

**KNOXVILLE/KNOX COUNTY METROPOLITAN PLANNING COMMISSION
 USE ON REVIEW REPORT**

▶ **FILE #:** 4-G-16-UR

AGENDA ITEM #: 54

AGENDA DATE: 4/14/2016

▶ **APPLICANT:** W. SCOTT WILLIAMS

OWNER(S): John Huff

TAX ID NUMBER: 57 125.41

[View map on KGIS](#)

JURISDICTION: City Council District 5

STREET ADDRESS: 815 Oaklett Dr

▶ **LOCATION:** Northeast side of Haynes Sterchi Rd., east of Dry Gap Pike.

▶ **APPX. SIZE OF TRACT:** 30 acres

SECTOR PLAN: North City

GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)

ACCESSIBILITY: Access is via Haynes Sterchi Rd., a minor collector street with an 18' pavement width within a 45' right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Knob Fork Creek

▶ **ZONING:** RP-1 (Planned Residential)

▶ **EXISTING LAND USE:** Vacant land

▶ **PROPOSED USE:** 130 Unit Apartment Development

4.33 du/ac

HISTORY OF ZONING: None noted

SURROUNDING LAND USE AND ZONING: North: Church and vacant land / RP-1 (Planned Residential)

South: Church and Sterchi Elementary School / RP-1 (Planned Residential)

East: Residences and vacant land / R-1 (Low Density Residential) & RP-1 (Planned Residential)

West: Residences and vacant land / RP-1 (Planned Residential)

NEIGHBORHOOD CONTEXT: The proposed apartment complex is located in an area that includes a mix of institutional and low density residential uses.

STAFF RECOMMENDATION:

▶ **APPROVE the development plan for up to 130 apartment units, subject to the following 10 conditions:**

1. Connection to sanitary sewer and meeting any other relevant requirement of the Knox County Health Department.
2. Provision of a street name which is consistent with the Uniform Street Naming and Addressing System within Knoxville (Ord. O-280-90).
3. Compliance with the recommendations of the Traffic Impact Study for Sterchi Ridge Apartments prepared by Cannon & Cannon, Inc. and dated March 28, 2016.
4. Revising the development plan to include a crosswalk between the sidewalks on the north and south side of the driveway on both sides of the sidewalk break on the north side.

5. Installation of sidewalks as identified on the development plan meeting all applicable requirements of the Americans with Disabilities Act (ADA) and the Knoxville Department of Engineering.
6. Meeting all applicable requirements of the Knoxville Department of Engineering.
7. Installation of landscaping as shown on the landscape plan within six months of the issuance of the first occupancy permit for each phase of the project.
8. Meeting all applicable requirements of the Knoxville City Arborist.
9. Working with the City of Knoxville Greenways Coordinator in establishing a greenway easement along the Haynes Sterchi Rd. frontage for the Sterchi Branch Greenway.
10. Meeting all applicable requirements of the Knoxville Zoning Ordinance.

With the conditions noted above, this request meets all criteria for a use-on-review in the RP-1 zoning district.

COMMENTS:

The applicant is proposing to develop a 130 unit apartment complex on a 30 acre tract which is located on the northeast side of Haynes Sterchi Rd. just east of Dry Gap Pike at a density of 4.33 du/ac. The property which is zoned RP-1 (Planned Residential) will allow consideration of a density of up to 6 du/ac.

The proposed 130 unit development will have a mix of two and three bedroom units with 66 two bedroom units and 64 three bedroom units. The complex will include 10 two story residential buildings with 8 to 16 units in each. The proposed complex will be constructed in two phases with 58 units in the first phase and 72 units in the second phase. The plan includes a total of 262 parking spaces. Access to the site will be from Haynes Sterchi Rd.

A clubhouse and pool area is proposed near the entrance to the development. Sidewalks are being provided throughout the complex with access to Haynes Sterchi Rd.

The Knoxville-Knox County Park, Recreation and Greenways Plan identifies a greenway along the Haynes Sterchi Rd. frontage (see enclosure). The Sterchi Branch Greenway is proposed to provide a connection between Sterchi Elementary School (located at the southeast corner of this site) and the existing Sterchi Greenway/Sterchi Hills Park located north of the site. Staff is recommending that the applicant work with the City of Knoxville Greenways Coordinator and the owner of the church property directly to the south on establishing the greenway easements that would be needed for the greenway connection.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE

1. The proposed development will have minimal impact on local services since the required utilities are available to serve this site.
2. The proposed apartment development with an overall density of 4.33 du/ac, is consistent in use and density with the existing zoning.
3. The proposed apartment development will be located on the southern half of the site leaving the stream and steeper slopes on the northern half (about 53% of the site) of the site undisturbed>
4. As identified in the Traffic Impact Analysis, the proposed development will not have a significant impact on traffic flow and operations on Haynes Sterchi Rd in the study area. Traffic conditions are expected to continue to be acceptable.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOXVILLE ZONING ORDINANCE

1. With the recommended conditions, the proposed apartment complex meets the standards required in the RP-1 (Planned Residential) zoning district and all other requirements of the Zoning Ordinance.
2. The proposed development is consistent with the general standards for uses permitted on review: The proposed development is consistent with the adopted plans and policies of the General Plan and the North City Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. Since this site is located on a larger tract of land, the use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas since the site is located on a collector street.

CONFORMITY OF THE PROPOSAL TO ADOPTED PLANS

1. The North City Sector Plan proposes low density residential uses on this property. At a density of 4.33 du/ac the proposed apartment development would be consistent with this land designation.

2. The site is located within the Urban Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: 1208 (average daily vehicle trips)

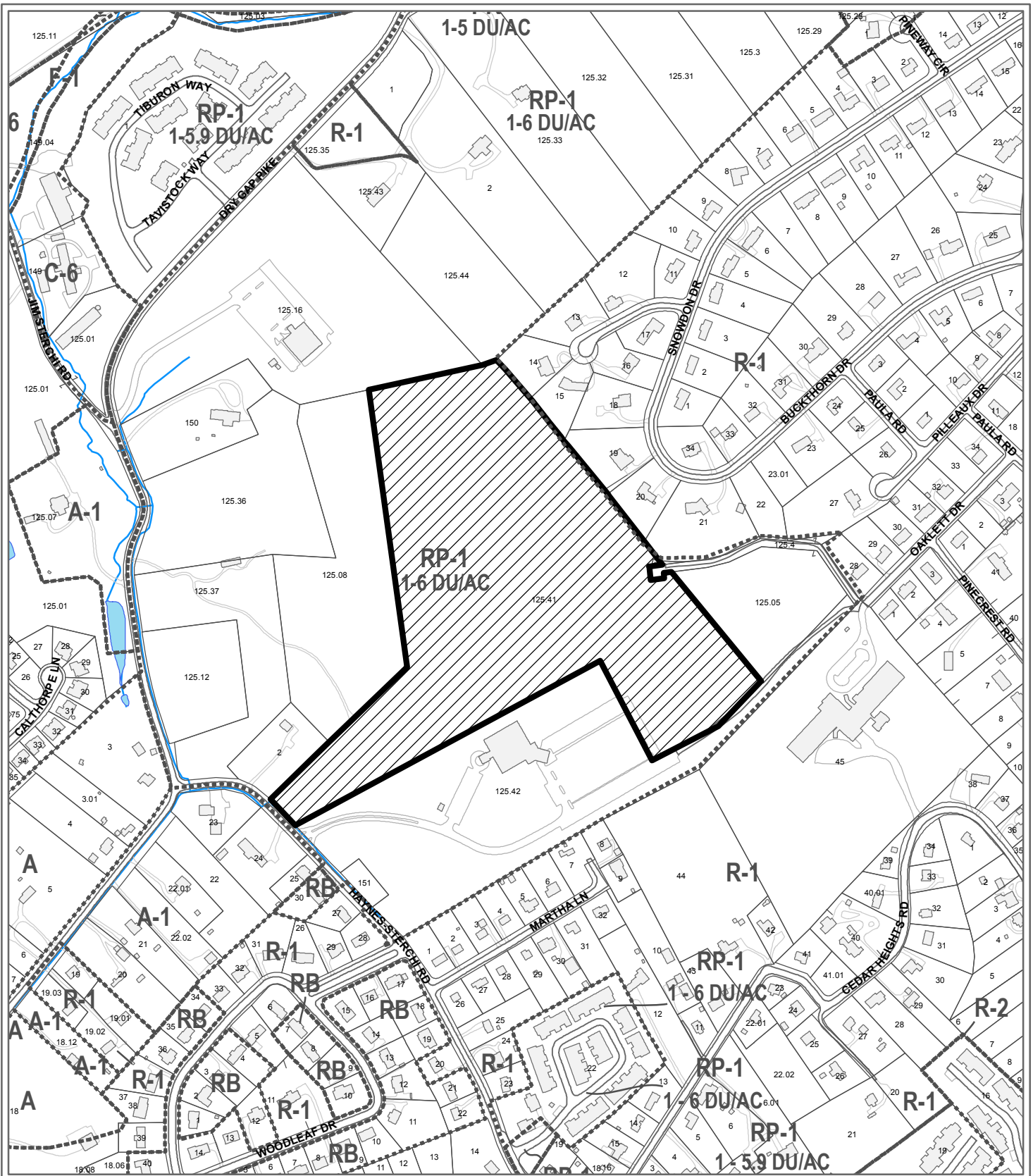
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: 22 (public and private school children, ages 5-18 years)

