

**KNOXVILLE/KNOX COUNTY METROPOLITAN PLANNING COMMISSION
 USE ON REVIEW REPORT**

▶ **FILE #:** 9-B-15-UR

AGENDA ITEM #: 42

AGENDA DATE: 9/10/2015

▶ **APPLICANT:** MARK BIALIK, GBS ENGINEERING

OWNER(S): Southeast Bank

TAX ID NUMBER: 103 M A 006

[View map on KGIS](#)

JURISDICTION: County Commission District 6

STREET ADDRESS: 10870 Hardin Valley Rd

▶ **LOCATION:** Southeast side of Hardin Valley Rd., northeast side of Greenland Way.

▶ **APPX. SIZE OF TRACT:** 1.32 acres

SECTOR PLAN: Northwest County

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via Hardin Valley Rd., a minor arterial street with a 3 lane section with a 44' pavement width within an 80' right-of-way.

UTILITIES: Water Source: West Knox Utility District

Sewer Source: West Knox Utility District

WATERSHED: Conner Creek

▶ **ZONING:** PC (Planned Commercial) / TO (Technology Overlay)

▶ **EXISTING LAND USE:** Vacant lot

▶ **PROPOSED USE:** Bank

HISTORY OF ZONING: Property rezoned to PC (Planned Commercial) / TO (Technology Overlay) in February, 2006.

SURROUNDING LAND USE AND ZONING: North: Vacant land and parking lot / PC (Planned Commercial) / TO (Technology Overlay)

South: Apartments / OB (Office, Medical, and Related Services) / TO (Technology Overlay)

East: Vacant land / PC (Planned Commercial) / TO (Technology Overlay)

West: Vacant land / PC (Planned Commercial) / TO (Technology Overlay)

NEIGHBORHOOD CONTEXT: This area is developed with a mix of residential, institutional, office and commercial uses, under A, PR, OB, BP and PC zoning.

STAFF RECOMMENDATION:

▶ **APPROVE the request for a bank with approximately 1,941 square feet and a drive-thru window, as shown on the development plan, subject to 7 conditions**

1. Obtaining approval from the Tennessee Technology Corridor Development Authority (TTCCA) for the proposed development (9-A-15-TOB).
2. Connection to sanitary sewer and meeting any other relevant requirements of the Knox County Health Department.
3. Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.

4. Installing all landscaping, as shown on the landscape plan, within six months of issuance of occupancy permits for the project, or posting a bond with the Knox County Department of Engineering and Public Works, to guarantee such installation. Landscaping at all intersections shall be installed so as not to interfere with the sight triangles and visibility along public streets.
5. Providing the sidewalk connection from the bank out to the existing sidewalk along Hardin Valley Rd. as identified on the development plan, subject to meeting Americans with Disabilities Act (ADA) requirements.
6. Any additional signage for the bank is subject to approval by Planning Commission Staff and the TTCDA.
7. Meeting all applicable requirements of the Knox County Zoning Ordinance.

With the conditions noted above, this request meets the requirements for approval in the PC (Planned Commercial) & TO (Technology Overlay) zoning districts, as well as other criteria for approval of a use on review.

COMMENTS:

The applicant is proposing to develop a SouthEast Bank branch office with approximately 1,941 square feet of floor area, including a drive-thru window. The development site of 1.32 acres is located on the southeast side of Hardin Valley Rd. and the northeast side of Greenland Way. The main access to the site will be off Greenland Way with a right-in/right-out access off of Hardin Valley Rd.

The plan includes 18 parking spaces which meets off-street parking requirements of the Knox County Zoning Ordinance. Permeable pavers will be used for the entire parking lot. The only proposed signage for the site is a 36 square foot wall sign above the main entrance which includes the banks name etched one inch deep into the rockcast panel.

The site is located within the TO (Technology Overlay) zoning district and is subject to review and approval by the Tennessee Technology Corridor Development Authority (TTCDA). The TTCDA will consider this request on September 8, 2015.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTIES AND THE COMMUNITY AS A WHOLE

1. All public utilities are available to serve the site.
2. The proposed bank is compatible with the scale and intensity of the surrounding development and zoning pattern.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

1. With the recommended conditions, the proposal meets all requirements of the PC/TO zoning as well as the general criteria for approval of a use on review.
2. The proposed commercial development with the recommended conditions is consistent with the following general standards for uses permitted on review: The proposal is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas since the development is located off of an arterial streets. No surrounding land uses will pose a hazard or create and unsuitable environment for the proposed use.

