

**KNOXVILLE/KNOX COUNTY METROPOLITAN PLANNING COMMISSION
 USE ON REVIEW REPORT**

▶ **FILE #:** 8-F-16-UR

AGENDA ITEM #: 34

AGENDA DATE: 8/11/2016

▶ **APPLICANT:** JOHN L. SANDERS, AIA C/O FLOUR HEAD

OWNER(S): Scott Partin & Mahasti Vafaie

TAX ID NUMBER: 94 D Q 016 & 018

[View map on KGIS](#)

JURISDICTION: City Council District 4

STREET ADDRESS: 857 N Central St

▶ **LOCATION:** Southwest side of N. Central St., southeast side of Bernard Ave.

▶ **APPX. SIZE OF TRACT:** 1.03 acres

SECTOR PLAN: Central City

GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)

ACCESSIBILITY: Access is via N. Central St., a minor arterial street with 2 lanes and 42' of pavement width within 70' of right-of-way, Bernard Ave., a minor collector street with 35' of pavement width within 50' of right-of-way, or Pruett St., a local street with 24' of pavement width within 40' of right-of-way. The site is also serviced by KAT transit routes and Central St. has bike lanes.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Second Creek

▶ **ZONING:** C-3 (General Commercial)

▶ **EXISTING LAND USE:** Wholesale retail

▶ **PROPOSED USE:** Craft bakery (3,000 sqft) and craft brewery (6,200 sqft)

HISTORY OF ZONING: None noted.

SURROUNDING LAND USE AND ZONING: North: Bernard Ave. and retail / C-3 (General Commercial)

South: Pruett Pl., vacant building, vacant lot, residential / C-3 (General Commercial)

East: Central St., bakery, retail / C-2 (Central Business) and C-3 (General Commercial)

West: Restaurant / C-2 (Central Business) and C-3 (General Commercial)

NEIGHBORHOOD CONTEXT: This section of N. Central St. is developed with various businesses under C-2 and C-3 zoning. There are a few nearby houses on Pruett Pl. and Tyson St.

STAFF RECOMMENDATION:

▶ **APPROVE the development plan for a 6,200 sqft craft brewery and 3,000 sqft craft bakery, subject to 4 conditions.**

1. Meeting all applicable requirements of the City of Knoxville Zoning Ordinance.
2. Meeting all applicable requirements of the City of Knoxville Department of Engineering.
3. Meeting all requirements of the Knox County Health Department.

4. Providing screening for dumpster(s) visible from a public street.

With the conditions noted, this plan meets the requirements for approval of a 'craft brewery' and 'craft bakery' in the C-3 district and the other criteria for approval of a use-on-review.

COMMENTS:

The applicant is proposing a 3,000 sqft craft bakery and 6,200 sqft craft brewery within a existing building. The craft brewery will occupy the rear of the building on the northwest corner and the craft bakery will all also be located to the rear of the building, in center, as shown on the attached site plan. Five parking spaces total are required for the two uses and will be located on the southwest portion of the site in an area that is already a parking lot. The existing business, Brown Appliances, will remain in the rest of the building.

The design standards for craft breweries requires that existing loading areas and services doors should be screened to the extent feasible from view from public streets. The loading dock to be used is on the rear of the building and is not visible from a public street. A small portion of the existing building will be demolished to allow for a rear loading dock and maneuvering space for delivery trucks. Deliveries for both the brewery and bakery will be to the same loading dock and delivery trucks will use the alley, which does have tight access but does allow access for a standard box truck as shown by the turn template on the site plan.