Schools affected by this proposal: Sterchi Elementary, Gresham Middle, and Central High.

- School-age population (ages 5–18) is estimated by MPC using data from a variety of sources.
- While most children will attend public schools, the estimate includes population that may be home-schooled, attend private schools at various stages of enrollment, or drop out of the public system.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.
- School capacities are subject to change by Knox County Schools through building additions, curriculum or scheduling changes, or amendments to attendance zone boundaries.

MPC's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal an MPC decision in the City.



**4-G-16-UR
USE ON REVIEW**

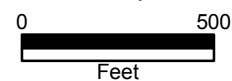
Petitioner: Williams, W. Scott



130 Unit Apartment Development in RP-1 (Planned Residential)

Map No: 57

Jurisdiction: City



Original Print Date: 3/22/2016

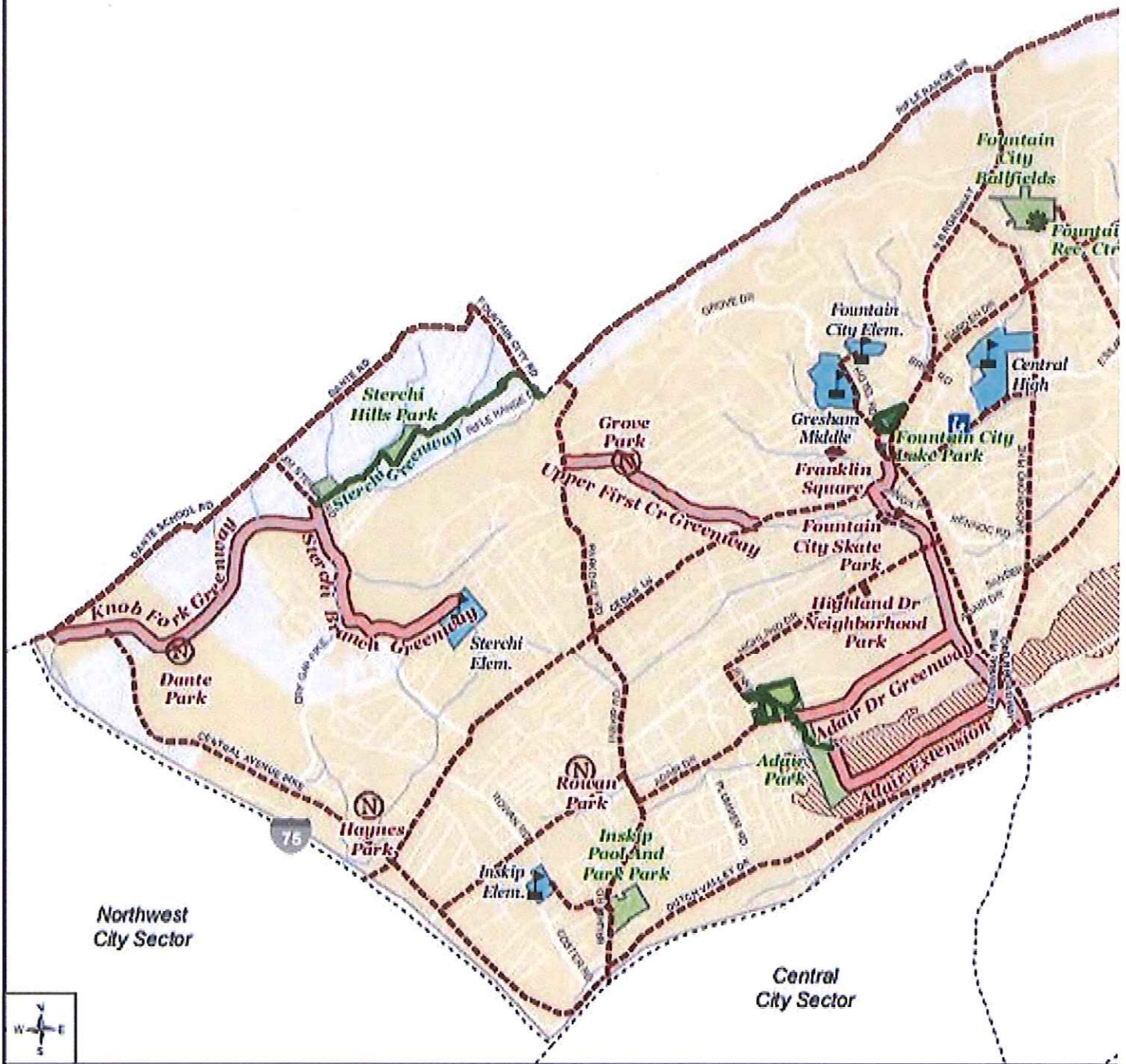
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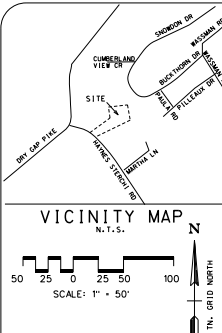
Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

North City Sector

4-G-16-UR

North
County Sector





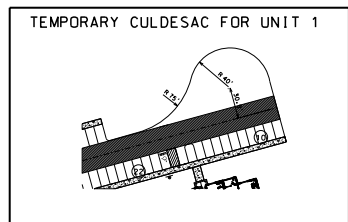
SITE DATA:

EXISTING:
 ZONING: RP-1 (1-6 D.U.) DISTRICT
 SETBACKS (RP-1):
 PERIMETRY - 25'-0" PER FLOOR ABOVE 2

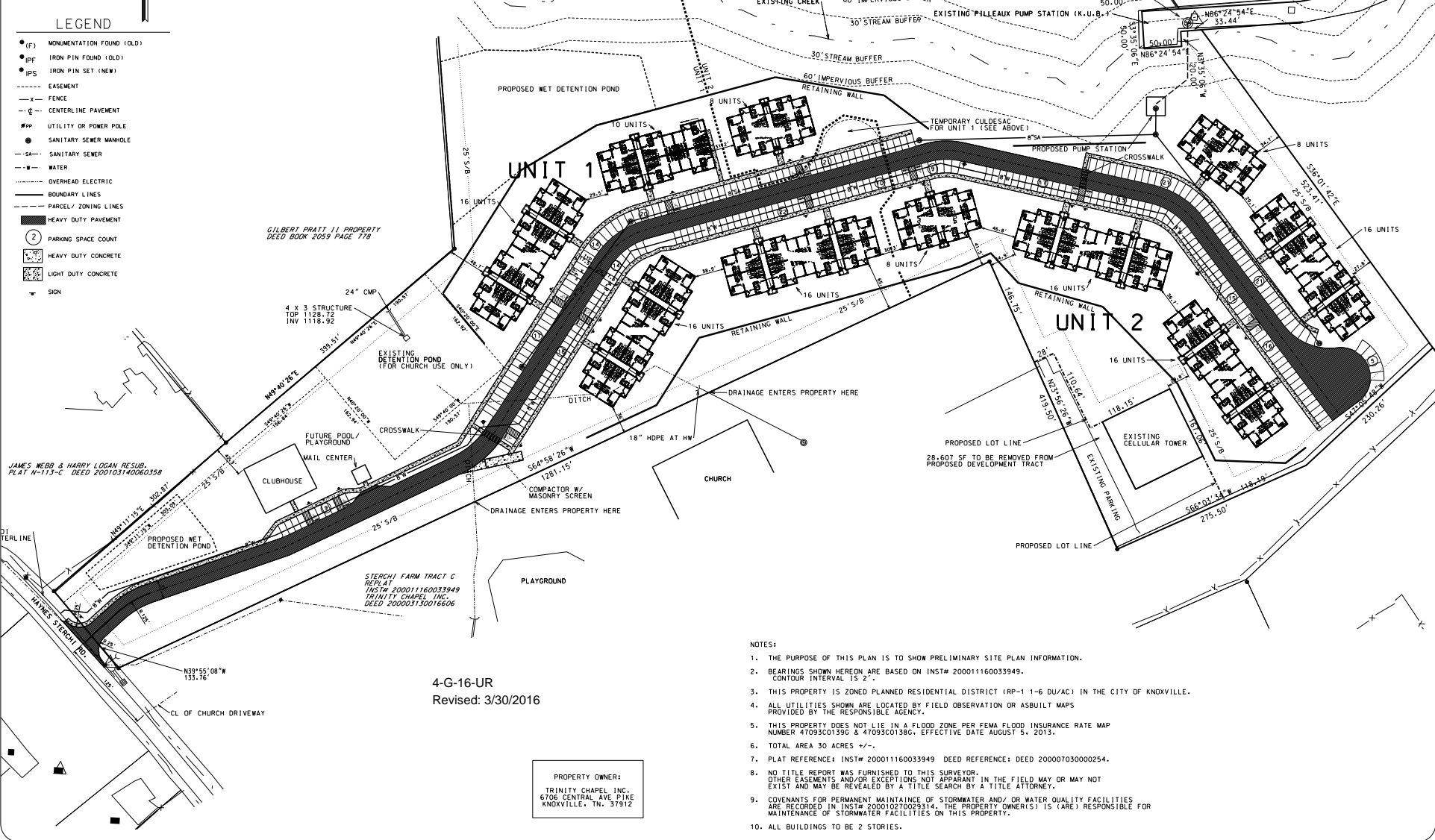
REQUIRED PARKING:
 1 BR = One and one-half (1.5) spaces per dwelling unit for the first twenty (20) units, plus one (1) space for each dwelling unit exceeding twenty (20) units.
 2 BR = Two (2) spaces per dwelling unit for the first twenty (20) units, plus one and one-half (1.5) spaces for each dwelling unit exceeding twenty (20) units.
 REG # = 2420 - 1,548 - 8 SPACES (UNIT 1)
 1,5472 - 158 SPACES (UNIT 2)
 97 + 108 = 205 (BOTH UNITS)

PROPOSED:
 AREA: 30 ACRES
 DENSITY: 130 UNITS / 30 ACRES = 4.33 UNITS PER ACRE
 UNIT 1: 130 UNITS
 UNIT 2: 72 UNITS
 UNIT 1 TOTAL = 58 UNITS PLUS CLUBHOUSE
 UNIT 2 TOTAL = 72 UNITS
 Total = 130 UNITS

PARKING:
 UNIT 1 - 116 SPACES PLUS 8 HC = 124 TOTAL
 UNIT 2 - 130 SPACES PLUS 8 HC = 138 TOTAL
 Total = 124 + 138 = 262 SPACES



- LEGEND**
- (F) MONUMENTATION FOUND (OLD)
 - (IP) IRON PIN FOUND (OLD)
 - (IP) IRON PIN SET (NEW)
 - EASEMENT
 - - - FENCE
 - - - CENTERLINE PAVEMENT
 - UTILITY OR POWER POLE
 - SANITARY SEWER MANHOLE
 - - - SANITARY SEWER
 - - - WATER
 - - - OVERHEAD ELECTRIC
 - - - BOUNDARY LINES
 - - - PARCEL/ ZONING LINES
 - HEAVY DUTY PAVEMENT
 - PARKING SPACE COUNT
 - HEAVY DUTY CONCRETE
 - LIGHT DUTY CONCRETE
 - ▲ SIGN



- NOTES:
1. THE PURPOSE OF THIS PLAN IS TO SHOW PRELIMINARY SITE PLAN INFORMATION.
 2. BEARINGS SHOWN HEREON ARE BASED ON INST# 20001160033949. CONTOUR INTERVAL IS 2'-0".
 3. THIS PROPERTY IS ZONED PLANNED RESIDENTIAL DISTRICT (RP-1 1-6 DU/AC) IN THE CITY OF KNOXVILLE.
 4. ALL UTILITIES SHOWN ARE LOCATED BY FIELD OBSERVATION OR ASBUILT MAPS PROVIDED BY THE RESPONSIBLE AGENCY.
 5. THIS PROPERTY DOES NOT LIE IN A FLOOD ZONE PER FEMA FLOOD INSURANCE RATE MAP NUMBER 47093C01396 & 47093C01380. EFFECTIVE DATE AUGUST 5, 2013.
 6. TOTAL AREA 30 ACRES +/-.
 7. PLAT REFERENCE: INST# 20001160033949 DEED REFERENCE: DEED 200007030000254.
 8. NO TITLE REPORT WAS FURNISHED TO THIS SURVEYOR. OTHER EASEMENTS AND/OR EXCEPTIONS NOT APPARENT IN THE FIELD MAY OR MAY NOT EXIST AND MAY BE REVEALED BY A TITLE SEARCH BY A TITLE ATTORNEY.
 9. COVENANTS FOR PERMANENT MAINTENANCE OF STORMWATER AND/OR WATER QUALITY FACILITIES ARE RECORDED IN INST# 200010270029314. THE PROPERTY OWNER(S) IS (ARE) RESPONSIBLE FOR MAINTENANCE OF STORMWATER FACILITIES ON THIS PROPERTY.
 10. ALL BUILDINGS TO BE 2 STORIES.