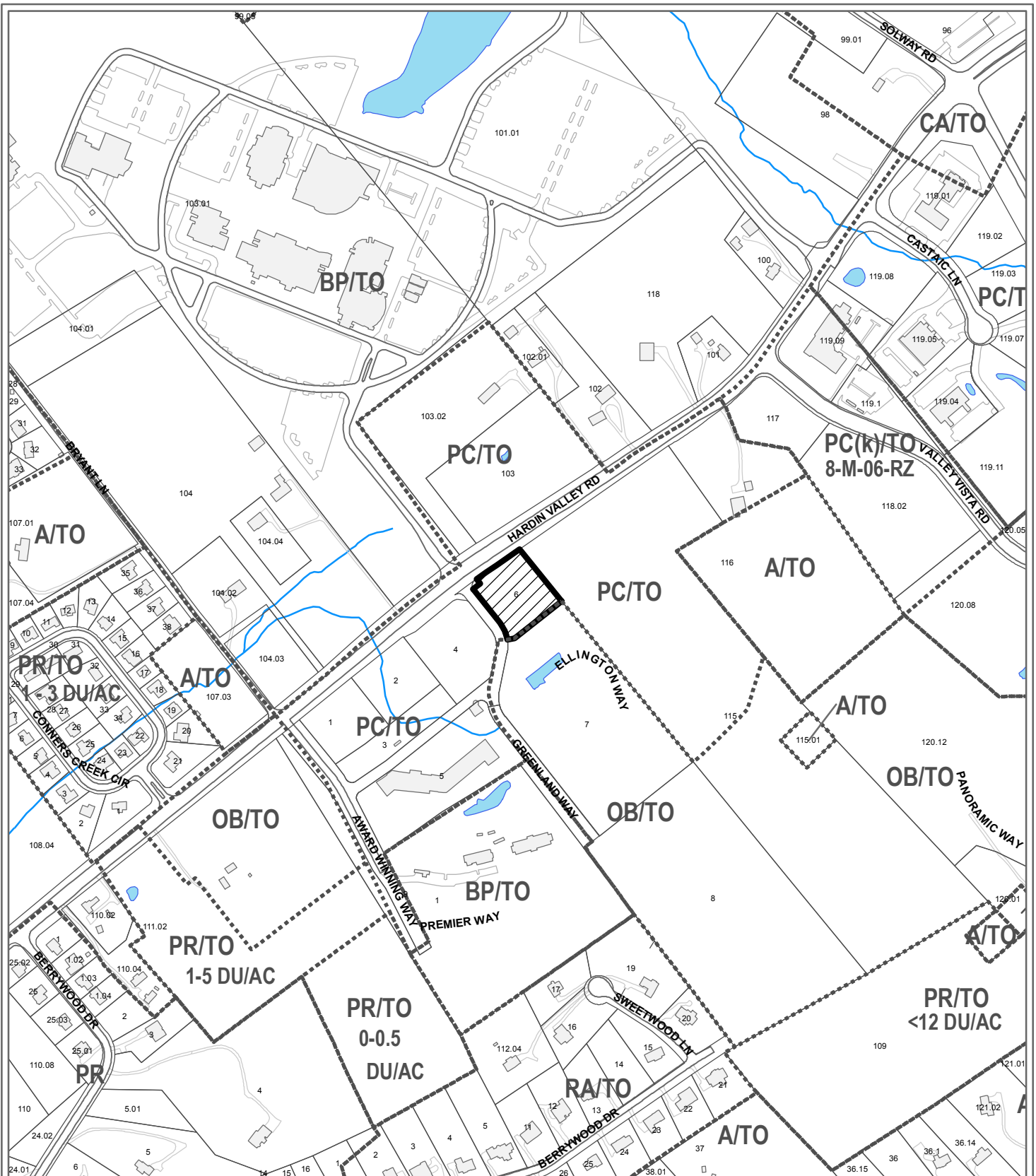
CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

1. The Northwest County Sector Plan proposes commercial uses for this site which conforms to the proposed use.
2. The site is located within the Planned Growth Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal an MPC decision in the County.



**9-B-15-UR
USE ON REVIEW**



Bank in PC (Planned Commercial) / TO (Technology Overlay)

Original Print Date: 8/25/2015
 Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

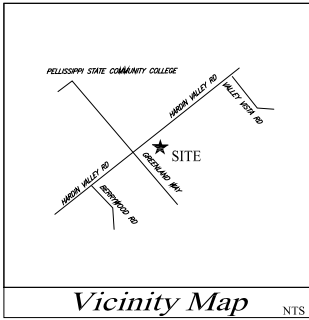
Revised:

Petitioner: Mark Bialik, GBS Engineering

Map No: 103

Jurisdiction: County





Site Development Plans for *The Hardin Valley Branch SouthEast Bank*

Owned/Developed by:
SouthEast Bank

12700 Kingston Pike
Farragut, Tennessee 37934
(865) 824-3323
Attn: Mr.

EXISTING		PROPOSED		EXISTING		PROPOSED	
---	WATERS EDGE	---	WATERS EDGE	---	CLEANOUT	---	CLEANOUT
---	PROPERTY LINE	---	PROPERTY LINE	---	SANITARY MANHOLE	---	SANITARY MANHOLE
---	POINT OF BEGINNING	---	POINT OF BEGINNING	---	SAN SWR LINES	---	SAN SWR LINES
---	SILT FENCE	---	SILT FENCE	---	OIL/WATER SEPARATOR LINES	---	OIL/WATER SEPARATOR LINES
---	INLET PROTECTION	---	INLET PROTECTION	---	AIR LINES	---	AIR LINES
---	CATCH BASIN	---	CATCH BASIN	---	RAINWATER LEADERS	---	RAINWATER LEADERS
---	CURB INLET	---	CURB INLET	---	CANOPY DRAINS	---	CANOPY DRAINS
---	DRAINAGE MANHOLE	---	DRAINAGE MANHOLE	---	WATER METER	---	WATER METER
---	REINFORCED CONCRETE PIPE	---	REINFORCED CONCRETE PIPE	---	WATER VALVE	---	WATER VALVE
---	CORRUGATED METAL PIPE	---	CORRUGATED METAL PIPE	---	FIRE HYDRANT	---	FIRE HYDRANT
---	MONITORING WELL	---	MONITORING WELL	---	WATER LINES	---	WATER LINES
---	SPOT ELEVATION	---	SPOT ELEVATION	---	OVERHEAD TELEPHONE	---	OVERHEAD TELEPHONE
---	CURB SPOT ELEVATION	---	CURB SPOT ELEVATION	---	UNDERGROUND TELEPHONE	---	UNDERGROUND TELEPHONE
---	1 FT CONTOUR	---	1 FT CONTOUR	---	TELEPHONE BOX	---	TELEPHONE BOX
---	5 FT CONTOUR	---	5 FT CONTOUR	---	ELECTRIC BOX	---	ELECTRIC BOX
---	STD DUTY CURB & GUTTER	---	STD DUTY CURB & GUTTER	---	12" DIAMETER WOOD POWER POLE	---	12" DIAMETER WOOD POWER POLE
---	HEAVY DUTY CURB & GUTTER	---	HEAVY DUTY CURB & GUTTER	---	GUY ANCHOR	---	GUY ANCHOR
---	EXTRUDED CURB	---	EXTRUDED CURB	---	METAL LIGHT POLE	---	METAL LIGHT POLE
---	VERTICAL CURB	---	VERTICAL CURB	---	18" X 18" CONCRETE POWER POLE	---	18" X 18" CONCRETE POWER POLE
---	EXISTING PAVEMENT TO BE REMOVED	---	EXISTING PAVEMENT TO BE REMOVED	---	OVERHEAD ELECTRIC	---	OVERHEAD ELECTRIC
---	PAINTED NO PARKING AREAS	---	PAINTED NO PARKING AREAS	---	UNDERGROUND ELECTRIC	---	UNDERGROUND ELECTRIC
---	AUTO ASPHALT PAVEMENT	---	AUTO ASPHALT PAVEMENT	---	GAS VALVE	---	GAS VALVE
---	1.5" ASPHALT OVERLAY	---	1.5" ASPHALT OVERLAY	---	GAS METER	---	GAS METER
---	STD DUTY TRUCK ASPHALT	---	STD DUTY TRUCK ASPHALT	---	GAS LINE	---	GAS LINE
---	HEAVY DUTY TRUCK ASPHALT	---	HEAVY DUTY TRUCK ASPHALT	---	AQUADUC USE BUFFER	---	AQUADUC USE BUFFER
---	CONCRETE	---	CONCRETE	---	TOP OF STREAM BANK	---	TOP OF STREAM BANK
---	PERMEABLE PAVERS	---	PERMEABLE PAVERS	---		---	

