

► **FILE #:** 9-J-15-UR

AGENDA ITEM #: 48

AGENDA DATE: 9/10/2015

► **APPLICANT:** RANDOLPH ARCHITECTURE

OWNER(S): Anoula McCarren

TAX ID NUMBER: 103 12006

[View map on KGIS](#)

JURISDICTION: County Commission District 6

STREET ADDRESS: 10720 Virginia Pine Way

► **LOCATION:** East side of Valley Vista Rd., southeast side of Virginia Pine Way.

► **APPX. SIZE OF TRACT:** 2.14 acres

SECTOR PLAN: Northwest County

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via Virginia Pine Way, a private street off of Valley Vista Rd. within the Vista Dei Monte development.

UTILITIES: Water Source: West Knox Utility District

Sewer Source: West Knox Utility District

WATERSHED: Beaver Creek

► **ZONING:** PC (Planned Commercial) (k) / TO (Technology Overlay)

► **EXISTING LAND USE:** Child day care center

► **PROPOSED USE:** Child day care center expansion

HISTORY OF ZONING: Property rezoned PC (Planned Commercial) (k) / TO (Technology Overlay) in September, 2006

SURROUNDING LAND USE AND ZONING: North: Vacant land and office building / PC (Planned Commercial) (k) / TO (Technology Overlay)

South: Vacant land / PC (Planned Commercial) (k) / TO (Technology Overlay)

East: Vacant land / PC (Planned Commercial) (k) / TO (Technology Overlay)

West: Vacant land / PC (Planned Commercial) (k) / TO (Technology Overlay)

NEIGHBORHOOD CONTEXT: The site is located near the interchange of Pellissippi Parkway and Hardin Valley Rd. in an area that has a mix of business, institutional and residential uses within the Technology Overlay Corridor.

STAFF RECOMMENDATION:

► **APPROVE** the request for an expansion of the existing child day care center with an addition of approximately 3169 square feet as shown on the development plan, with a total enrollment of up to 134 children, subject to the following 5 conditions

1. Obtaining approval from the Tennessee Technology Corridor Development Authority (TTCDA) for the

proposed development (9-B-15-TOB).

2. Meeting all applicable requirements and obtaining all required permits from the Tennessee Department of Human Services.
3. Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
4. Installing all landscaping identified on the approved landscape plan prior to obtaining an occupancy permit for the child day care center expansion.
5. Meeting all applicable requirements of the Knox County Zoning Ordinance.

With the conditions noted above, this request meets all requirements of the PC (Planned Commercial) zoning district, as well as other criteria for approval of a use on review.

COMMENTS:

This is a request for the approval of an expansion to the Goddard School, a child day care center located in the Vista Dei Monte development. The proposed building expansion will add 3159 square feet to the existing 8164 square foot building for a total building area of 11,364 square feet. The building addition will be located on the southeast side of the existing building with the main access being provided through the existing facility.

The existing child day care center was approved by the Planning Commission and the TTCDA Board in July, 2007 (7-J-07-UR and 07.024.0) for up to 134 children. The proposed addition is for multipurpose use and will not be used for increasing the enrollment at the center.

There will be no changes to the existing access driveway and parking area. The fenced-in outdoor play area will be modified to comply with the Zoning Ordinance requirements. There is no additional signage proposed for this expansion.

The site is located within the TO (Technology Overlay) zoning district and is subject to review and approval by the Tennessee Technology Corridor Development Authority (TTCDA). The TTCDA will consider this request on September 8, 2015.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTIES AND THE COMMUNITY AS A WHOLE

1. Public water and sewer utilities are available to serve the development.
2. The proposal will have no impact on schools.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

1. The proposed child day care center expansion is consistent with the general standards for uses permitted on review: The proposed development is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas.
2. The proposal meets all requirements for approval of a child day care center in the PC (Planned Commercial) zoning district.

CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

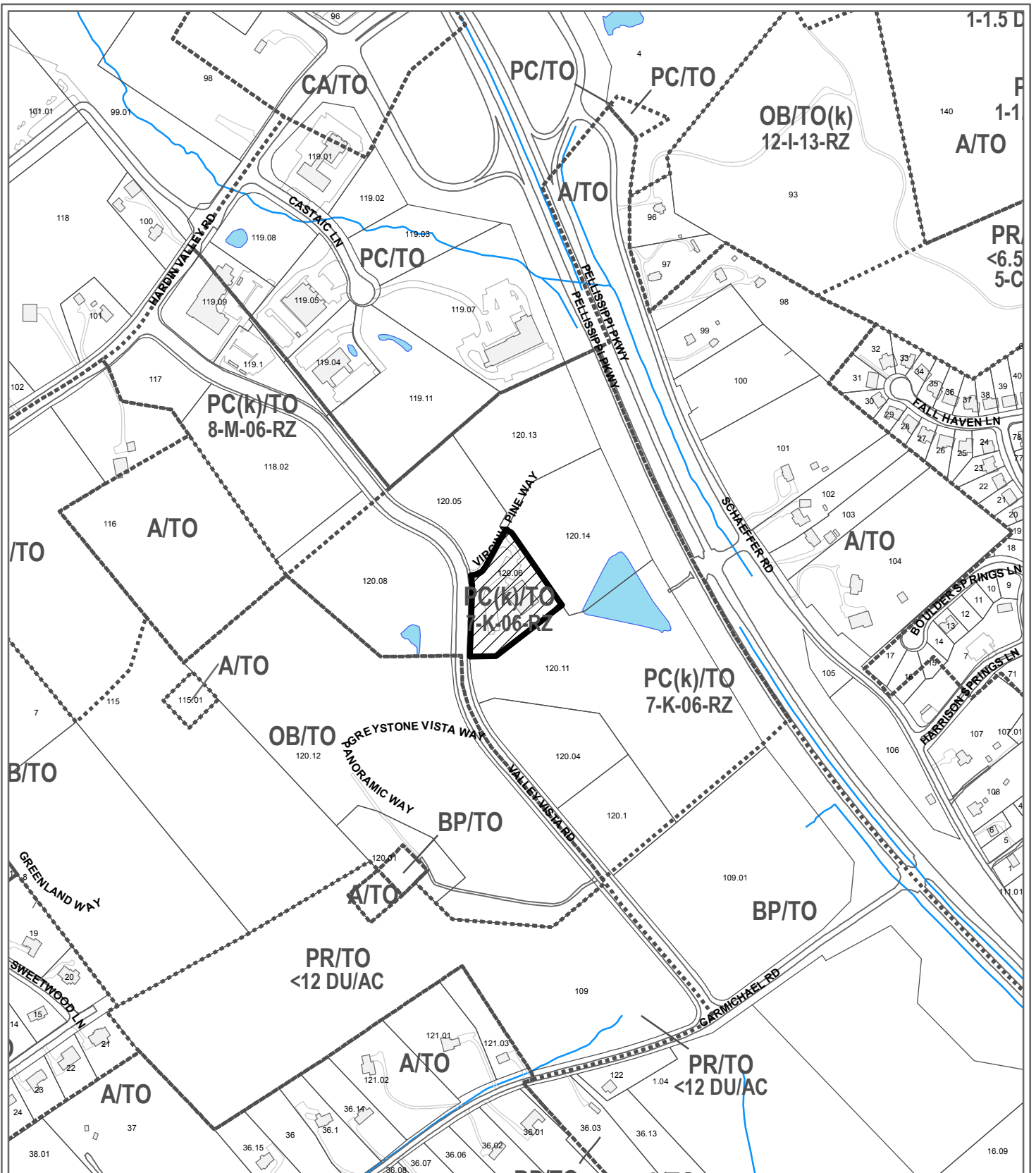
1. The Northwest County Sector Plan proposes mixed uses for this site which supports the child day care center use.
2. The site is located within the Planned Growth Area of the Knoxville-Knox County-Farragut Growth Policy Plan.

