

▶ **FILE #:** 1-C-16-UR

AGENDA ITEM #: 40

AGENDA DATE: 1/14/2016

▶ **APPLICANT:** JAK FOODS

OWNER(S): JAK Foods

TAX ID NUMBER: 132 02812

[View map on KGIS](#)

JURISDICTION: City Council District 2

STREET ADDRESS: 9139 Kingston Pike

▶ **LOCATION:** East side of N. Cedar Bluff Rd., south of N Peters Rd.

▶ **APPX. SIZE OF TRACT:** 0.44 acres

SECTOR PLAN: Southwest County

GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)

ACCESSIBILITY: The primary access to the site will be via the internal access driveway system serving the Kingston Corner Subdivision with access out to N. Cedar Bluff Rd. and Kingston Pike, both of which are 6 lane median divided arterial streets at this location.

UTILITIES: Water Source: First Knox Utility District

Sewer Source: First Knox Utility District

WATERSHED: Ten Mile Creek

▶ **ZONING:** PC-1 (Retail and Office Park)

▶ **EXISTING LAND USE:** Vacant lot

▶ **PROPOSED USE:** Restaurant

HISTORY OF ZONING: Property was rezoned to PC-1 (Retail and Office Park) on November 17, 2009.

SURROUNDING LAND USE AND ZONING: North: Mixed businesses / PC-2 (Retail and Distribution Park) and C-3 (General Commercial)

South: Restaurants / PC-1 (Retail and Office Park)

East: Vacant land / PC-1 (Retail and Office Park)

West: Shopping center / PC-1 (Retail and Office Park)

NEIGHBORHOOD CONTEXT: This site is located in an area that is dominated by shopping centers and general commercial uses. The zoning in the area is O-1, C-3, C-6, SC, SC-3, PC-1 and PC-2 commercial zones.

STAFF RECOMMENDATION:

▶ **APPROVE the request for a restaurant containing approximately 1,500 square feet of floor area as shown on the development plan, subject to 7 conditions**

1. Connection to sanitary sewer and meeting any other relevant requirements of the Knox County Health Department.
2. Meeting all applicable requirements of the Knoxville Zoning Ordinance

3. Installation of all sidewalks as shown on the development plan meeting all applicable requirements of the Americans with Disabilities Act (ADA) and the Knoxville Department of Engineering.
4. Meeting all applicable requirements of the Knoxville Department of Engineering.
5. Installation of landscaping as shown on the landscape plan within six months of the issuance of occupancy permit for this project.
6. Meeting all applicable requirements of the Knoxville City Arborist.
7. Proposed signage subject to compliance with the Knoxville Zoning Ordinance Sign Regulations and approval by the Planning Commission Staff and Knoxville Plans Review and Inspections Division.

With the conditions noted, this plan meets the requirements for approval of a use on review in the PC-1 District.

COMMENTS:

The applicant is proposing to develop a Jimmy John's restaurant with approximately 1,500 square feet of floor area on a 0.44 acre lot that is a part of the Kingston Corner Commercial Subdivision. The site is located on the east side of N. Cedar Bluff Rd., north of Kingston Pike. While the lot has frontage along N. Cedar Bluff Rd., there will be no direct access from the site to the arterial street. Access to the site will be through the driveway network for the commercial subdivision which provides access to N. Cedar Bluff Rd. and Kingston Pike. Stormwater management for this site will be tied into the overall stormwater system for the subdivision.

The applicant has submitted plans for a 10' high monument sign for the restaurant along the N. Cedar Bluff Rd. frontage.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTIES AND THE COMMUNITY AS A WHOLE

1. All public utilities are available to serve the site.
2. The proposed restaurant is compatible with the scale and intensity of the surrounding development and zoning pattern.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

1. With the recommended conditions, the proposal meets all requirements of the PC-1 zoning as well as the general criteria for approval of a use on review.
2. The proposed commercial development with the recommended conditions is consistent with the following general standards for uses permitted on review: The proposal is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas since the development is located off of two arterial streets. No surrounding land uses will pose a hazard or create an unsuitable environment for the proposed use.

CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

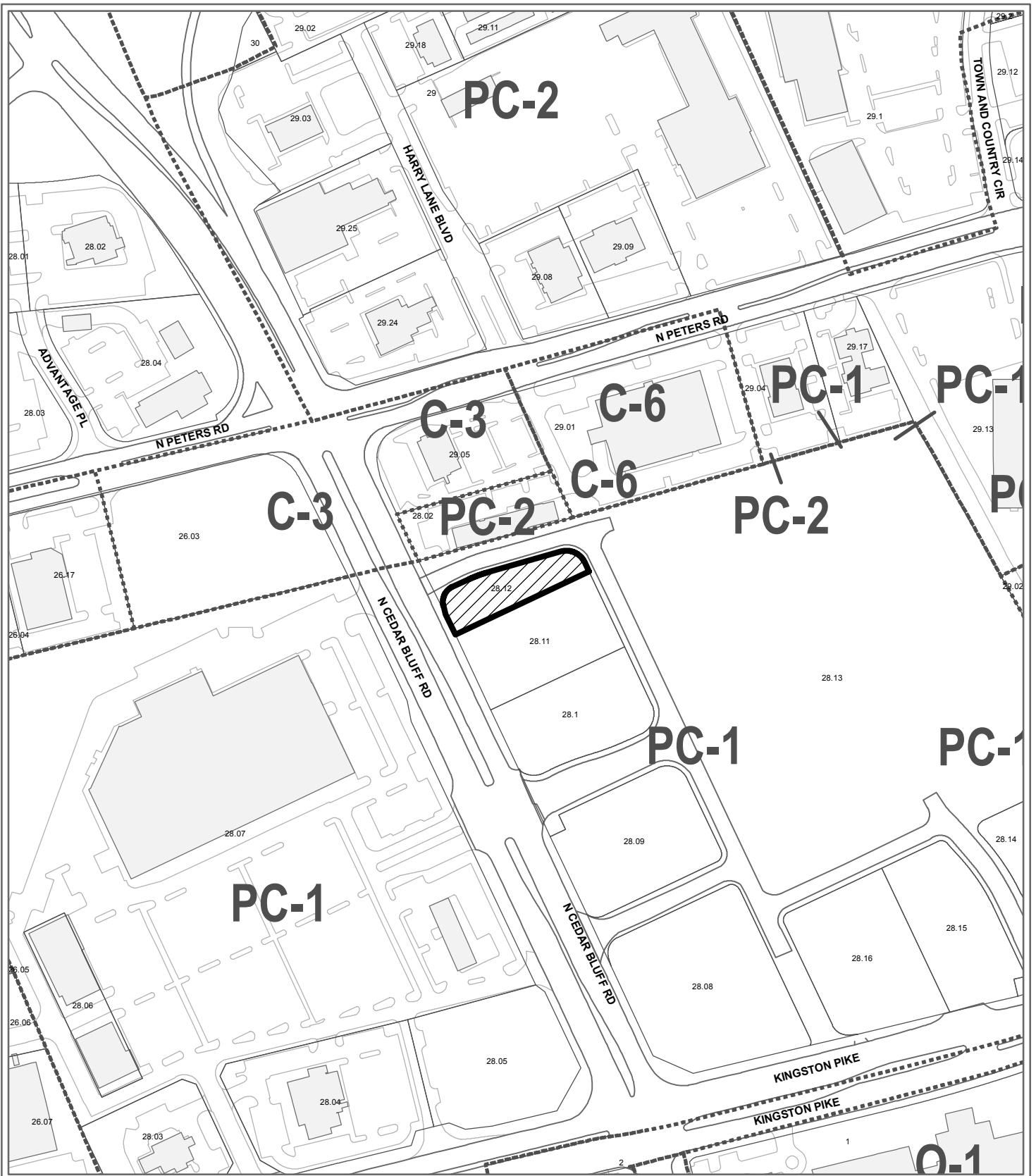
1. The Knoxville One Year Plan the Southwest County Sector Plan propose commercial use for this site.
2. The site is located within the Urban Growth Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: 744 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal an MPC decision in the City.