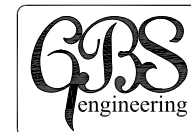
10870 Hardin Valley Road, CLT Map 103, Insert M, Group A, Parcel 6.00
Knox County, Tennessee, 37932

DRAWING INDEX

				REVISIONS
01	C0.0	Cover Sheet	08/24/2015	▽
02	A-1.0	Floor Plan and Details	08/25/2015	▽
03	A-2.0	Exterior Elevations and Details	08/25/2015	▽
04	A-2.1	Exterior Elevations and Details	08/25/2015	▽
05	A-4.0	Dumpster Plans and Sections	08/25/2015	▽
06	E-1	Colored Elevations	08/25/2015	▽
07	C1.0	EP & SC Plan - Initial Phase	07/24/2015	▽
08	C1.1	EP & SC Plan - Final Phase	08/24/2015	▽
09	C1.2	SWPPP	07/24/2015	▽
10	C1.3	SWPPP	07/24/2015	▽
11	C2.0	Demolition Plan	07/24/2015	▽
12	C3.0	Site Layout Plan	08/24/2015	▽
13	C4.0	Site Grading Plan	08/24/2015	▽
14	C5.0	Site Plan	08/24/2015	▽
15	C6.0	Utility Plan	08/24/2015	▽
16	C7.0	Site Details	07/24/2015	▽
17	C8.0	Site Details	07/24/2015	▽
18	SE1.1	Site Photometric Plan	08/25/2015	▽
19	LA-1	Master Landscape Plan	08/25/2015	▽

BANK
OCCUPANCY TYPE: B
BUILDING TYPE: V-B
SPRINKLED: NO
STORIES: 1
TOTAL SF: 1893 SF
MAX HEIGHT: 23'-4"

9-B-15-UR
Revised: 8/26/2015

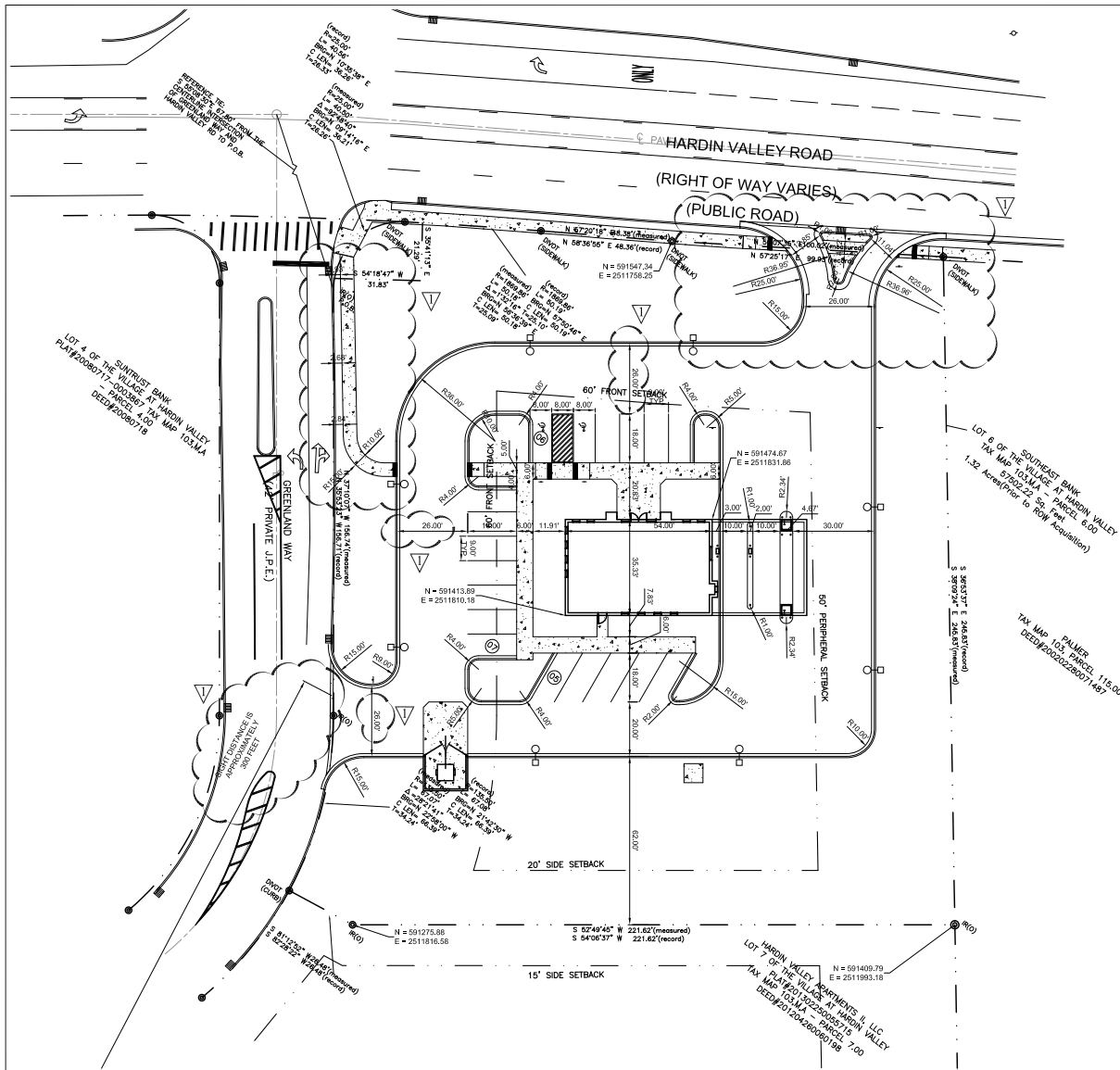


1313 Kalmia Road
Knoxville, TN 37909
Phn: 865.566.0185
Fax: 888.485.7005



REV	DESCRIPTION	BY	DATE
1	Revised per MPC Comments	MAB	08/24/2015
-	-	-	-
-	-	-	-
-	-	-	-
-	-	-	-