The applicant has indicated that the overall property may be renovated and the site improved sometime in the near future. This may require additional site improvements such as landscaping, screening and parking.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE

1. The proposed craft brewery will have minimal impact on local utility services.
2. There is an adjacent craft brewery along Bernard Ave. that was approved in 2015.
3. The proposed new businesses will help in the revitalization of the N. Broadway and N. Central Street corridors.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOXVILLE ZONING ORDINANCE

1. With the recommended conditions, the proposed craft bakery and craft brewery development meets the standards of the C-3 (General Commercial) zone and all other requirements of the Knoxville Zoning Ordinance.
2. The proposed development is consistent with the general standards for uses permitted on review: The proposed development is consistent with the adopted plans and policies of the One Year Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional non-residential traffic through residential areas since the project is located on collector streets.

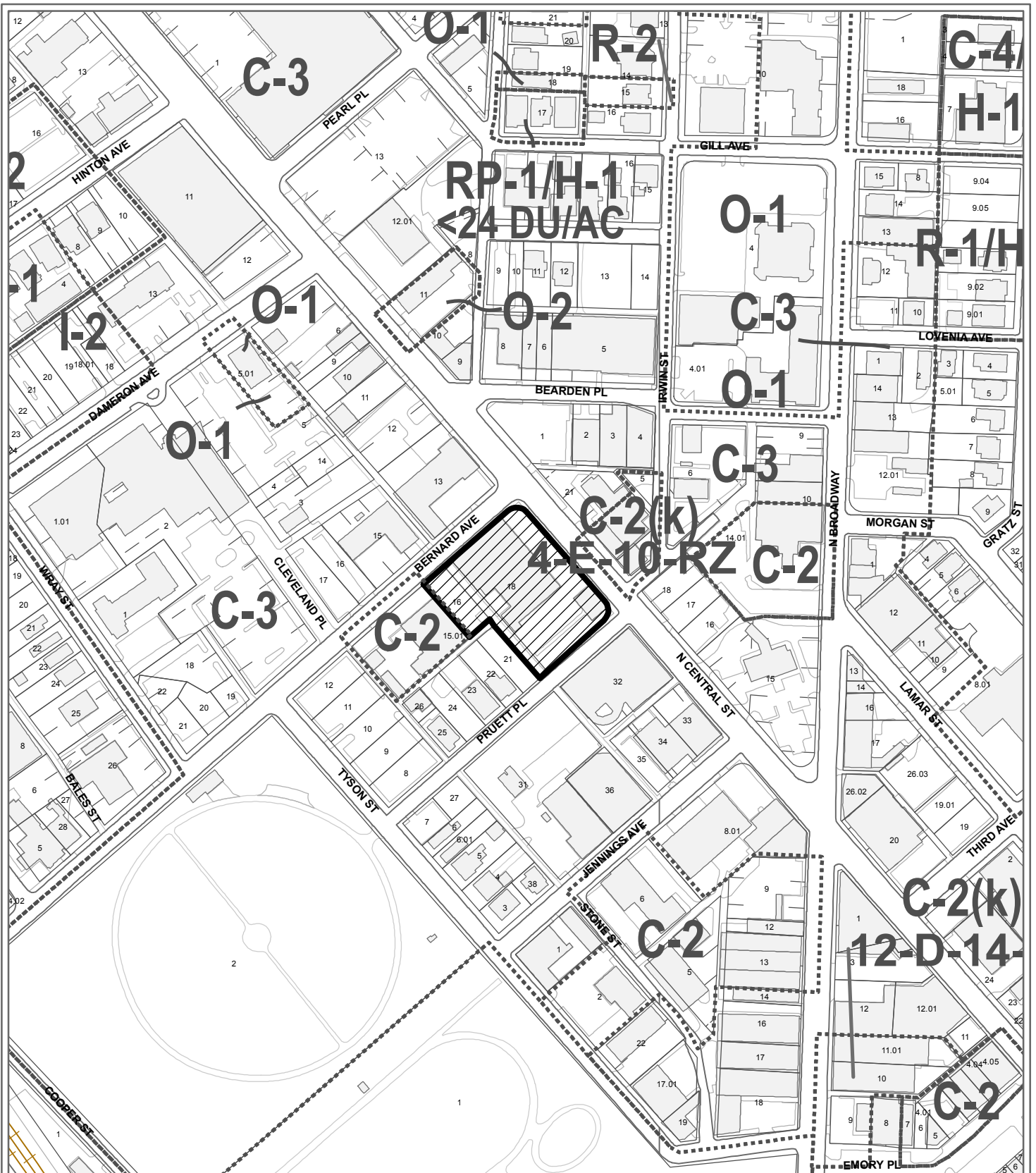
CONFORMITY OF THE PROPOSAL TO ADOPTED PLANS