**1-C-16-UR
USE ON REVIEW**

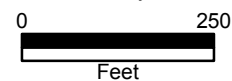


Restaurant in PC-1 (Retail and Office Park)

Petitioner: JAK Foods

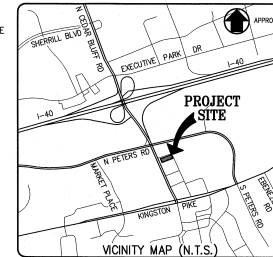
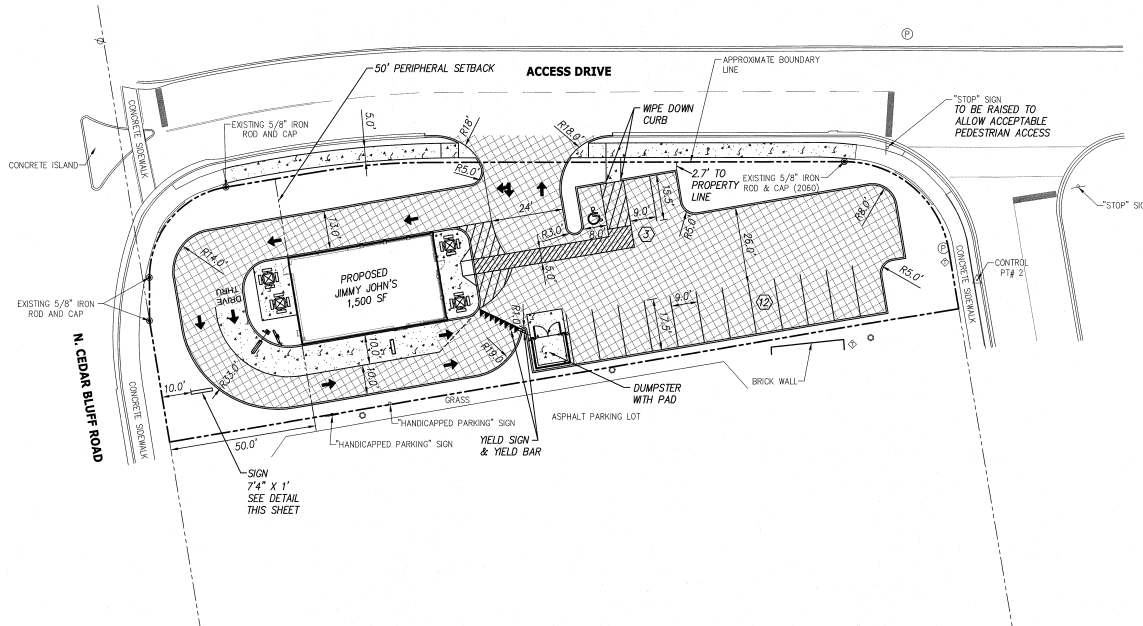
Map No: 132

Jurisdiction: City



Original Print Date: 12/29/2015 Revised:
Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

LEGEND	
	NUMBER OF PARKING SPACES
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	STORM SEWER LINE
	SANITARY SEWER LINE
	WATER LINE
	UNDERGROUND GAS LINE
	CATCH BASIN
	STORM MANHOLE
	REINFORCED CONCRETE PIPE
	LIGHT POLE
	POWER EQUIPMENT
	TELEPHONE LINE RISER
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	GAS VALVE
	SANITARY MANHOLE
	SANITARY CLEAN OUT
	SIGN
	EXISTING SHRUB
	EXISTING TREE



IN STATE PLANE
NAD 83
SCALE: 1" = 20'
COORDINATES HAVE BEEN DATUM
ADJUSTED BY A FACTOR OF 1.0001

- GENERAL NOTES:**
- KNOX COUNTY CLT MAP NO. 132, PARCEL 028.12, CITY ROAD NO. 15 42, ZONING IS PC-1 "RETAIL AND OFFICE PARK DISTRICT".
 - AREA OF PROPOSED PARCEL = 0.44± ACRES
 - PROPERTY OWNERS:
CLT 13202812: HORNE - KINGSTON CORNER LLC
412 N CEDAR BLUFF RD STE 204
KNOXVILLE, TN 37923
 - THE BOUNDARY AND TOPOGRAPHIC DATA SHOWN WAS PROVIDED BY CANNON AND CANNON, INC. DATED NOVEMBER 13, 2015.
 - DEFAULT MINIMUM BUILDING SETBACKS:
PERIPHERAL BOUNDARY: 50 FEET
FRONT: 25 FEET
SIDE AND REAR: NONE
 - PROPOSED PARKING SHALL MEET THE CITY OF KNOXVILLE REGULATIONS.
 - PROPOSED SITE LIGHTING PLAN SHALL MEET M.P.C. AND CITY OF KNOXVILLE REGULATIONS.
 - JIMMY JOHN'S SIGN TO MEET CITY OF KNOXVILLE SIGN ORDINANCE.