TITLE:	COVER SHEET	DRAWN BY:	-	SHEET NO:	C0.0	
LOCATION:	Hardin Valley Road Knoxville, TN CLT Map 103, Insert M, Group A, Parcel No. 6.00	CHECKED BY:	-	FILE NAME:		2111 - C0.0
Owner:	SouthEast Bank	JOB NUMBER:	2111	ISSUE DATE:		07/24/2015



SITE INFORMATION		
PARKING	REQUIRED	PROVIDED
AUTO PARKING	11	19
HANDICAP PARKING	01	02
SITE AND BUILDING ACCESSIBILITY PER ANSIA117.1		
SITE ACREAGE IS 1.32 ACRES ±		
ZONING		
EXISTING ZONING IS PD02		
FACILITY SIZE		
BUILDING SQUARE FOOTAGE	1941 S.F.	
NUMBER OF STORIES	1	
BUILDING HEIGHT (TO TOP OF PARAPET)	23'4"	

PARKING CALCULATIONS:
 KNOX COUNTY REQUIRES 1 SPACE PER 300 SF GROSS, PLUS 1 SPACE FOR EACH 3 EMPLOYEES.
 TTCDA REQUIRES A MINIMUM OF 3 SPACES PER 1000 SF OF GROSS FLOOR AREA OR
 A MAXIMUM OF 4.5 SPACES PER 1000 SF OF GROSS FLOOR AREA.

SOUTHEAST BANK WILL HAVE A MAXIMUM OF
 6 EMPLOYEES/3 EMPLOYEES = 2 SPACES REQUIRED
 1941 SF/300 SF = 6 SPACES REQUIRED FOR BANKS/PROFESSIONAL OFFICE.
 TOTAL REQUIRED FOR KNOX COUNTY IS 11 SPACES.

TTCDA REQUIRES 1.941 x 3 = 6 SPACES MIN OR 1.941 x 4.5 = 9 SPACES MAX

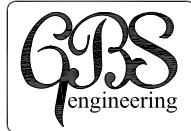
18 SPACES PROVIDED, WITH ALL PAVEMENT BEING PERMEABLE PAVERS.

HANDICAP SPACES REQUIRED FOR 18 SPACES = 1 REQUIRED
 HANDICAP SPACES PROVIDED = 2 SPACES

TTCDA AREA CALCULATIONS:
 GROUND AREA COVERAGE = FLOOR AREA RATIO (DUE TO SINGLE FLOOR BUILDING)
 1,941 / 56,946.92 = 0.0341 OR 3.41 PERCENT

IMPERVIOUS AREA RATIO
 7,577.80 / 56,946.92 = 0.1331 OR 13.31 PERCENT

9-B-15-UR
 Revised: 8/26/2015



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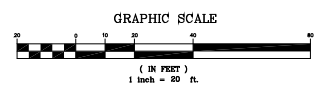


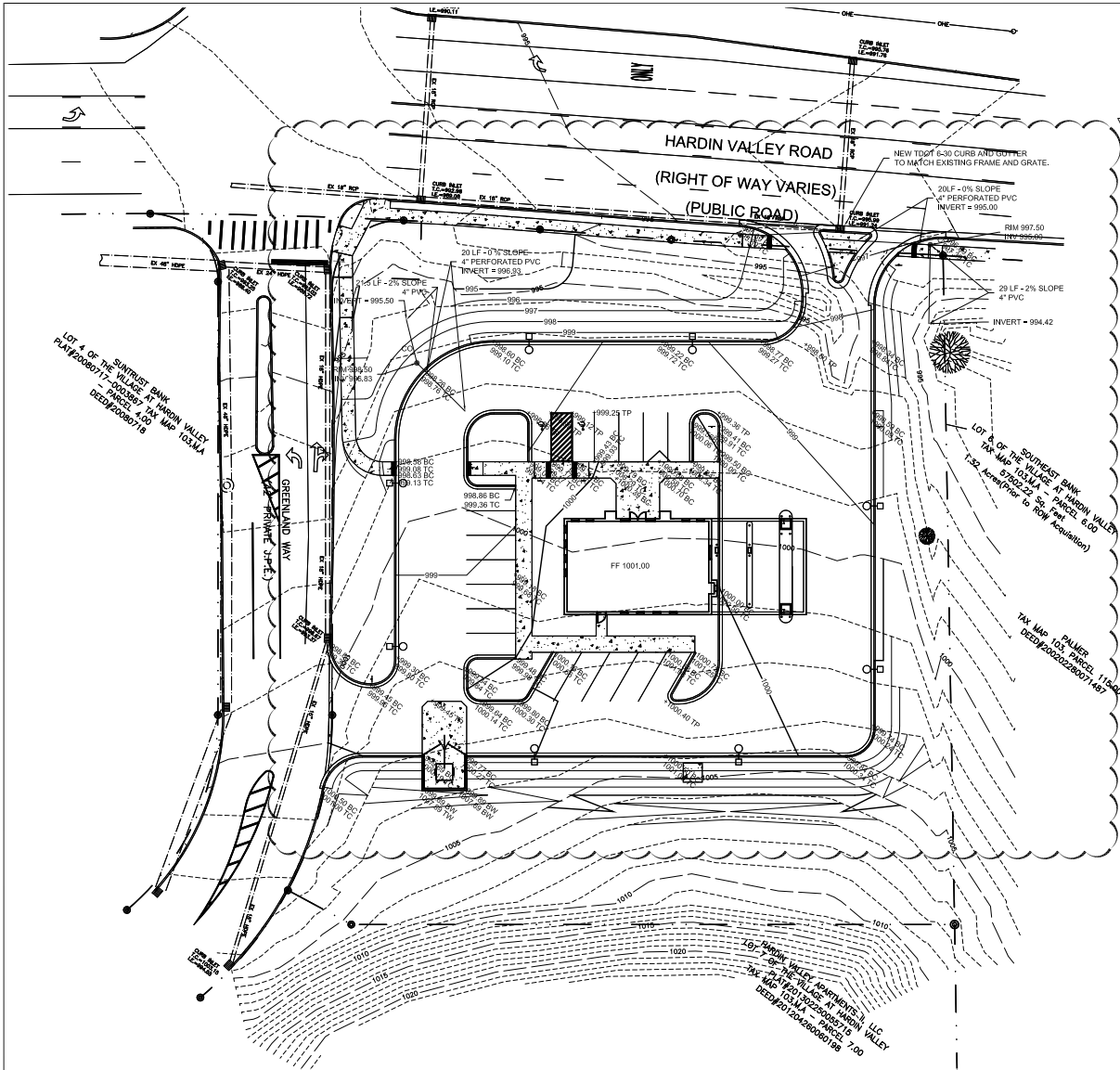
REV.	DESCRIPTION	BY	DATE
1	Revised per MPC Comments	MAB	08/24/2015
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TITLE:	SITE LAYOUT PLAN	DRAWN BY:	-	SHEET NO.:	C3.0	
LOCATION:	10870 Hardin Valley Road Knoxville, TN	CHECKED BY:	-	FILE NAME:		2111 - C3.dwg
Owner:	SouthEast Bank	JOB NUMBER:	2111	ISSUE DATE:		07/24/2015



