOF DRAIN AND FRONT YARD FOR ALL PROPOSED LOTS WILL BE CONNECTED TO PROPOSED STORM DRAINAGE SYSTEM.

| UNIT MIX        |         |            |
|-----------------|---------|------------|
| BUILDING NUMBER | STORIES | TOTAL UNIT |
| 1               | 3/4 STY | 28         |
| 2               | 3/4 STY | 28         |
| 3               | 3/4 STY | 28         |
| 4               | 3/4 STY | 28         |
| 5               | 3/4 STY | 28         |
| 6               | 3/4 STY | 28         |
| 7               | 3/4 STY | 28         |
| 8               | 3/4 STY | 28         |
| 9               | 3 STY   | 24         |
| TOTALS          |         | 248        |


REQUIRED PARKING (244 UNITS)  
248 UNITS @ 1.5 SP/UNIT = 372 SPACES

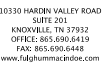
|                              |            |
|------------------------------|------------|
| TOTAL PARKING PROVIDED       |            |
| STANDARD SPACES (9'x18')     | 324        |
| HANDICAP (18 VAN ACCESSIBLE) | 20         |
| GARAGE SPACES                | 48         |
| CLUBHOUSE SPACES             | 25 SPACES  |
| TOTAL                        | <u>417</u> |

|                                 |             |
|---------------------------------|-------------|
| PROPOSED APARTMENT COMPLEX      |             |
| TOTAL AREA =                    | 86.65 ACRES |
| PROPOSED APARTMENT UNITS =      | 248         |
| PROPOSED SINGLE FAMILY UNITS =  | 170         |
| PROPOSED DENSITY (UNITS/AREA) = | 4.8         |

1. REDUCE HORIZONTAL RADIUS 250' TO 100' STA. 10+59.77 ROAD "C". (-C-14).
2. ROAD SLOPE FROM 12% TO 15% FROM STA. 1+07.11 ROAD "D" TO STA. 4+31.62 ROAD "D".
3. ROAD SLOPE FROM 12% TO 15% FROM STA. 1+60.00 ROAD "E" TO STA. 3+40.00 ROAD "E".
4. REDUCE K-VALUE FROM 25 TO 15 ON ROAD "D". STA. 1+07.11 AT INTERSECTION OF ROAD "D".
5. REDUCE K-VALUE FROM 25 TO 15 ON ROAD "E". STA. 1+60.00 AT INTERSECTION OF ROAD "C".
6. BUILDING SIDE SETBACKS ON LOTS GREATER THAN 10% FROM 10' TO 5'.

I HEREBY CERTIFY THAT I AM A ENGINEER, LICENSED TO DO ENGINEERING UNDER THE LAWS OF THE STATE OF TENNESSEE. I FURTHER CERTIFY THAT THE PLAN AND ACCOMPANYING DRAWINGS, DOCUMENTS, AND STATEMENTS CONFORM TO ALL APPLICABLE PROVISIONS OF THE KNOXVILLE-KNOX COUNTY SUBDIVISION REGULATIONS EXCEPT AS HAS BEEN ITEMIZED AND DESCRIBED IN ACCORDANCE WITH THE METROPOLITAN PLANNING COMMISSION.

  
ENGINEER  
TENNESSEE CERTIFICATE NO. 108410



**HARDIN VALLEY SUBDIVISION**  
10105 HARDIN VALLEY ROAD  
KNOXVILLE, TENNESSEE 37932

**SHADY GLEN, LLC**  
405 MONTBROOK LANE  
KNOXVILLE, TN 37919  
CONTACT: ERIC MOSELEY  
TELEPHONE NO.: 865.539.1112

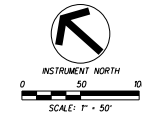
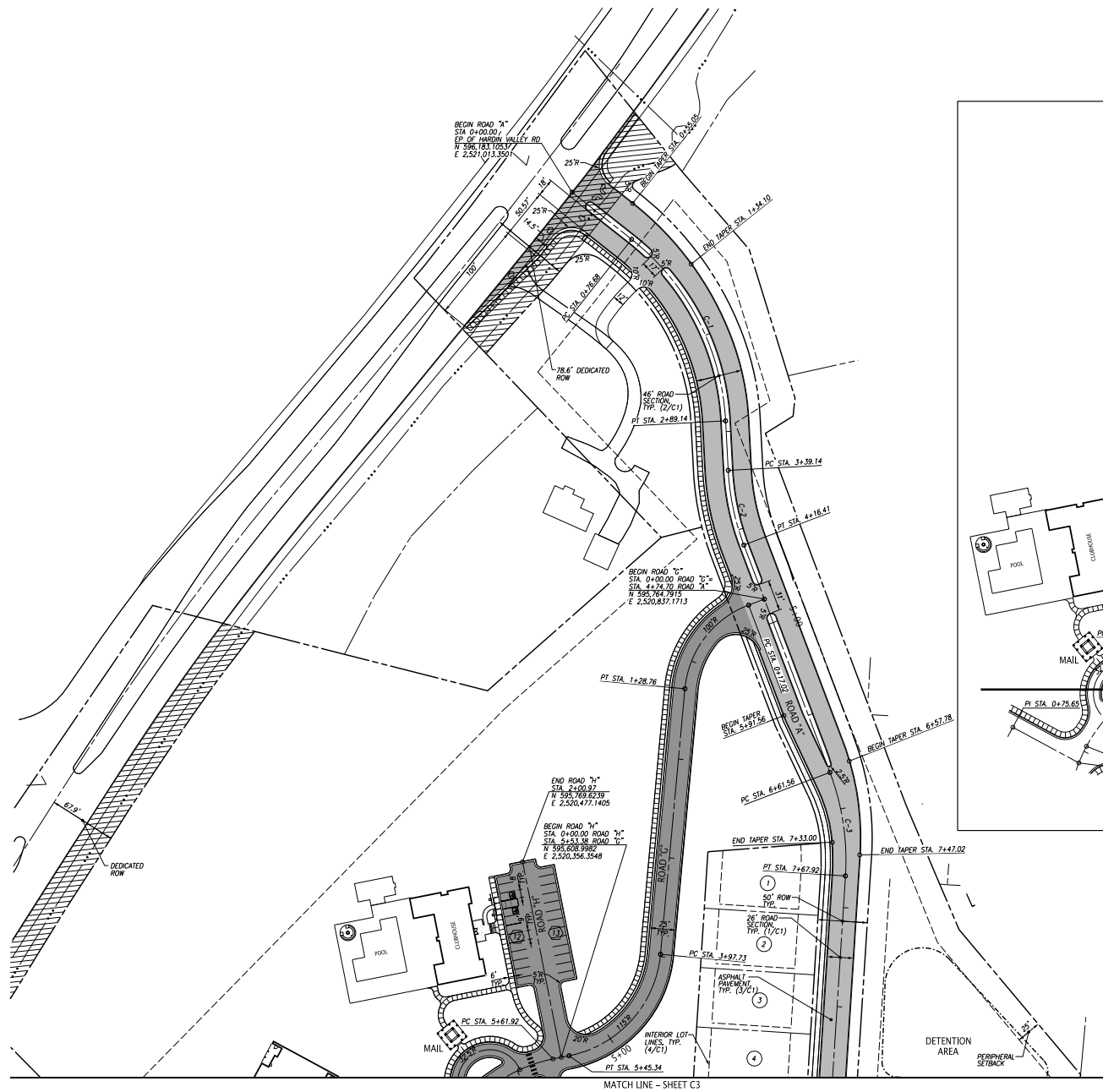
CONCEPT/UOR  
OVERALL PLAN

| AMC | AMC                         | RLP      |
|-----|-----------------------------|----------|
| Δ   | REVISED CONCEPT PLAN        | 08/28/15 |
| Δ   | REVISED CONCEPT PLAN        | 07/27/15 |
| Δ   | REVISED PER COUNTY COMMENTS | 06/24/15 |
| Δ   | ISSUED FOR CONCEPT PLAN     | 05/26/15 |
| No. | Revision/Issue              | Date     |

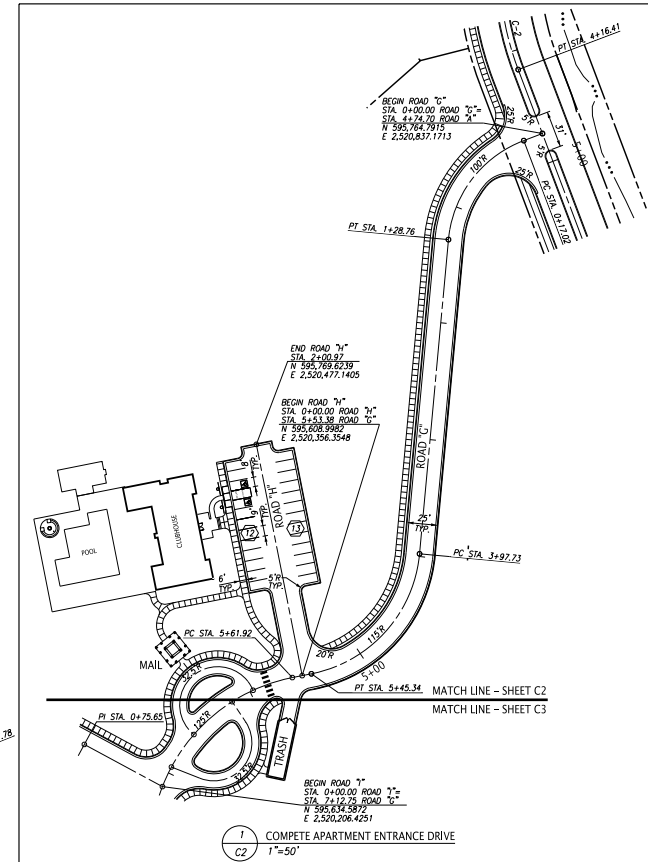
|           |       |
|-----------|-------|
| Project   | Sheet |
| 330.009   | C1    |
| Date      |       |
| 05/26/15  |       |
| Scale     |       |
| 1" = 200' |       |

File Name: J:\15-0000\15-0000\15-0000\15-0000.dwg  
Plot Name: 7-08-2015

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NOTES:  
1. REFERENCE C1 FOR NOTES AND LEGEND.



