

**KNOXVILLE/KNOX COUNTY METROPOLITAN PLANNING COMMISSION
 USE ON REVIEW REPORT**

▶ **FILE #:** 9-I-15-UR

AGENDA ITEM #: 47

AGENDA DATE: 9/10/2015

▶ **APPLICANT:** **SCHULZ BREWING COMPANY**

OWNER(S): Schulz Brau Brewing, LLC

TAX ID NUMBER: 94 D Q 015

[View map on KGIS](#)

JURISDICTION: City Council District 4

STREET ADDRESS: 126 Bernard Ave

▶ **LOCATION:** **Southeast side of Bernard Ave., southwest of N Central St.**

▶ **APPX. SIZE OF TRACT:** **0.523 acres**

SECTOR PLAN: Central City

GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)

ACCESSIBILITY: Access is via Bernard Ave., a minor collector street with a 36' pavement width within a 50' right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Second Creek

▶ **ZONING:** **C-2 (Central Business District)**

▶ **EXISTING LAND USE:** **Vacant building**

▶ **PROPOSED USE:** **Craft Brewery - revised development plan**

HISTORY OF ZONING: Property was rezoned C-2 (Central Business District) on November 25, 2014.

SURROUNDING LAND USE AND ZONING: North: Knox County Health Department parking lot and a business / C-3 (General Commercial)

South: Residences / C-3 (General Commercial)

East: Vacant lot and business / C-3 (General Commercial)

West: Vacant lots and US National Cemetery / C-3 (General Commercial)

NEIGHBORHOOD CONTEXT: The site is in an area of mixed businesses that have developed or changed use under C-3 zoning. Rezoning requests have recently been approved in this general area for C-2 (Central Business District).

STAFF RECOMMENDATION:

▶ **APPROVE the revised development plan for a craft brewery within the C-2 (Central Business District), subject to 7 conditions**

1. Meeting all applicable requirements of the Knox County Health Department.
2. Providing documentation to the Knoxville Department of Engineering Staff showing that there is an adequate on-site turnaround area for the trucks that will be accessing the building.
3. Including bollards or other acceptable barrier between the exit door and the backup area for the parking lot.
4. Installation of the proposed off-street parking and new curbing and sidewalks along the Bernard St. frontage, meeting all applicable requirements of the City of Knoxville and the Americans with Disabilities Act

(ADA).

5. Installing all landscaping, as shown on the landscape plan, within six months of issuance of occupancy permit for the business,
6. Meeting all applicable requirements of the Knoxville Department of Engineering.
7. Meeting all applicable requirements of the Knoxville Zoning Ordinance.

With the conditions noted, the development plan meets the requirements for approval in the C-2 District and the other criteria for approval of a use on review.

COMMENTS:

The applicant is converting an existing building (former rental business) located on the south side of Bernard Ave. between N. Central St. and Tyson St. into use as a craft brewery. The C-2 (Central Business District) zoning district allows consideration of a craft brewery as a use permitted on review. The Planning Commission had approved a use on review request for the craft brewery on September 11, 2014. The previously approved plan had no off-street parking for the craft brewery but included five on-street parking spaces in front of the building.

The applicant is requesting a revision to the original parking plan and is proposing five off-street parking spaces in front of the western half of the building. A driveway is also proposed for truck access to an existing overhead door on the front of the building.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTIES AND THE COMMUNITY AS A WHOLE

1. The proposed use will have minimal impact on local services since all utilities are in place to serve this development.
2. The proposed reuse of this vacant building and addition of this new business will help in the revitalization of the N. Broadway and N. Central Street corridors.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOXVILLE ZONING ORDINANCE

1. The proposed craft brewery meets the standards for development within the C-2 (Central Business District) and all other relevant requirements of the Zoning Ordinance.
2. The proposed craft brewery is consistent with the general standards for uses permitted on review: The proposed development is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas.