1. The One Year Plan and Sector Plan identify this property for a mix of commercial, office and residential uses. The proposed development is consistent with the recommended uses of the One Year Plan and Sector Plan.
2. The site is located within the Urban Growth Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal an MPC decision in the City.



**8-F-16-UR
USE ON REVIEW**



Craft Bakery and a craft brewery in C-3 (General Commercial)

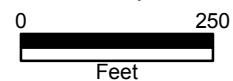
Original Print Date: 7/20/2016
 Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

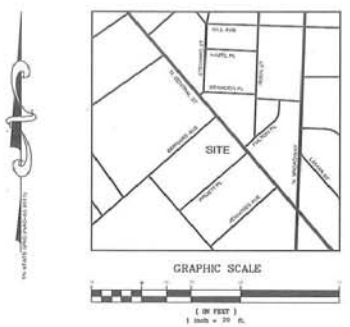
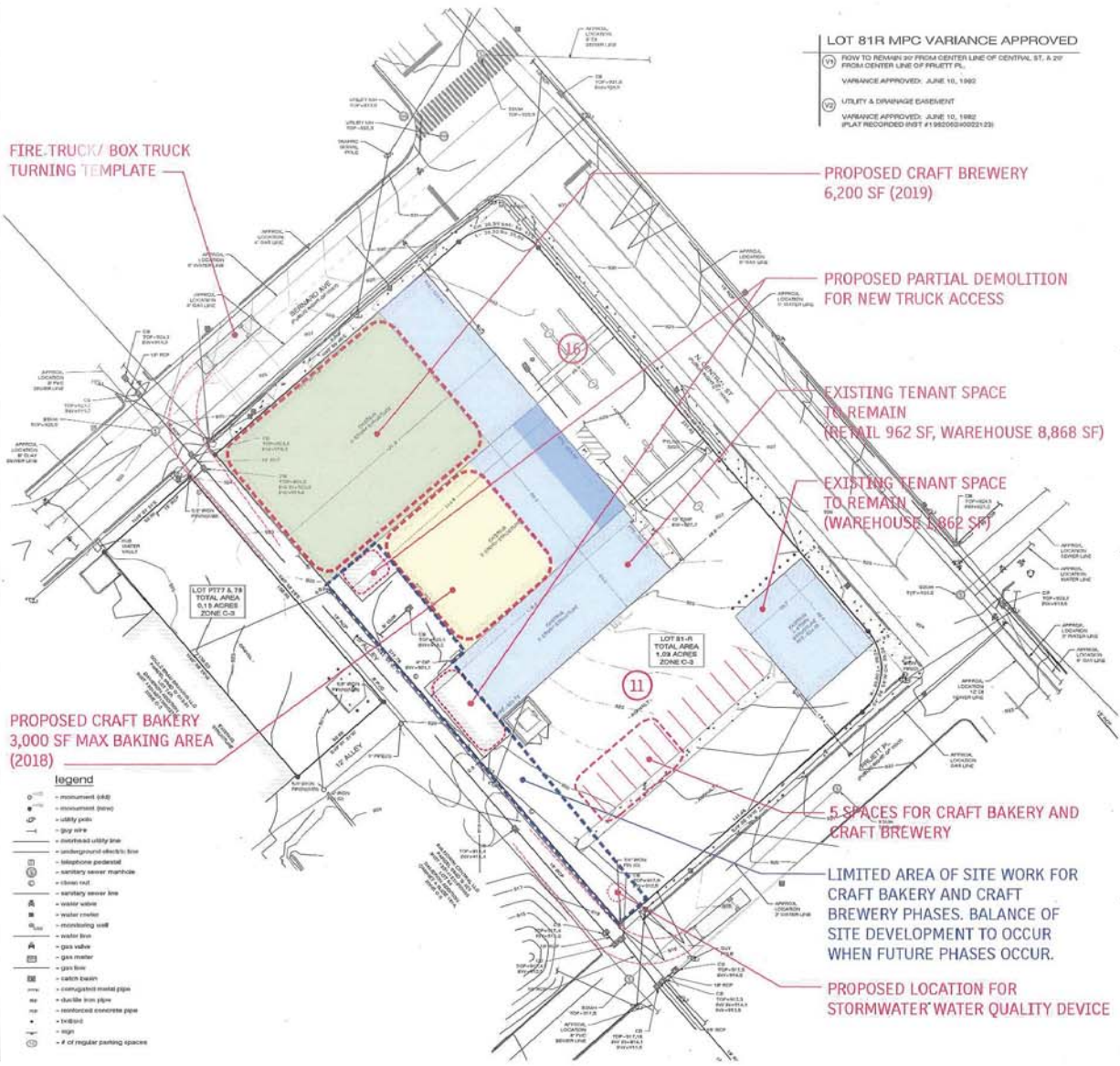
Revised:

Petitioner: John L. Sanders, AIA c/o Flour Head

Map No: 94

Jurisdiction: City





GENERAL NOTES

- VERIFY EXIST SIZE, DEPTH AND LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- PROPERTY SUBJECT TO ALL APPLICABLE EASEMENTS, ETTACKS, AND RESTRICTIONS OF RECORD.
- VERIFY CURRENT ZONING WITH APPROPRIATE GOVERNMENT PLANNING AGENCY PRIOR TO ANY SITE DESIGN AND/OR CONSTRUCTION.
- THIS SURVEY PLAT DOES NOT WARRANT TITLE.
- HORIZONTAL COORDINATES ARE ON TN STATE GRID (NAD83-0811), WITH ELEVATIONS ON NAVD83. DISTANCES HAVE NOT BEEN REDUCED TO GRID.
- BY GRAPHIC PLOTTING, THIS PROPERTY LIES IN ZONE A ON FEMA FIRM PANEL F47000020, WHICH BEARS AN EFFECTIVE DATE OF AUGUST 5, 2013, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.
- A STANDARD UTILITY AND DRAINAGE EASEMENT OF 10' IS REQUIRED INSIDE ALL EXTERIOR LOT LINES, IF EACH SIDE OF EXTERIOR LOT LINES.
- UNLESS OTHERWISE LABELED, ALL PROPERTY CORNERS ARE SET WITH MAGNOL MBL.

UTILITY INFORMATION

ELECTRIC SERVICE	WATER SERVICE	SEWER SERVICE
RUB 4505 Middlebrook Pike Knoxville, TN 37921 865-524-2911	RUB 4505 Middlebrook Pike Knoxville, TN 37921 865-524-2911	RUB 4505 Middlebrook Pike Knoxville, TN 37921 865-524-2911
GAS SERVICE	TELEPHONE SERVICE	
RUB 4505 Middlebrook Pike Knoxville, TN 37921 865-524-2911	BELLSOUTH PHONE: 888-933-8234 865-524-2911	

ZONING INFORMATION

1. PROPERTY IS ZONED O-3 (GENERAL COMMERCIAL DISTRICT)

2. BUILDING SETBACKS:
FRONT - 25 FEET
SIDE - 0 FEET
REAR - WHERE A COMMERCIAL BUILDING IS TO BE SERVICED FROM THE REAR, THERE SHALL BE PROVIDED AN ALLEYWAY, SERVICE COURTYARD, REAR YARD, OR COMBINATION THEREOF OF NOT LESS THAN THIRTY (30) FEET IN DEPTH.

