

**KNOXVILLE/KNOX COUNTY METROPOLITAN PLANNING COMMISSION
 USE ON REVIEW REPORT**

▶ **FILE #:** 8-G-16-UR

AGENDA ITEM #: 35

AGENDA DATE: 8/11/2016

▶ **APPLICANT:** EUROPEAN AUTO GARAGE

OWNER(S): Richard DeFrancisco

TAX ID NUMBER: 118 H A 034 & 035

[View map on KGIS](#)

JURISDICTION: County Commission District 6

STREET ADDRESS: 1229 Lovell Rd

▶ **LOCATION:** West side of Lovell Rd., north of Snyder Rd.

▶ **APPX. SIZE OF TRACT:** 5.03 acres

SECTOR PLAN: Northwest County

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via Lovell Rd., a minor arterial street with a 5 lane section with a 60' pavement width within a 100' right-of-way.

UTILITIES: Water Source: West Knox Utility District

Sewer Source: West Knox Utility District

WATERSHED: Hickory Creek and Turkey Creek

▶ **ZONING:** CA (General Business) / TO (Technology Overlay) (k) & A (Agricultural) / TO (Technology Overlay)

▶ **EXISTING LAND USE:** Residence and vacant land

▶ **PROPOSED USE:** Auto repair facility

HISTORY OF ZONING: Portion of property rezoned to CA (General Business) / TO (Technology Overlay) (k) by Knox County Commission on April 25, 2016 with the condition that any proposed development shall be subject to MPC approval as a use on review.

SURROUNDING LAND USE AND ZONING: North: Vacant land, residences and animal hospital - A (Agricultural) / TO (Technology Overlay) and PC (Planned Commercial) / TO (Technology Overlay)

South: Apartment development under construction and residence - PR (Planned Residential) / TO (Technology Overlay) and A (Agricultural) / TO (Technology Overlay)

East: Lovell Rd. and vacant land - OB (Office, Medical & Related Services)

West: Residences - A (Agricultural) / TO (Technology Overlay)

NEIGHBORHOOD CONTEXT: The properties fronting along this section of Lovell Rd. between Yarnell Rd. and Snyder Rd. are zoned and developed with residential, commercial and office uses, under PC, A, PR and OB zoning, all within the TO overlay.

STAFF RECOMMENDATION:

▶ **APPROVE** the development plan for an auto repair facility containing approximately 13,715 sq. ft.

subject to 9 conditions.

1. Issuance of a Certificate of Appropriateness for the proposed auto repair facility by the Tennessee Technology Corridor Development Authority (TTCDA) and compliance with any conditions of that certificate (8-B-16-TOB).
2. Connection to sanitary sewer and meeting all other applicable requirements of the Knox County Health Department.
3. Site clearing and grading shall not encroach beyond the "Limits of Disturbed Area" as designated on the site grading plan. This area shall be clearly marked in the field prior to any clearing or grading activity.
4. Installing all landscaping as shown on the approved landscape plan, within six months of issuance of an occupancy permit for the project, or posting a bond with the Knox County Department of Engineering and Public Works to guarantee such installation.
5. Meeting all relevant requirements of the Knox County Department of Engineering and Public Works.
6. Obtaining any required permit from the Tennessee Department of Transportation (TDOT) for the modifications to the existing driveway connection to Lovell Rd.
7. Proposed signage will be required to meet all applicable requirements of the Knox County Zoning Ordinance and is subject to Planning Commission Staff and TTCDA approval.
8. Approval of a final plat consolidating the existing tax parcels into the proposed development lot.
9. Meeting all applicable requirements of the Knox County Zoning Ordinance.

With the noted conditions, this plan meets the requirements for approval in the CA (General Business) district and the other criteria for approval of a use on review.

COMMENTS:

The applicant is proposing to develop an auto repair facility containing approximately 13,715 sq. ft. on this 5.03 acre site located on the west side of Lovell Rd., just north of Snyder Rd. Access to the site will be an existing driveway onto Lovell Rd. that will be slightly modified to improve the angle of the driveway intersection.

The Planning Commission considered the rezoning of this property to CA (General Business) / TO (Technology Overlay) at their meeting on March 10, 2016. The Planning Commission recommended that Knox County Commission approve the request subject to the condition that any proposed development shall be subject to MPC approval of a development plan as a use on review. Knox County Commission approved the rezoning with the recommended condition on April 25, 2016. The rezoning left the northern portion of the property with a depth of 130' as A (Agricultural) / TO (Technology Overlay).

The applicant is proposing to construct a new 12,000 square foot one story building for the auto repair facility. The existing residence near Lovell Rd. will be used as the office for the facility. An existing residence located on the portion of the property that is still zoned A (Agricultural) will remain as a residence. The site will include 45 parking spaces to serve the facility. There will be some limited auto sales associated with the repair facility.

Due to site constraints, the new building will be located closer to the western property line that adjoins a 328 unit apartment development that is presently under construction (8-B-14-UR - approved August 14, 2014). Since that portion of the apartment complex includes an access driveway, a future commercial site and a maintenance building, there should be minimal impact on the residential portion of the development.

A "Limits of Disturbed Area" has been designated on the site grading plan to minimize the development impact on approximately three quarters of that portion of the site that is zoned A (Agricultural) and presently a wooded area. Staff has recommended a condition that site clearing and grading shall not encroach beyond the "Limits of Disturbed Area" as designated on the site grading plan. This area shall be clearly marked in the field prior to any clearing or grading activity on site.

The site is located within the TO (Technology Overlay) zoning district and is subject to review and approval by the Tennessee Technology Corridor Development Authority (TTCDA). The TTCDA will consider this request on August 8, 2016.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTIES AND THE COMMUNITY AS A WHOLE

1. The proposed development will have minimal impact on local services since utilities are available to serve this site.
2. With the recommended conditions, the development as proposed will be compatible with the mix of uses in the surrounding area.

3. The site has access to Lovell Rd., a minor arterial street that has sufficient capacity to handle the additional traffic that will be generated by the proposed facility.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

1. With the recommended conditions, the proposed auto repair facility meets the standards for development within the CA (General Business) district and the other criteria for approval of a use on review.
2. The proposed development is consistent with the general standards for uses permitted on review: The proposed development is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the area where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas.