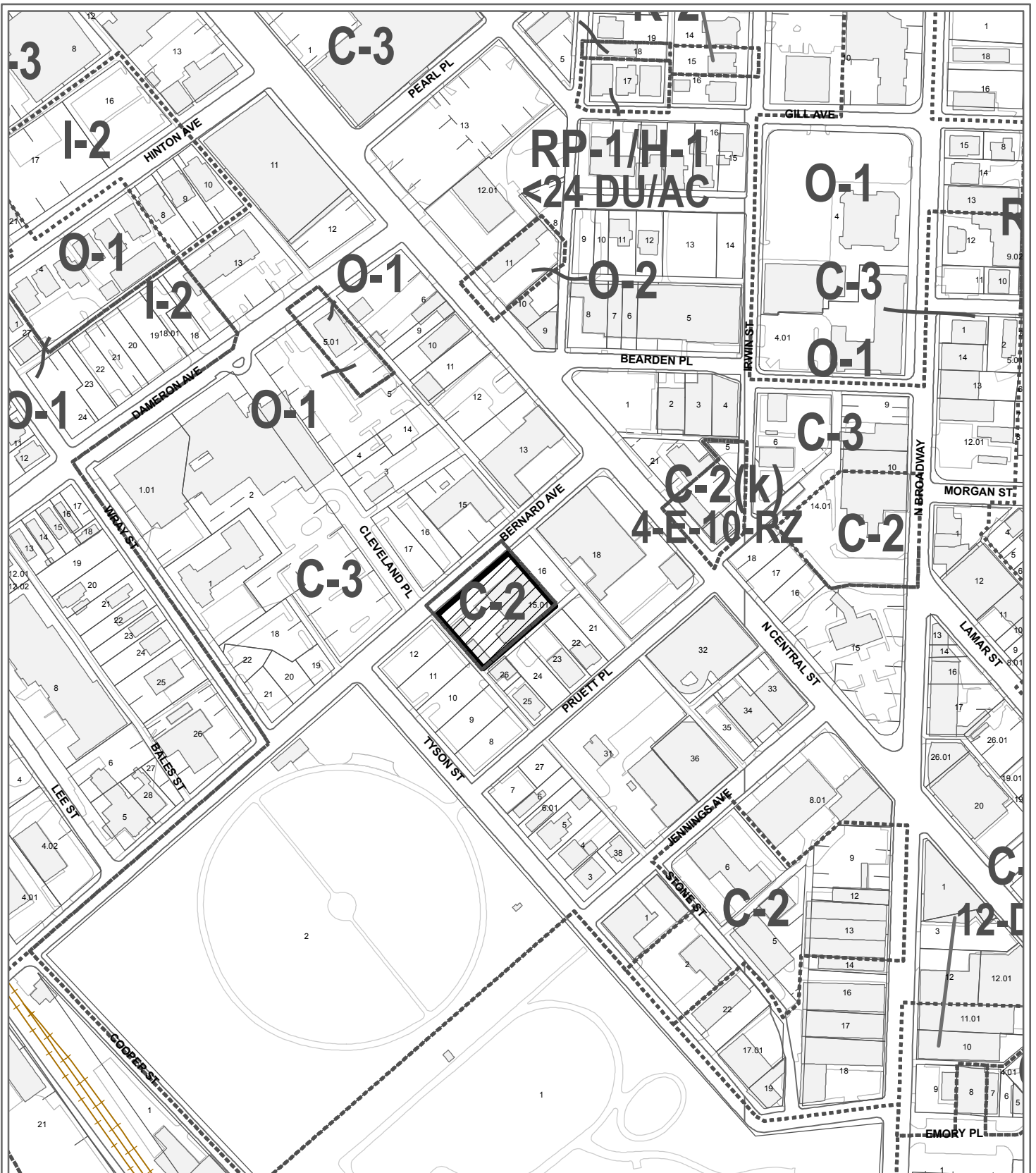
CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

1. The Central City Sector Plan and Knoxville One Year Plan propose Mixed Uses for the area which are consistent with the proposed use.
2. The site is located within the Urban Growth Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

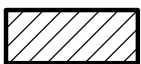
ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal an MPC decision in the City.