3. VERIFY ALL ZONING REGULATIONS BY CONTACTING:
KNOXVILLE METROPOLITAN PLANNING COMMISSION
Suite 403, City/County Building
400 Main Street
Knoxville, Tennessee 37902
Phone (865) 215-2500

SURVEYOR'S CERTIFICATION

CERTIFICATE OF ACCURACY
I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:10,000 AS SHOWN HEREON. NO TITLE OPINION WAS FURNISHED TO THIS SURVEYOR AND EASEMENTS SHOWN AND/OR NOT APPEARING ON THE FIELD MAY OR MAY NOT BE DISCOVERED BY A TITLE SEARCH BY A TITLE ATTORNEY.

JOHN B. PATTERSON, TN REG. #1429 DATE

8-F-16-UR
Revised 8/3/2016

MBI
CALL
MICHAEL BRADY, INC.
3719 N. CENTRAL ST
KNOXVILLE, TN 37904
865-524-2911

811
Know what's below.
Call before you dig.
In Tennessee call 811-4662411

OWNER:
Lewis Mack Brown
12358 Oakland Hills Pt
Knoxville, TN 37904

BOUNDARY SURVEY ON
857 N. CENTRAL ST
857 N. CENTRAL ST
KNOXVILLE, TENNESSEE

City Block: 11741
City Ward: 11
Knox County, TN
City of Knoxville, TN

Tax Parcel ID:
Map 0442 12 Parcel 018
Map 0442 12 Parcel 018

David Platt:
Reg. #20150220048916

Plot Ref ID:
Cabinet A, Side 181A

Crew Chief: Z. Blankenship
Drawn By: M. Blankenship
Approved By: J. Patterson

Print date: 4-27-16
Drawing date: 8-3-16
Last Revision: _____

Scale: 1" = 20'
Job No. 160346
Sheet: 1 OF 1

1,982 SF (ABOVE) EXISTING WAREHOUSE TENANT SPACE TO REMAIN

429 SF (ABOVE) EXISTING OFFICE SPACE TO REMAIN

(NOT PICTURED: SEPERATE BUILDING)

1,862 SF EXISTING WAREHOUSE TENANT SPACE TO REMAIN

PARKING REQUIREMENTS:

USE	SPACES REQ'D, QTY.
PROPOSED CRAFT BAKERY	3
PROPOSED CRAFT BREWERY	2
EXISTING RETAIL COUNTER	5
EXISTING WAREHOUSE	10
EXISTING OFFICE SPACE	2

TOTAL
PARKING SPACES REQUIRED **22**

TOTAL
EXISTING PARKING SPACES PROVIDED **27**

* INDUSTRIAL ESTABLISHMENTS: ONE (1) PER TWO (2) EMPLOYEES ON THE COMBINED TWO (2) LARGEST SUCCESSIVE SHIFTS, PLUS ADEQUATE PARKING SPACE FOR CUSTOMER AND VISITOR VEHICLES AS DETERMINED BY THE PLANNING COMMISSION.

* RETAIL SALES ESTABLISHMENT AND SHOPPING CENTERS WITH NOT MORE THAN FIFTEEN THOUSAND (15,000) SQUARE FEET OF G.L.A.: FIVE (5) SPACES PER ONE THOUSAND (1,000) SQUARE FEET OF G.L.A.

* WAREHOUSE SPACE: ONE (1) SPACE PER TWO THOUSAND (2,000) SQUARE FEET.

* PROFESSIONAL OFFICES: ONE (1) SPACE PER TWO HUNDRED FIFTY (250) SQUARE FEET OF USABLE OR RENTABLE OFFICE SPACE.