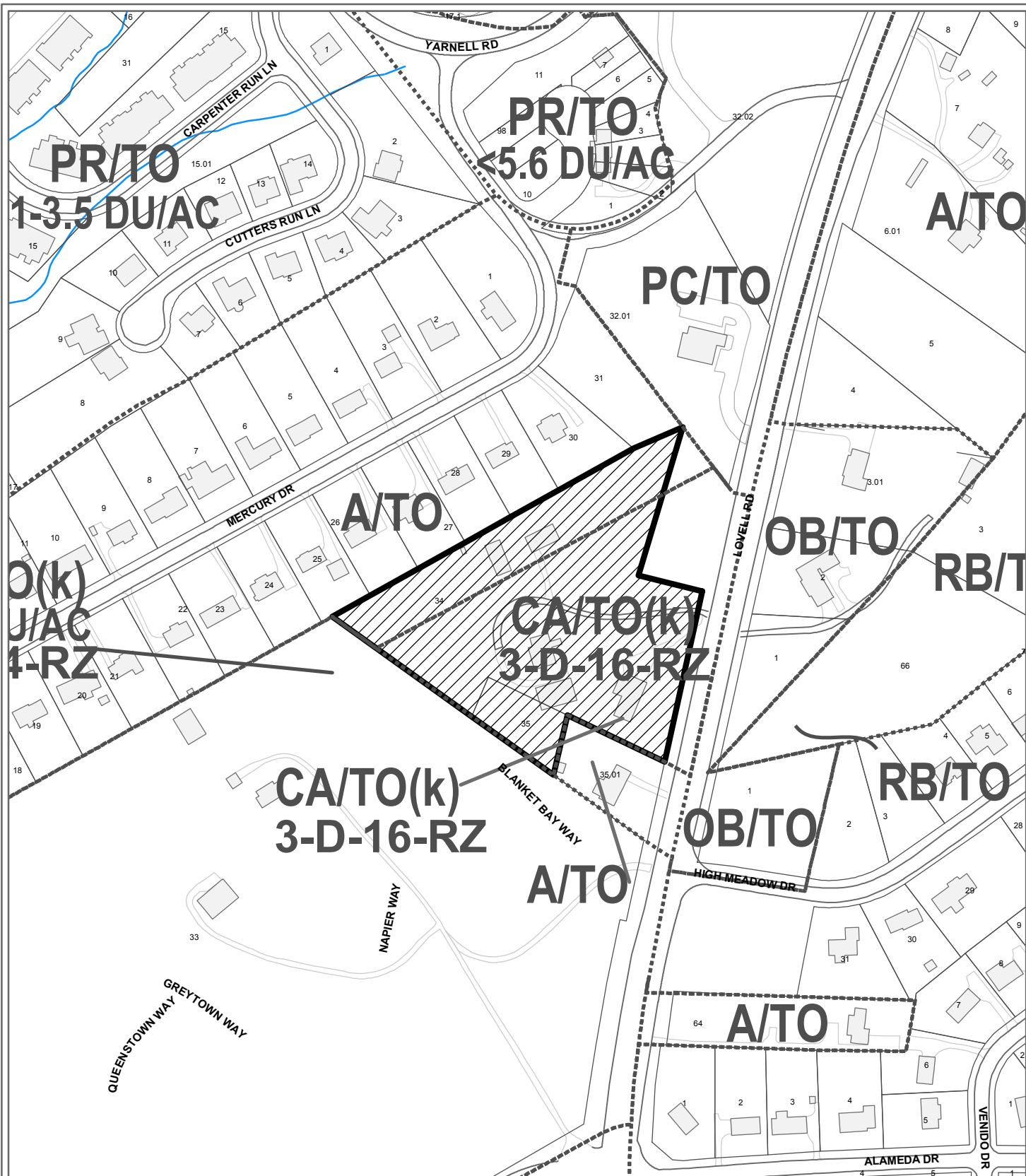
CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

1. The Northwest County Sector Plan identifies this property for commercial development. The proposed development is consistent with the sector plan.
2. The site is located within the Planned Growth Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal an MPC decision in the County.



**8-G-16-UR
USE ON REVIEW**

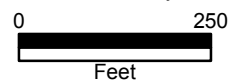


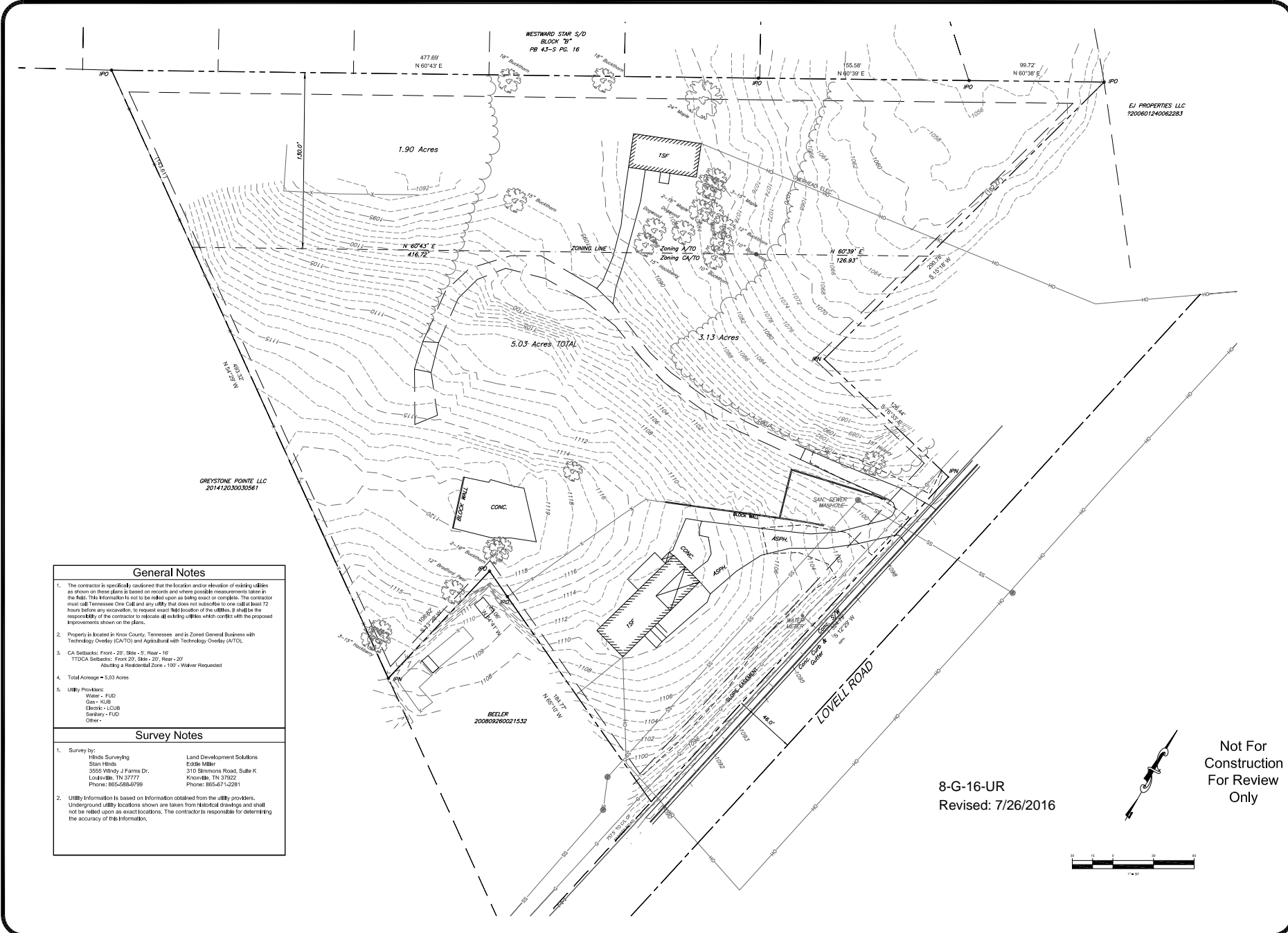
Auto repair in CA (General Business) / TO (Technology Overlay) (k)