**9-I-15-UR
USE ON REVIEW**

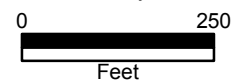


Brewery - revised development plan in C-2 (Central Business District)

Petitioner: Schulz Brewing Company

Map No: 94

Jurisdiction: City



Original Print Date: 8/26/2015

Revised: 9/2/2015

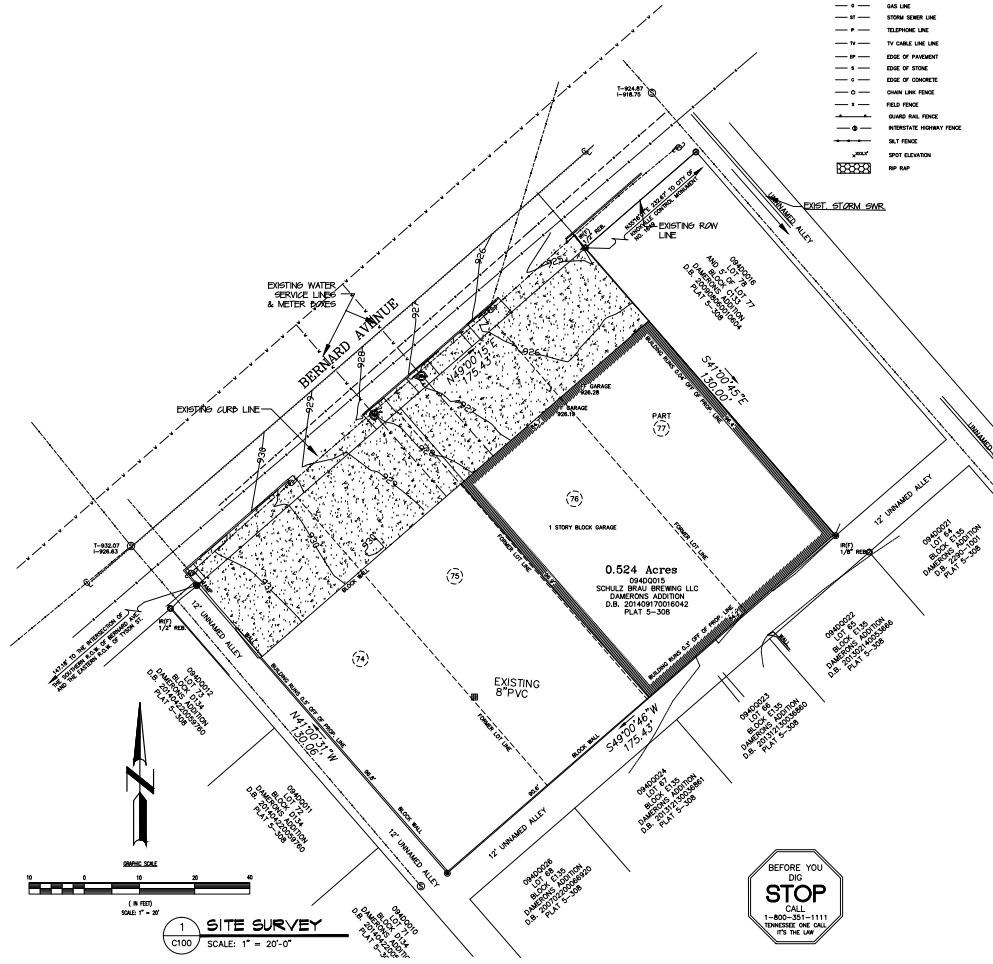
Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

GENERAL PROJECT NOTES

1. THE CONTRACTOR IS REQUIRED TO PLACE A TENNESSEE-ONE-CALL TICKET PRIOR TO BEGINNING CONSTRUCTION. TN-1-CALL TICKET NUMBER MUST BE KEPT KNOWN BY ALL EXCAVATION OPERATORS.
2. THE CONTRACTOR SHALL FOLLOW THE CITY/COUNTY STREET & DRAINAGE - CONSTRUCTION SPECIFICATIONS, LATEST EDITION IF THE WORK IS WITHIN THE CITY RIGHT OF WAY OR TO BE INCORPORATED INTO THE PUBLIC SYSTEM.
3. CONTRACTOR TO REVIEW SITE AND BECOME FAMILIAR WITH DETAILS PRIOR TO CONSTRUCTION.
4. DIMENSIONS SHOWN ARE TO FACES OF CURBS, FACES OF BUILDINGS, FACES OF WALLS, AND BACK OF SIDEWALKS TYPICAL UNLESS OTHERWISE NOTED.
5. ALL CURB RADI 50' UNLESS OTHERWISE NOTED.
6. ALL CURB IRONS MUST READ "DUMP NO WASTE, DRAINS TO STREAM".
7. ALL NON PAVED AREAS WILL BE EITHER GRASSSED, MULCHED OR OTHERWISE STABILIZED TO PREVENT EROSION.
8. THE SITE CONTAINS 1 BUILDING A 1 1/2 STORY EXISTING BUILDING.
9. THE BUILDING IS MANUFACTURING-ASSEMBLY.
10. THE BUILDING IS EXISTING.
11. THE PROPERTY IS ZONED C2.
12. GARBAGE WILL BE HANDLED WITH INDIVIDUAL UNITS.