7-SA-15-C / 7-C-15-UR  
Revised: 8/28/2015

| CURVE NO. | P.I. COORDINATES |                | DELTA ANGLE      | RADIUS | TANGENT | LENGTH |
|-----------|------------------|----------------|------------------|--------|---------|--------|
|           | NORTHING         | EASTING        |                  |        |         |        |
| C-1       | 595,993.6697     | 2,521,025.1512 | 48° 41' 34" (RT) | 250.00 | 113.12  | 212.46 |
| C-2       | 595,851.1043     | 2,520,881.9469 | 17° 42' 35" (LT) | 250.00 | 38.95   | 77.27  |
| C-3       | 595,550.9932     | 2,520,726.2614 | 24° 22' 39" (RT) | 250.00 | 54.00   | 106.37 |

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www.fulghummacindoe.com

PRELIMINARY  
NOT FOR  
CONSTRUCTION

HARDIN VALLEY SUBDIVISION  
10.05 HARDIN VALLEY ROAD  
KNOXVILLE, TENNESSEE 37932

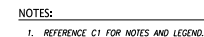
SHADY GLEN, LLC  
405 MONTBROOK LANE  
KNOXVILLE, TN 37919  
CONTACT: ERIC MOSLEY  
TELEPHONE NO.: 865.539.1112

CONCEPT/UDR PLAN

| NO. | DATE     | REVISION/ISSUE              | BY  | CHKD BY |
|-----|----------|-----------------------------|-----|---------|
| 1   | 08/28/15 | REVISED CONCEPT PLAN        | AMC | RJP     |
| 2   | 07/27/15 | REVISED CONCEPT PLAN        | AMC | RJP     |
| 3   | 06/24/15 | REVISED PER COUNTY COMMENTS | AMC | RJP     |
| 4   | 05/26/15 | ISSUED FOR CONCEPT PLAN     | AMC | RJP     |
| 5   | 05/26/15 | Revision/Issue              | AMC | RJP     |

Project: 330.009  
Date: 05/26/15  
Scale: 1"=50'

Sheet: **C2**



| HORIZONTAL CURVE DATA TABLE |                  |                |                 |        |         |        |
|-----------------------------|------------------|----------------|-----------------|--------|---------|--------|
| CURVE NO.                   | P.I. COORDINATES |                | DELTA ANGLE     | RADIUS | TANGENT | LENGTH |
|                             | NORTHING         | EASTING        |                 |        |         |        |
| C-4                         | 595.260.5959     | 2,520.357.2857 | 12° 14' 31" (L) | 250.00 | 26.81   | 53.42  |
| C-5                         | 595.186.8634     | 2,520.255.0923 | 22° 35' 28" (R) | 250.00 | 49.93   | 98.57  |
| C-6                         | 595.055.2719     | 2,520.100.6984 | 12° 27' 43" (L) | 500.00 | 54.60   | 108.76 |
| C-7                         | 594.873.8514     | 2,519.886.9102 | 38° 11' 51" (R) | 275.00 | 95.22   | 183.33 |



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CONSTRUCTION

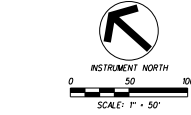
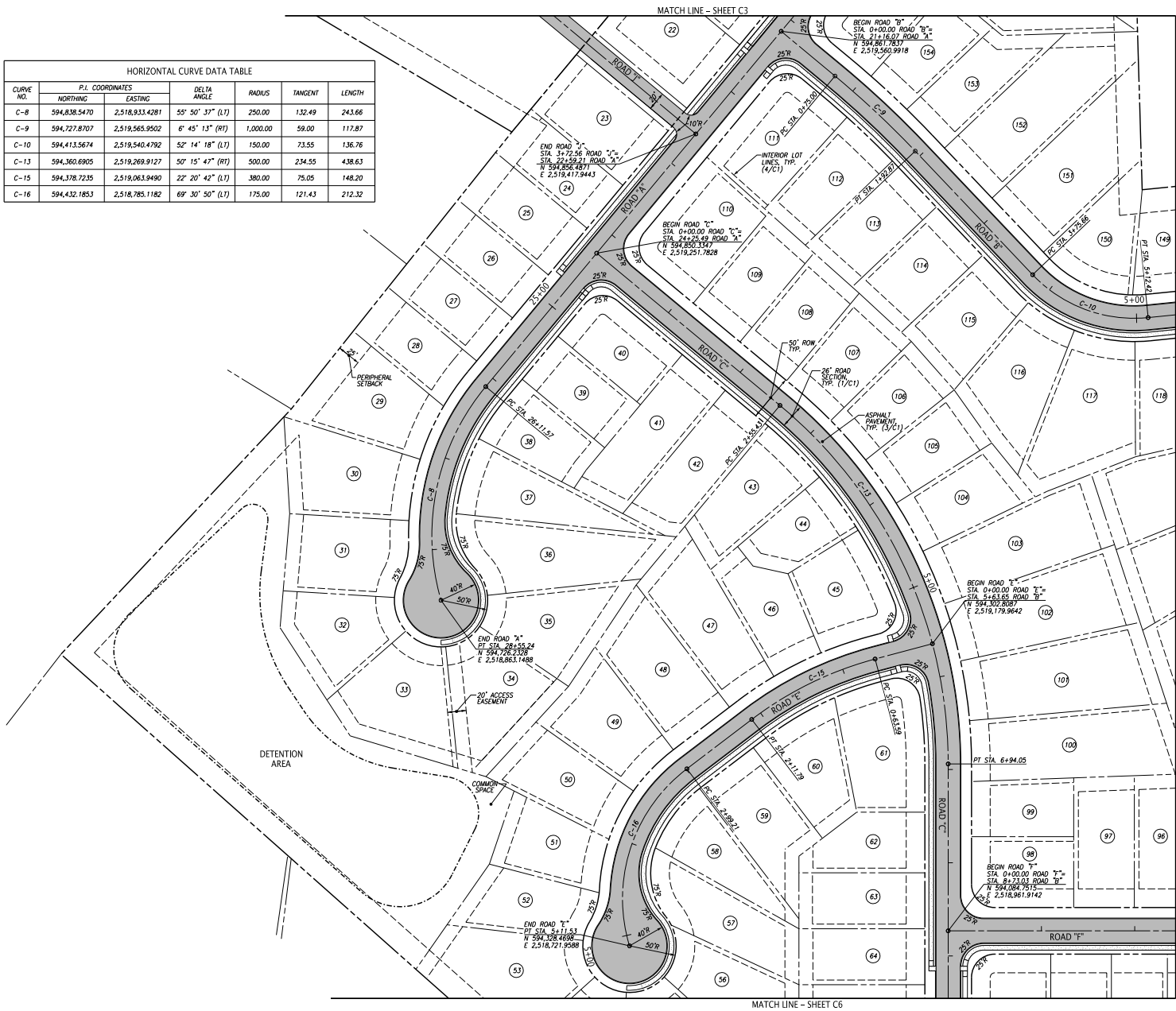
**HARDIN VALLEY SUBDIVISION**  
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TELEPHONE NO.: 865.539.1112

CONCEPT/UOR PLAN

|            |                             |          |          |
|------------|-----------------------------|----------|----------|
| Project    | 330.009                     | Sheet    | C3       |
| Date       | 05/26/15                    |          |          |
| Scale      | 1"=50'                      |          |          |
| PROJ. MOD. | DESIGNED BY                 | DRAWN BY |          |
|            | AMC                         | RLP      |          |
|            | REVISED CONCEPT PLAN        |          | 08/28/15 |
|            | REVISED CONCEPT PLAN        |          | 07/27/15 |
|            | REVISED PER COUNTY COMMENTS |          | 06/24/15 |
|            | ISSUED FOR CONCEPT PLAN     |          | 05/26/15 |

| HORIZONTAL CURVE DATA TABLE |                  |                |                 |          |         |        |
|-----------------------------|------------------|----------------|-----------------|----------|---------|--------|
| CURVE NO.                   | P.I. COORDINATES |                | DELTA ANGLE     | RADIUS   | TANGENT | LENGTH |
|                             | NORTHING         | EASTING        |                 |          |         |        |
| C-8                         | 594,838.5470     | 2,518,933.4281 | 55° 50' 37" (L) | 250.00   | 132.49  | 243.66 |
| C-9                         | 594,727.8707     | 2,519,565.9502 | 6° 45' 13" (R)  | 1,000.00 | 59.00   | 117.87 |
| C-10                        | 594,413.5674     | 2,519,540.4792 | 52° 14' 18" (L) | 150.00   | 73.55   | 136.76 |
| C-13                        | 594,360.6905     | 2,519,269.9127 | 50° 15' 47" (R) | 500.00   | 234.55  | 438.63 |
| C-15                        | 594,378.7235     | 2,519,063.9490 | 22° 20' 42" (L) | 380.00   | 75.05   | 148.20 |
| C-16                        | 594,432.1853     | 2,518,785.1182 | 69° 30' 50" (L) | 175.00   | 121.43  | 212.32 |



NOTES:  
1. REFERENCE C1 FOR NOTES AND LEGEND.

7-SA-15-C / 7-C-15-UR  
Revised: 8/28/2015

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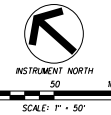
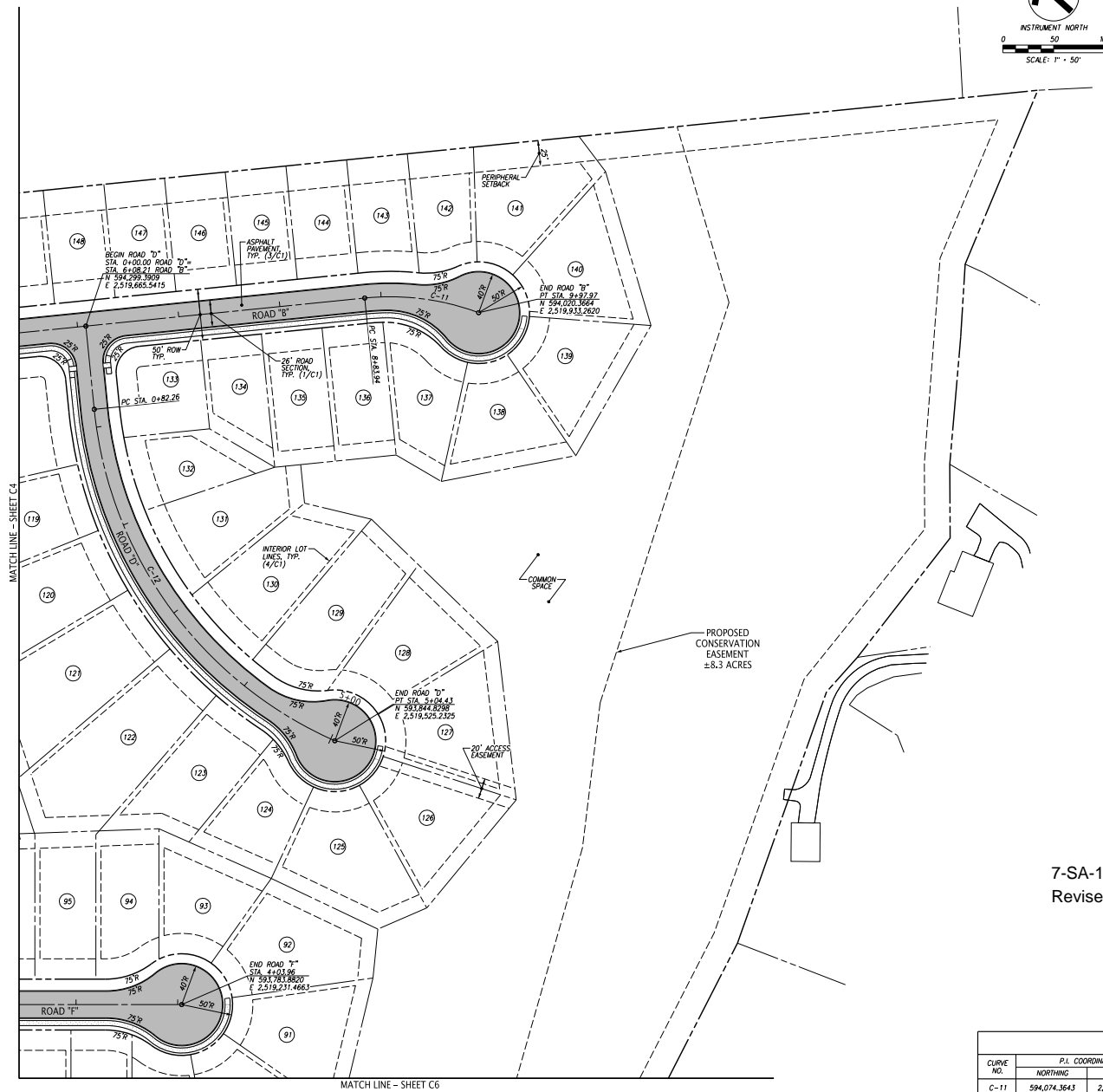
SHADY GLEN, LLC  
405 MONTBROOK LANE  
KNOXVILLE, TN 37919  
CONTACT: ERIC MOSLEY  
TELEPHONE NO.: 865.539.1112