5,160 SF (BELOW) EXISTING WAREHOUSE TENANT SPACE TO REMAIN

NEW LOADING DOCK ON SITE WITH BOX TRUCK ACCESS

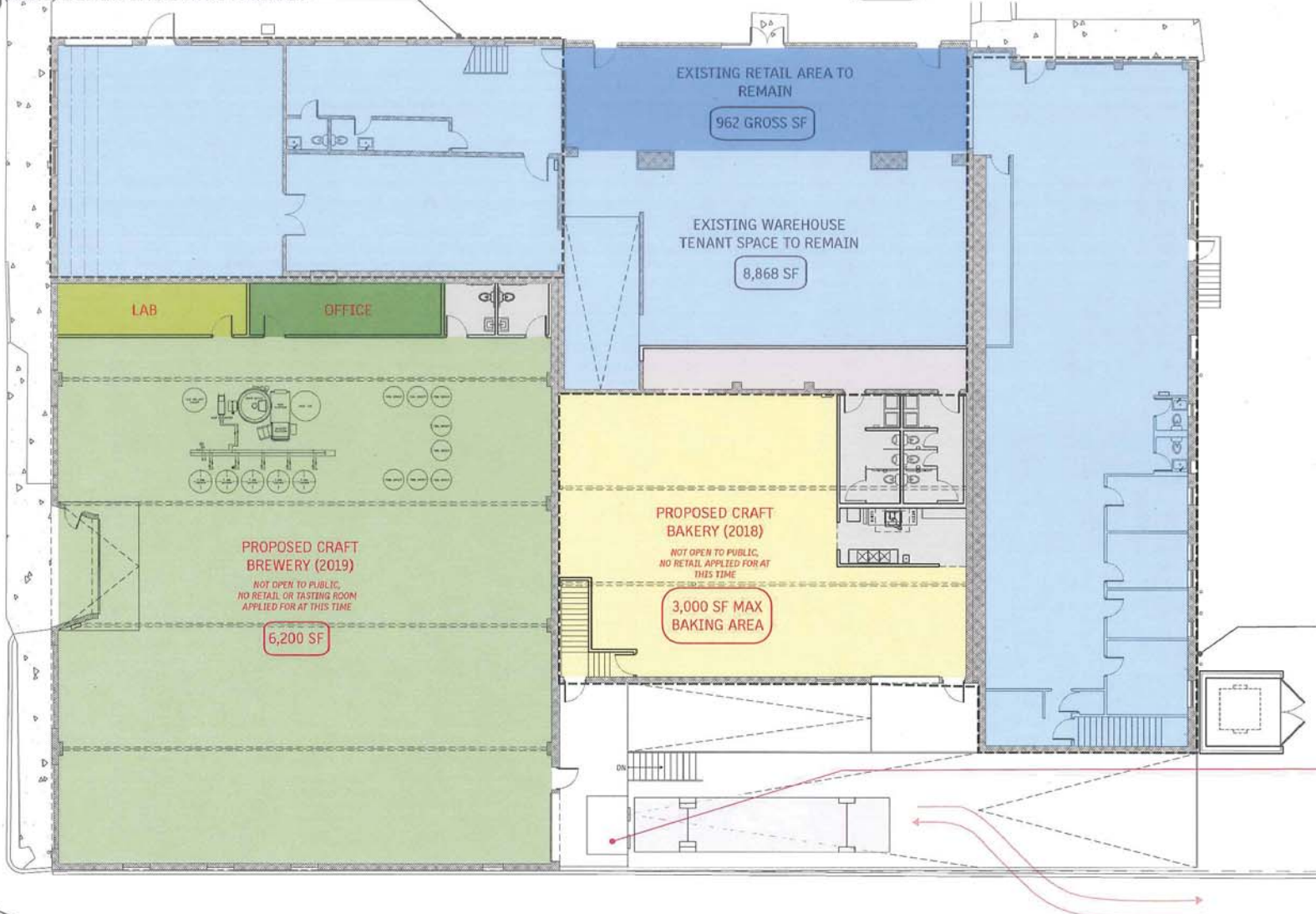
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Revised 8/3/2016