SITE LAYOUT PLAN
 Scale: 1" = 20'-0"



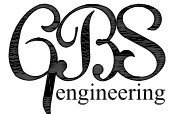


ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR'S OR PROPERTY OWNER'S FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION ARE SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.


SITE GRADING, DRAINAGE & EROSION CONTROL DETAIL
REFERENCE LEGEND

MARK	REFERENCE/DETAIL
HW	HEADWALL
BO	BASIN OUTLET STRUCTURE
CO	CURB INLET
CB	CATCH BASIN
CCP	CONCRETE PIPE, CLASS III
SRMP	SPIRAL RIBBED METAL PIPE, ALUMINIZED
BC	BOTTOM OF CURB
TC	TOP OF CURB
BW	BOTTOM OF WALL
TW	TOP OF WALL
EP	ELEVATION OF PAVEMENT
TP	TOP OF PAVEMENT

9-B-15-UR
 Revised: 8/26/2015

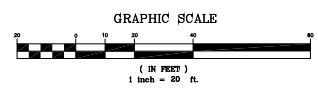


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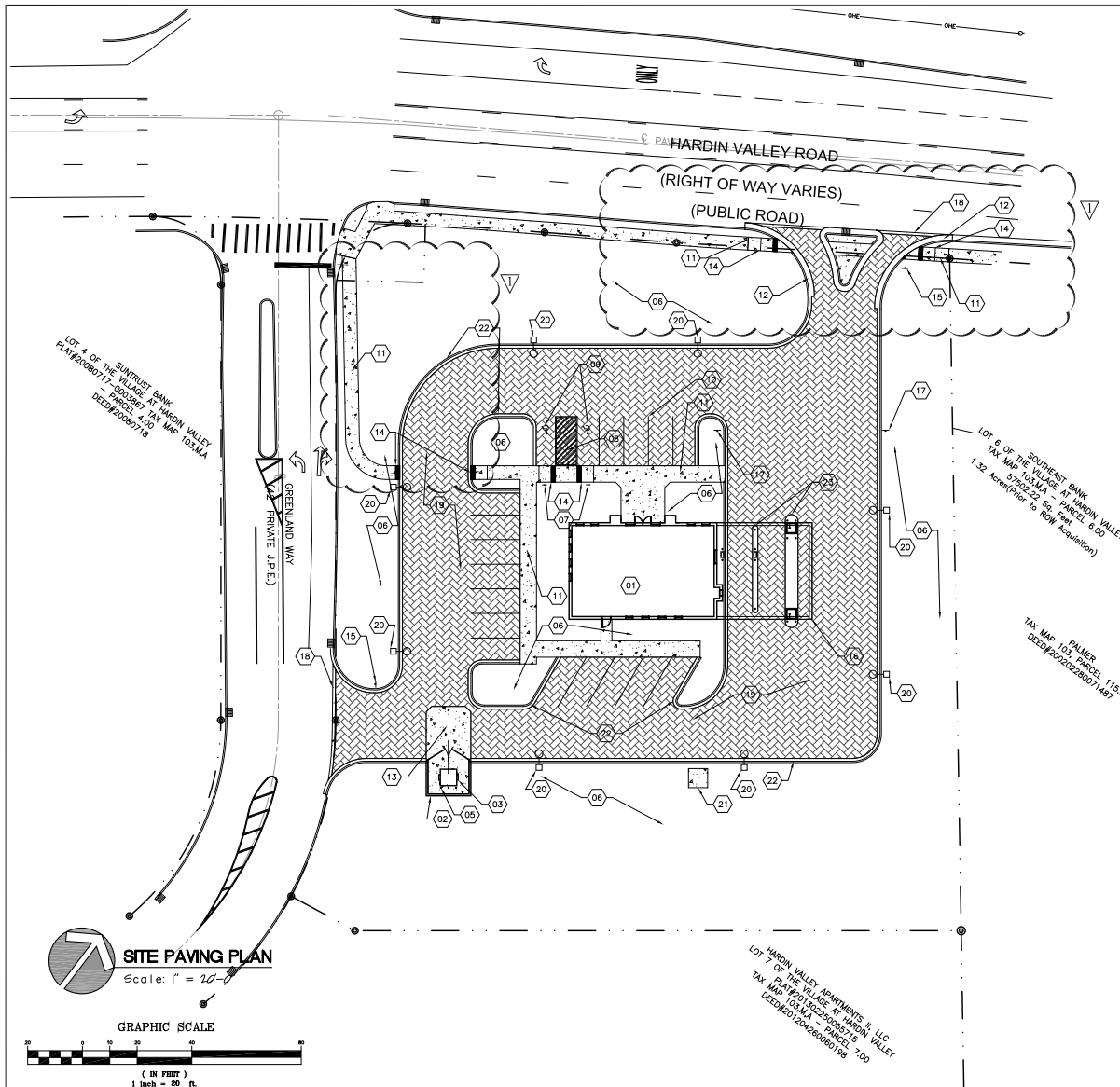