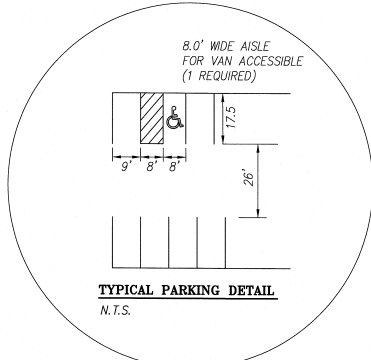
PARKING:

REQUIRED:

1,500 SF PROPOSED RESTAURANT
10 SPACES PER 1,000 SF OF GROSS FLOOR AREA
(10 SPACES/1,000 SF) * (1,500 SF) = 15 SPACES

PROVIDED:

TOTAL STANDARD SPACES PROVIDED= 14 SPACES
TOTAL ACCESSIBLE SPACES PROVIDED (VAN ACCESSIBLE)= 1 SPACE
TOTAL PARKING SPACES PROVIDED= 15 SPACES



Arizago
EIGN
1250 WEST RIO SALADO PARKWAY
SUITE 207
TEMPLE, AZ 85241
PHONE 480.268.2900
FAX 480.268.2909
WWW.ARIZAGO.NET



RQA ROBERT QUINTANA
11000 GARDEN LANE
DALLAS, TEXAS 75243
(972) 333-3718



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CORRECT BY THE SIGNATURE AND
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DATE _____
DELTA _____

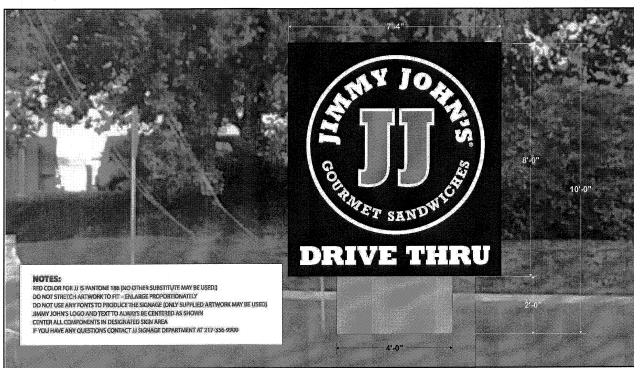
JIMMY JOHN'S
STORE # 3381
KINGSTON PIKE AND CEDAR BLUFF ROAD
KNOXVILLE, TENNESSEE 37922

SHEET TITLE
**USE ON REVIEW
SITE LAYOUT**

JOB NO. **A15260**

DATE: 30, DECEMBER 2015
SCALE: AS NOTED
DRAWN: AVG
CHECKED: AVG
SHEET NO.