Original Print Date: 7/20/2016 Revised: 8/3/2016
 Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

Petitioner: European Auto Garage

Map No: 118
 Jurisdiction: County





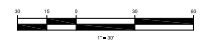
General Notes

- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records and where possible measurements taken in the field. This information is not to be relied upon as being exact or complete. The contractor must call Tennessee One Call and any utility that does not subscribe to one call at least 72 hours before any excavation, to reverify exact field location of the utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
- Property is located in Knox County, Tennessee, and is Zoned General Business with Technology Overlay (CA/TG) and Agricultural with Technology Overlay (A/TG).
- CA Setbacks: Front - 20', Side - 0', Rear - 10'
TTDCA Setbacks: Front 20', Side - 0', Rear - 20'
Abutting a Residential Zone - 10' - Waiver Requested
- Total Acreage = 5.03 Acres
- Utility Providers:
Water - FUD
Gas - KUB
Electric - LCVB
Sewery - FUD
Other -

Survey Notes

- Survey by:
Hinds Surveying
Stan Hinds
3555 Windy J Farms Dr.
Louisville, TN 37277
Phone: 865-588-6799
Land Development Solutions
Eddie Miller
310 Simmons Road, Suite K
Knoxville, TN 37922
Phone: 865-471-2281
- Utility information is based on information obtained from the utility providers. Underground utility locations shown are taken from historical drawings and shall not be relied upon as exact locations. The contractor is responsible for determining the accuracy of this information.

8-G-16-UR
Revised: 7/26/2016



Not For
Construction
For Review
Only

Project: European Auto Garage
1229 Lovell Road
Knox County, Tennessee

LAND DEVELOPMENT SOLUTIONS
310 SIMMONS RD., SUITE K-KNOXVILLE, TENNESSEE 37922
PH. 865-471-2281

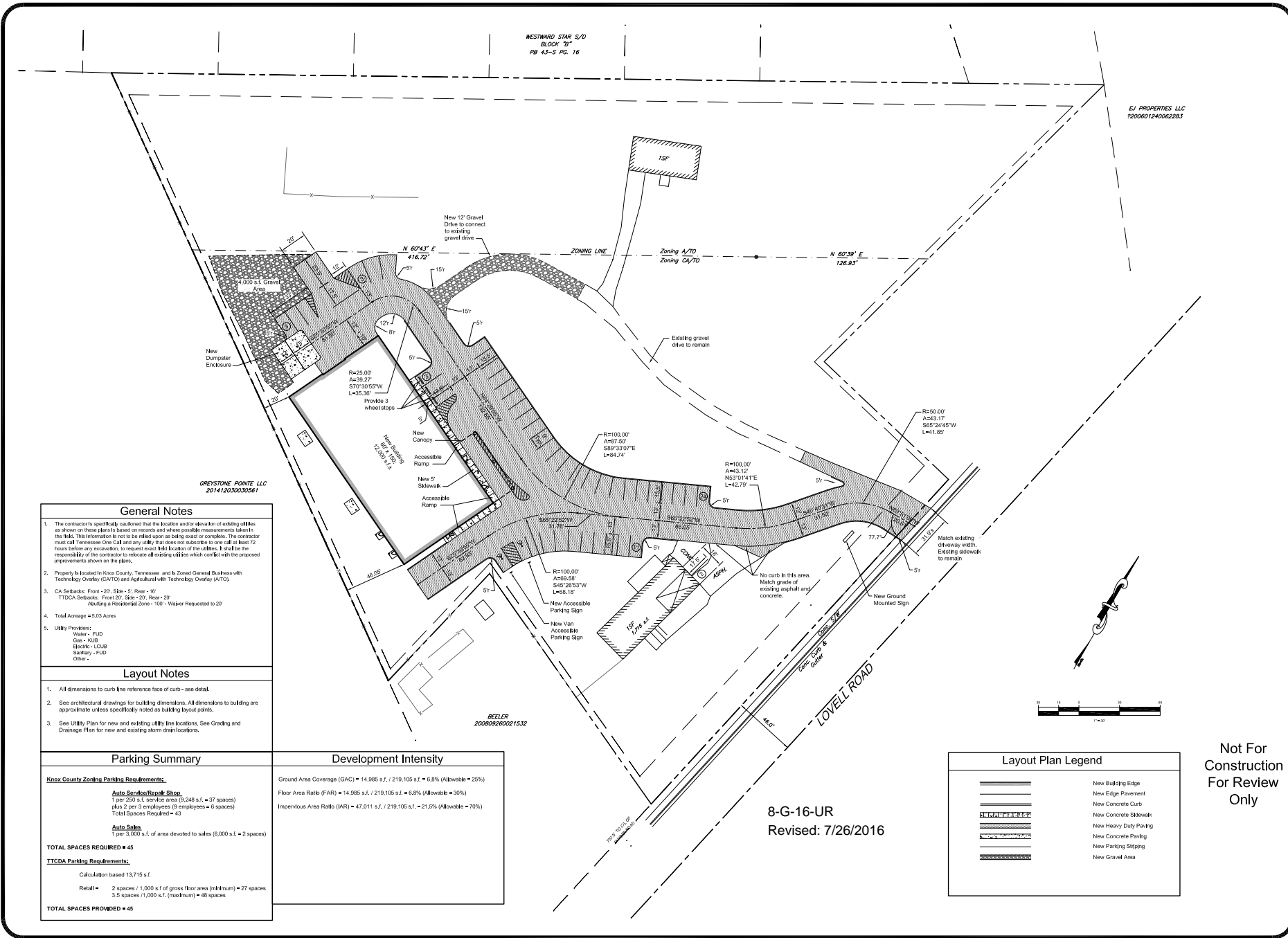
Drawing Description: Site Survey

No.	Date	Revised	Comments
1	7/26/2016		TTDCA Comments

Drawn By: _____
Checked: _____
Approved: _____
Job No.: 216040
1"=30'
Scale: 6-27-2016
Date: _____

C001
Sheet No.