ESTIMATED TRAFFIC IMPACT: 250 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal an MPC decision in the County.



**9-J-15-UR
USE ON REVIEW**

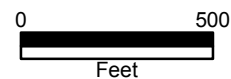


Child day care center expansion in PC (Planned Commercial) (k) / TO (Technology Overlay)

Original Print Date: 8/26/2015
 Revised:
 Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

Petitioner: Randolph Architecture

Map No: 103
 Jurisdiction: County



THE GODDARD SCHOOL

10720 VIRGINIA PINE WAY
KNOXVILLE, TN 37932

RANDOLPH ARCHITECTURE



9724 kingston pike
suite 305 B
knoxville, tn 37922
v: 865.357.3750
f: 865.357.3746



ABBREVIATIONS

A.F.F. ALTERNATE ABOVE FINISH FLOOR	MTL. METAL
ALUM. ALUMINUM	MG. MANUFACTURING
ARCH. ARCHITECTURAL	MFG. MANUFACTURER
ASPT. ARCHITECTURAL TILE	MIN. MINIMUM
B.F. BOTTOM FACE	MISC. MISCELLANEOUS
BSMT. BASEMENT	N.L.C. NOT IN CONTRACT
B.M. BENCHMARK	N.T.S. NOT TO SCALE
B.L.D.G. BUILDING	N.O.# NUMBER
BLK. BLOCK	O.C. ON CENTER
BRG. BEARING	O.D. OUTSIDE DIAMETER
C.B. CATCH BASIN	P. PLATE
C.J. CONTROL JOINT	PLAS. PLASTIC
CH.B. CHALK BOARD	PLAS. LAM. PLASTIC LAMINATE
CLG. CEILING	PLYWD. PLYWOOD
CLOS.C.L. CLOSURE	P.T.D. PAINTED
CLR. CLEAR	R.D. ROOF DRAIN
COL. COLUMN	R.F. REINFORCING
COMP. COMPOSITION	REIN. REINFORCED
CONC. CONCRETE	RS. RISER
CONST. CONSTRUCTION	R.M. ROOM
C.M.A. CERAMIC MASONRY UNIT	R.O. ROUGH OPENING
C.T. CERAMIC TILE	R.T. RUBBER TILE
DTL. DETAIL	SCHED. SCHEDULE
DIA. DIAMETER	S.C.W.D. SOLID CORE WOOD DOOR
DN. DOWN	SECT. SECTION
DWG. DRAWING	SHT. SHEET
D.F. DRINKING FOUNTAIN	SMT. SIMILAR
D.S. DOWNSPOUT	SPCS. SPECIFICATIONS
E.A. EACH	SQ.F.T. SQUARE FEET
E.F. EACH FACE	STD. STANDARD
ELEC. ELECTRICAL	STL. STEEL
E.W.A. ELECTRIC WATER COOLER	STOR. STORAGE
ELEV. ELEVATION	S.D. STORM DRAIN
EXIST. EXISTING	SUSP. SUSPENDED
EXT. EXTERIOR	SQ. SQUARE
E.X.J. EXPANSION JOINT	T.B. TACK BOARD
F.E. FIRE EXTINGUISHER	T.H. THRESHOLD
F.L. FLOOR	T.L. TOILET
F.D. FLOOR DRAIN	T.D. TDS. TRENCH
FT. FOOT	T.F. TYPICAL
FTG. FOOTING	U.R.N.L. UPRIGHT
G.A. GALVANIZED IRON	V.F. VERIFY IN FIELD
G.P. GYPSUM	V.S. VENT STACK
H.B. HOSE BIB	VOL. VOLUME
H.C.W.D. HOLLOW CORE WOOD	V.A. VINYL TILE
HDW. HARDWARE	VERT. VERTICAL
HGT. HEIGHT	W.C. WAINSCOT
H.A. HOLLOW METAL	W.C. WATER CLOSET
I.D. INSIDE DIAMETER	W.H. WATER HEATER
IN. INCH	W.P.F.G. WATERPROOFING
INV. INVERT	W.F. WIDE FLANGE
JAN. JANITOR	W.D. WINDOW
JST. JOIST	W. WITH
LAV. LAVATORY	W.W.F. WELDED WIRE FABRIC
LB. POUND	W.W.M. WELDED WIRE MESH
M.H. MANHOLE	ANGLE
MAX. MAXIMUM	C CHANNEL
MECH. MECHANICAL	O ROUND

PROJECT DATA

JURISDICTION: KNOX COUNTY PLANS REVIEW
SUITE 547
400 MAIN STREET
KNOXVILLE, TN 37902
PHONE (865) 215-2328
FAX (865) 215-4255

CONSTRUCTION TYPE: 2012 IBC - TYPE V-B, SPRINKLERED

OCCUPANCY TYPE: EDUCATION GROUP I-4

BUILDING HEIGHT: 2 STOREYS PER TABLE 503

ACTUAL: 1 STORY: 28'-0" +/-

BUILDING AREA: ALLOWABLE: 9,000 SQ. FT. TOTAL ALLOWABLE

ACTUAL: EXISTING BLDG: 8,164 SQ. FT.
NEW BLDG: 3,159 SQ. FT.
TOTAL: 11,343 SQ. FT.