SITE GRADING PLAN
 Scale: 1" = 20'-0"



REV.	DESCRIPTION	BY	DATE
1	Revised per MPC Comments	MAB	08/24/2015
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TITLE: SITE GRADING PLAN	DRAWN BY: -	SHEET NO:
LOCATION: 10870 Hardin Valley Road Knoxville, TN	CHECKED BY: -	C4.0
CLT Map 103, Insert M, Group A, Parcel No. 6.00	FILE NAME: 2111 - C4	
Owner: SouthEast Bank	JOB NUMBER: 2111 ISSUE DATE: 07/24/2015	



LEGEND

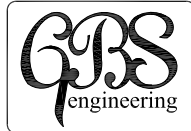
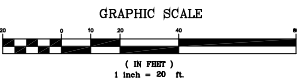
	CONCRETE
	STANDARD DUTY GRAVEL PAVING
	PERMEABLE BRICK PAVERS

- CONSTRUCTION NOTES**
- NEW 1-STORY FINANCIAL BUILDING (SEE ARCHITECTURAL DRAWINGS), INSTALLED BY CONTRACTOR.
 - TRASH ENCLOSURE, SEE ARCH DRAWINGS FOR DETAILS, FURNISHED AND INSTALLED BY CONTRACTOR.
 - TRASH DUMPSTER, FURNISHED AND INSTALLED BY TRASH COLLECTOR.
 - RECYCLE DUMPSTER AREA, FURNISHED AND INSTALLED BY CONTRACTOR.
 - 4" STEEL PIPE BOLLARD FURNISHED, INSTALLED AND PAINTED BY CONTRACTOR (SEE CIVIL DWGS FOR SPECS.).
 - LANDSCAPE AREA INSTALLED BY CONTRACTOR.
 - "HANDICAP PARKING" SIGNS, MOUNTED ON A POLE, FURNISHED AND INSTALLED BY CONTRACTOR.
 - TRAFFIC STRIPING 4" WIDE (WHITE) PARALLEL STRIPES AT 16" O.C. FURNISHED AND INSTALLED BY CONTRACTOR.
 - PAVEMENT SYMBOL AND LETTERING PER D.O.T. SPECIFICATIONS (TYP), FURNISHED AND INSTALLED BY CONTRACTOR.
 - TRAFFIC STRIPING 4" WIDE (WHITE) PER PARKING SPACE, FURNISHED AND INSTALLED BY CONTRACTOR.
 - 4" REINFORCED CONCRETE SIDEWALK. SEE SECTIONS AND DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
 - TOTOT 6-30 CONCRETE CURB AND GUTTER. SEE DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
 - CONCRETE PAVEMENT SECTION, FURNISHED AND INSTALLED BY CONTRACTOR.
 - HANDICAP RAMP, PER DETAILS, FURNISHED AND INSTALLED BY CONTRACTOR.
 - NEW STOP SIGN (30" x 30"), PER MUTCD REQUIREMENTS, FURNISHED AND INSTALLED BY CONTRACTOR.
 - PROPOSED DRIVE THRU CANOPY (SEE ARCHITECTURAL DRAWINGS), INSTALLED BY CONTRACTOR.
 - CONTRACTOR TO PROVIDE AND INSTALL "DO NOT ENTER" SIGNS PER MUTCD REQUIREMENTS.
 - CONCRETE HEADER. SEE DETAILS FOR SPECIFICATIONS.
 - PERMEABLE PAVERS, SEE DETAILS FOR SPECIFICATIONS.
 - CONTRACTOR TO PROVIDE AND INSTALL LIGHT POLES BASE, LIGHT POLE AND ASSOCIATED CONDUIT AND CONDUCTORS, SEE SITE ELECTRICAL PLANS FOR DETAILS.
 - 7'-0" x 7'-0" x 6" REINFORCED CONCRETE PAD FOR ELECTRICAL TRANSFORMER INSTALLED BY CONTRACTOR.
 - STANDARD CONCRETE CURBS AND GUTTER. SEE DETAILS FOR SPECIFICATIONS. INSTALLED BY CONTRACTOR.
 - CONCRETE ISLANDS, SEE ARCHITECTURAL DRAWINGS FOR DETAILS.

- GENERAL PAVING NOTES**
- ALL MANHOLES LIDS MUST BE SET FLUSH WITH ADJACENT PAVERS.
 - SUB GRADE MUST BE COMPACTED TO 95% STANDARD PROCTOR WITH A WATER CONTENT WITHIN 1.5% OF OPTIMUM.
 - STONE BASE MUST BE COMPACTED TO 95% STANDARD PROCTOR WITH A WATER CONTENT WITHIN 1.5% OF OPTIMUM.
 - CONCRETE COLLAR IS REQUIRED FOR ALL STRUCTURES IN PAVERS - SEE DETAIL.