PROPERTY OWNER:
 TRINITY CHAPEL, INC.
 6706 CENTRAL AVE. PIKE
 KNOXVILLE, TN. 37912

4-G-16-UR
 Revised: 3/30/2016

NO.	DATE	DESCRIPTION	BY
1	3/30/16	PRELIMINARY SITE PLAN	JWH

PRELIMINARY SITE AND UTILITY PLAN
 STERCHI RIDGE APARTMENTS
 815 DANIELLY DRIVE, #204
 CL. MAP DIST. DATE OF SALE: 12/25/14
 CL. MAP DIST. DATE OF SALE: 12/25/14



4508 Peachtree Lake
 Knoxville, Tennessee 37921
 (615) 582-8200
 E-MAIL: scott@williamsandassociates.com
 CONSULTING ENGINEER
 CIVIL/SURVEYING

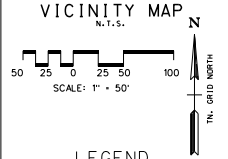
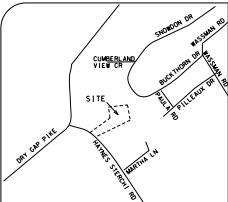
Scott Williams and Associates

CLIENT:
 JONAH HUFF
 HUFF CONSTRUCTION LLC
 1010 W. OAKS ST.
 KNOXVILLE, TN 37912

ORIGINAL ISSUE:
 FEB. 15, 2016

SHEET NO.
C1

JOB NO. 1664

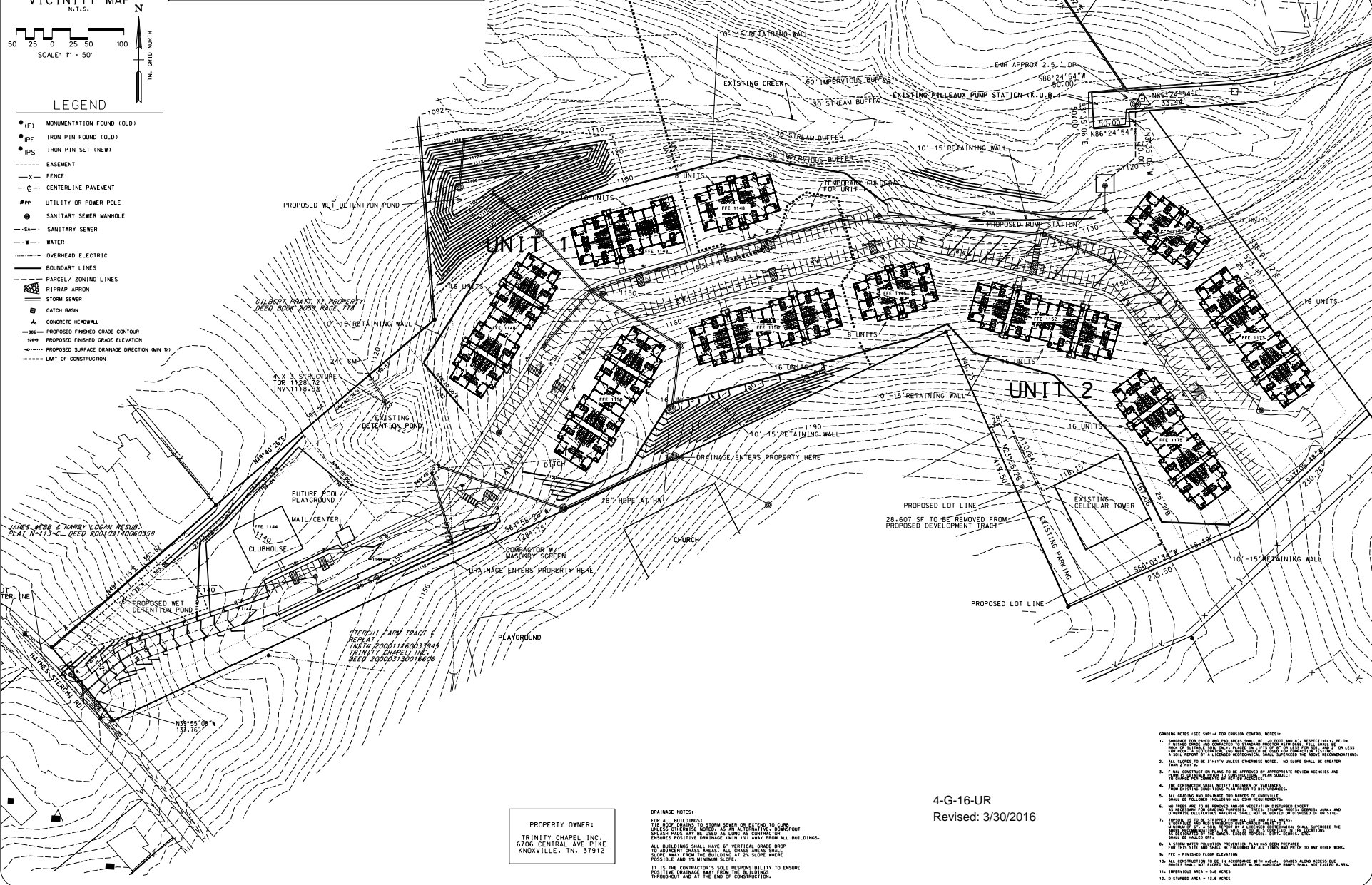


- LEGEND**
- (F) MONUMENTATION FOUND (OLD)
 - (IF) IRON PIN FOUND (OLD)
 - (IP) IRON PIN SET (NEW)
 - EASEMENT
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 - SANITARY SEWER
 - WATER
 - OVERHEAD ELECTRIC
 - BOUNDARY LINES
 - PARCEL / ZONING LINES
 - RIPRAP APRON
 - STORM SEWER
 - CATCH BASIN
 - CONCRETE HEADWALL
 - PROPOSED FINISHED GRADE CONTOUR
 - PROPOSED FINISHED GRADE ELEVATION
 - PROPOSED SURFACE DRAINAGE DIRECTION (MIN 1%)
 - LMT OF CONSTRUCTION

SITE DATA:

EXISTING:
 ZONING: RP-1 (1-6 D.U.) DISTRICT
 SETBACKS (RP-1):
 PERIMETRY - 25'-0" PER FLOOR ABOVE 2

PROPOSED:
 AREA: 30 ACRES
 DENSITY: 100 UNITS / 30 ACRES = 4.33 UNITS PER ACRE
 UNIT 1: 58 UNITS
 UNIT 2: 72 UNITS
 TOTAL: 130 UNITS
 IMPERVIOUS AREA RATIO: 5.80 ACRES / 30 ACRES = 19.3%



PROPERTY OWNER:
 TRINITY CHAPEL INC.
 6706 CENTRAL AVE PIKE
 KNOXVILLE, TN. 37912

DRAINAGE NOTES:
 FOR ALL BUILDINGS:
 1. ALL ROOF DRAINAGE TO STORM SEWER OR EXTEND TO CURB UNLESS OTHERWISE NOTED. AS AN ALTERNATIVE, DOWNSPOUT COVERS MAY BE USED AS LONG AS CONSTRUCTION ENSURES POSITIVE DRAINAGE (MIN 1%) AWAY FROM ALL BUILDINGS.
 2. ALL BUILDINGS SHALL HAVE A VERTICAL DRAIN DROP TO ADJACENT GRADE AREA. ALL DRAINS SHALL BE SLOPED AWAY FROM THE BUILDING.
 3. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE POSITIVE DRAINAGE AWAY FROM THE BUILDINGS THROUGHOUT AND AT THE END OF CONSTRUCTION.