LEGEND

●	IRON PIN FOUND
○	IRON PIN SET
⊙	LOT NUMBERS
⊕	FRONT CALLS
⊖	REAR CALLS
⊗	(S 42°16' W)
○	SANITARY SEWER MANHOLE
○	STONE DRAIN MANHOLE
○	ELECTRIC MANHOLE
○	WATER VALVE
○	GAS VALVE
○	SANITARY SEWER CLEAN OUT
○	CATCH BASIN/STORM INLET STRUCTURE
○	FIRE HYDRANT
○	GAS METER
○	ELECTRIC METER
○	WATER METER
○	UTILITY POLE
○	LIGHT POLE
○	OUT WIRE
○	SON
○	CABLE TV
○	ELECTRIC BOX
○	TELEPHONE BOX
○	ELECTRIC STRUT
○	GAS STRUT
○	SON
○	HANDICAP PAVED SON
○	OVERHEAD UTILITY LINE
○	SANITARY SEWER LINE
○	WATER LINE
○	GAS LINE
○	STORM SEWER LINE
○	TELEPHONE LINE
○	TV CABLE LINE LINE
○	EDGE OF PAVEMENT
○	EDGE OF STONE
○	EDGE OF CONCRETE
○	CHAIN LINK FENCE
○	FIELD FENCE
○	GUARD RAIL FENCE
○	WINDSHIELD HIGHWAY FENCE
○	SLT FENCE
○	SPOT ELEVATION
○	RP RAMP