9-B-15-UR
Revised: 8/26/2015

SITE PAVING PLAN
Scale: 1" = 20'-0"

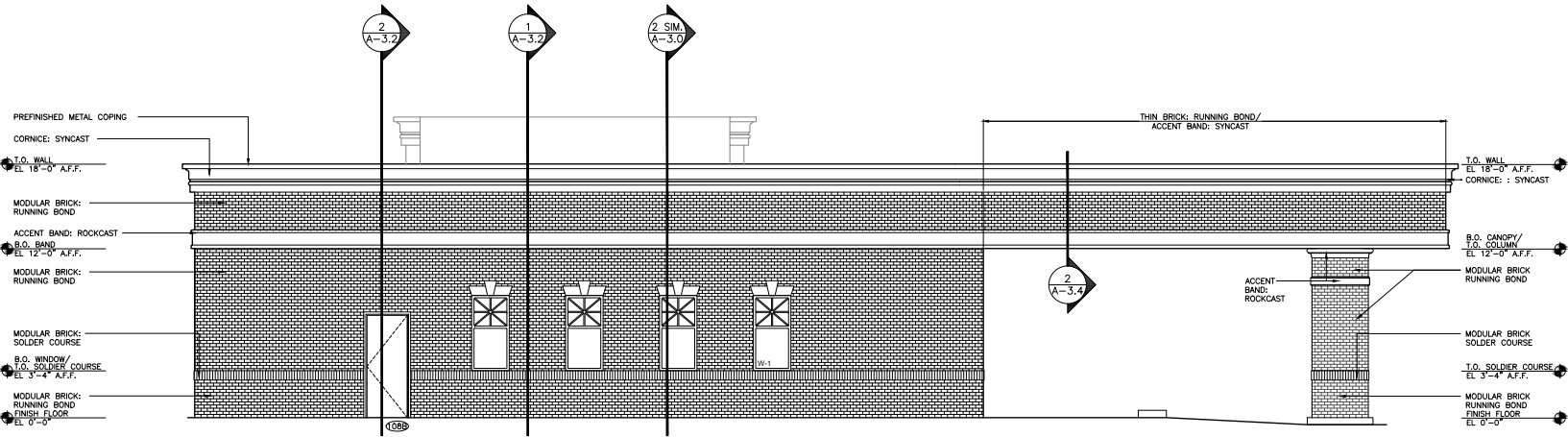


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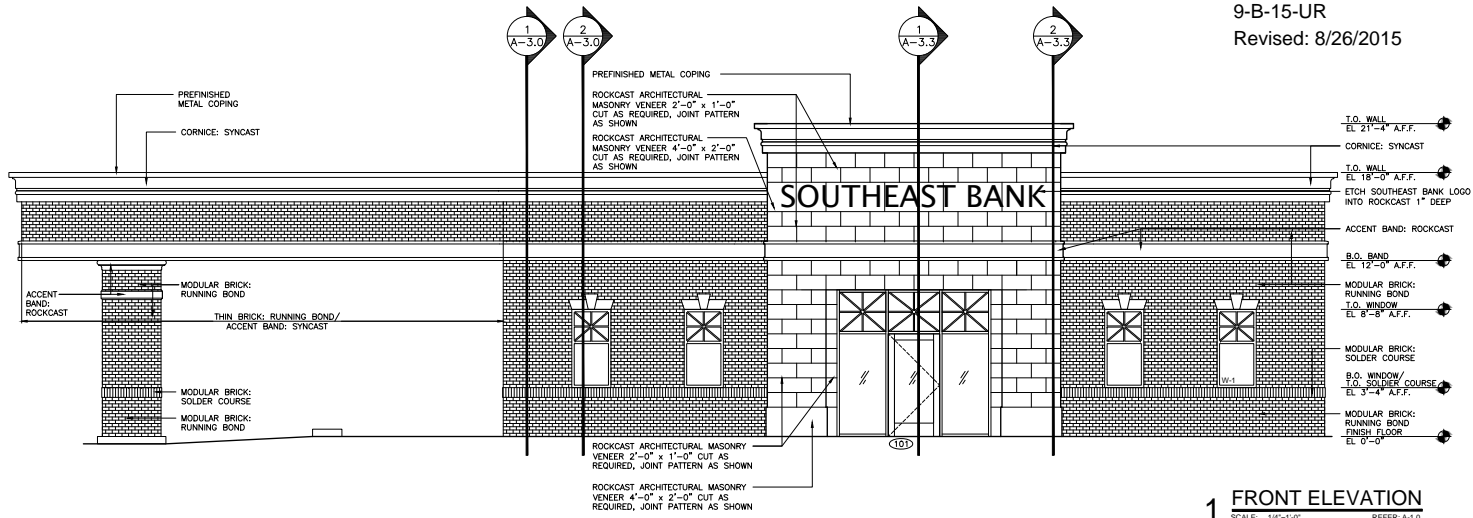


REV	DESCRIPTION	BY	DATE
1	Revised per MPC Comments	MAB	08/24/2015
-	-	-	-
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TITLE: Site Plan	DRAWN BY: -	SHEET NO:
LOCATION: 10870 Hardin Valley Road Knoxville, TN CLT Map 103, Insert M, Group A, Parcel No. 6.00	CHECKED BY: -	C5.0
Owner: Southeast Bank	FILE NAME: 2111 - C5	
	JOB NUMBER: 2111	
	ISSUE DATE: 07/24/2015	



2 REAR ELEVATION
SCALE: 1/4"=1'-0" REFER: A-1.0



1 FRONT ELEVATION
SCALE: 1/4"=1'-0" REFER: A-1.0

REVISIONS	
DATE	DESCRIPTION



BLUE RIDGE ARCHITECTURE
1313 KALMIA ROAD
KNOXVILLE, TENNESSEE 37909
BBB-44837028 (V)

EXTERIOR ELEVATIONS AND DETAILS
SOUTHEAST BANK - NEW BRANCH
10870 HARDIN VALLEY ROAD,
KNOXVILLE, TENNESSEE 37922

PERMIT SET	ISSUE DATE
CONSTRUCTION SET	ISSUE DATE
DRAWING NUMBER:	