4-G-16-UR
 Revised: 3/30/2016

- GRADING NOTES (SEE SUPP 14 FOR EROSION CONTROL NOTES):**
1. FINISHED FLOOR GRADE AND FINISHED GRADE SHALL BE 1.00' MIN AND, RESPECTIVELY, BELOW THE FINISHED GRADE OF THE ADJACENT STREET OR DRIVE. FINISHED GRADE SHALL BE 1.00' MIN ABOVE THE FINISHED GRADE OF THE ADJACENT STREET OR DRIVE. FINISHED GRADE SHALL BE 1.00' MIN ABOVE THE FINISHED GRADE OF THE ADJACENT STREET OR DRIVE.
 2. ALL SLOPES TO BE 5:1 UNLESS OTHERWISE NOTED. NO SLOPE SHALL BE GREATER THAN 5:1 UNLESS OTHERWISE NOTED.
 3. FINAL CONSTRUCTION PLANS TO BE APPROVED BY APPROPRIATE REVIEW AGENCIES AND UTILITIES SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL.
 4. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CHANGES TO THE CONSTRUCTION PLANS.
 5. ALL CHANGES AND DRAINAGE ORDINANCES OF ORDINANCE SHALL BE FOLLOWED BY THE CONTRACTOR.
 6. ALL CHANGES TO THE CONSTRUCTION PLANS SHALL BE APPROVED BY THE ENGINEER AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 7. SPECIAL IS TO BE SUBMITTED FROM ALL LOT AND AREA AREAS.
 8. ALL CHANGES TO THE CONSTRUCTION PLANS SHALL BE APPROVED BY THE ENGINEER AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 9. ALL CHANGES TO THE CONSTRUCTION PLANS SHALL BE APPROVED BY THE ENGINEER AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 10. FINISHED FLOOR ELEVATION.
 11. IMPERVIOUS AREA = 5.80 ACRES
 12. IMPERVIOUS AREA = 19.3%

NO.	DATE	DESCRIPTION	BY

PRELIMINARY GRADING AND DRAINAGE PLAN
STERCHI RIDGE APARTMENTS
 815 DANIELLY DRIVE, #104
 CL. MAP DIST. DATE OF PREPARED: 12.25.14
 MAP NO. 28-CTT-BLDC-301-4

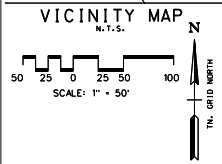
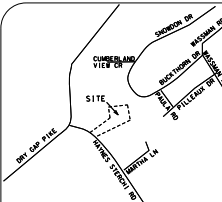


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 E-MAIL: scott@williamsland.com

Scott Williams and Associates
 CONSULTING ENGINEER
 CIVIL ENGINEERING
 LAND SURVEYING

CLIENT:
HUFF CONSTRUCTION LLC
 6706 CENTRAL AVE PIKE
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ORIGINAL ISSUE:
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C2
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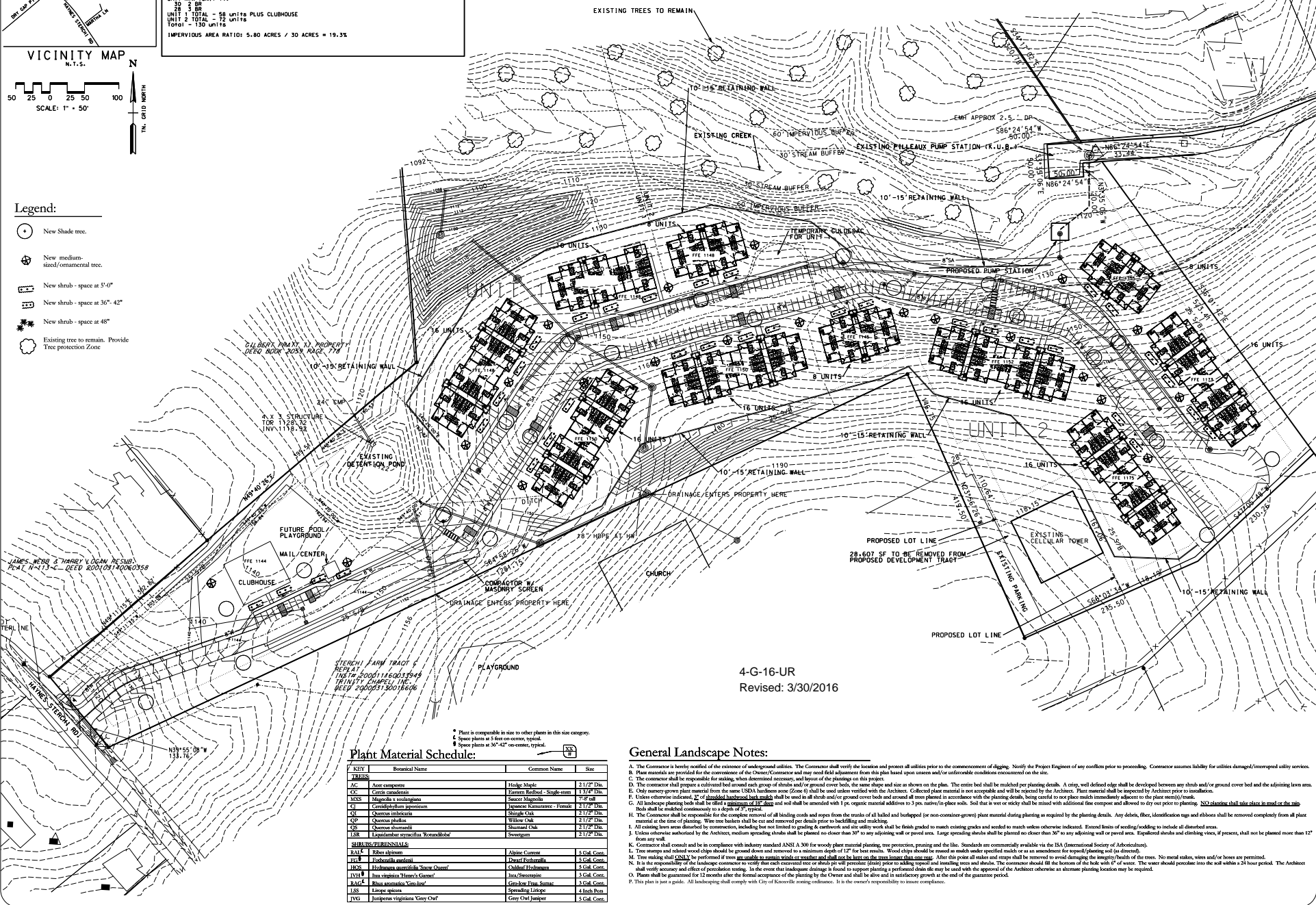


SITE DATA:

EXISTING:
 ZONING: RP-1 (1-6 D.U.) DISTRICT
 SETBACKS (RP-1):
 PERIMETER - 25' ± 2" PER FLOOR ABOVE 2

PROPOSED:
 AREA: 30 ACRES
 DENSITY: 130 UNITS / 30 ACRES = 4.33 UNITS PER ACRE
 UNIT 1: 58 UNITS
 UNIT 2: 72 UNITS
 TOTAL: 130 UNITS PLUS CLUBHOUSE
 IMPERVIOUS AREA RATIO: 5.80 ACRES / 30 ACRES = 19.3%

- Legend:**
- New Shade tree.
 - ⊕ New medium-sized/ornamental tree.
 - ▭ New shrub - space at 5'-0"
 - ▭ New shrub - space at 36" - 42"
 - ▭ New shrub - space at 48"
 - ⊙ Existing tree to remain. Provide Tree protection Zone



Plant Material Schedule:

KEY	Botanical Name	Common Name	Size
AG	Aster composite	Hedge Magic	2 1/2" Dia.
CC	Cornus canadensis	Flowering Dogwood - Single-stem	1 1/2" Dia.
MS	Moroneja a. sordida	Spice Myrtle	7-8" ml
CI	Coniolum japonicum	Japanese Camellia - Female	2 1/2" Dia.
QU	Quercus macrocarpa	Shingle Oak	2 1/2" Dia.
OP	Quercus phellos	Willow Oak	2 1/2" Dia.
OS	Quercus shumardii	Shumard Oak	2 1/2" Dia.
LS	Lonicera ovata/Redmondii	Swampdog	2 1/2" Dia.
SHRUBS/PERENNIALS			
RA1	Ribes cereum	Alpine Currant	5 Gal. Cont.
FR1	Fuchsia magellanica	Plant Fuchsia	5 Gal. Cont.
HC1	Hydrangea serratifolia 'Snow Charm'	Old-fashioned Hydrangea	5 Gal. Cont.
IV1	Yucca filamentosa 'Blue Chip'	Yucca	5 Gal. Cont.
PL1	Plant material 'Vireo'	Greenery Plant	5 Gal. Cont.
LS	Lonicera ovata	Swampdog	5 Gal. Cont.
IV2	Yucca filamentosa 'Vireo'	Yucca	5 Gal. Cont.

4-G-16-UR
 Revised: 3/30/2016

- General Landscape Notes:**
- A. The Contractor is hereby notified of the existence of underground utilities. The Contractor shall verify the location and protect all utilities prior to the commencement of digging. Notify the Project Engineer of any conflicts prior to proceeding. Contractor assumes liability for utilities damaged/interrupted utility services.
 - B. Plant materials are provided for the convenience of the Owner/Contractor and may need field adjustment from this plan based upon unseason and/or unfavorable conditions encountered on the site.
 - C. The contractor shall be responsible for existing, when determined necessary, and layout of the planting on this project.
 - D. The contractor shall prepare a cut-and-fill around each group of shrubs and/or ground cover beds, the same shape and size as shown on the plan. The entire bed shall be mulched per planting details. A strip, well defined edge shall be developed between any shrub and/or ground cover bed and the adjoining lawn area.
 - E. Only evergreen plant material from the same USDA hardiness zone (Zone 6) shall be used unless verified with the architect. Collected plant material is not acceptable and will be rejected by the architect. Plant material shall be inspected by architect prior to installation.
 - F. Unless otherwise indicated, all of the shrubs and/or ground cover beds and around all trees planted in accordance with the planting details, being careful to use plant material immediately adjacent to the plant stems/roots.
 - G. All landscape planting beds shall be filled with a minimum of 2" depth of topsoil. Beds shall be mulched continuously to a depth of 2" depth. Beds shall be amended with 1 pc. organic material additives to 2 pc. native/n-p/ice soils. Soil that is wet or sticky shall be mixed with additional one component and allowed to dry out prior to planting. No digging shall take place in mud or the mud
 - H. The Contractor shall be responsible for the complete removal of all loading trucks and ropes from the trucks of all balled and burlapped (or non-container-grown) plant material during planting as required by the planting details. Any debris, other, identification tags and ribbons shall be removed completely from all plant material at the time of planting. Wire tree baskets shall be cut and removed per details prior to backfilling and mulching.
 - I. All existing lawn areas disturbed by construction, including but not limited to grading & earthwork and site utility work shall be finish graded to match existing grades and seeded to match unless otherwise indicated. Excess limits of seeding/soaking to include all disturbed areas.
 - J. Unless otherwise authorized by the architect, medium spreading shrubs shall be planted no closer than 30" to any adjoining wall or paved area. Large spreading shrubs shall be planted no closer than 30" to any adjoining wall or paved area. Established shrubs and climbing vines, if present, shall not be planted more than 12" from any wall.
 - K. Contractor shall comply with and be in compliance with industry standard ANSI A 306 for woody plant material planting, tree protection, pruning and the like. Standards are commercially available via the ISA (International Society of Arboriculture).
 - L. Tree stumps and related wood chips shall be ground down and removed to a minimum depth of 12" for best results. Wood chips should be reused as mulch under specified mulch or as an amendment for topsoil/grading soil (as directed).
 - M. Tree staking shall ONLY be performed if tree are unable to remain stable and shall be in the form of a cross brace that can stay. After this point all stakes and straps shall be removed to avoid damaging the strength/health of the tree. No metal stakes, wires and/or boxes are permitted.
 - N. It is the responsibility of the landscape contractor to verify that each excavated area or shrub pit will percolate (drain) prior to adding topsoil and installing trees and shrubs. The contractor should fill the bottom of the hole with 6" of water. The water should percolate into the soil within a 24 hour period. The Architect shall verify accuracy and effect of percolation testing. In the event that inadequate drainage is found to support planting a perforated drain tile may be used with the approval of the Architect otherwise an alternate planting location may be required.
 - O. Plants shall be guaranteed for 12 months after the formal acceptance of the planting by the Owner and shall be alive and in satisfactory growth at the end of the guarantee period.
 - P. This plan is just a guide. All landscaping shall comply with City of Knoxville zoning ordinance. It is the owner's responsibility to insure compliance.

REVISIONS

NO.	DATE	DESCRIPTION

LANDSCAPE PLAN
 STERCHI RIDGE APARTMENTS
 815 DANIELLY DRIVE
 KNOXVILLE, TN 37912
 CL. WORK SHEET NO. 15-04
 CL. WORK SHEET NO. 15-04
 CL. WORK SHEET NO. 15-04



4538 Peachtree Hwy
 Knoxville, Tennessee 37921
 PHONE: 615.528.1111
 FAX: 615.528.1111
 E-MAIL: scott@scottwilliams.com

Scott Williams and Associates

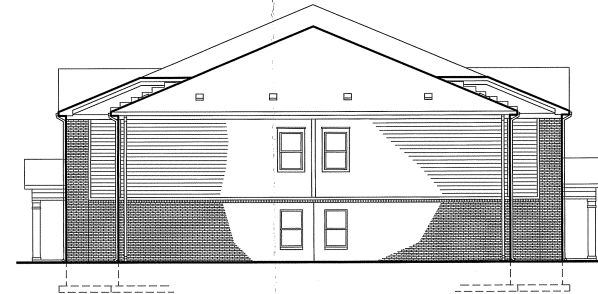
CLIENT:
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 HUFF CONSTRUCTION LLC
 1000 W. MARKET ST.
 KNOXVILLE, TN 37912

ORIGINAL ISSUE:
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 L1
 JOB NO. 1664



BUILDING 1 FRONT ELEVATION

1/8" = 1'-0"



BUILDING 1 SIDE ELEVATION

1/8" = 1'-0"

4-5-16-VR

Fielder & Associates, Inc. d.b.a.:

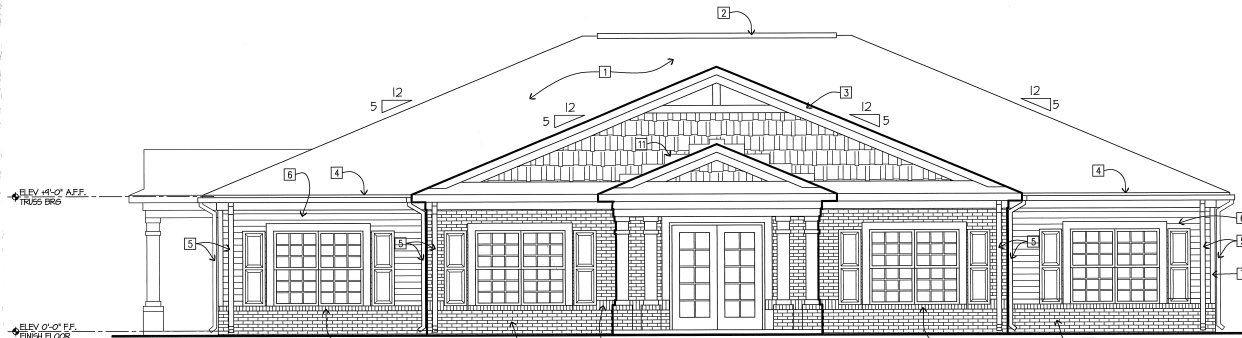
FielderGroup Architects
Designers of Energy Efficient Affordable Housing
Lexington, Kentucky - Phone: 859-276-0000