CONCEPT UOR PLAN

| NO. | REVISION/ISSUE              | DATE     |
|-----|-----------------------------|----------|
| 1   | ISSUED FOR CONCEPT PLAN     | 05/26/15 |
| 2   | REVISED PER COUNTY COMMENTS | 06/24/15 |
| 3   | REVISED CONCEPT PLAN        | 07/27/15 |
| 4   | REVISED CONCEPT PLAN        | 08/26/15 |

|         |          |       |    |
|---------|----------|-------|----|
| Project | 330.009  | Sheet | C4 |
| Date    | 05/26/15 |       |    |
| Scale   | 1"=50'   |       |    |

File Name: J:\15-000\15-000\15-000\15-000.dgn  
Plot Date: 8/28/2015



NOTES:  
1. REFERENCE C1 FOR NOTES AND LEGEND.

7-SA-15-C / 7-C-15-UR  
Revised: 8/28/2015

| HORIZONTAL CURVE DATA TABLE |                  |                |                  |        |         |        |
|-----------------------------|------------------|----------------|------------------|--------|---------|--------|
| CURVE NO.                   | P.L. COORDINATES |                | DELTA ANGLE      | RADIUS | TANGENT | LENGTH |
|                             | NORTHING         | EASTING        |                  |        |         |        |
| C-11                        | 594,074.3643     | 2,519,912.0228 | 26° 08' 02" (RT) | 250.00 | 58.02   | 114.03 |
| C-12                        | 594,066.4636     | 2,519,452.8890 | 60° 28' 19" (LT) | 400.00 | 233.14  | 422.17 |

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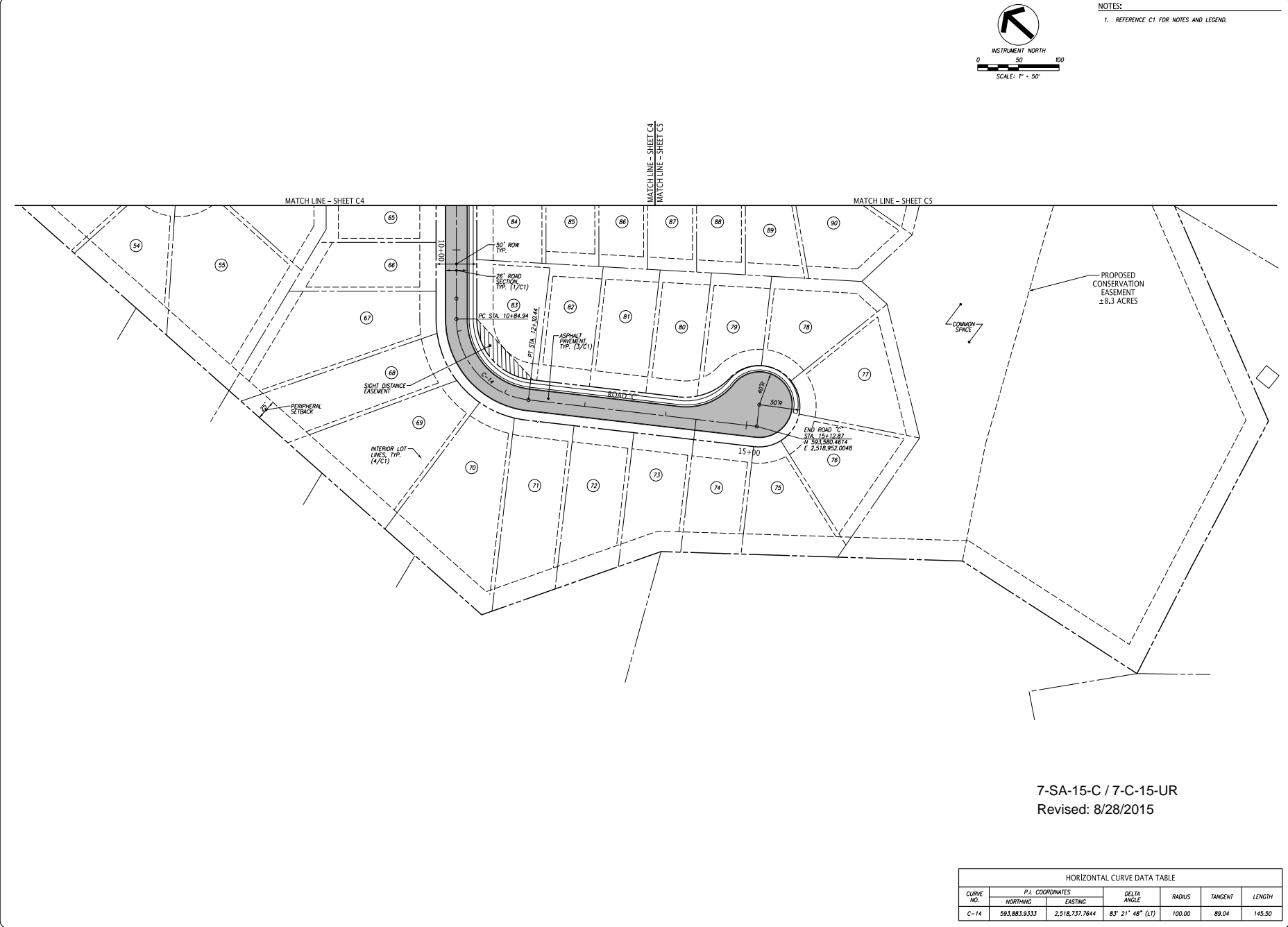
SHADY GLEN, LLC  
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TELEPHONE NO.: 865.539.1112

CONCEPT/UR PLAN

| PROJ. NO. | DATE     | ISSUED BY | DATE     | REVISION/ISSUE               | DATE     |
|-----------|----------|-----------|----------|------------------------------|----------|
| 15-000    | 08/28/15 | AMC       | 08/28/15 | REVISED CONCEPT PLAN         | 08/28/15 |
|           | 07/27/15 | AMC       | 07/27/15 | REVISED CONCEPT PLAN         | 07/27/15 |
|           | 06/24/15 | AMC       | 06/24/15 | REVISED PRELIMINARY COMMENTS | 06/24/15 |
|           | 05/26/15 | AMC       | 05/26/15 | ISSUED FOR CONCEPT PLAN      | 05/26/15 |
| No.       |          |           |          | Revision/Issue               | Date     |
| Project   | 330.009  | Sheet     | C5       |                              |          |
| Date      | 05/26/15 |           |          |                              |          |
| Scale     | 1"=50'   |           |          |                              |          |



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Plot Name: 7/26/2015



| HORIZONTAL CURVE DATA TABLE |                  |                |                  |        |         |        |
|-----------------------------|------------------|----------------|------------------|--------|---------|--------|
| CURVE NO.                   | P.L. COORDINATES |                | DELTA ANGLE      | RADIUS | TANGENT | LENGTH |
|                             | NORTHING         | EASTING        |                  |        |         |        |
| C-14                        | 593,883.9333     | 2,518,737.7644 | 83° 21' 48" (LT) | 100.00 | 89.04   | 145.50 |

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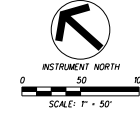
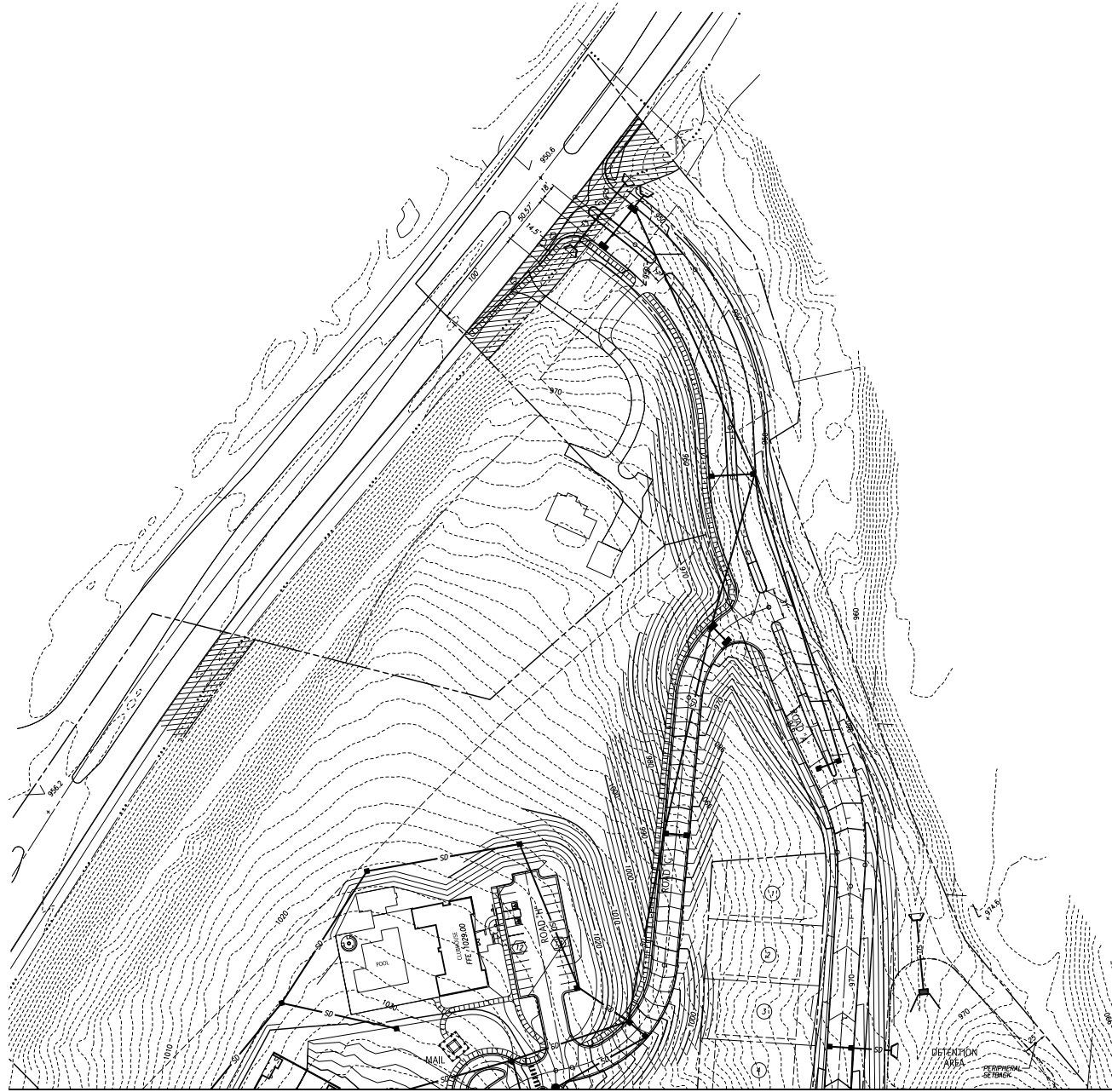
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CONCEPT/UOR PLAN

|                |     |      |          |
|----------------|-----|------|----------|
| ISSUED BY      | AMC | DATE | 08/28/15 |
| DESIGNED BY    | AMC | DATE | 07/27/15 |
| PROJECT NO.    | AMC | DATE | 06/24/15 |
| NO.            | AMC | DATE | 05/26/15 |
| Revision/Issue |     |      |          |

|         |          |
|---------|----------|
| Project | 330.009  |
| Sheet   | C6       |
| Date    | 05/26/15 |
| Scale   | 1"=50'   |