9-I-15-UR

1 SITE SURVEY
SCALE: 1" = 20'-0"



Best & Associates Architects

1705 W LAMAR ALEX PKY, MANASSAS, TN 37091
PHONE: 865-977-5800 FAX: 865-965-9878

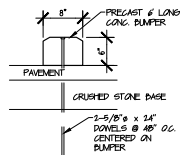
SCHULZ BREWING COMPANY
KNOXVILLE, TN

REVISIONS

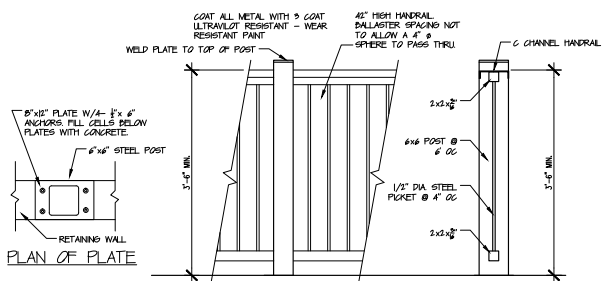
NO.	DESCRIPTION
1	18-10-2014

DRAWN BY: PW
CHECKED BY: EP
DATE: 7/11/10
SCALE: 1" = 10'-0"
DESCRIPTION: SITE SURVEY

SHEET **C100** OF

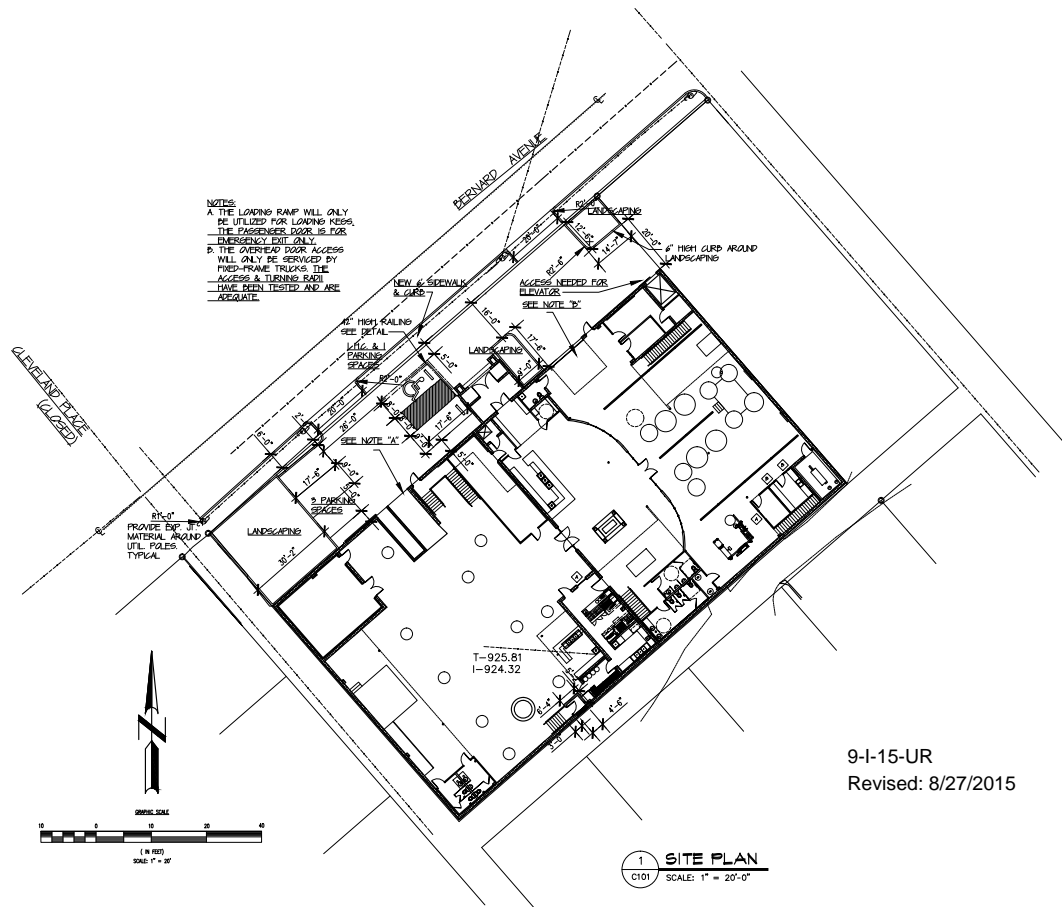


3 WHEEL STOP DETAIL
C101 SCALE: 1"=1'-0"



2 HANDRAIL DETAIL
C101 SCALE: 1"=1'-0"

NOTES
A THE LOADING RAMP WILL ONLY BE UTILIZED FOR LOADING KEELS. THE PASSENGER DOOR IS FOR EMERGENCY EXIT ONLY.
B THE OVERHEAD DOOR ACCESS WILL ONLY BE SERVED BY FIXED-FRAME TRUCKS. THE ACCESS & TURNING RADIUS HAVE BEEN LISTED AND ARE ADEQUATE.