X:\Breck\European Auto - Lovell Road\wg\ C101 - Site Layout - EA.dwg Jul 28, 2016 - 11:45am tmorgan - LDS Copyright 2016



General Notes	
1.	The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records and where possible measurements taken in the field. This information is not to be relied upon as being correct or complete. The contractor must call Tennessee One Call and any utility that does not subscribe to one call at least 72 hours before any excavations to request exact field locations of the utilities. It will be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
2.	Property is located in Knox County, Tennessee and is Zoned General Business with Technology Overlay (CA7D) and Agricultural with Technology Overlay (ATO).
3.	CA Setback: Front - 20', Side - 5', Rear - 16' TTDCA Setback: Front 20', Side - 20', Rear - 20' Abutting a Residential Zone - 100' - Marker Requested to 20'
4.	Total Acreage = 5.03 Acres
5.	Utility Provider: Water - FUD Gas - KUB Electric - LCLB Sanitary - FUD Other -
Layout Notes	
1.	All dimensions to curb line reference face of curb - see detail.
2.	See architectural drawings for building dimensions. All dimensions to building are approximate unless specifically noted as building layout points.
3.	See Utility Plan for new and existing utility line locations. See Grading and Drainage Plan for new and existing storm drain locations.
Parking Summary	
Knox County Zoning Parking Requirements:	
Auto Service/Repair Shop	
1 per 250 s.f. service area (9,248 s.f. = 37 spaces)	
plus 2 per 3 employees (9 employees = 6 spaces)	
Total Spaces Required = 43	
Auto Sales	
1 per 3,000 s.f. of area devoted to sales (6,000 s.f. = 2 spaces)	
TOTAL SPACES REQUIRED = 45	
TTDCA Parking Requirements:	
Calculation based 13,715 s.f.	
Retail = 2 spaces / 1,000 s.f. of gross floor area (minimum) = 27 spaces	
3.5 spaces / 1,000 s.f. (maximum) = 48 spaces	
TOTAL SPACES PROVIDED = 45	
Development Intensity	
Ground Area Coverage (GAC) = 14,985 s.f. / 219,105 s.f. = 6.8% (Allowable = 25%)	
Floor Area Ratio (FAR) = 14,985 s.f. / 219,105 s.f. = 6.8% (Allowable = 30%)	
Impermeable Area Ratio (IAR) = 47,011 s.f. / 219,105 s.f. = 21.5% (Allowable = 70%)	

Layout Plan Legend	
	New Building Edge
	New Edge Pavement
	New Concrete Curb
	New Concrete Sidewalk
	New Heavy Duty Paving
	New Concrete Paving
	New Parking Striping
	New Gravel Area

8-G-16-UR
Revised: 7/26/2016

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Only

Project:
European Auto Garage
1229 Lovell Road
Knox County, Tennessee

LAND DEVELOPMENT SOLUTIONS
310 SIMMONS RD., SUITE K-KNOXVILLE, TENNESSEE 37922
PH: 865-871-2281

Drawing Description:

Sheet No.:

Date:

Scale:

No.:

Job No.:

Revision:

Date:

Comments:

Date:

Checked:

Date:

Approved:

Date:

Job No.:

Date:

Scale:

Date:

1"=30'

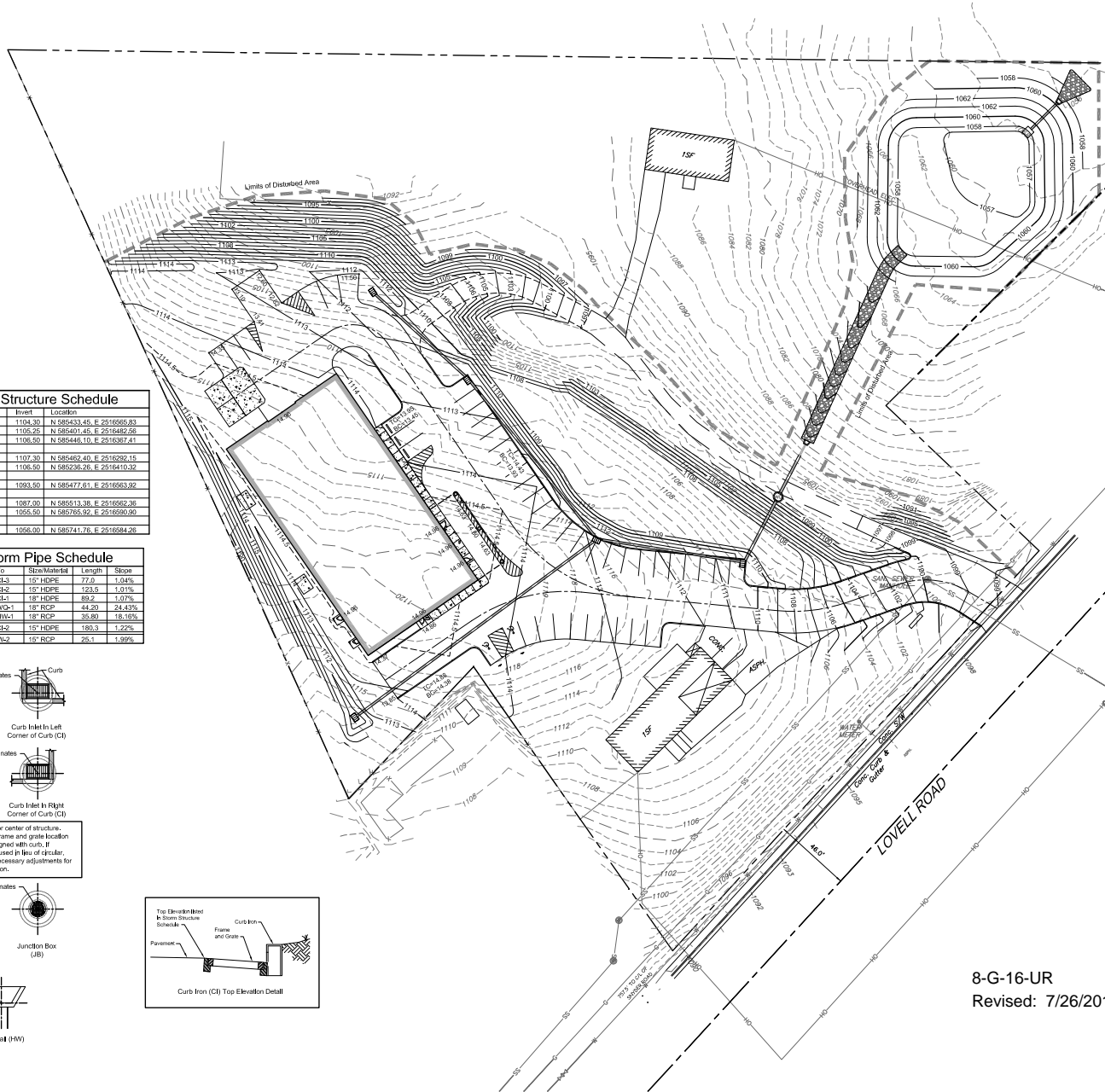
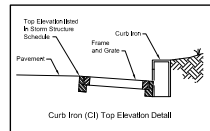
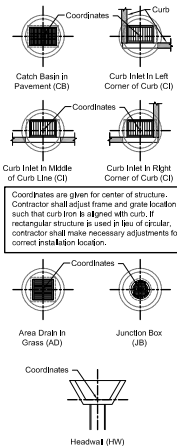
6-27-2016