7-7A-15-C / 7-C-15-UR  
Revised: 8/28/2015



#### GRADING NOTES:

1. UNLESS NOTED OTHERWISE, THE PROPOSED GRADES SHOWN ON THESE DRAWINGS ARE FINISHED GRADE. EXISTING AND PROPOSED CONTOURS ARE SHOWN AT 2'-FT. INTERVALS.
2. THE ACCURACY OF THE GRADES IS DEPENDANT ON THE DATA PROVIDED BY THE OWNER OR OWNER'S REPRESENTATIVE. FIELD VERIFY AS NECESSARY PRIOR TO CONSTRUCTION.
3. THE SITE SHALL BE CLEARED AND GRUBBED WITHIN THE LIMITS OF EXCAVATION. COMPLETELY DISPOSE OF ALL MATERIALS RESULTING FROM CLEARING AND GRUBBING. OFF-SITE BURNING SHALL NOT BE PERMITTED UNLESS PRIOR APPROVAL IS OBTAINED BY THE LOCAL FIRE DEPARTMENT. THE CONTRACTOR MUST OBTAIN A PERMIT AND MEET ALL OF THE REQUIREMENTS AS SPECIFIED BY THE FIRE DEPARTMENT.
4. ALL TREES, STUMPS, Boulders, AND OTHER OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF 2 FT BELOW THE SUBGRADE. ROCK SHALL BE SCARIFIED TO DEPTH OF 1 FT BELOW SUBGRADE.
5. STRIP TOPSOIL FULL DEPTH (6-IN. MIN.) AND TEMPORARILY STOCKPILE EXCAVATED MATERIALS. INSTALL SILT FENCE OR OTHER APPROPRIATE EROSION CONTROL STRUCTURES ON THE DOWN HILL SIDE OF THE STOCKPILE.
6. PROOF ROLL ALL AREAS TO RECEIVE FILL. PROOF ROLL WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK USING A CRISS-CROSS PATTERN (4 PASSES MIN.) AREAS FAILING THE PROOF ROLLING SHALL BE UNDERCUT AND BACKFILLED USING AN ENGINEERED FILL OR STABILIZED BY A METHOD APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
7. AREAS THAT EXHIBIT WEAK SOIL OR OTHERWISE UNSUITABLE CONDITIONS SHALL BE UNDERCUT TO A FIRM LEVEL OF SOIL FOLLOWED BY BACKFILLING THE UNDERCUT AREAS USING AN ENGINEERED FILL, TYP. NO. 5, OR TYP. NO. 47 STONE.
8. FILL MATERIAL SHALL BE SATISFACTORY MATERIAL FREE FROM ROOTS AND OTHER ORGANIC MATERIAL, FROZEN MATERIAL, AND TRASH. FILL MATERIAL SHALL ALSO BE FREE OF STONE OR OTHER MATERIAL LARGER THAN 6 IN. AND LARGER THAN 4 IN. IN THE TOP 6 IN. OF AN EMBANKMENT.
9. FILL SOILS SHALL HAVE A PI LESS THAN 30 & A MAXIMUM DRY DENSITY OF 90 PCF OR GREATER.
10. UNSATISFACTORY SOILS INCLUDE MATERIALS THAT ARE TOO WET OR TOO SOFT, EXPANSIVE SOILS AND SOILS CLASSIFIED PT. OH, AND OR LEGALLY DISPOSE OF UNSATISFACTORY SOILS OFF-SITE UNLESS OTHERWISE APPROVED BY THE OWNER OR GEOTECHNICAL ENGINEER.
11. FILL MATERIAL SHALL BE PLACED IN LOOSE, HORIZONTAL LIFTS NOT EXCEEDING 8 IN. THICKNESS. COMPACT EACH LAYER TO AT LEAST 98% MAXIMUM DRY DENSITY. COMPACT THE UPPER 24 IN. OF FILL BENEATH PAVEMENTS AND THE UPPER 12 IN. BENEATH BUILDING SLABS TO 100% MAXIMUM DRY DENSITY. MAINTAIN THE MOISTURE CONTENT TO WITHIN -1 TO +3 PERCENT OF THE OPTIMUM MOISTURE CONTENT.
12. A 6 IN. (MIN.) LAYER OF TOPSOIL SHALL BE PLACED OVER THE AREAS TO BE SEEDING AND TO THE FINISH GRADE ELEVATIONS AS SHOWN ON THE DRAWINGS.
13. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS OR POND ON-SITE. PROVIDE NECESSARY MEASURES TO KEEP THE SITE FREE-DRAINING.
14. NO SLOPE SHALL EXCEED 2:1 UNLESS PROPER SLOPE STABILIZATION MEASURES ARE IMPLEMENTED.
15. PROTECT AND MAINTAIN SUBGRADES UNTIL PLACEMENT OF THE FINAL SURFACE IS ACHIEVED.
16. CONTRACTOR IS RESPONSIBLE TO ASSURE THAT THE FINISHED GRADES CONFORM WITH THE DETENTION POND DESIGN PARAMETERS. ONCE GRADING IS COMPLETE AND PRIOR TO FINAL SEEDING, SUBMIT AN AS-BUILT SURVEY FOR THE OWNER'S REVIEW.
17. SLOPE BOTTOM OF POND @ 2.0% (MIN.).
18. VERIFY GRADES WHEREVER NECESSARY TO BRING THE PROPOSED LINES, ELEVATIONS, SLOPES, AND CROSS-SECTIONS OF THE GRADING WORK TO WITHIN THE FOLLOWING TOLERANCES ABOVE OR BELOW THAT AS SHOWN ON THE PLANS: SUBGRADE 0.1'; UNPAVED AREAS 0.1'; SIDEWALKS 0.10'; PAVEMENTS 0.04'; AND BUILDINGS 0.04'.
19. SLOPES GREATER THAN 4:1 SLOPE AT A HEIGHT GREATER THAN 6-FT SHALL BE TESTED BY THE PROJECT GEOTECHNICAL ENGINEER TO DETERMINE STABILITY.
20. DISTURBED AREAS SHALL BE STABILIZED IN AN EXPEDIENT MANNER TO MINIMIZE TIME OF EXPOSURE TO WEATHER.

7-SA-15-C / 7-C-15-UR  
Revised: 8/28/2015

#### LEGEND:

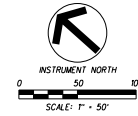
|        |                                   |
|--------|-----------------------------------|
| 1020   | PROPOSED CONTOUR                  |
| 1022   | EXISTING CONTOUR                  |
| ---    | PROPERTY LINE                     |
| SD     | EXISTING STORM LINE               |
| SD 15" | PROPOSED STORM LINE               |
| ●      | PROPOSED STORM MANHOLE            |
| ○      | PROPOSED CATCH BASIN              |
| ▽      | PROPOSED OUTLET STRUCTURE         |
| (1/C2) | DETAIL REF. (DETAIL NO./SHT. NO.) |
| TYP.   | TYPICAL                           |

|   |       |
|---|-------|
| <b>FULGHUM</b><br><b>MACINDOE</b><br>ASSOCIATES, INC.<br>10330 HARDEN VALLEY ROAD<br>SUITE 201<br>KNOXVILLE, TN 37932<br>OFFICE: 865.690.6419<br>FAX: 865.690.6448<br>www.fulghummacindoe.com |       |
| PRELIMINARY<br>NOT FOR<br>CONSTRUCTION  |       |
| HARDIN VALLEY SUBDIVISION<br>10305 HARDEN VALLEY ROAD<br>KNOXVILLE, TENNESSEE 37932   |       |
| SHADY GLEN, LLC<br>405 MONTBROOK LANE<br>KNOXVILLE, TN 37919<br>CONTACT: ERIC MOSELEY<br>TELEPHONE NO.: 865.539.1112  |       |
| CONCEPT / UOR<br>GRADING AND<br>DRAINAGE PLAN   |       |
| DESIGNED BY<br>R.P.<br>08/28/15   | DATE  |
| ISSUED BY<br>A.M.C.<br>07/27/15   | DATE  |
| REVISION<br>A.M.C.<br>06/24/15  | DATE  |
| REVISION<br>A.M.C.<br>05/26/15  | DATE  |
| PROJECT<br>330.009  | SHEET |
| DATE<br>05/26/15  | C7    |
| SCALE<br>1"=50'   |       |

\\fulgum\fulgum\150000\150000\150000.dwg  
Plot Date: 8/28/2015



7-SA-15-C / 7-C-15-UR  
Revised: 8/28/2015



NOTES:  
1. REFERENCE C7 FOR NOTES AND LEGEND.