1 SITE PLAN
C101 SCALE: 1"=20'-0"

9-I-15-UR
Revised: 8/27/2015



Best & Associates Architects



1726 W JAMAR ALEX PKY, MANASSAS, TN 37091
PHONE 865-977-5800 FAX 865-965-578

SCHULZ BREWING
COMPANY
KNOXVILLE, TN

REVISIONS

1	8-18-2015
2	8-18-2015
3	8-28-2015

DRAWN BY: PW
CHECKED BY: EP
DATE: 7/31/2015
SCALE: 1"=10'-0"
DESCRIPTION: SITE PLAN

SHEET

C101
OF



Best & Associates Architects

1726 W LAMAR ALEX PKY, MANASSAS, TN 37093
 PHONE: 865-977-5800 FAX: 865-966-5778



SCHULZ BREWING
 COMPANY
 KNOXVILLE, TN

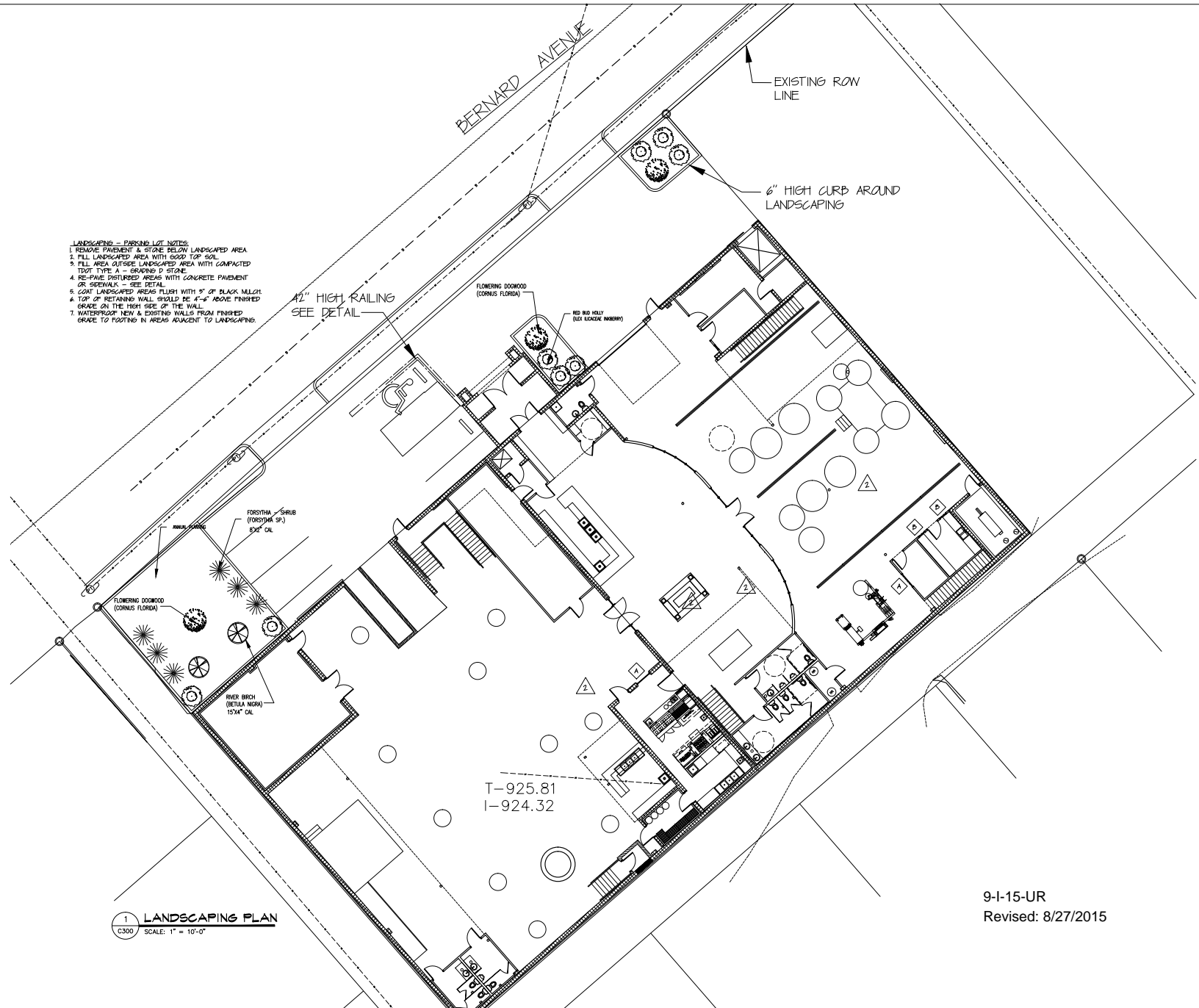
REVISIONS
 1 - 8/28/2015

DRAWN BY: PW
 CHECKED BY: EP
 DATE: 7/21/2015
 SCALE: 1" = 10'-0"
 DESCRIPTION:

LANDSCAPING PLAN
 SHEET

C300
 OF

- LANDSCAPING - PARKING LOT NOTES:
1. REMOVE PAVEMENT & STONE BELOW LANDSCAPED AREA
 2. FILL LANDSCAPED AREA WITH GOOD TOP SOIL
 3. FILL AREA OUTSIDE LANDSCAPED AREA WITH COMPACTED DOT TYPE A - GRAVING D STONE
 4. RE-PAVE DISTURBED AREAS WITH CONCRETE PAVEMENT OR SIDEWALKS - SEE DETAIL
 5. COAT LANDSCAPED AREAS FLUSH WITH 2" OF BLACK MULCH
 6. TOP OF RETAINING WALL SHOULD BE 4"-6" ABOVE FINISHED GRADE (ON THE HIGH SIDE OF THE WALL)
 7. WATERPROOF NEW & EXISTING WALLS FROM FINISHED GRADE TO FOOTING IN AREAS ADJACENT TO LANDSCAPING



T-925.81
 I-924.32

1 LANDSCAPING PLAN
 C300 SCALE: 1" = 10'-0"

9-I-15-UR
 Revised: 8/27/2015