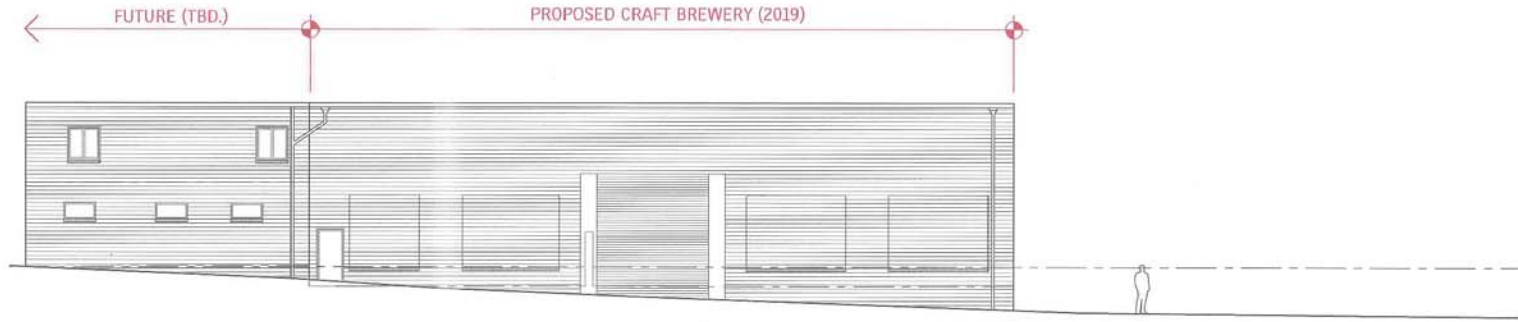
PROPOSED PARTIAL FLOOR PLAN | LEVEL 01

SCALE: 1/16"=1'-0"

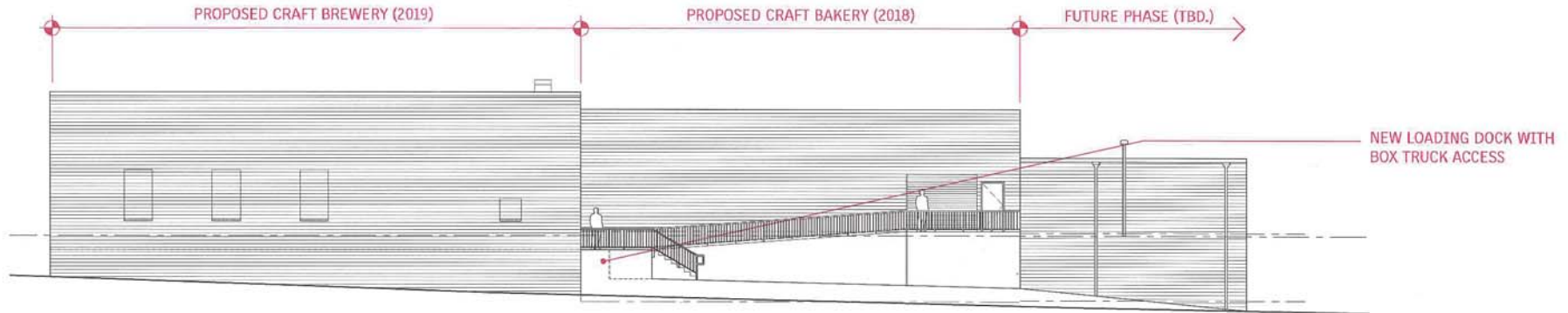


BERNARD AVE. (R.O.W.)

ALLEY (R.O.W.)



EXISTING BUILDING ELEVATION | NORTH
SCALE: 1/16"=1'-0"



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Revised 8/3/2016