10330 HARDEN VALLEY ROAD  
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OFFICE: 865.890.6419  
FAX: 865.890.6448  
www.fulghummacindoe.com

PRELIMINARY  
NOT FOR  
CONSTRUCTION

HARDIN VALLEY SUBDIVISION  
10.05 HARDIN VALLEY ROAD  
KNOXVILLE, TENNESSEE 37932

SHADY GLEN, LLC  
405 MONTBROOK LANE  
KNOXVILLE, TN 37919  
CONTACT: ERIC MOSLEY  
TELEPHONE NO.: 865.539.1112

CONCEPT/UR  
GRADING AND  
DRAINAGE PLAN

| NO. | DATE     | REVISION/ISSUE              | BY  | DATE |
|-----|----------|-----------------------------|-----|------|
| 1   | 06/26/15 | REVISED CONCEPT PLAN        | AMC | R/P  |
| 2   | 07/27/15 | REVISED CONCEPT PLAN        | AMC | R/P  |
| 3   | 06/24/15 | REVISED PER COUNTY COMMENTS | AMC | R/P  |
| 4   | 05/26/15 | ISSUED FOR CONCEPT PLAN     | AMC | R/P  |
| 5   | 05/26/15 | ISSUED FOR CONCEPT PLAN     | AMC | R/P  |

Project: 330,009  
Date: 05/26/15  
Scale: 1"=50'

Sheet: C8





NOTES:

1. REFERENCE C7 FOR NOTES AND LEGEND.



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FAX: 865.690.6448  
[www.fulghummacindoe.com](http://www.fulghummacindoe.com)

PRELIMINARY  
NOT FOR  
CONSTRUCTION

HARDIN VALLEY SUBDIVISION

**SHADY GLEN, LLC**  
405 MONTBROOK LANE  
KNOXVILLE, TN 37919  
**CONTACT: ERIC MOSELEY**  
**TELEPHONE NO.: 865.539.1112**

CONCEPT/UOR  
GRADING AND  
DRAINAGE PLAN

|                             |                    |          |     |
|-----------------------------|--------------------|----------|-----|
| Project                     | 330.009            | Sheet    | C10 |
| Date                        | 05/26/15           |          |     |
| Scale                       | 1"=50'             |          |     |
| ROLL WORK                   | DESIGNED BY<br>AMC | DRAWN BY | RLP |
| REVISED CONCEPT PLAN        | AMC                | 08/28/15 |     |
| REVISED CONCEPT PLAN        | AMC                | 07/27/15 |     |
| REVISED PER COUNTY COMMENTS | AMC                | 06/24/15 |     |
| ISSUED FOR CONCEPT PLAN     | AMC                | 05/26/15 |     |





7-SA-15-C / 7-C-15-UR  
Revised: 8/28/2015



- Legend
1. Flowering trees at entrance
  2. Canopy trees line entry drive
  3. Evergreen screen of trash enclosure
  4. Canopy trees to shade parking lot
  5. Flowering trees at building entrances
  6. Evergreen screen
  7. Existing woodland

City of Knoxville Planting Requirement:

For each five thousand (5,000) square feet of parking area, a tree shall be provided that will obtain a minimum height of forty (40) feet at maturity.

Total square feet of parking area: 181,000

Total trees required: 37  
Proposed canopy trees: 51

0 50' 100' 150'

Scale: 1" = 50' - 0"



10130 HARDIN VALLEY ROAD  
SUITE 201  
KNOXVILLE, TN 37932  
OFFICE: 865.690.6419  
FAX: 865.690.6448  
www.fulghummacindoe.com

PRELIMINARY  
NOT FOR  
CONSTRUCTION

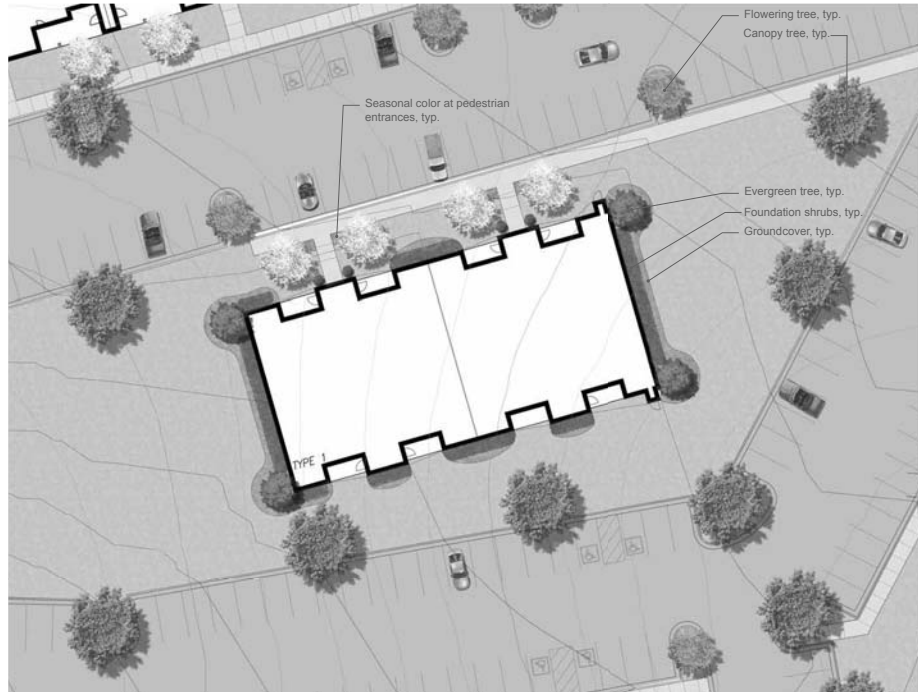
HARDIN VALLEY SUBDIVISION  
10105 HARDIN VALLEY ROAD  
KNOXVILLE, TENNESSEE 37932

SHADY GLEN, LLC  
405 MONTBROOK LANE  
KNOXVILLE, TN 37919  
CONTACT: ERIC MOSELEY  
TELEPHONE NO.: 865.539.1112

LANDSCAPE PLAN

| PROJECT         | DESIGNED BY     | DRAWN BY | DATE     |
|-----------------|-----------------|----------|----------|
| Project 130.009 |                 |          | 08/28/15 |
| Date 08/28/15   |                 |          |          |
| Scale 1"=50'    |                 |          |          |
| Sheet L1        |                 |          |          |
| No.             | Revisions/Issue |          |          |

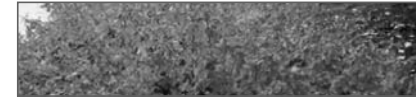




Landscape Enlargement

0 20' 40' 60'   
Scale: 1" = 20' - 0"

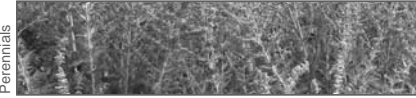
Flowering Trees



Gro-Low Sumac



Drift Rose



Russian Sage



Liriope



Fountaingrass



Juniper



Compacta Inkberry



English Laurel



Eastern Redbud



Flowering Dogwood



Grape Myrtle



Sweetgum



Tulip Poplar



Sugar Maple



Little Gem Magnolia



Cryptomeria



Green Giant Arborvitae

**hedstrom**  
design landscape architecture

**FULGUM**  
**MACINDOE**  
ARCHITECTS INC.  
10130 HARDIN VALLEY ROAD  
SUITE 201  
KNOXVILLE, TN 37932  
OFFICE: 865.690.6419  
FAX: 865.690.6448  
www.fulghumacindoe.com

PRELIMINARY  
NOT FOR  
CONSTRUCTION

HARDIN VALLEY SUBDIVISION  
10105 HARDIN VALLEY ROAD  
KNOXVILLE, TENNESSEE 37932

SHADY GLEN, LLC  
405 MONTBROOK LANE  
KNOXVILLE, TN 37919  
CONTACT: ERIC MOSELEY  
TELEPHONE NO.: 865.539.1112

LANDSCAPE ENLARGEMENT  
& PLANT BOARD

| PROJ. NO. | DESIGNED BY             | DRAWN BY | DATE     |
|-----------|-------------------------|----------|----------|
| 130.009   |                         |          | 08/26/15 |
| Sheet     | Revised/Issue           | No.      | Date     |
| 130.009   | ISSUED FOR CONCEPT PLAN |          | 08/26/15 |
| Date      |                         |          |          |
| 08/26/15  |                         |          |          |
| Scale     |                         |          |          |
| 1"=50'    |                         |          |          |

L2



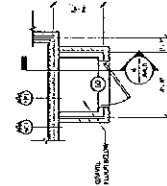
7-SA-15-C  
7-C-15-VR

**BUILDING PLAN**  
**GENERAL NOTES**

- [illegible]

## LEGEND

- ON HOLD  
MAY BE  
WILL  
WILL  
WILL



2 ENLARGED SPRINKLER/DATA ROOM

**BUILDING TYPE '1' - FIRST FLOOR PLAN**



RML Apartments at Harvey Property  
Lexington, Kentucky  
RML Construction

Sherman, Carter, Bonfiglioli  
ARCHITECTS  
BUILDING TYPE 1 - SECOND AND THIRD FLOOR  
PLANS

|              |                     |
|--------------|---------------------|
| DATE         | 09/10/2015          |
| DESIGNED BY  | ARCHITECT           |
| CHECKED BY   | ARCHITECT           |
| CONTRACT NO. | 15-0000000000000000 |
| PROJECT NO.  | 15-0000000000000000 |
| REVISIONS    |                     |