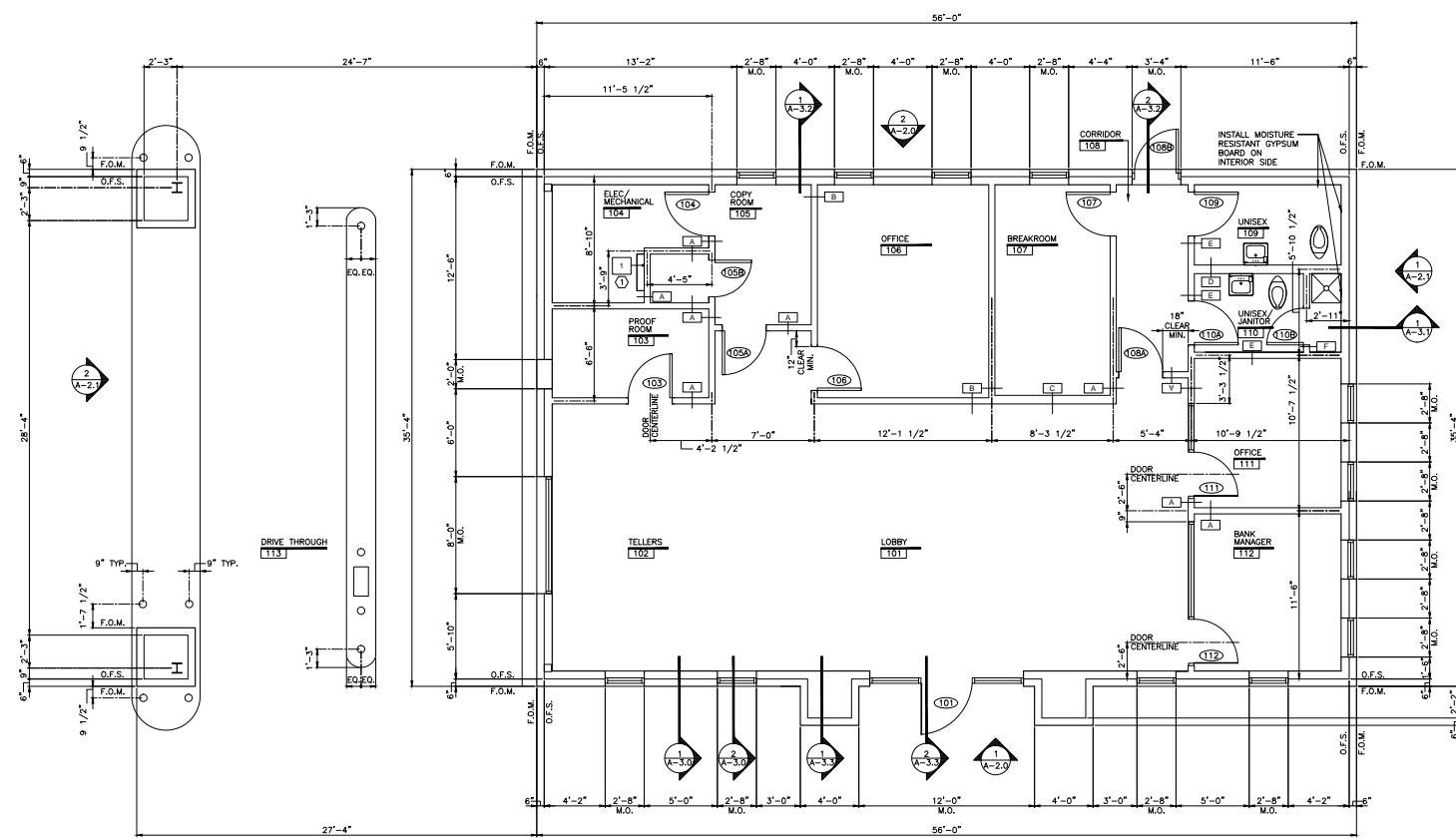
A-2.0

WALL TYPES	
A	3-5/8" x 25 GAUGE METAL STUDS AT 24" O.C., GYPSUM BOARD EACH SIDE, EXTEND 6" ABOVE HIGHEST ADJACENT CEILING HEIGHT.
B	3-5/8" x 25 GAUGE METAL STUDS AT 24" O.C., GYPSUM BOARD EACH SIDE, SPRAY FOAM INSULATION, EXTEND 6" ABOVE HIGHEST ADJACENT CEILING HEIGHT.
C	6" x 25 GAUGE METAL STUDS AT 24" O.C., GYPSUM BOARD EACH SIDE, EXTEND 6" ABOVE HIGHEST ADJACENT CEILING HEIGHT.
D	6" x 25 GAUGE METAL STUDS AT 24" O.C., MOISTURE RESISTANT GYPSUM BOARD EACH SIDE, SPRAY FOAM INSULATION, EXTEND 6" ABOVE HIGHEST ADJACENT CEILING HEIGHT.
E	3-5/8" x 25 GAUGE METAL STUDS AT 24" O.C., GYPSUM BOARD EACH SIDE, MOISTURE RESISTANT GYPSUM BOARD ON RESTROOM, JANITOR OR STORAGE SIDE, SPRAY FOAM INSULATION, EXTEND 6" ABOVE HIGHEST ADJACENT CEILING HEIGHT.
F	3-5/8" x 25 GAUGE METAL STUDS AT 24" O.C., GYPSUM BOARD EACH SIDE, EXTEND TO BOTTOM OF TRUSSES.

- GENERAL NOTES**
1. F.F. - FINISH FLOOR
 2. A.F.F. - ABOVE FINISH FLOOR
 3. F.O.M. - FACE OF MASONRY
 4. O.F.S. - OUTSIDE FACE OF STUDS.
 5. DIMENSIONS ARE TAKEN FROM CENTERLINE OF STUDS UNLESS NOTED OTHERWISE
 6. REFER TO A-1.2 FOR ADDITIONAL DIMENSIONS IN RESTROOMS
 7. ALL DOOR OPENINGS TO BE 4" FROM INSIDE CORNER UNLESS NOTED OTHERWISE.

- FLOOR PLAN NOTES**
1. WALL TO RECEIVE WOOD BLOCKING BETWEEN STUDS FOR LADDER INSTALLATION AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

REVISIONS	
DATE	DESCRIPTION



9-B-15-UR
Revised: 8/26/2015

1 FLOOR PLAN
SCALE: 1/4"=1'-0"

DATE	
BY	
CHECKED	

BLUE RIDGE ARCHITECTURE
1313 KALMIA ROAD
KNOXVILLE, TENNESSEE 37909
BBB-4657025 (W)

FLOOR PLAN AND DETAILS
SOUTHEAST BANK - NEW BRANCH
10870 HARDIN VALLEY ROAD,
KNOXVILLE, TENNESSEE 37922
PROJECT NO. DRAWN BY: STAFF CHECKED BY:

PERMIT SET
ISSUE DATE:
CONSTRUCTION SET
ISSUE DATE:
DRAWING NUMBER:

A-1.0