AREA INCREASE CALCULATION PER IBC 2006, SECTION 506
 $A_n = (A_1 + [A_2 \times R]) + [A_3 \times I_s]$
 $= (9,000 + [3,159 \times 24]) + [9,000 \times 3]$
 $= 38,196 \text{ SQ. FT. - ALLOWABLE}$

PROJECT CONTACT: MARK RANDOLPH/
JACQUELINE RANDOLPH
8724 KINGSTON FIRE, STE. 305B
KNOXVILLE, TN 37922

APPLICABLE CODES:
LOCAL CODES:
INTERNATIONAL BUILDING CODE 2012
INTERNATIONAL MECHANICAL CODE 2012
INTERNATIONAL PLUMBING CODE 2012
INTERNATIONAL FIRE CODE 2012
INTERNATIONAL FUEL GAS CODE 2012
INTERNATIONAL PROPERTY MAINTENANCE CODE 2012
INTERNATIONAL ENERGY CONSERVATION CODE 2012
NFPA 101 LIFE SAFETY CODE 2012
NFPA 70 NATIONAL ELECTRICAL CODE 2011
ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES ICC (A117) 2009 ANSI AMERICAN NATIONAL STANDARD
INTERNATIONAL PERFORMANCE CODE 2012
INTERNATIONAL CODE OF ORDINANCES: CHAPTER 6
BUILDINGS AND BUILDING REGULATIONS, ARTICLE I, SECTION 6-4, FIRE DISTRICT
2012 INTERNATIONAL FIRE CODE W/ LOCAL AMENDMENTS

STATE FIRE MARSHAL ADOPTED CODES:
INTERNATIONAL BUILDING CODE (EXCLUDING CHAPTERS 11 & 27)
LIFE SAFETY CODE: 2008 NFPA 101
ENERGY CODE: 2006 INTERNATIONAL ENERGY CONSERVATION CODE
RESIDENTIAL CODE: 2009 INTERNATIONAL RESIDENTIAL CODE

OCCUPANCY: 112 CHILDREN + 20 TEACHERS
= 132 OCCUPANTS

ZONE: PLANNED COMMERCIAL/TECHNOLOGY OVERLAY

HEIGHT: 45'-0" MAXIMUM (28'-0" ACTUAL HEIGHT)

LOT COVERAGE: PER TCDA REQUIREMENTS - LISTED BELOW

TECHNOLOGY OVERLAY SETBACKS:
FRONT, REAR & SIDES: 20'-0"

MPC, SECTION 4.91 DAY CARE CENTERS REQUIREMENTS FOR CHILD CARE CENTER AND GROUP DAY CARE HOMES, WHEN CONSIDERED AS USES PERMITTED ON REVIEW.

TOTAL LOT AREA: 10,000 SQ. FT.
30 S.F. PER CHILD OF USABLE INDOOR SPACE.

PLAY AREA, FENCED 2,500 SQ. FT. MIN. HEIGHT OF FENCE SHALL BE 48"

PARKING REQ'D (ARTICLE 3, 3.50):
EXISTING PARKING SPACES: 31

CHILD DAY CARE CENTERS OR KINDERGARTENS, DAY SCHOOLS AND THE EQUIVALENT PRIVATE OR PARODICIAL SCHOOLS: TWO OFF-STREET PARKING SPACES PER THREE EMPLOYEES, PLUS ONE OFF-STREET LOADING SPACE FOR EVERY EIGHT CHILDREN.

20 STAFFERS = 46 X 2 SPACES = 132 SPACES
112 CHILDREN = 14
27 PARKING SPACES REQUIRED
31 PARKING SPACES PROVIDED

PLUMBING FIXTURE CALCULATIONS

TOTAL OCCUPANT LOAD: 138 OCCUPANTS

PER IBC 2012, TABLE 120.1

WATER CLOSETS: 12 / 15 = 8.8
1 PER 15
8 WATER CLOSETS REQUIRED
15 WATER CLOSETS PROVIDED

LAVATORIES: 132 / 15 = 8.8
1 PER 15
9 LAVATORIES REQUIRED
25 LAVATORIES PROVIDED

DRINKING FOUNTAINS

1 PER 1,000
1 DRINKING FOUNTAIN REQUIRED
1 DRINKING FOUNTAIN PROVIDED

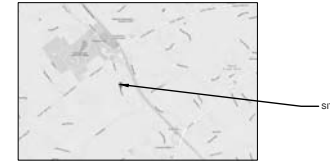
SERVICE SINKS

1 SERVICE SINK REQUIRED
1 SERVICE SINK PROVIDED

LIST OF DRAWINGS

- CVR COVER SHEET
- LANDSCAPE
- L1.01 LANDSCAPE PLAN
- CIVIL
- C1.01 SITE DEMOLITION PLAN
- C1.02 SITE LAYOUT PLAN
- C1.03 SITE GRADING PLAN
- C2.01 SITE DETAILS
- ARCHITECTURAL
- A0.01 EXISTING/DEMOLITION PLAN
- A0.02 LIFE SAFETY PLAN
- A1.01 FLOOR PLAN
- A2.01 DOOR SCHEDULE, DOOR & FRAME ELEVATIONS, HEAD & JAMB DETAILS
- A3.01 ROOF PLAN, ROOF DETAILS
- A4.01 EXTERIOR ELEVATIONS - NORTH & WEST
- A4.02 EXTERIOR ELEVATIONS - SOUTH & EAST
- A5.01 BUILDING SECTION
- A5.02 BUILDING SECTION
- A7.01 REFLECTED CEILING PLAN
- A8.01 ENLARGED TOILET PLANS AND ELEVATIONS
- INTERIOR
- FI.01 FINISH PLAN, FINISH SCHEDULE, FINISH LEGEND
- STRUCTURAL
- S1.10 STRUCTURAL NOTES
- S1.11 STRUCTURAL DETAILS
- S2.0 FOUNDATION PLAN
- S2.1 SHEAR WALL PLAN
- S2.2 ROOF FRAMING PLAN
- S3.0 SECTIONS AND DETAILS
- MECHANICAL
- M1.01 HVAC PLAN
- MECHANICAL
- P1.01 SEWER & VENT PLAN
- P1.02 HOT AND COLD WATER PLAN
- FIRE PROTECTION
- FP1.01 FIRE PROTECTION PLAN
- ELECTRICAL
- E1.01 LIGHTING PLAN
- E1.02 POWER & COMMUNICATIONS PLAN
- E2.01 SCHEDULES & DETAILS