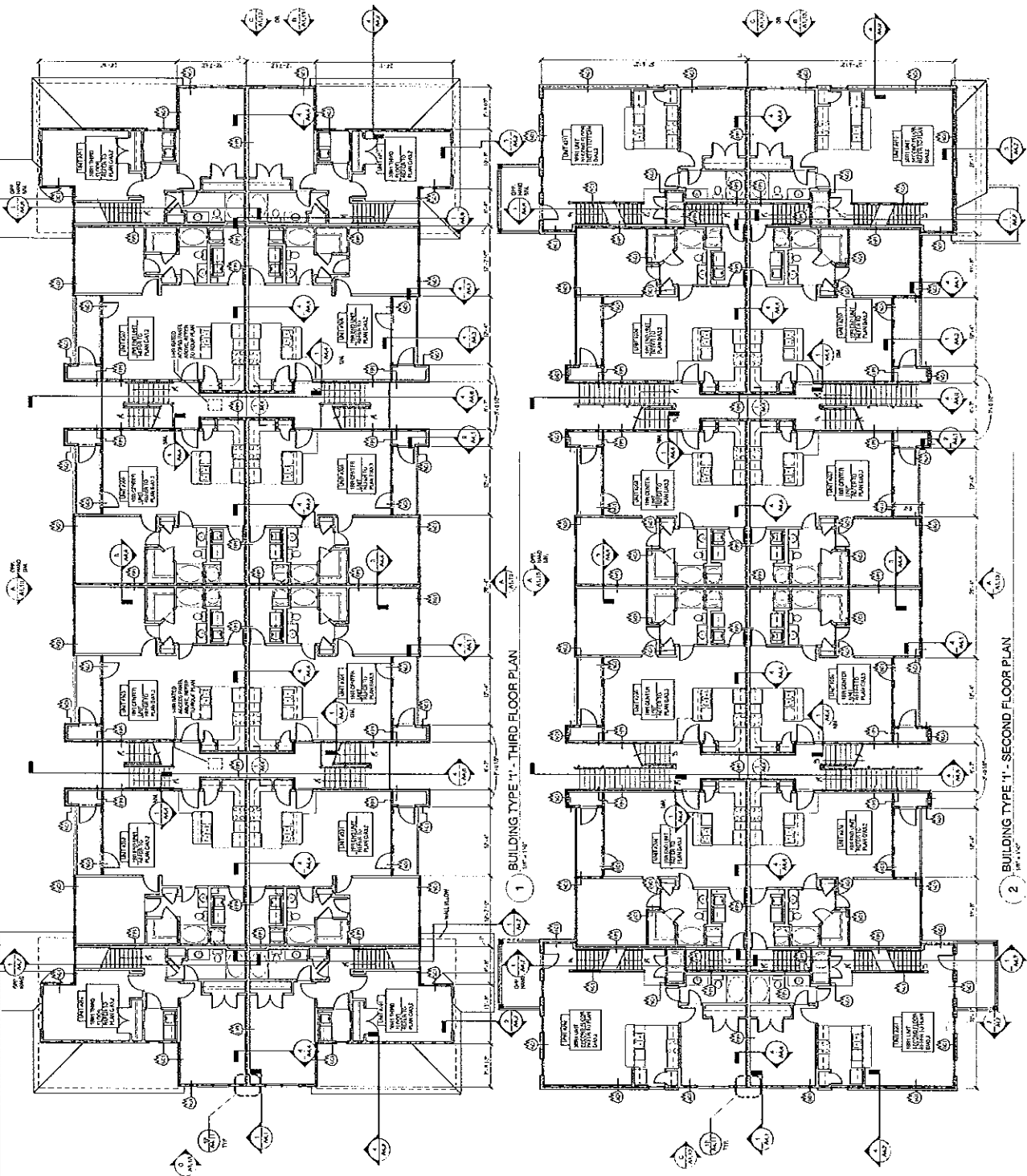
SHEET  
A1.12

BUILDING PLAN  
GENERAL NOTES

1. DIMENSIONS INDICATED ON ALL PLANS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL WALLS SHALL BE CONCRETE UNLESS OTHERWISE NOTED.
3. ALL FLOORS SHALL BE CONCRETE UNLESS OTHERWISE NOTED.
4. ALL ROOFS SHALL BE FLAT UNLESS OTHERWISE NOTED.
5. ALL EXTERIOR WALLS SHALL BE FINISHED WITH BRICK UNLESS OTHERWISE NOTED.
6. ALL INTERIOR WALLS SHALL BE FINISHED WITH PLASTER UNLESS OTHERWISE NOTED.
7. ALL CEILING SHALL BE FINISHED WITH PLASTER UNLESS OTHERWISE NOTED.
8. ALL FLOORING SHALL BE FINISHED WITH CARPET UNLESS OTHERWISE NOTED.
9. ALL STAIRS SHALL BE FINISHED WITH CONCRETE UNLESS OTHERWISE NOTED.
10. ALL ELEVATIONS SHALL BE FINISHED WITH BRICK UNLESS OTHERWISE NOTED.
11. ALL ROOFS SHALL BE FINISHED WITH FLAT UNLESS OTHERWISE NOTED.
12. ALL EXTERIOR WALLS SHALL BE FINISHED WITH BRICK UNLESS OTHERWISE NOTED.
13. ALL INTERIOR WALLS SHALL BE FINISHED WITH PLASTER UNLESS OTHERWISE NOTED.

LEGEND

|    |          |
|----|----------|
| 1  | CONCRETE |
| 2  | BRICK    |
| 3  | PLASTER  |
| 4  | CARPET   |
| 5  | CONCRETE |
| 6  | BRICK    |
| 7  | PLASTER  |
| 8  | CARPET   |
| 9  | CONCRETE |
| 10 | BRICK    |
| 11 | PLASTER  |
| 12 | CARPET   |
| 13 | CONCRETE |





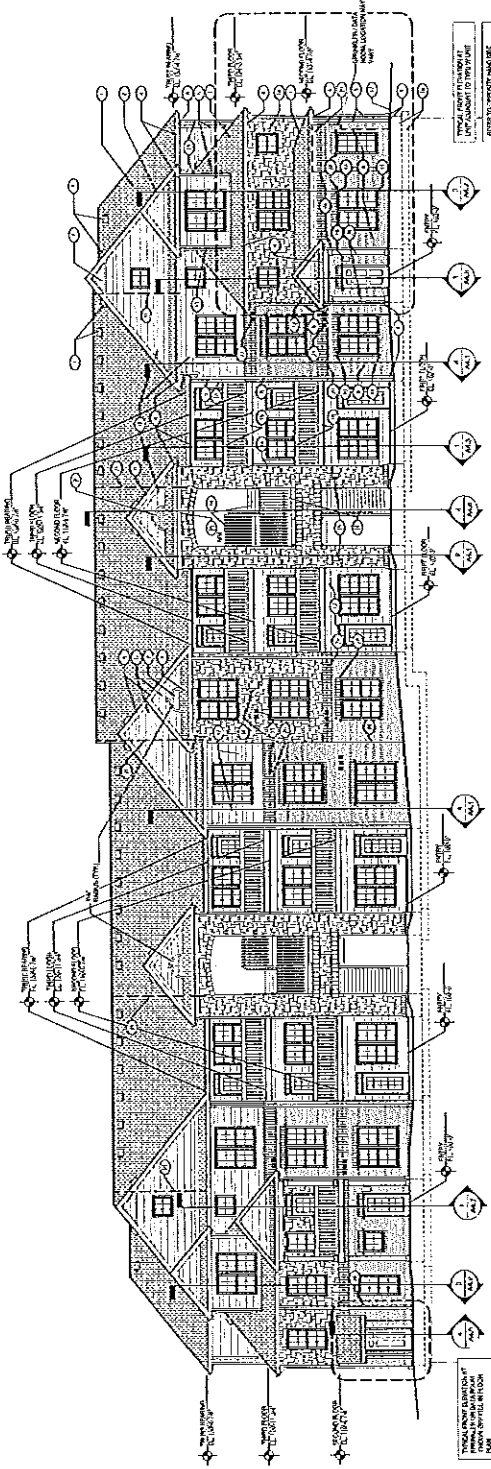
RML Apartments at Harvey Property  
RML, Louisville  
Kenton, Kentucky

Stewart Carter, Architect  
ARCHITECT: STEWART CARTER ARCHITECTS, INC.  
DATE: 10/10/14  
DRAWN: JAC  
CHECKED: JAC  
PROJECT: RML APT  
SHEET: A1.13

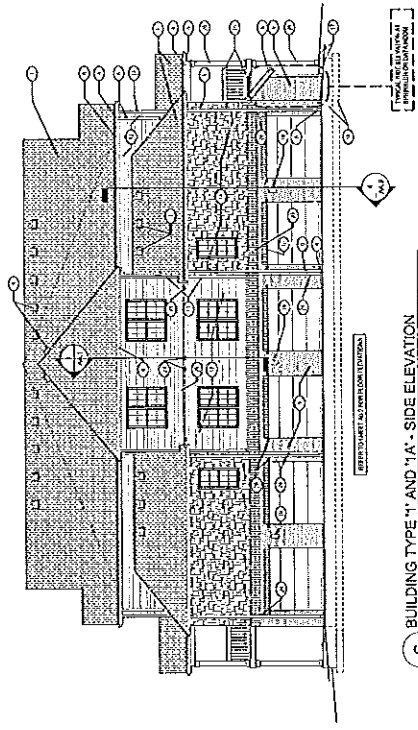
CONTRACT NO.  
DATE  
DRAWN  
CHECKED  
PROJECT  
SHEET

REVISIONS  
NO.  
DATE  
DESCRIPTION

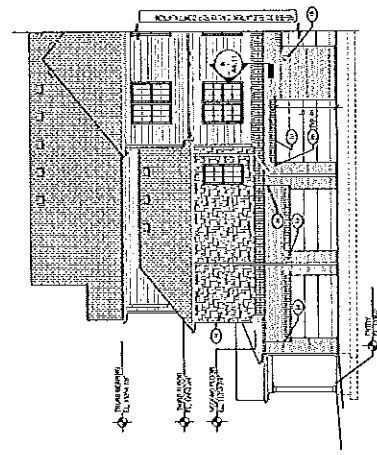
A1.13



A BUILDING TYPE 1 - FRONT ELEVATION



C BUILDING TYPE 1 AND 'A' - SIDE ELEVATION



B BUILDING TYPE 1 - SIDE ELEVATION AT TYPE 'A' UNIT

GENERAL NOTE

1. ELEVATIONS SHOWN ARE FOR INFORMATION ONLY. ELEVATIONS WILL BE DETERMINED BY THE ARCHITECT BASED ON THE ACTUAL CONSTRUCTION. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE ELEVATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE ELEVATIONS.

ELEVATION TAB NOTES

- 1. ELEVATIONS SHOWN ARE FOR INFORMATION ONLY. ELEVATIONS WILL BE DETERMINED BY THE ARCHITECT BASED ON THE ACTUAL CONSTRUCTION. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE ELEVATIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE ELEVATIONS.
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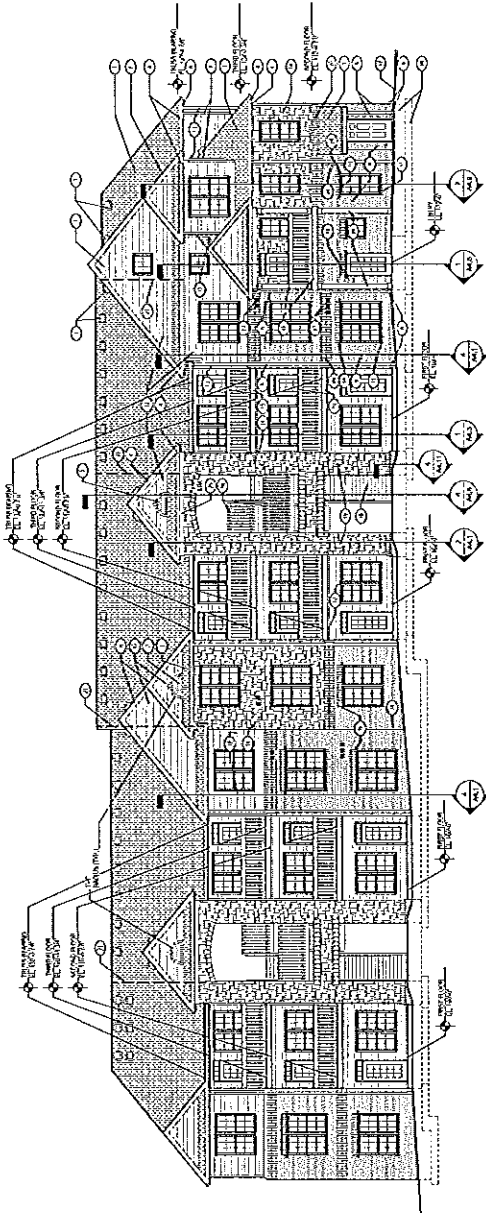




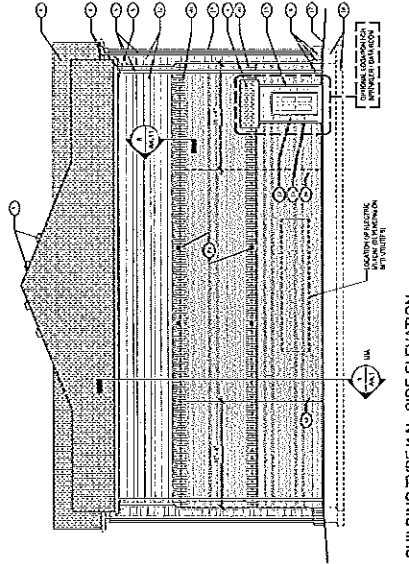
RML Apartments at Harvey Property

RML Construction  
Lexington, Kentucky

BUILDING TYPE 'A' - ELEVATIONS  
SHEKAR, CARTER, BARNHART  
ARCHITECTS, INC. 2014  
NOT TO SCALE  
DATE: 10/10/14  
DRAWN: JTB  
CHECKED: ML  
COMPILED: A.B.  
DESIGNED: D.B.  
PROJECT: RML  
SHEET: A1.23



A BUILDING TYPE 'A' - FRONT ELEVATION  
1/4" = 1'-0"



B BUILDING TYPE 'A' - SIDE ELEVATION  
1/4" = 1'-0"

GENERAL NOTE

1. FINISHES AND MATERIALS SHOWN ON THESE ELEVATIONS ARE NOT TO SCALE. MATERIALS AND FINISHES TO BE USED SHALL BE AS SHOWN ON THE FINISH SCHEDULE. ALL FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MATERIALS AND FINISHES GUIDE.