C101

Sheet No.:

Storm Structure Schedule			
Structure	Top	Invert	Location
CI-1	1110.30	1104.30	N 585433.45, E 2518565.83
CI-2	1112.80	1105.25	N 585401.45, E 2518485.56
CI-3	1112.35	1106.50	N 585446.10, E 2518387.41
AD-1	1110.80	1107.30	N 585462.40, E 2518292.15
AD-2	1110.00	1106.50	N 585236.26, E 2518410.32
WD-1	1098.50	1093.50	N 585477.81, E 2518063.32
HW-1	-	1087.00	N 585513.38, E 2518552.38
HW-2	-	1055.50	N 585706.59, E 2518698.90
OS-1	-	1056.00	N 588741.76, E 2518884.26

Storm Pipe Schedule			
From	To	Size/Material	Length
AD-1	CI-3	15" HDPE	77.0
CI-3	CI-2	15" HDPE	123.5
CI-2	CI-1	18" HDPE	89.2
CI-1	WD-1	18" RCP	48.00
WD-1	HW-1	18" RCP	36.80
AD-2	CI-2	15" RCP	180.3
OS-1	HW-2	10" RCP	26.1



- ### General Notes
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TPOCA Setback: Front 20', Side - 20', Rear - 20'
Abutting a Residential Zone - 100' - Waiver Requested to 20'
 - Total Acreage = 5.03 Acres
 - Utility Providers:
Water - RUD
Gas - KUB
Electric - LCOB
Sanitary - RUD
Other -
- ### Grading Notes
- All disturbed areas not scheduled to be paved shall have a minimum of 3 inches of topsoil placed on them and shall be seeded as specified.
 - All grading construction practices shall conform to the Tennessee Erosion and Sediment Control Handbook.
 - Maximum topsoil thickness for slopes steeper than 3:1 shall be 3".
 - See Sheet C301 for Erosion Control Plan prior to beginning any grading activities.
 - Contractor shall follow Storm Water Pollution Prevention Plan at all times.
 - Total disturbed area = 2.8 acres ±.
 - The grades shown are finished grades. Contractor shall determine subgrade elevations by examining typical pavement sections and the building drawings.
- ### Drainage Notes
- All storm lines in paved areas shall be backfilled to pavement subgrade with #57 stone.
 - All trenching and shoring shall comply with OSHA standards.
 - Storm lines and structures shall be constructed as soon as possible. Inlet Protection shall be used around structures to minimize the silt entering into drainage system. All silt shall be removed from structures and lines.
 - Pipe lengths and slope are measured from center of structure to center of structure.
 - All HDPE storm lines shall be smooth interior - UNLESS otherwise noted.
 - Contractor shall provide as-built survey of storm system PRIOR to paving. As-built survey shall include storm structure tops, inverts, pipe materials, slopes, and detention basin grading (1 foot contours). Survey shall be provided in electronic format (ACAD 2009 compatible) as well as stamped paper copy. Survey shall be on the same datum as coordinate system as the design plans. All survey points shall be provided in a comma delimited text file (PNEZD format).
 - After construction is complete, contractor shall provide as-built survey as noted above. Survey shall be updated to reflect any changes or modifications to the storm system since the first as-built survey. As-built survey shall include storm structure tops, inverts, pipe materials, slopes, and detention basin grading (1 foot contours). Survey shall be provided in electronic format (ACAD 2009 compatible) as well as stamped paper copy. Survey shall be on the same datum as coordinate system as the design plans. All survey points shall be provided in a comma delimited text file (PNEZD format).
 - A Special Pollution Abatement Permit (SPAP) will be required for this project and will be filed with Knox County during the permitting process.

8-G-16-UR
Revised: 7/26/2016



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For Review
Only

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Knox County, Tennessee

LAND DEVELOPMENT SOLUTIONS
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PH: 865-671-2281

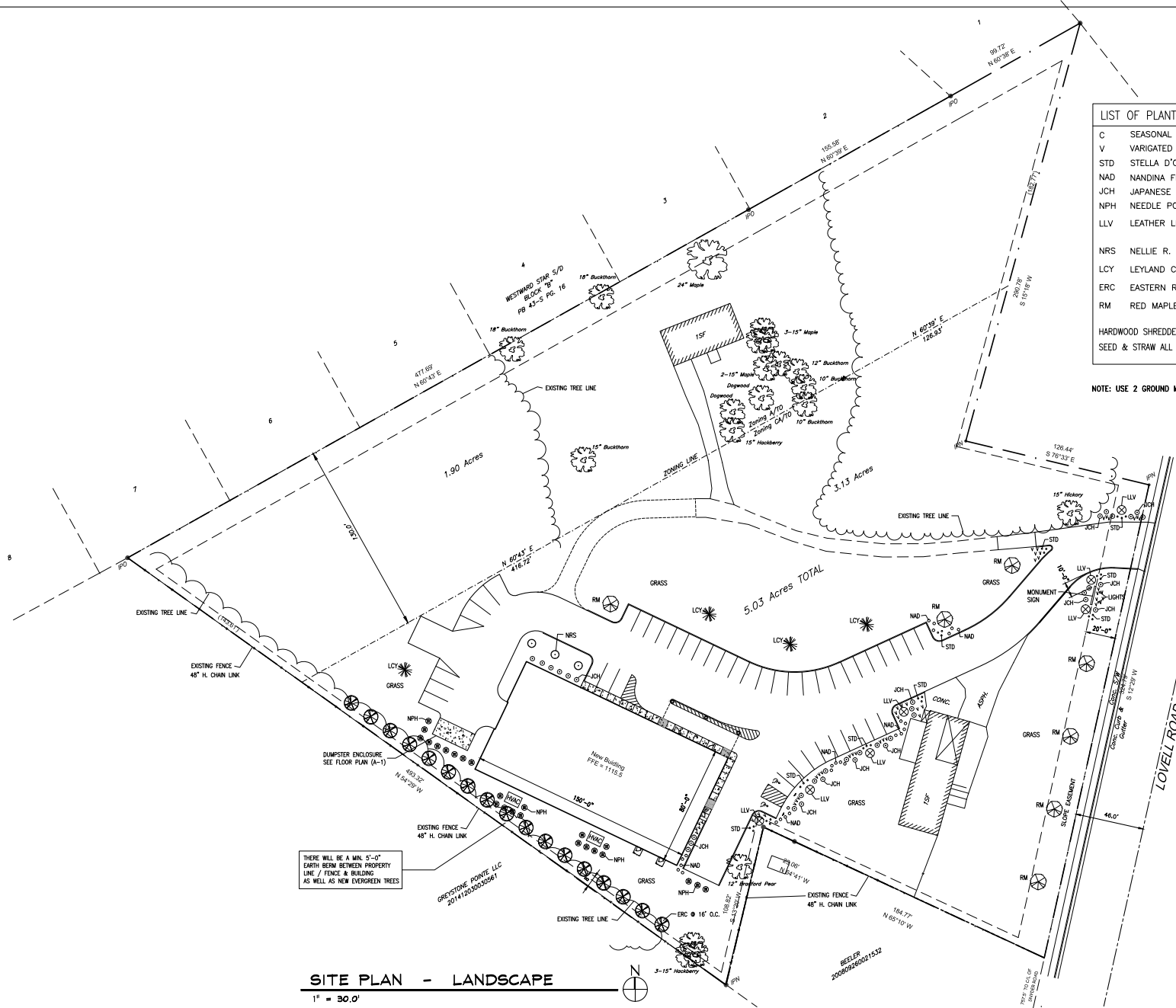
Drawing Description:
Site Grading Plan

No.	Date	Revised	By	Checked
1	7/26/2016	TRD/Comments		

Drawn By
Checked
Approved
Job No. 216040
1"=30'
Scale
6-27-2016
Date
C201
Sheet No.