VICINITY MAP



FIRE RESISTIVE RATING REQUIREMENTS

FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS (HOURS)
FROM TABLE 601, IBC 2006 FOR TYPE V-B, SPRINKLERED

STRUCTURAL FRAME	0
BEARING WALLS	0
INTERIOR	0
NON BEARING WALLS/PARTITIONS	0
INTERIOR	0
FLOOR CONSTRUCTION	0
ROOF CONSTRUCTION	0

FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE
FROM TABLE 602, IBC 2006 FOR TYPE V-B, SPRINKLERED

FIRE SEPARATION DISTANCE-X	OCCUPANCY GROUP I-4
X < 5 FT	1
5 FT ≤ X < 10 FT	1
10 FT ≤ X < 30 FT	0
X ≥ 30 FT	0

EGRESS NOTES

MEANS OF EGRESS: TABLE 1005.1, IBC 2006, FOR NONSPRINKLERED BUILDINGS

(INCHES PER OCCUPANT)

STAIRWAYS: 15"

OTHER EGRESS COMPONENTS: 2"

MIN. CLEAR CORRIDOR WIDTH: 44"

MIN. CLEAR OPENING OF EXIT DOORS: 32"

MAX. TRAVEL DISTANCE TO EXIT: 200 FEET (UNSPRINKLED)
(PER TABLE 1016.1, IBC 2006)

MAX. DEAD END CORRIDOR LENGTH: 20 FEET (UNSPRINKLED)

FLOOR AREA RATIO:
ALLOWABLE: 30%
ACTUAL: 12%

NUMBER OF EXITS FOR OCCUPANT LOAD

TABLE 1019.1, PER IBC 2006

OCCUPANT LOAD (PERSONS PER STORY): 1-500

MIN. NUMBER OF EXITS (PER STORY): 2

EXIT ACCESS

NOTE: ALL APPLICABLE PROVISIONS OF SECTION 1025 OF IBC 2006, MEANS OF EGRESS - ASSEMBLY, SHALL BE COMPLIED WITH.

9-J-15-UR
Revised: 8/26/2015

GRAPHIC SYMBOLS



MATERIALS LEGEND

[Symbol] SOIL IN SECTION	[Symbol] PLYWOOD
[Symbol] RIGID INSULATION	[Symbol] FINISH WOOD
[Symbol] BATT INSULATION	[Symbol] WOOD BLOCKING
[Symbol] CONCRETE BLOCK	[Symbol] CRUSHED STONE
[Symbol] CONCRETE IN SECTION	[Symbol] METAL IN SECTION
[Symbol] BRICK	[Symbol] GYP. RD. PLASTER, OR CONCRETE

FIRE ALARM & DETECTION SYSTEMS

EXISTING BUILDING AND NEW BUILDING ADDITION IS EQUIPPED WITH A FIRE ALARM SYSTEM.

EXIT ACCESS TRAVEL DISTANCE

TABLE 1016.1, PER IBC 2006

OCCUPANCY: WITHOUT SPRINKLER SYSTEM
E: 200 FEET

2015_11

THE GODDARD SCHOOL
10720 VIRGINIA PINE WAY
KNOXVILLE, TN 37932

An Addition to:

Issue Date: 08-14-2015

Drawn: JMR
Checked: RMR

Revisions:
rev 1: 08 - 26 - 2015

CVR
coversheet



**randolph
architecture**

9724 Kingston Pike
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THE GODDARD SCHOOL
10720 VIRGINIA PINE WAY
KNOXVILLE, TENNESSEE 37813

Issue Date **08-30-2015**

Drawn WNR
Checked WNR

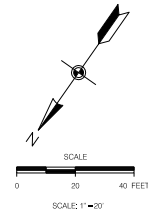
Revisions

c1.02

SITE LAYOUT PLAN

LEGEND

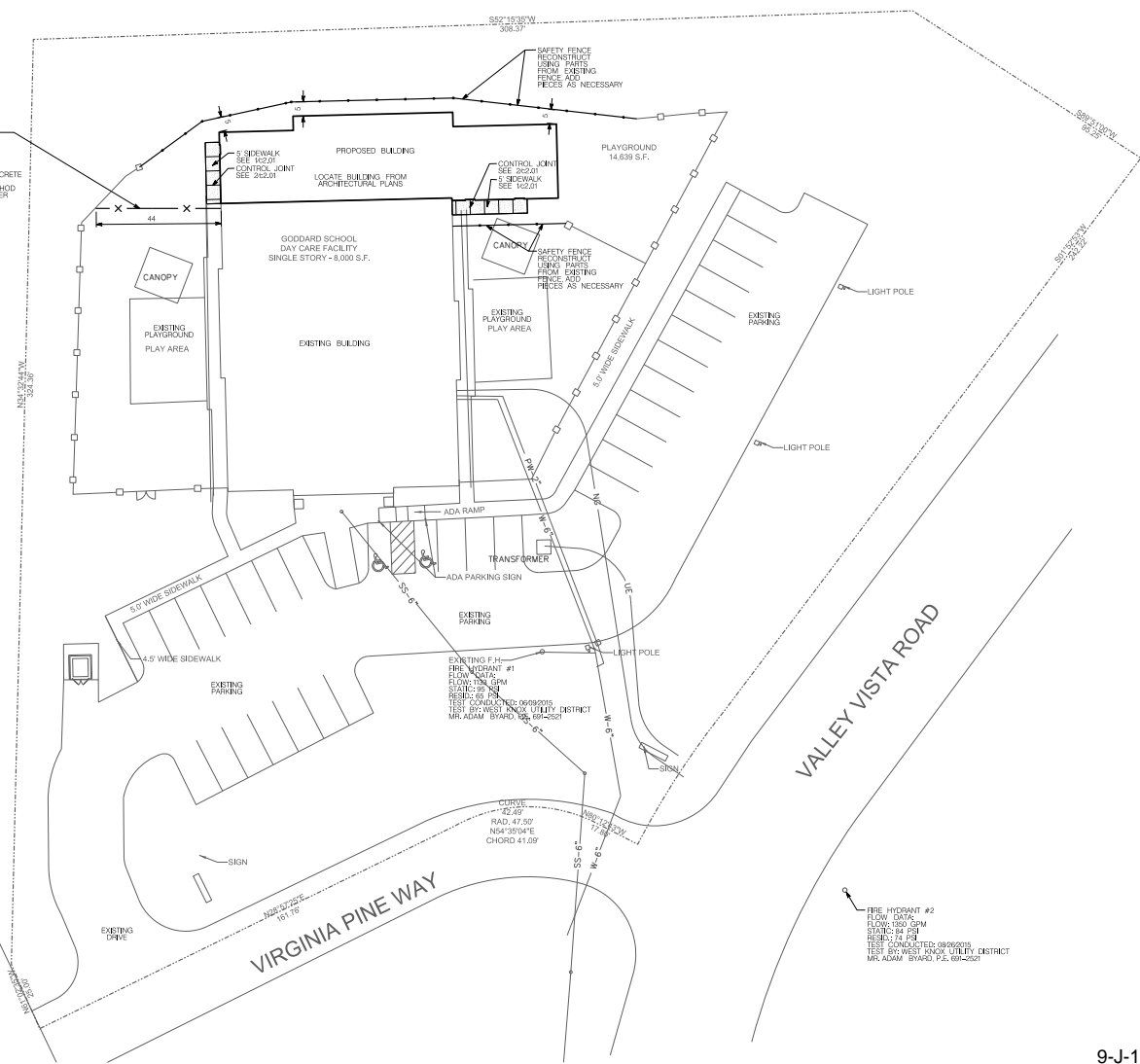
EXISTING	PROPOSED	
---	---	GROUND CONTOUR ELEVATION
---	---	SPOT ELEVATION
---	---	STRUCTURE
---	---	PROPERTY LINE
---	---	EASEMENT
---	---	EDGE OF PAVEMENT
---	---	STORM DRAIN
---	---	SANITARY SEWER
---	---	POTABLE WATER
---	---	NATURAL GAS
---	---	FIRE PROTECTION
---	---	MANHOLE
---	---	WATER METER
---	---	FIRE HYDRANT
---	---	SILT FENCING
---	---	INLET PROTECTION
---	---	CURB
---	---	CONCRETE PAVEMENT
---	---	ASPHALT PAVEMENT