ELEVATION TAG NOTES

- 1. CLAD: 1" THICK GLASS ROOF PANELS
- 2. CLAD: 1" THICK GLASS ROOF PANELS
- 3. CLAD: 1" THICK GLASS ROOF PANELS
- 4. CLAD: 1" THICK GLASS ROOF PANELS
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- 55. CLAD: 1" THICK GLASS ROOF PANELS
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- 89. CLAD: 1" THICK GLASS ROOF PANELS
- 90. CLAD: 1" THICK GLASS ROOF PANELS
- 91. CLAD: 1" THICK GLASS ROOF PANELS
- 92. CLAD: 1" THICK GLASS ROOF PANELS
- 93. CLAD: 1" THICK GLASS ROOF PANELS
- 94. CLAD: 1" THICK GLASS ROOF PANELS
- 95. CLAD: 1" THICK GLASS ROOF PANELS
- 96. CLAD: 1" THICK GLASS ROOF PANELS
- 97. CLAD: 1" THICK GLASS ROOF PANELS
- 98. CLAD: 1" THICK GLASS ROOF PANELS
- 99. CLAD: 1" THICK GLASS ROOF PANELS
- 100. CLAD: 1" THICK GLASS ROOF PANELS

## Agenda Item # 9

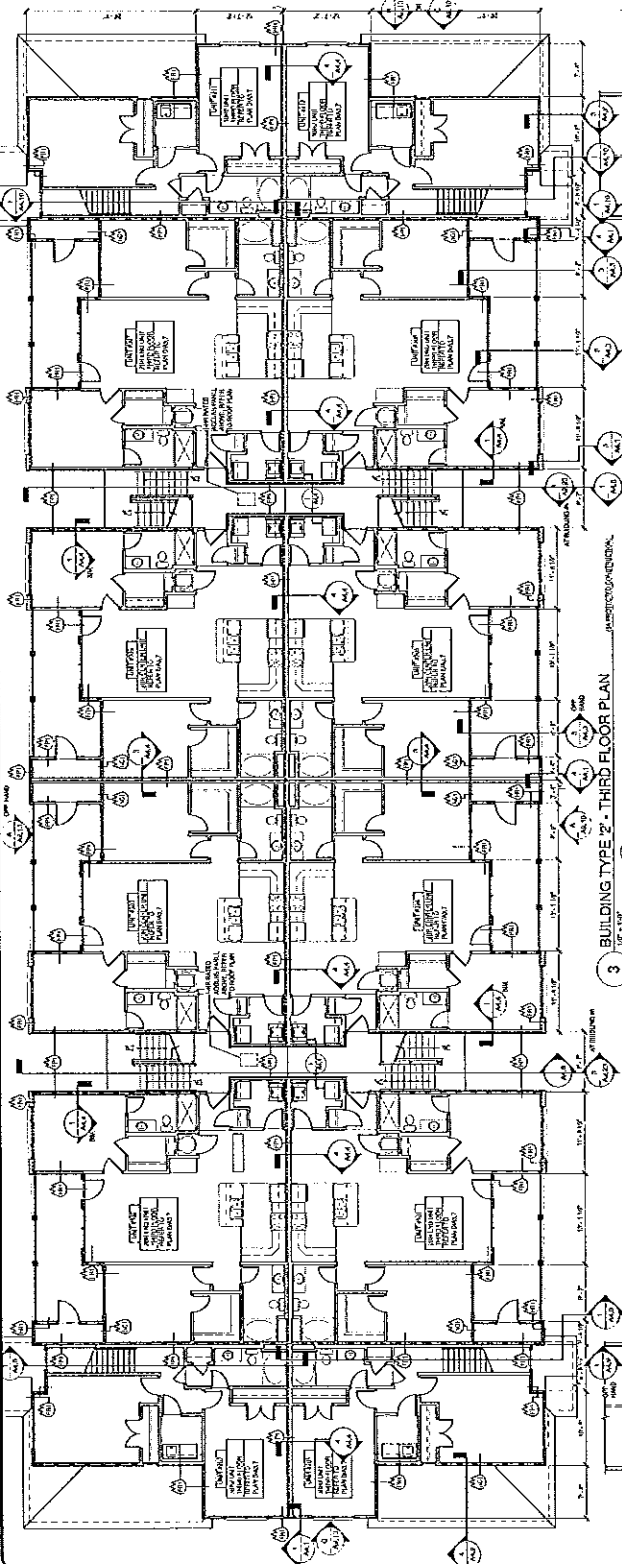
**BUILDING PLAN**  
**GENERAL NOTES**

|     |  |
|-----|--|
| 1A. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1B. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1C. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1D. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1E. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1F. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1G. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1H. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1I. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1J. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1K. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1L. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1M. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1N. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1O. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1P. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1Q. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1R. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1S. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1T. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1U. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1V. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1W. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1X. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1Y. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |
| 1Z. | UNLAWFUL POLICE ACTIVITY IN THE<br>PERFORMANCE OF DUTY |

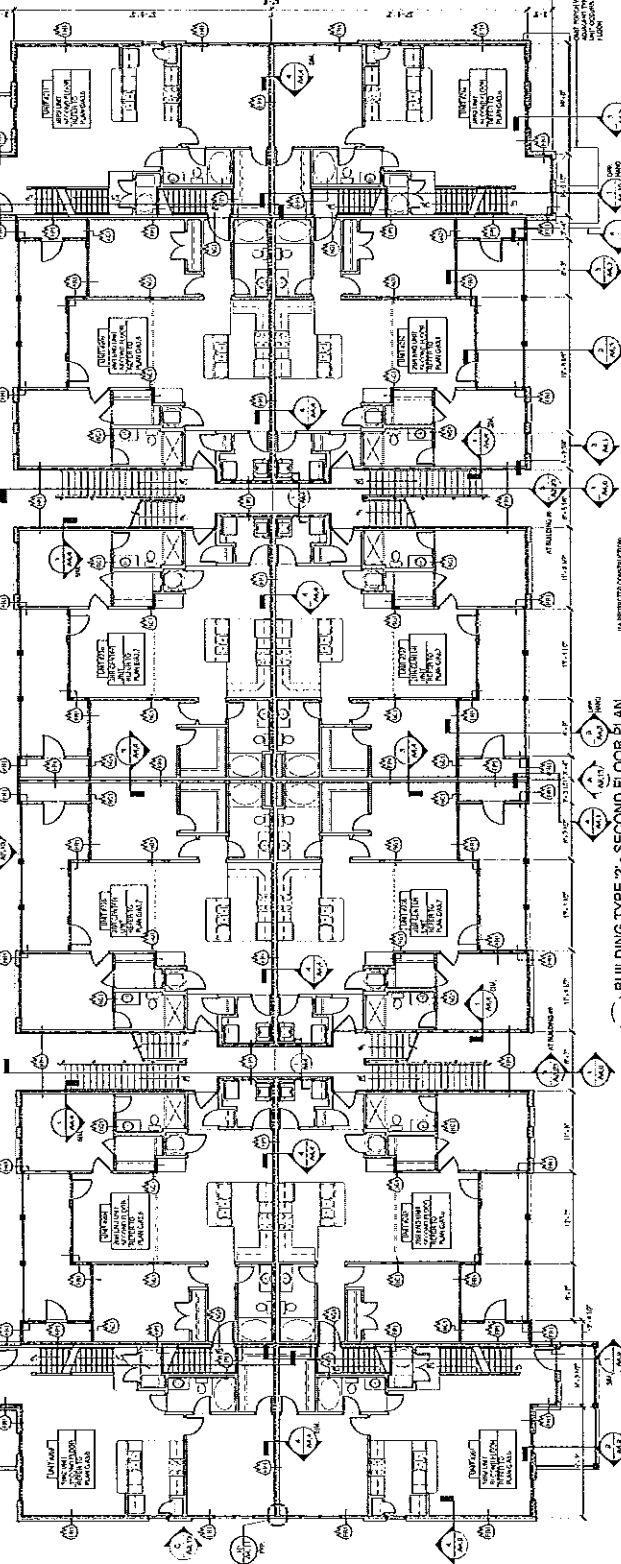
### LEGEND

The diagrams show a child's understanding of the word 'mean' at three different stages:

- Diagram 1:** A child is shown with a sad face, looking at a horizontal line. The text above says 'ONE MEAN MEANS THIS PUNISHMENT'.
- Diagram 2:** A child is shown with a sad face, looking at a horizontal line. The text above says 'ONE MEAN MEANS THIS CONSTRUCTION'.
- Diagram 3:** A child is shown with a sad face, looking at a horizontal line. The text above says 'ONE MEAN MEANS ANOTHER MEAN (AND IS NOT) OR ANOTHER PUNISHMENT'.