LIST OF PLANTS		
		QTY
C	SEASONAL COLOR	LOT
V	VARIGATED LORIOPE	1 GAL. LOT
STD	STELLA D'ORO DAYLILLY	1 GAL. 30
NAD	NANDINA FIREPOWER	2 GAL. 26
JCH	JAPANESE COMPACTA HOLLY	2 GAL. 35
NPH	NEEDLE POINT HOLLY	3 GAL. 24
LLV	LEATHER LEAF VIBURNUM	48" 7
NRS	NELLIE R. STEVENS	60" 3
LCY	LEYLAND CYPRESS	72" 4
ERC	EASTERN RED CEDAR	96" 17
RM	RED MAPLE	2"C 7
HARDWOOD SHREDDED MULCH ALL PLANT BEDS		
SEED & STRAW ALL GRASS AREAS NOT IN PLANT BEDS		

NOTE: USE 2 GROUND MOUNT LED FLOOD LIGHTS FOR MONUMENT SIGN




SITE PLAN - LANDSCAPE
1" = 30.0'

8-G-16-UR
Revised: 7/26/2016



TRIMITY T. DUNN ARCHITECT
STATE OF TENNESSEE



TRIMITY TODD DUNNAVANT
158 BUTTERNUT DRIVE
P.O. BOX 44
NORRIS, TENNESSEE 37828
(865) 556-6776

SITE PLAN - LANDSCAPE

A NEW BUILDING FOR:
EUROPEAN AUTO GARAGE
1229 LOVELL ROAD
KNOXVILLE, TENNESSEE

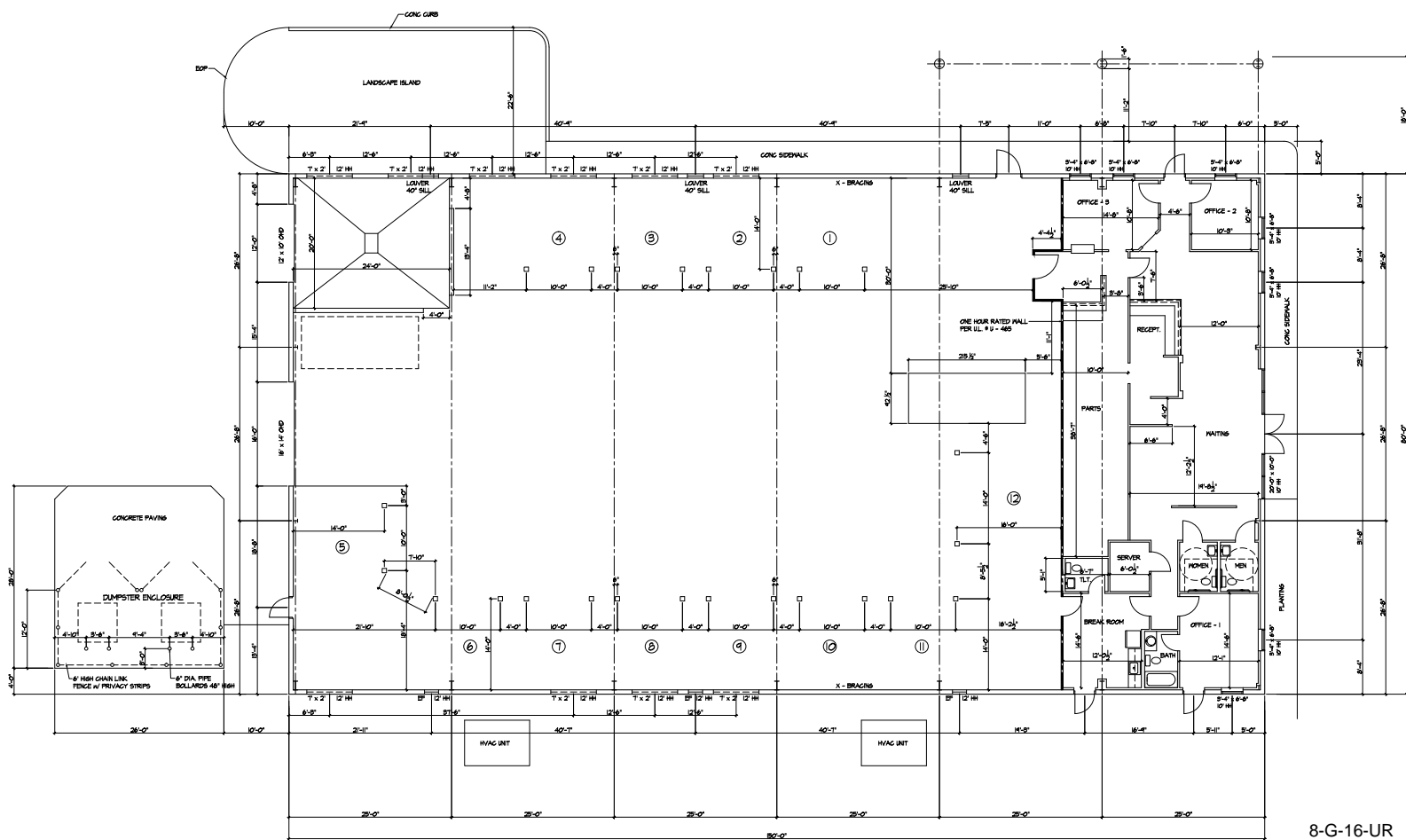
SHEET TITLE: PROJECT TITLE

DATE: 7-24-16

REVISION:

DRAWING NUMBER

L-1



FLOOR PLAN
 1/8" = 1'-0"
 12,000 SF

APPLICABLE CODES:		PROJECT INFORMATION:	
BUILDING CODE :	2012 IBC	TYPE OF CONSTRUCTION :	II B
PLUMBING CODE :	2012 IPC	FULLY SPRINKLED :	NO
MECHANICAL CODE :	2012 IMC	OCCUPANCY TYPE :	S-I
ANSI CODE :	2012 ISC	BUILDING AREA :	12,000 S.F.
ENERGY CODE :	2012 IECC		
FIRE CODE :	2012 IFC		
NATIONAL ELECTRIC CODE :	2011 NEC		
LIFE SAFETY CODE :	NFPA 101 - 2012 ED (CH 88)		
HANDICAP CODE :	2004 ANSI - IT1		