SITE LAYOUT NOTES

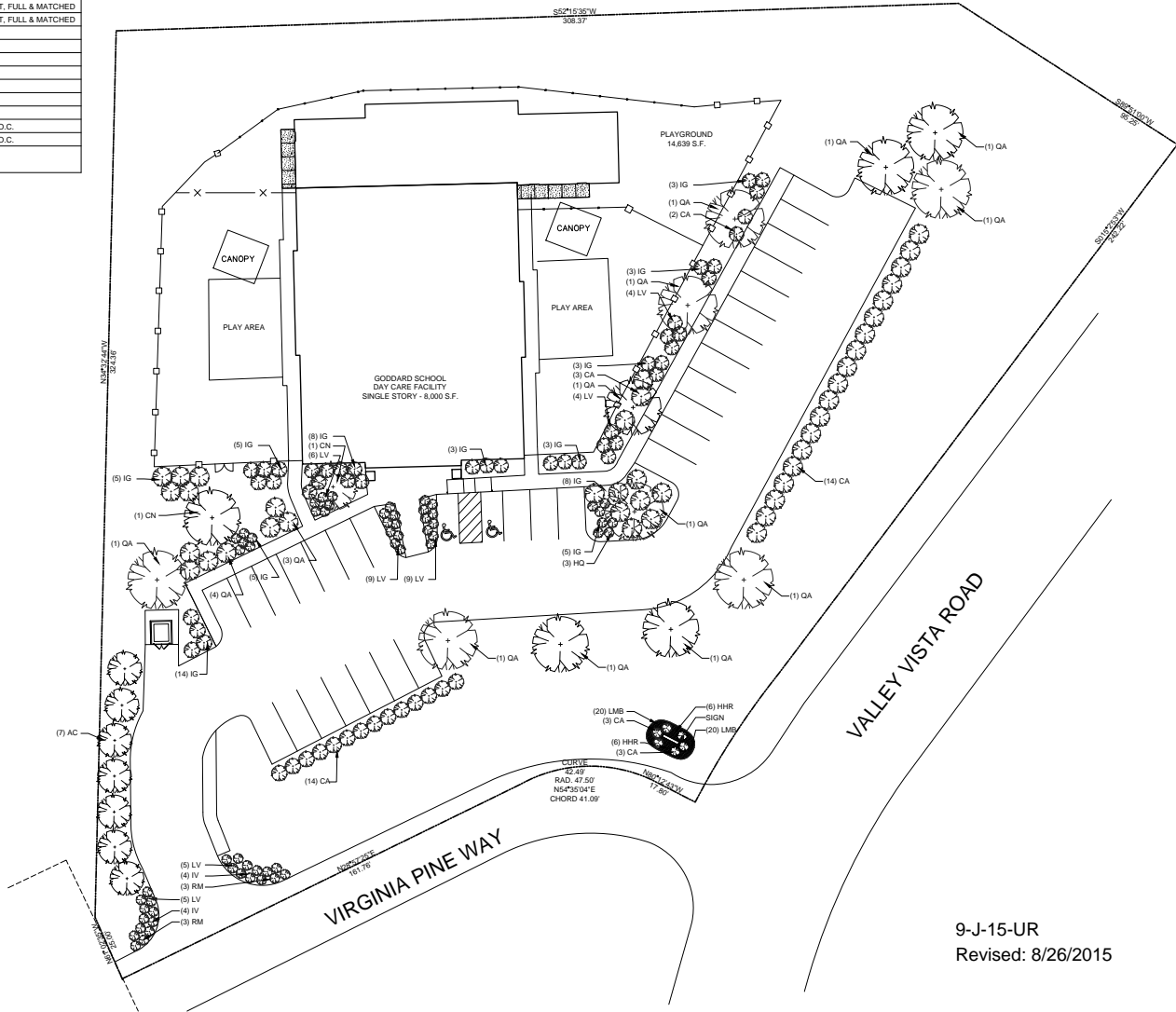
- USE PRIVATE SCHOOL ZONING PDOT CLT 103 12006
 - TOTAL BUILDING AREA: EXIST: 8,363 PROPOSED: 3,270 SF
 - TOTAL SITE: 2.14 AC, TOTAL DIST AREA: .20 AC, TOTAL IMPERV: 0.09 AC
 - DEED REFERENCE: 20080915-2019168 PLAT REFERENCE: 20070618-003003
 - THIS PROPERTY IS NOT IN AN AREA DESIGNATED AS A SPECIAL FLOOD HAZARD AREA. REFERENCE FEMA MAP 83383.
 - SITE BENCHMARK: CONTACT SURVEYOR FOR SITE BENCHMARK DATUM NGVD.
 - SITE BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON INFORMATION PROVIDED BY THE OWNER. THE CONTRACTOR SHALL VERIFY CONDITIONS AND INFORM THE ARCHITECT OF ANY DISCREPANCIES. THE ARCHITECT AND THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY THE OTHERS.
 - UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
 - PARKING SUMMARY:
TOTAL REQUIRED: 27 SPACES
TOTAL PROVIDED: 31 SPACES
HANDICAP SPACES REQUIRED: 2 PROVIDED: 2
 - SETBACKS:
FRONT: 25'
SIDE: 16'
REAR: 20'
 - THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND LICENSES FOR EXECUTION OF THE WORK. ALL MATERIALS AND EXECUTION OF THE WORK SHALL BE IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS.
 - CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION ISSUED BY THE AGC OF AMERICA AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE US DEPARTMENT OF LABOR. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION AND SEDIMENT CONTROL HANDBOOK.
 - VERIFY SITE CONDITIONS, DIMENSIONS, ELEVATIONS, AND LOCATION OF EXISTING FEATURES BEFORE STARTING WORK. THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED OF ANY INTERFERENCES OR DISCREPANCIES.
 - TRAFFIC CONTROL IN CONSTRUCTION AREAS TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- MPC RATIOS:
GAC: 11.02393.218 = 0.32
FAR: 1.02393.218 = 0.32
MR: 34.88693.218 = 0.37