UR1.01



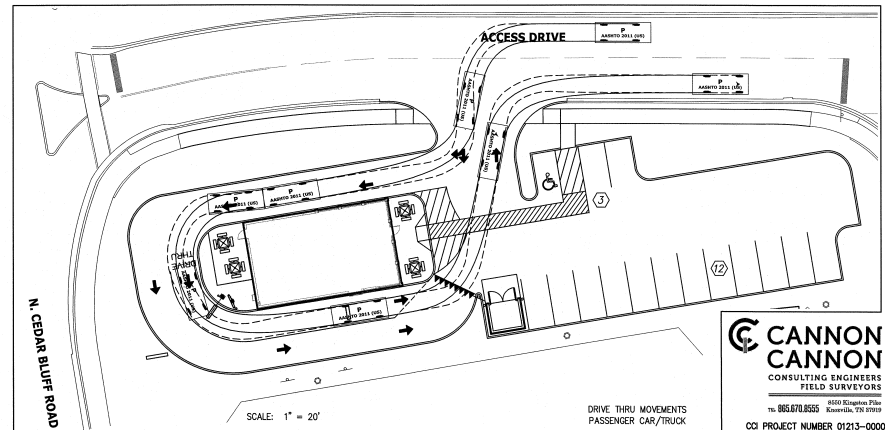
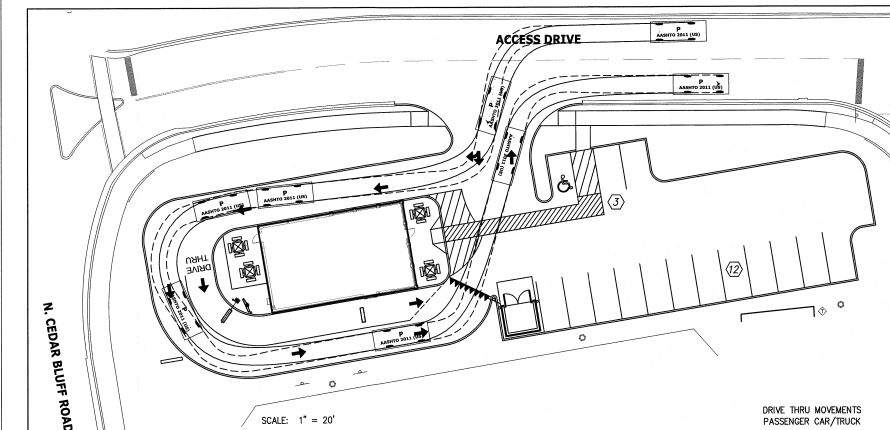
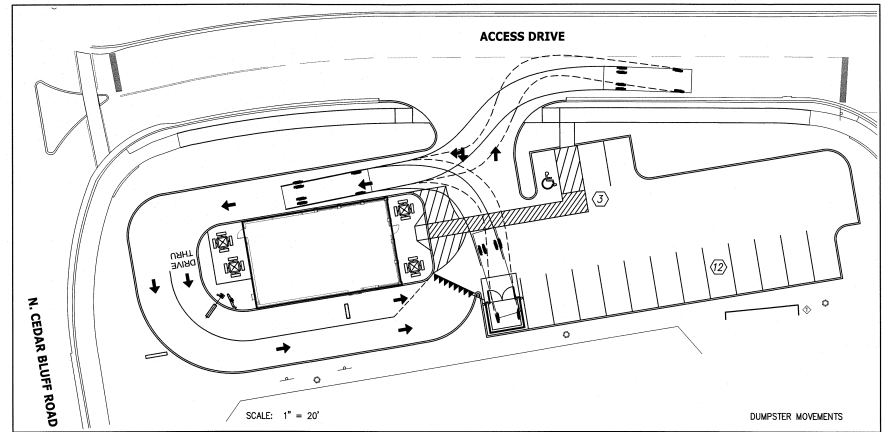
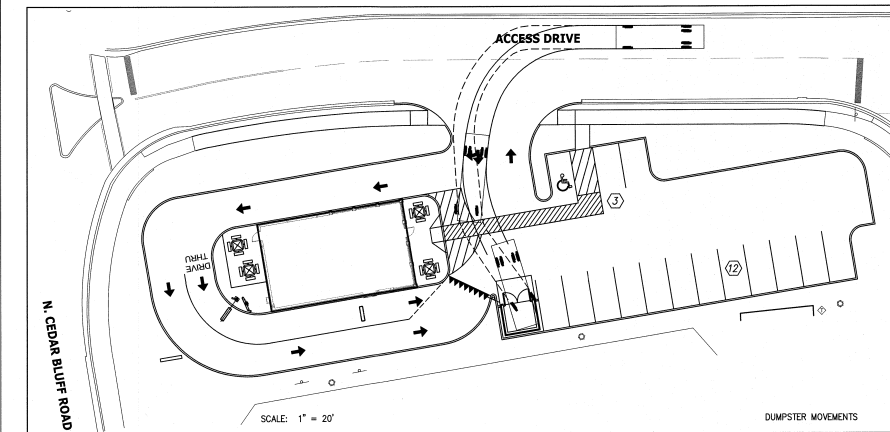
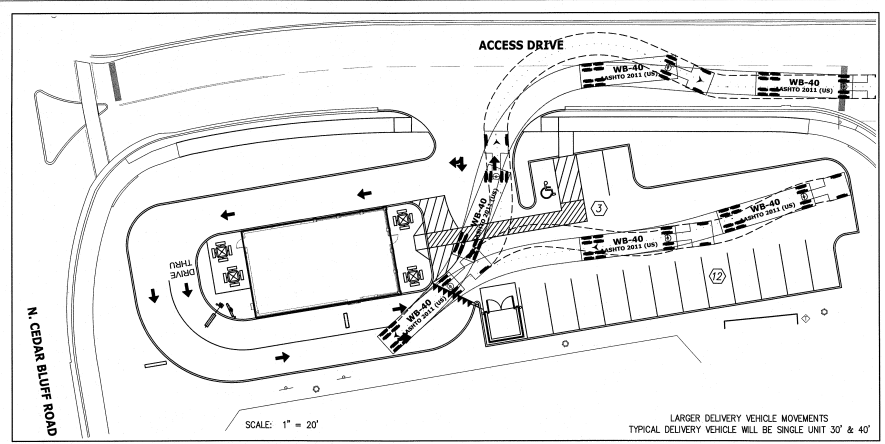
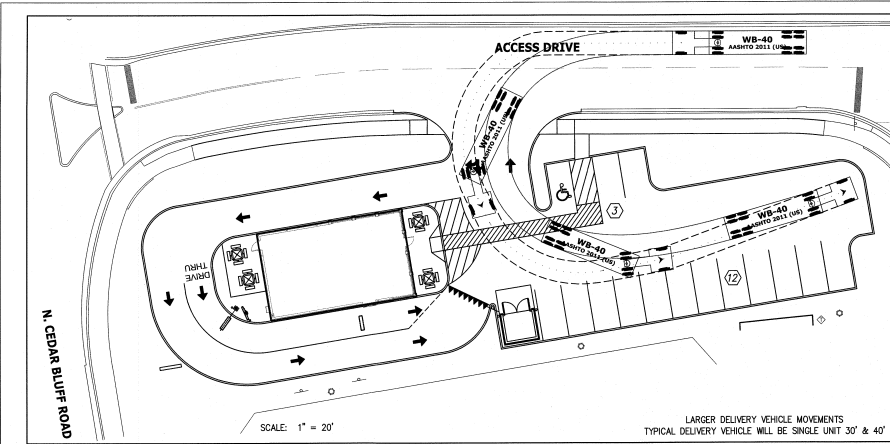
NOTES:
1. THIS DOCUMENT IS A PRELIMINARY DESIGN AND OTHER SUBSTITUTE MAY BE USED.
2. DO NOT USE ANY PORTION TO PRODUCE THE ORIGINAL OR ANY PORTION THEREOF.
3. JIMMY JOHN'S LOGO AND TEXT TO ALWAYS BE CENTERED AS SHOWN.
4. CENTER ALL COMPONENTS TO THE CENTER LINE.
5. IF YOU HAVE ANY QUESTIONS CONTACT US AT 800-451-2200.