8-G-16-UR
 Revised: 7/26/2016



TTD
 architect
 TIMOTHY TODD DUNNING
 158 BUTTERNUT DRIVE
 P.O. BOX 44
 NORRIS, TENNESSEE 37028
 (615) 556-6778

FLOOR PLAN
 A NEW BUILDING FOR:
EUROPEAN AUTO GARAGE
 1221 LOVELL ROAD
 KNOXVILLE, TENNESSEE

SHEET TITLE: PROJECT TITLE:

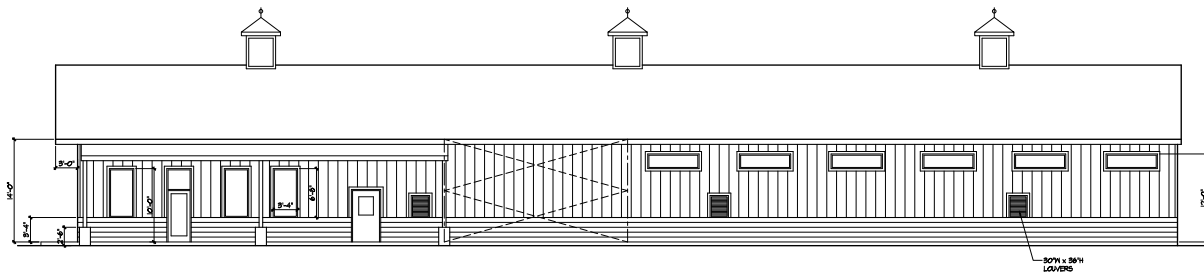
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REVISION:

DRAWING NUMBER:

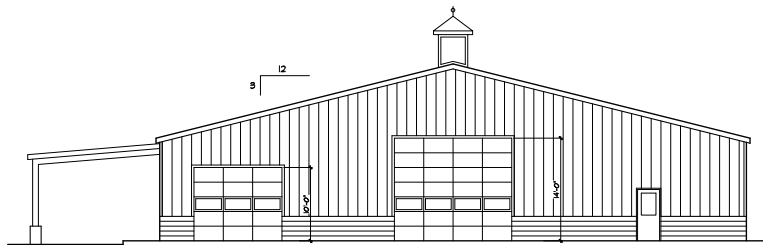
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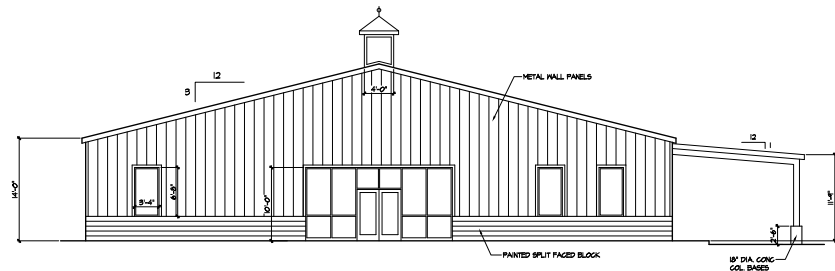
RIGHT SIDE ELEVATION

1/8" = 1'-0"



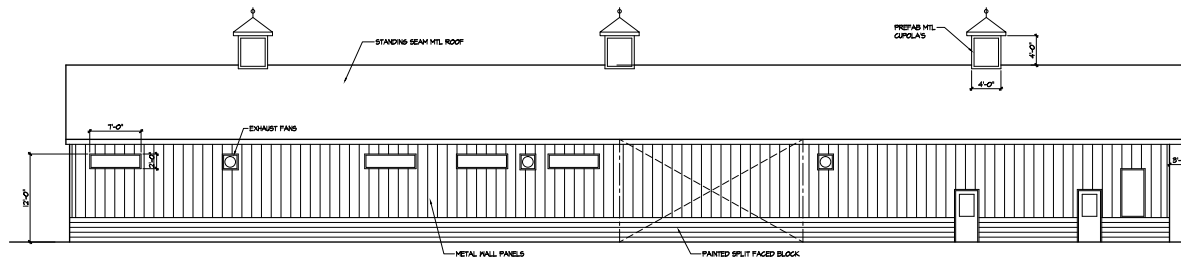
REAR ELEVATION

1/8" = 1'-0"



FRONT ELEVATION

1/8" = 1'-0"



LEFT SIDE ELEVATION

1/8" = 1'-0"

EXTERIOR BUILDING COLORS	
24ga METAL WALL PANELS	CRIMSON RED
METAL CUPOLAS	CRIMSON RED
24ga STANDING SEAM ROOF	GALVALUME
METAL TRIM, RAKE, & CORNERS	POLAR WHITE
SPLIT FACED BLOCK	SPALDING GRAY 596074

BUILDING ELEVATIONS

A NEW BUILDING FOR:
EUROPEAN AUTO GARAGE
 1221 LOVELL ROAD
 KNOXVILLE, TENNESSEE

SHEET TITLE: PROJECT TITLE:

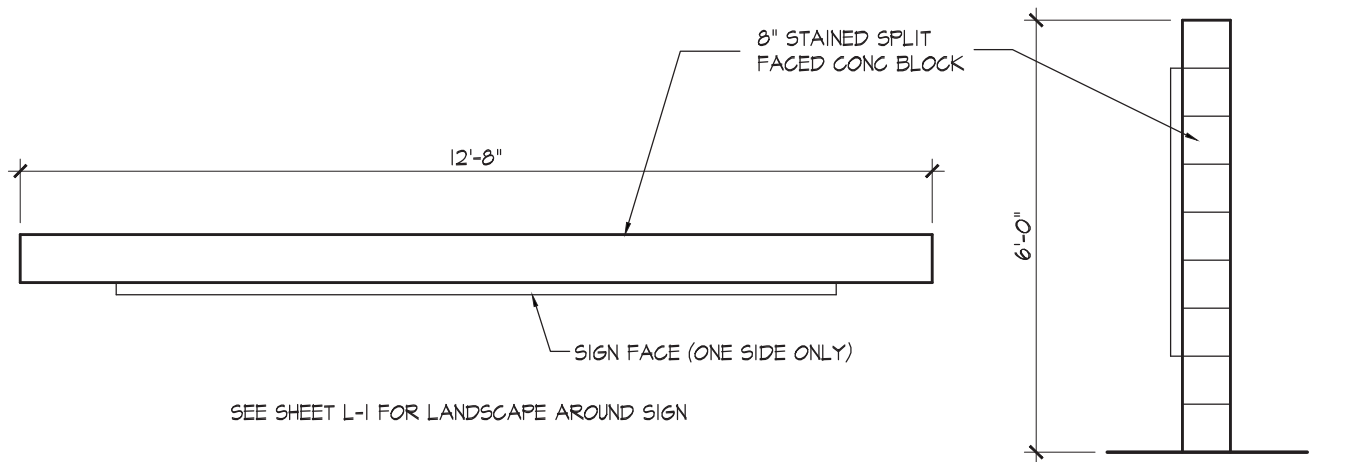
DATE: **7-24-16**

REVISION:

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8-G-16-UR
 Revised: 7/26/2016



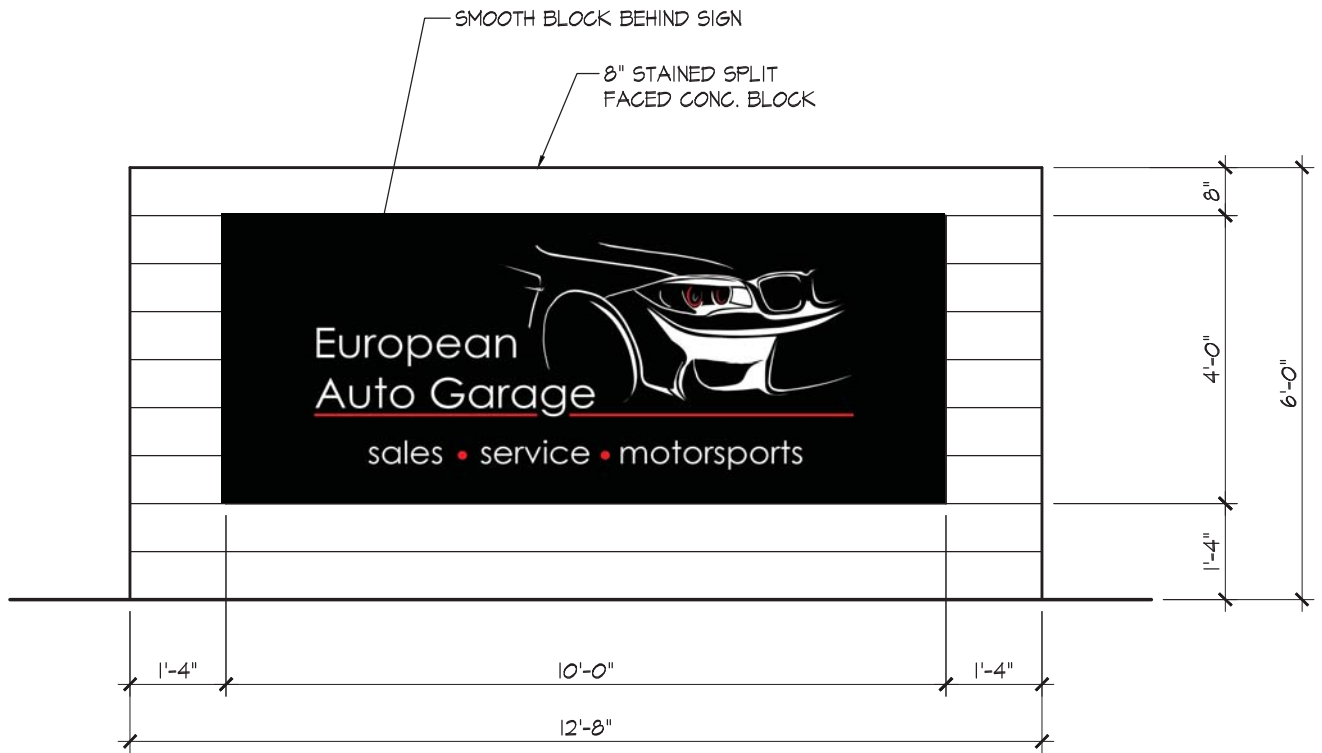
SEE SHEET L-1 FOR LANDSCAPE AROUND SIGN

PLAN

3/8" = 1'-0"

SIDE ELEV.

3/8" = 1'-0"




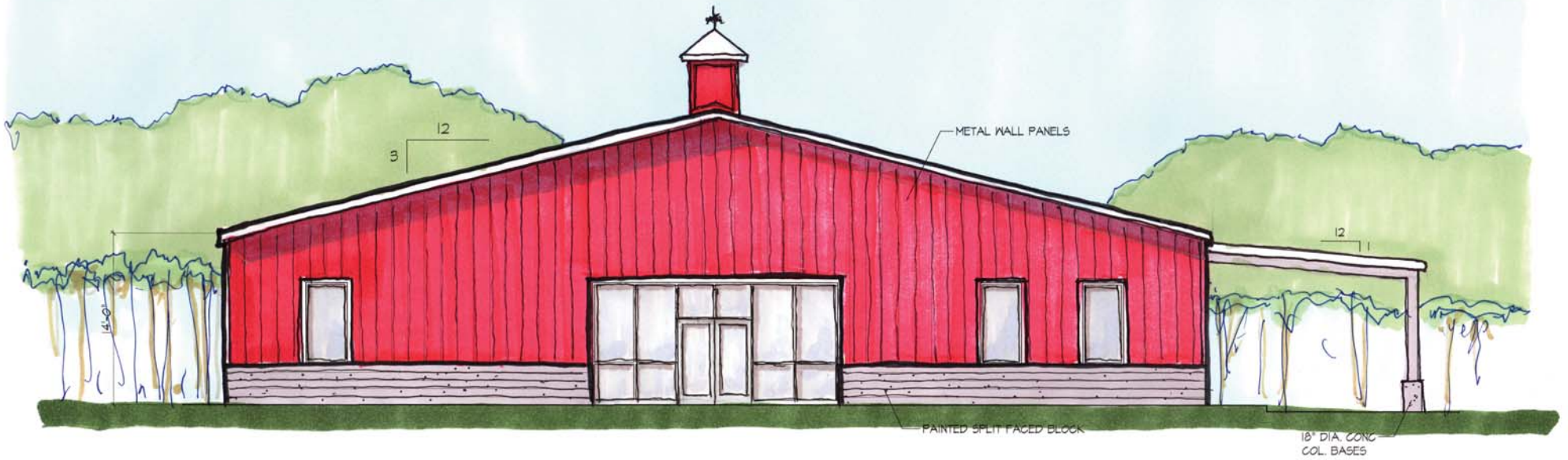
SIGN FRONT ELEVATION

3/8" = 1'-0"

40 S.F. SIGN AREA

8-G-16-UR Revised:7/26/2016

DATE: 7-24-16	SHEET TITLE: SIGN DETAILS	 <p>158 Butternut Dr. P.O. Box 44 NORRIS, TENNESSEE 37828 865 - 556 - 6778 ttdach@comcast.net</p>
DRAWING NUMBER: SIGN	PROJECT TITLE: A NEW PROJECT FOR: EUROPEAN AUTO GARAGE KNOXVILLE, TENNESSEE	
		TIMOTHY TODD DUNNAVANT



FRONT ELEVATION

EUROPEAN AUTO GARAGE

8-G-16-UR

Revised: 7/26/2016