January 2016

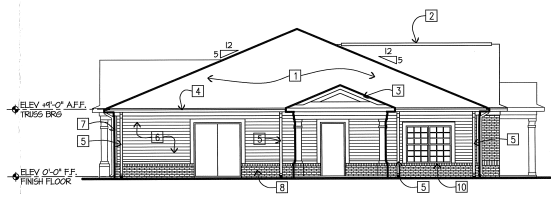
BUILDING 1 ELEVATIONS

Sterchi Apartments
Knoxville, Tennessee

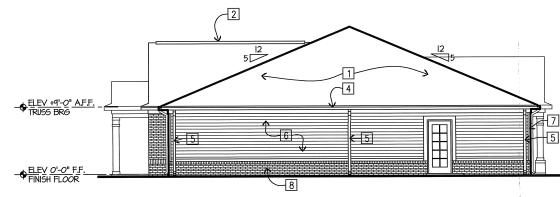
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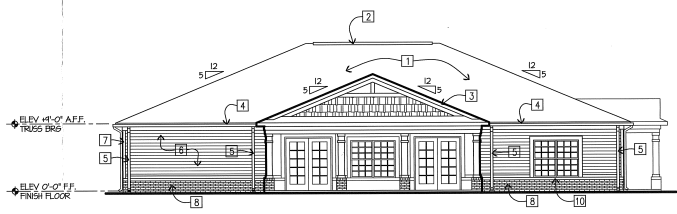
F R O N T E L E V A T I O N
1/4" = 1'-0"



S I D E E L E V A T I O N
1/8" = 1'-0"



S I D E E L E V A T I O N
1/8" = 1'-0"



R E A R E L E V A T I O N
1/8" = 1'-0"

KEY NOTES/ELEVATIONS

1. 24" COMP. ASPHALT SHINGLES OVER 15# FELT.
2. CONTINUOUS NAILABLE RIDGE VENT - COVER WITH SHINGLES
3. 2x6 FASCIA WRAPPED WITH PRE-FINISHED METAL.
4. CONTINUOUS PRE-FINISHED ALUMINUM GUTTER. PROVIDE ANCHORAGE AT 4'-0" C/G MAXIMUM WITH CORROSION-RESISTANT SCREWS AND BRACES.
5. PRE-FINISHED ALUMINUM DOWN SPOUTS. PROVIDE STRAP HANGERS AT 4'-0" C/G MAXIMUM.
6. HARDI-PLANK. SEE SPECIFICATION NOTES ON THIS SHEET.
7. PRE-FORMED HARDI TRIM
8. BRICK VENEER.
9. BRICK SOLDIER COURSE
10. BRICK ROWLOCK SILL - TYPICAL AT ALL WINDOWS IN BRICK VENEER.
11. PRE-FINISHED METAL FLASHING
12. NOT USED.
13. PRE-FINISHED HARDI GABLE LOUVER.
14. LOW-PROFILE, PRE-FINISHED METAL ROOF VENTS. ALL ROOF SPACES MUST BE VENTED.
15. THE EXTERIOR GRADE AROUND BUILDING SHOULD BE A MINIMUM OF 8" BELOW THE FINISH FLOOR LINE AND SHOULD SLOPE A MINIMUM OF 6" IN 10' AWAY FROM THE BUILDING.
16. PROVIDE 1/2" TO 3/4" SAW CUT @ ENDS OF BREEZENAT. SEAL WITH ELASTOMERIC CAULK. SEE DETAIL.
17. SEE STRUCTURAL DRAWINGS FOR WALL STRUCTURE, ROOF TRUSSES, FLOOR TRUSSES AND FOUNDATION DESIGN.
18. NOT USED.
19. PROVIDE 1/2" EXPANSION JT. EACH SIDE OF BREEZENAT.
20. EAVE OVERHANG.
21. 12" X 24" PRECAST CONC. SPLASHBLOCK - TYPICAL AT ALL DOWNSPOUTS.
22. SEE STRUCTURAL DRAWINGS FOR CORNER BRACING
23. PROVIDE CONT. CAULKING AT ALL INTERSECTIONS BETWEEN BRICK AND WOOD TRIM.
24. NOTE: GRADE SHOWN IS MINIMUM - ACTUAL FIN. GRADE MAY VARY ACCORDING TO SITE GRADING PLAN. PROVIDE CEMENT PARGING OVER ANY EXPOSED CONCRETE BLOCK IN EXCESS OF ONE (1) COURSE ABOVE FIN. GRADE.
25. REFER TO DRAWING A101 FOR FLOOR TRUSS AND ATTIC DRAFTSTOPPING DETAILS.

4-G-16-UR

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FielderGroup Architects
Designers of Energy Efficient Affordable Housing
Lexington, Kentucky - Phone: 859-276-0000