9-J-15-UR
Revised: 8/26/2015



SITE LAYOUT PLAN
SCALE: 1" = 20'

PLANT SCHEDULE					
KEY	EXISTING QUANTITY	NEW QUANTITY	BOTANICAL NAME	COMMON NAME	NOTES
SHADE TREES					
QA	7	5	QUERCUS ALBA	WHITE OAK	6' CT. FULL & MATCHED
AC	0	7	ABIES CONCOLOR	WHITE FIR	6' CT. FULL & MATCHED
CN	1	1	CORNUS	DOGWOOD	2' CT. FULL & MATCHED
SHRUBS					
CA	49	0	CALLICARPA AMERICANA	AMERICAN BEAUTYBERRY	3 gal.
IG	45	0	ILEX GLABRA	INKBERRY HOLLY	3 gal.
IV	22	0	ITEA VIRGINICA	VIRGINIA SWEETSPIRE	3 gal.
HD	3	0	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	3 gal.
LV	33	0	ILEX VERTICILLATA	WINTERBERRY RED SPRITE	3 gal.
GROUNDCOVER					
HHR	0	12	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	1 gal. 18" O.C.
LMB	0	40	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LIRIOPE	1 gal. 18" O.C.
TOTAL REQUIRED TREES: 21					
TOTAL PROVIDED TREES: 21					



LANDSCAPE PLAN

SCALE: 1" = 20'-0"

1 NORTH



9724 kingston pike
suite 305 B
knoxville, tn 37922
v: 865.357.3750
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2015_11

THE GODDARD SCHOOL
10720 VIRGINIA PINE WAY
KNOXVILLE, TN 37932

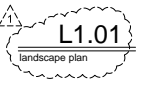
An Addition to:

Issue Date 08-14-2015

Drawn JMR Checked RMR

Revisions
△ rev 1: 08-26-2015

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10720 VIRGINIA PINE WAY
KNOXVILLE, TN 37932

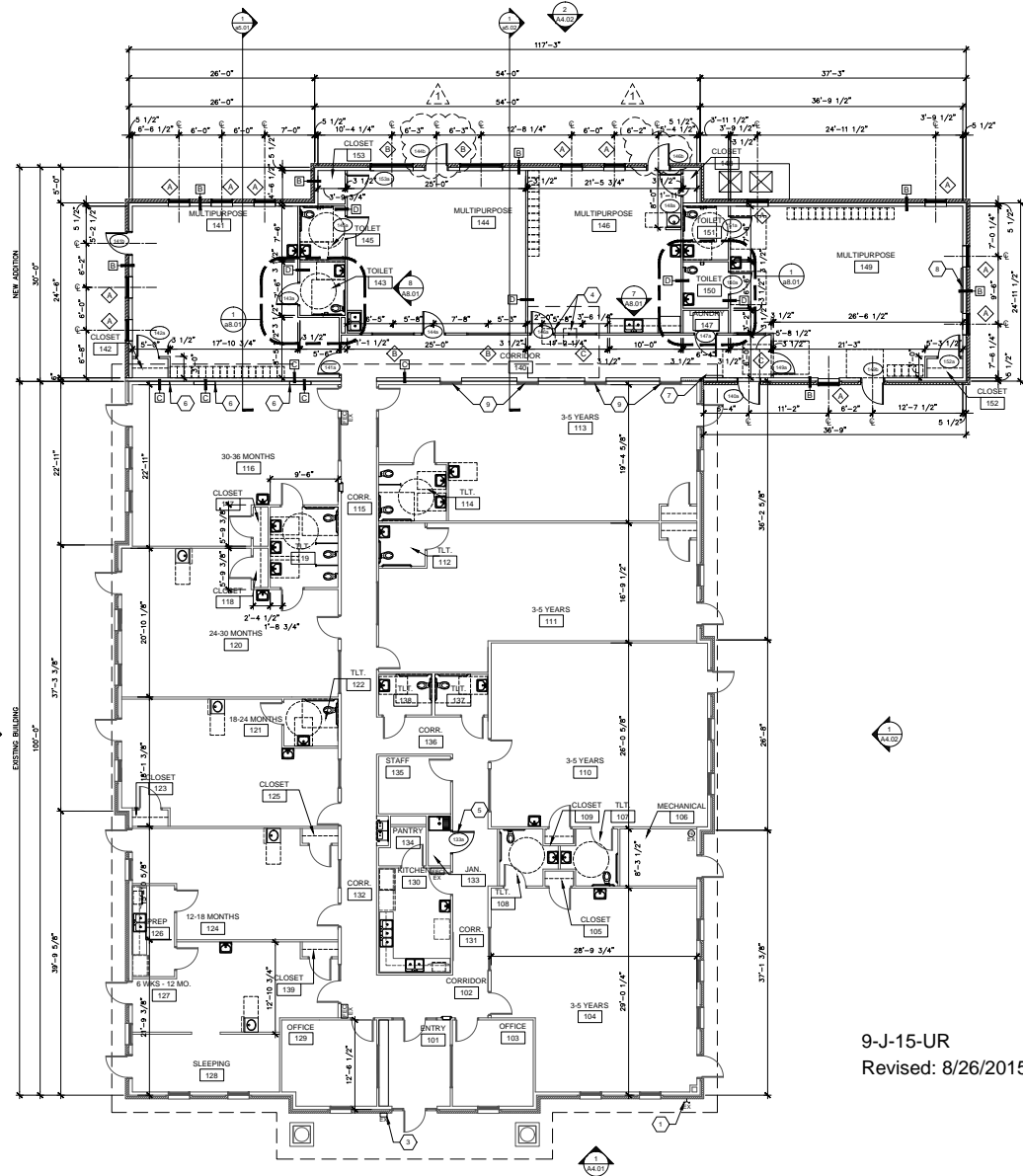
An Addition to:

Issue Date 08-14-2015

Drawn Checked
JMR RMR

Revisions

a1.01
floor plan



KEYNOTES

1. EXISTING FDC TO REMAIN
2. EXISTING STONE AND E.I.F.S. VENEER TO BE REMOVED
3. EXISTING KNOX BOX TO REMAIN
4. NEW MECHANICAL UNITS ABOVE. SEE RCP & MECHANICAL SHEETS
5. NEW DOOR, FRAME & HARDWARE - SEE DOOR SCHEDULE
6. PATCH AND REPAIR GYP. BD. ON THIS SIDE. PAINT TO MATCH EXISTING
7. NEW ELECTRICAL PANEL - SEE ELECTRICAL SHEETS
8. SMART BOARD LOCATION
9. EXISTING WINDOWS TO REMAIN
10. EXISTING SIDEWALK TO BE REMOVED
11. REMOVE GLITTER & DOWNSPOUTS ON THIS FACADE

GENERAL NOTES- FLOOR PLAN

1. CONTRACTOR TO VERIFY AND COORDINATE WITH ARCHITECT AND ENGINEER FOR ALL WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES, POOR QUALITY OR DEFECTS PRIOR TO PROCEEDING WITH WORK.
2. ALL DIMENSIONS ARE FACE OF STUDS, UNLESS OTHERWISE NOTED.
3. WORK TO COMPLY WITH ALL GOVERNING AUTHORITIES HAVING JURISDICTION.
4. PROVIDE SOLID WOOD BLOCKING AS REQUIRED FOR ALL WALL MOUNTED ITEMS SUCH AS BUT NOT LIMITED TO: COUNTERTOPS, SHELVING, RESTROOM ACCESSORIES, HANGERS, FIRE EXTINGUISHERS, ETC.
5. CONTRACTOR TO VERIFY WITH OWNER FOR MILLWORK FINISHES AND INSTALLATION PRIOR TO BUILD OUT.
6. CONTRACTOR TO VERIFY WITH OWNER ALL FLOOR FINISHES PRIOR TO CONSTRUCTION
7. DOORS AND DOOR HARDWARE TO MATCH EXISTING TYPE AND MATERIALS
8. NEW EGRESS SIGNAGE AND/OR LIGHTING AS REQUIRED
9. ADJUST EXISTING EMERGENCY LIGHTING AND FIRE SAFETY EQUIPMENT TO RETAIN FUNCTIONALITY AS REQUIRED. NEW EMERGENCY LIGHTING AND FIRE SAFETY EQUIPMENT AS REQUIRED.
10. FURNISH FIRE EXTINGUISHER AS REQUIRED AND VERIFY LOCATION WITH FIRE MARSHALL PRIOR TO INSTALLATION.

WALL LEGEND

- EXISTING NON RATED EXTERIOR WALL TO REMAIN - STONE VENEER AND E.I.F.S. OVER 2X6 WD. STUDS W/ GYP. BD. ON INTERIOR SIDE
- EXISTING NON RATED INTERIOR WALL TO REMAIN - 2X4 WD. STUDS W/ GYP. BD. ON BOTH SIDES
- EXISTING WALL TO BE REMOVED
- EXISTING NON RATED EXTERIOR WALL TO BE MODIFIED - EXISTING STONE VENEER AND E.I.F.S. TO BE REMOVED 2X6 WD. STUDS W/ GYP. BD. ON INTERIOR SIDE TO REMAIN
- NEW NON RATED EXTERIOR WALL - STONE VENEER AND E.I.F.S. OVER VAPOR BARRIER OVER 1/2" PLYWOOD SHEATHING OVER 2X6 WD. STUDS AT 16" O.C. W/ GYP. BD. ON INTERIOR SIDE W/ R-19 BATT INSULATION
- NEW INTERIOR WALL - 2X6 WD. STUDS AT 16" O.C. W/ GYP. BD. ON BOTH SIDES
- NEW INTERIOR WALL - 2X4 WD. STUDS AT 16" O.C. W/ GYP. BD. ON BOTH SIDES

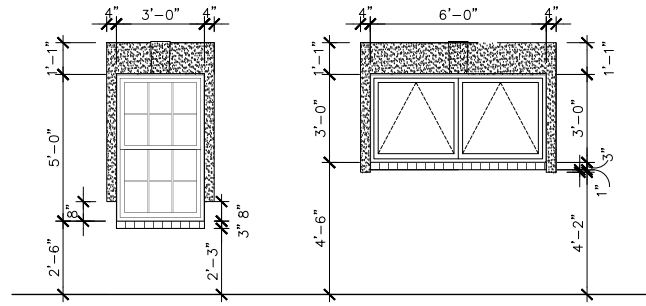
FLOOR PLAN

SCALE: 1/8"=1'-0"





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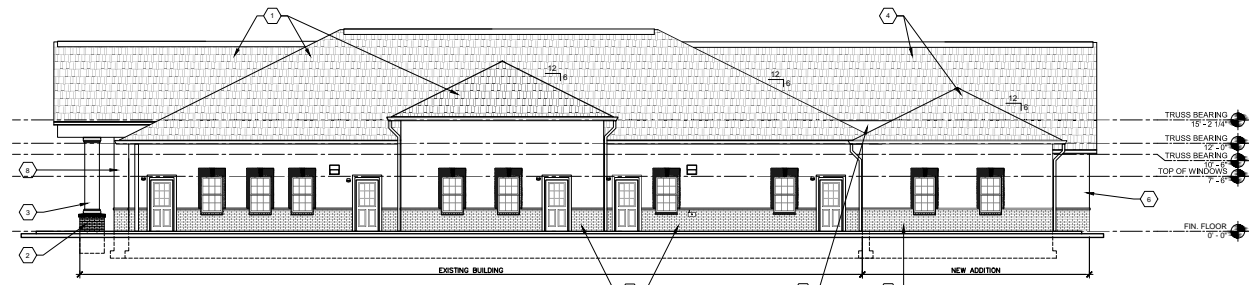