3 BUILDING TYPE '2' - THIRD FLOOR PLAN  
1/4" = 1'-0"



BUILDING TYPE 2 - SECOND FLOOR PLAN  
1/8" = 1'-0"





# RML Apartments at Harvey Property

RML Construction  
Lexington, Kentucky

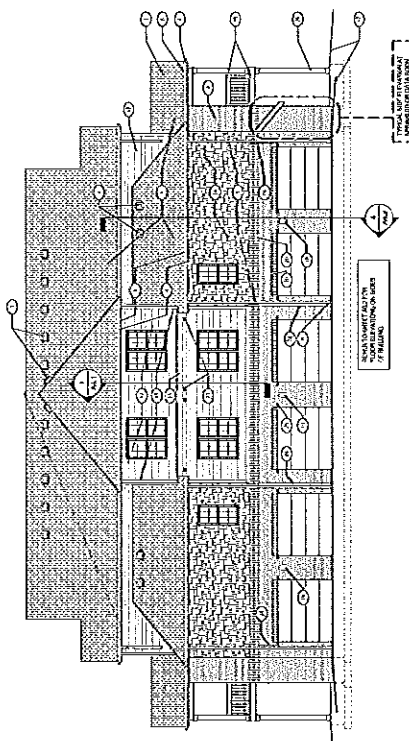
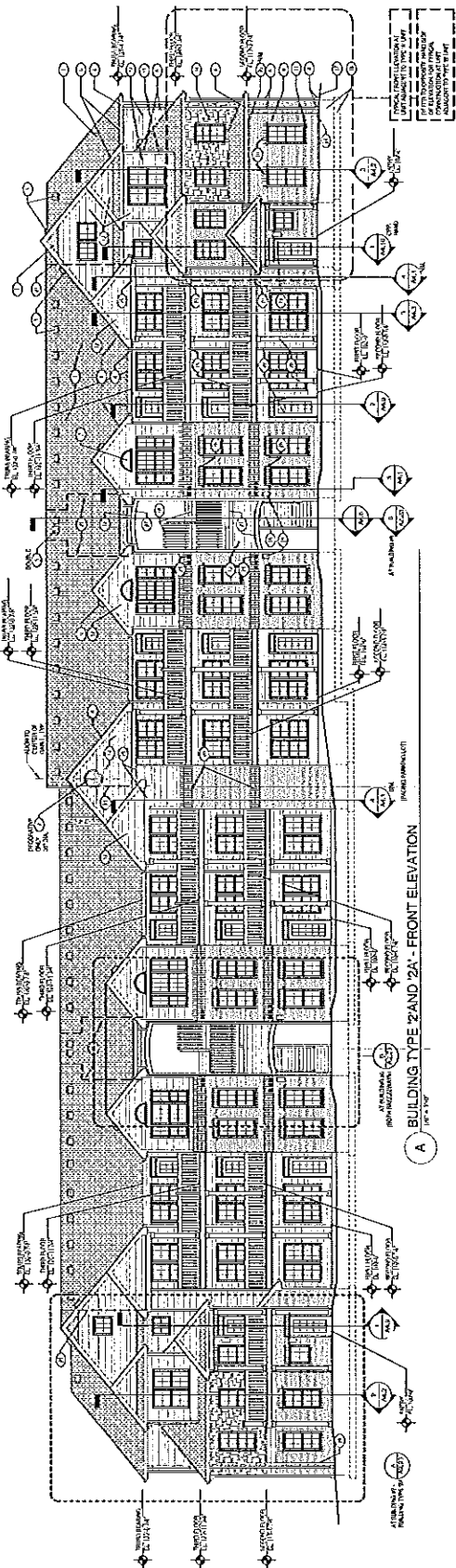
STORMAN, CARTER, HANFORD  
ARCHITECTS - A PROFESSIONAL CORPORATION  
1000 EAST MAIN STREET, SUITE 200  
LEXINGTON, KY 40502-1000  
PH: 270-253-1111  
WWW.SCHCM.COM

BUILDING TYPE 2 AND 2A - ELEVATIONS

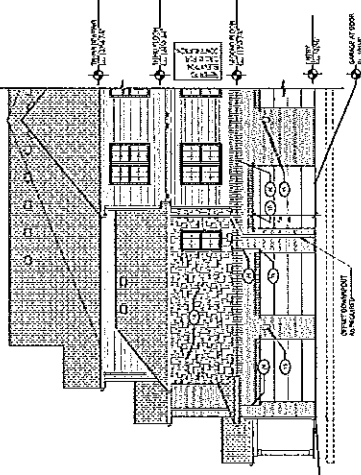
DATE: 09/10/2015  
DRAWN: JPH  
CHECKED: JPH  
COMMENTS: SEE  
SHEET 1 OF 1  
PROJECT: RML

REVISIONS  
NO. DESCRIPTION  
DATE

SHEET  
A2.13



C BUILDING TYPE 2 AND 2A - TYPICAL SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



B BUILDING TYPE 2 - SIDE ELEVATION AT TYPE 'A' UNIT  
SCALE: 1/8" = 1'-0"

## ELEVATION TAG NOTES

1. THE FOLLOWING ELEVATION TAGS ARE TO BE USED TO IDENTIFY THE SPECIFIC MATERIALS AND FINISHES TO BE USED ON THE BUILDING EXTERIOR. THE TAGS ARE TO BE PLACED NEXT TO THE CORRESPONDING MATERIAL OR FINISH ON THE ELEVATION. THE TAGS ARE TO BE USED TO IDENTIFY THE SPECIFIC MATERIALS AND FINISHES TO BE USED ON THE BUILDING EXTERIOR. THE TAGS ARE TO BE PLACED NEXT TO THE CORRESPONDING MATERIAL OR FINISH ON THE ELEVATION. THE TAGS ARE TO BE USED TO IDENTIFY THE SPECIFIC MATERIALS AND FINISHES TO BE USED ON THE BUILDING EXTERIOR. THE TAGS ARE TO BE PLACED NEXT TO THE CORRESPONDING MATERIAL OR FINISH ON THE ELEVATION.
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## GENERAL NOTE

1. THE FOLLOWING ELEVATION TAGS ARE TO BE USED TO IDENTIFY THE SPECIFIC MATERIALS AND FINISHES TO BE USED ON THE BUILDING EXTERIOR. THE TAGS ARE TO BE PLACED NEXT TO THE CORRESPONDING MATERIAL OR FINISH ON THE ELEVATION. THE TAGS ARE TO BE USED TO IDENTIFY THE SPECIFIC MATERIALS AND FINISHES TO BE USED ON THE BUILDING EXTERIOR. THE TAGS ARE TO BE PLACED NEXT TO THE CORRESPONDING MATERIAL OR FINISH ON THE ELEVATION.



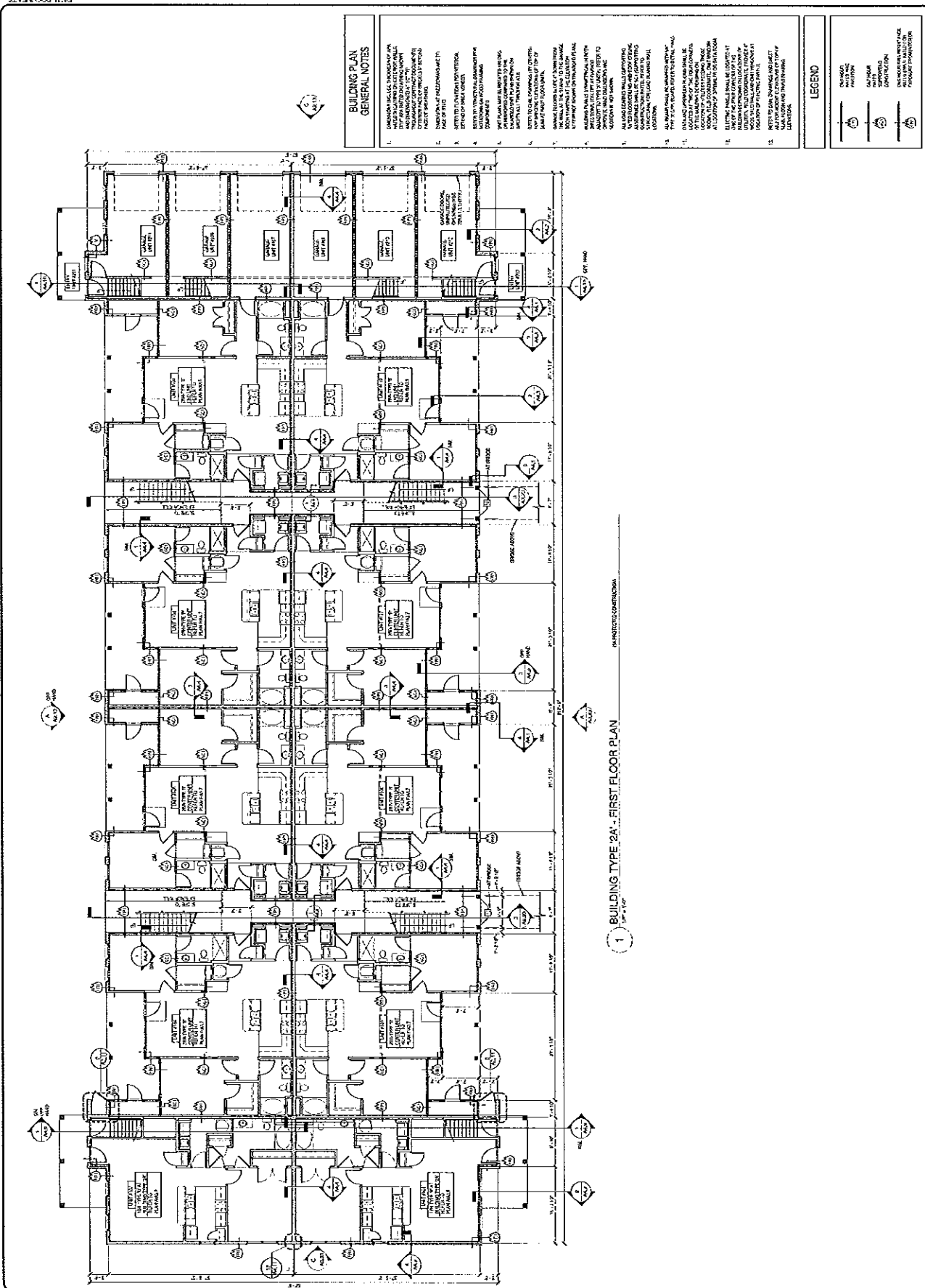
RML Apartments at Harvey Property  
RML Construction  
Lexington, Kentucky

Shuman-Carter-Johnson  
ARCHITECTS - INTERIORS - LANDSCAPE ARCHITECTS - ENGINEERS  
BUILDING TYPE 2A - FIRST FLOOR PLAN

DATE: 08/10/2015  
DRAWN: JPP  
CHECKED: RML  
PROJECT: RML  
SHEET: A2.21

REVISIONS  
REVISION NO. DESCRIPTION  
1. 08/10/2015

SHEET  
A2.21



**BUILDING PLAN  
GENERAL NOTES**

1. DIMENSIONS INCLUDE THICKNESS OF WALLS AND PARTITIONS UNLESS NOTED OTHERWISE.
2. ALL WALLS SHALL BE CONCRETE UNLESS NOTED OTHERWISE.
3. ALL FLOORS SHALL BE CONCRETE UNLESS NOTED OTHERWISE.
4. ALL ROOFS SHALL BE FLAT UNLESS NOTED OTHERWISE.
5. ALL ROOFS SHALL BE DRAINAGE UNLESS NOTED OTHERWISE.
6. ALL ROOFS SHALL BE INSULATED UNLESS NOTED OTHERWISE.
7. ALL ROOFS SHALL BE VENTILATED UNLESS NOTED OTHERWISE.
8. ALL ROOFS SHALL BE FLASHED UNLESS NOTED OTHERWISE.
9. ALL ROOFS SHALL BE GUTTERED UNLESS NOTED OTHERWISE.
10. ALL ROOFS SHALL BE DOWNSPUT UNLESS NOTED OTHERWISE.
11. ALL ROOFS SHALL BE MAINTAINED UNLESS NOTED OTHERWISE.
12. ALL ROOFS SHALL BE REPAIRED UNLESS NOTED OTHERWISE.
13. ALL ROOFS SHALL BE REPLACED UNLESS NOTED OTHERWISE.

**LEGEND**

|  |           |
|--|-----------|
|  | WALL      |
|  | DOOR      |
|  | WINDOW    |
|  | FURNITURE |