January 2016

COMMUNITY BUILDING ELEVATIONS

Sterchi Apartments
Knoxville, Tennessee

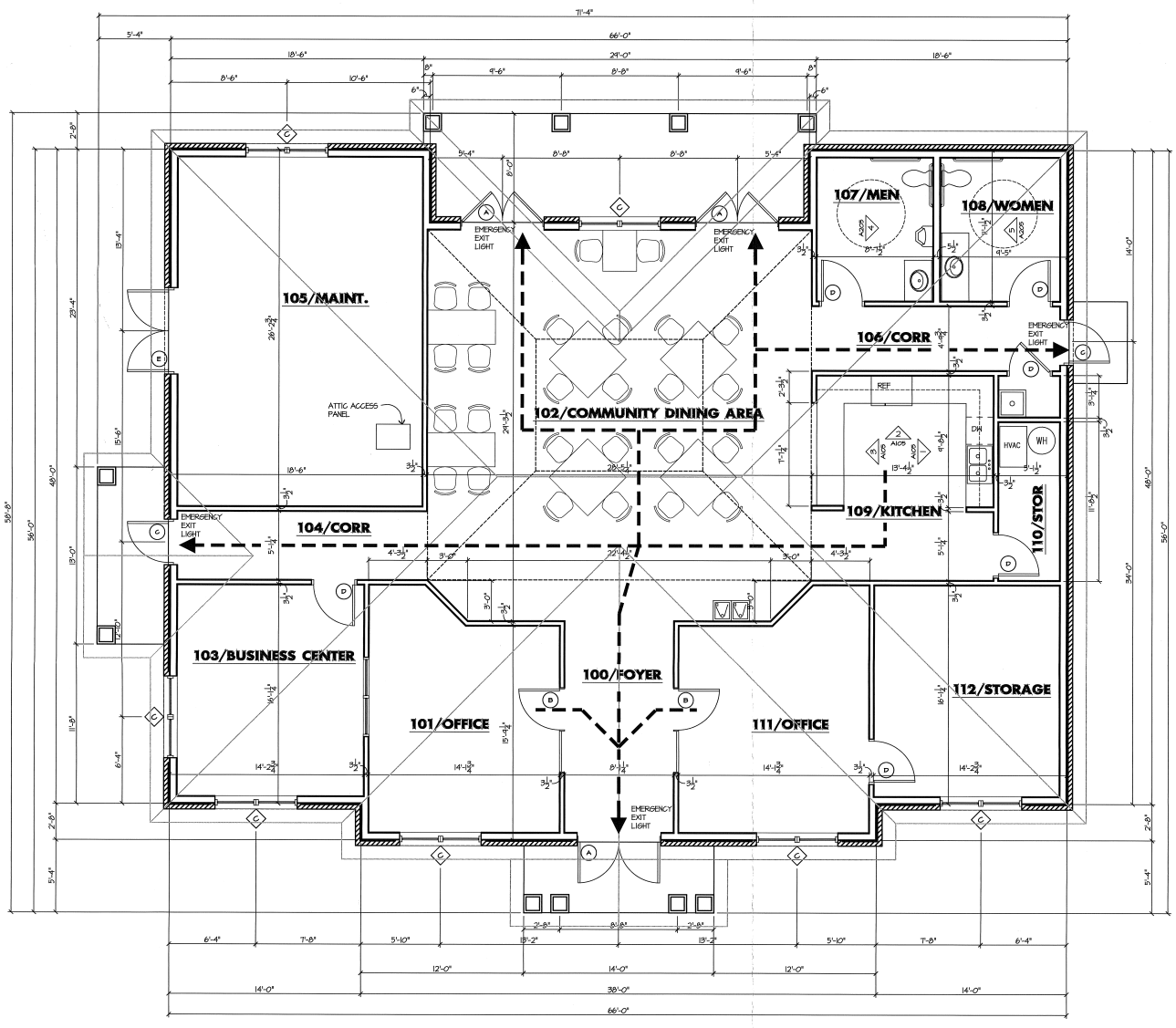
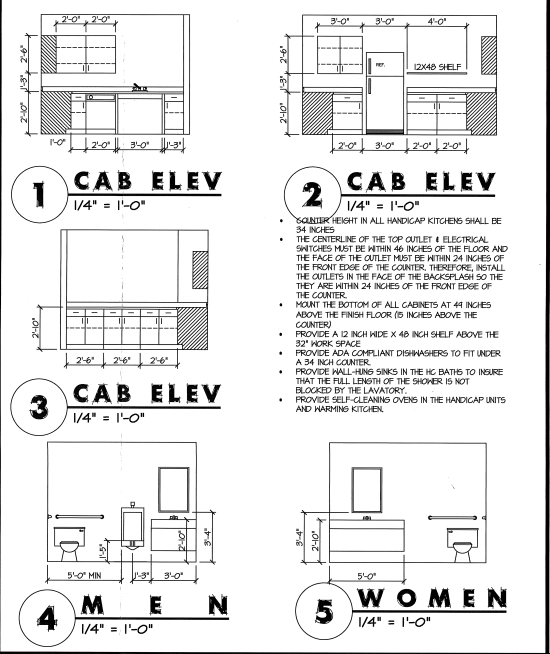
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ROOM FINISH SCHEDULE									
ROOM NO.	ROOM NAME	FLOOR	BASE		WALL		CEILING		
			MATERIAL	HGT.	MATERIAL	FINISH	MATERIAL	HGT.	
100	FOYER	CER TILE	WB	4"	GWB	PAINT	GWB	9' - 0"	
101	OFFICE	CER TILE	WB	4"	GWB	PAINT	GWB	9' - 0"	
102	COMM DINING	CER TILE	WB	4"	GWB	PAINT	GWB	9' - 0"	
103	BUSINESS CENTER	CER TILE	WB	4"	GWB	PAINT	GWB	9' - 0"	
104	CORR	CER TILE	WB	4"	GWB	PAINT	GWB	9' - 0"	
105	MAINT.	CONC.	WB	4"	GWB	PAINT	GWB	9' - 0"	
106	CORR	CER TILE	WB	4"	GWB	PAINT	GWB	9' - 0"	
107	MEN	CER TILE	WB	4"	GWB	PAINT	GWB	9' - 0"	
108	WOMEN	CER TILE	WB	4"	GWB	PAINT	GWB	9' - 0"	
109	KITCHEN	CER TILE	WB	4"	GWB	PAINT	GWB	9' - 0"	
110	STORAGE	VCT	VB	4"	GWB	PAINT	GWB	9' - 0"	
111	OFFICE	CER TILE	WB	4"	GWB	PAINT	GWB	9' - 0"	
112	STORAGE	VCT	VB	4"	GWB	PAINT	GWB	9' - 0"	

LEGEND OF MATERIALS	
WB	WOOD BASE
CER TILE	CERAMIC TILE
VB	VINYL BASE
V.C.T.	VINYL COMPOSITION TILE
GWB	GYPSUM WALL BOARD

COMMUNITY DOOR SCHEDULE			
SEE DWG. A 202 FOR APARTMENT UNITS DOOR SCHEDULE			
MARK	SIZE	CONSTRUCTION	REMARKS
A	PAIR 3'-0" X 6'-8"	METAL INSULATED WITH TEMPERED FIRE RATED GLAZING - SEE ELEVATIONS	PROVIDE ENERGY STAR RATED DOORS WITH ADA COMPLIANT APPROVED FIRE EXIT PANIC HARDWARE (1)
B	PAIR 3'-0" X 6'-8"	METAL INSULATED - NO GLAZING	PROVIDE ENERGY STAR RATED DOORS WITH ADA COMPLIANT APPROVED FIRE EXIT PANIC HARDWARE (1)
C	3'-0" X 6'-8"	METAL OR WOOD INT. WITH 4 IN X 24 IN VERTICAL FIRE RATED GLAZING	PROVIDE ENERGY STAR RATED DOORS WITH ADA COMPLIANT APPROVED FIRE EXIT PANIC HARDWARE (1)
D	3'-0" X 6'-8"	SOLID OR COMPOSITE WOOD	6 PANEL - ADA COMPLIANT APPROVED FIRE EXIT PANIC HARDWARE (1)
E	3'-0" X 6'-8"	SOLID OR COMPOSITE WOOD WITH 4 IN X 24 IN VERTICAL FIRE RATED GLAZING	6 PANEL - PROVIDE ADA COMPLIANT HARDWARE (1)
F	3'-0" X 6'-8"	WOOD INT.	PROVIDE ADA COMPLIANT HARDWARE

(1) TWENTY MINUTE RATED DOOR FRAME & CLOSURE ASSEMBLY 6009 (IG-715) 3 DOOR ASSEMBLIES. FIRE DOOR ASSEMBLIES REQUIRED TO HAVE A MINIMUM FIRE PROTECTION RATINGS OF 20 MINUTES HAVING A FIRE-RESISTANCE RATING IN ACCORDANCE WITH TABLE 715.4 SHALL BE TESTED IN ACCORDANCE WITH NFPA 252 OR UL 10C WITHOUT THE HOSE STREAM TEST; FIRE RESISTANCE RATED DOORS MUST HAVE FIRE RATED FRAMES, HARDWARE, CLOSERS, AND OTHER RATED ACCESSORIES. CLOSERS AND POSITIVE LATCHING HARDWARE ARE REQUIRED ON FIRE RATED DOORS.



OFFICE / COMMUNITY BUILDING FLOOR PLAN
1/4" = 1'-0"
3/20 50 FT

4-G-16-DR

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COMMUNITY BUILDING FLOOR PLAN & LIFE SAFETY PLAN

Sterchi Apartments
 Knoxville, Tennessee

A205