KEYNOTES	
1.	EXISTING FIBERGLASS SHINGLES TO REMAIN
2.	EXISTING STONE VENEER TO REMAIN
3.	EXISTING COLUMNS TO REMAIN
4.	NEW FIBERGLASS SHINGLES TO MATCH EXISTING
5.	NEW STONE VENEER TO MATCH EXISTING
6.	NEW E.I.F.S. TO MATCH EXISTING
7.	NEW CRICKET
8.	EXISTING E.I.F.S. TO REMAIN
9.	RIDGE VENT - COLOR TO MATCH EXISTING
10.	E.I.F.S. SURROUND - SEE DETAIL 3/4.01

ENLARGED GLAZING ELEVATION

SCALE: 1/8"=1'-0"

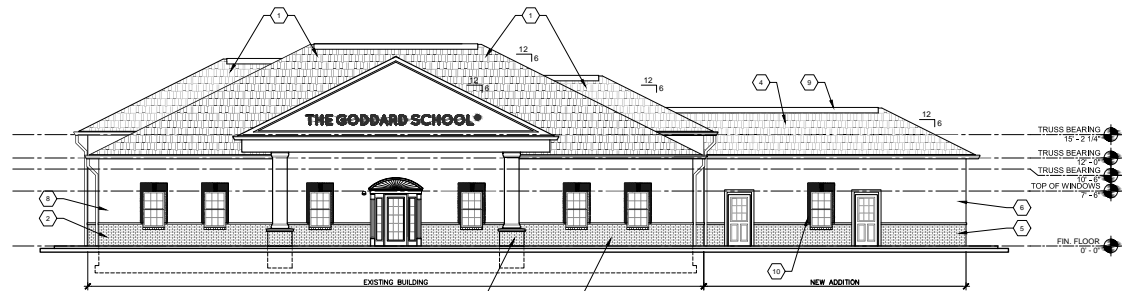
3



SIDE ELEVATION (WEST)

SCALE: 1/8"=1'-0"

2



FRONT ELEVATION (NORTH)

SCALE: 1/8"=1'-0"

1

9-J-15-UR
Revised: 8/26/2015

2015_11

THE GODDARD SCHOOL
10720 VIRGINIA PINE WAY
KNOXVILLE, TN 37932

As-Addition to:

Issue Date 08-14-2015

Drawn JMR Checked RMR

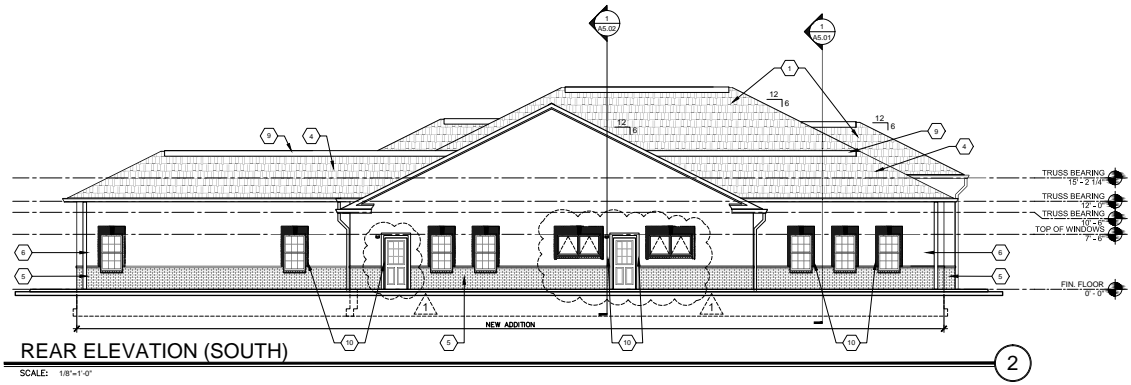
Revisions

a4.01
exterior elevations



KEYNOTES	
1.	EXISTING FIBERGLASS SHINGLES TO REMAIN
2.	EXISTING STONE VENEER TO REMAIN
3.	EXISTING COLUMNS TO REMAIN
4.	NEW FIBERGLASS SHINGLES TO MATCH EXISTING
5.	NEW STONE VENEER TO MATCH EXISTING
6.	NEW E.I.F.S. TO MATCH EXISTING
7.	NEW CRICKET
8.	EXISTING E.I.F.S. TO REMAIN
9.	RIDGE VENT - COLOR TO MATCH EXISTING
10.	E.I.F.S. SURROUND - SEE DETAIL 3/A4.01

2015_11



REAR ELEVATION (SOUTH)

SCALE: 1/8"=1'-0"

2

THE GODDARD SCHOOL
 10720 VIRGINIA PINE WAY
 KNOXVILLE, TN 37932

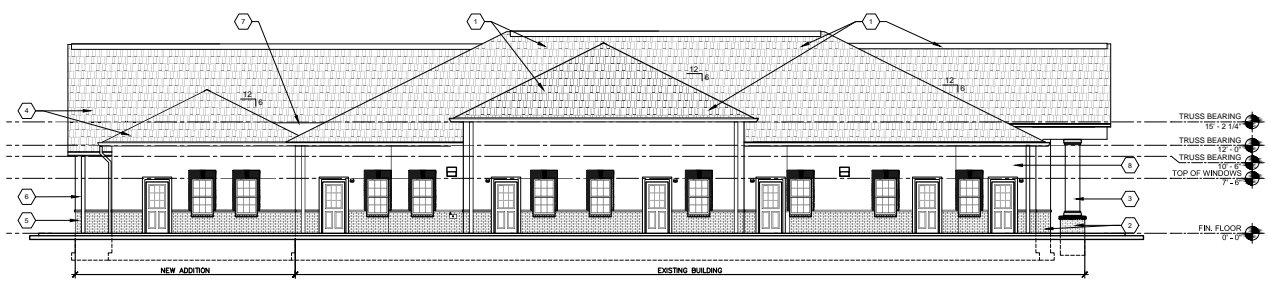
An Addition to:

Issue Date 08-14-2015

Drawn JMR Checked RMR

Revisions
 rev 1: 08-26-2015

9-J-15-UR
 Revised: 8/26/2015



SIDE ELEVATION (EAST)

SCALE: 1/8"=1'-0"

1

a4.02
 exterior elevations