811
Know what's below
Call before you dig

1-C-16-UR
Revised: 12/29/2015

CANNON & CANNON INC.
CONSULTING ENGINEERS
FIELD SURVEYORS
1000 Kingston Pike
Knoxville, TN 37920
TEL: 865.670.8555

CCI PROJECT NUMBER 01213-0000



CANNON & CANNON INC
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 Knoxville, TN 37919
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 CCI PROJECT NUMBER 01213-0000

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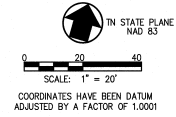
DATE
 1-C-16-UR
 Revised: 12/29/15
 DELTA

JIMMY JOHN'S
 STORE # 0381
 KINGSTON PIKE AND CEDAR BLUFF ROAD
 KNOXVILLE, TENNESSEE 37922

SHEET TITLE
SITE TURNING TEMPLATES
 JOB NO
 A15260
 DATE 30 DECEMBER 2015
 SCALE AS NOTED
 DRAWN AWG
 CHECKED AWG
 SHEET NO

UR1.02

LEGEND	
—1040—	PROPOSED CONTOUR LINE
- - -1040-	EXISTING CONTOUR LINE
—ST—	STORM SEWER LINE
-SA-	SANITARY SEWER LINE
—W—	WATER LINE
—G—	UNDERGROUND GAS LINE
▣	CATCH BASIN
⊙	STORM MANHOLE
⊙	REINFORCED CONCRETE PIPE
⊙	LIGHT POLE
⊙	POWER EQUIPMENT
⊙	TELEPHONE LINE RISER
⊙	WATER VALVE
⊙	FIRE HYDRANT
⊙	WATER METER
⊙	GAS VALVE
⊙	SANITARY MANHOLE
⊙	SANITARY CLEAN OUT
⊙	SIGN
⊙	EXISTING SHRUB
⊙	EXISTING TREE
→	DIRECTIONAL ARROW



GENERAL NOTES:

1. STORM WATER DETENTION AND WATER QUALITY TO BE EVALUATED AS PART OF FINAL DRAINAGE DESIGN.
2. DETAILED LANDSCAPE PLAN SHALL BE SUBMITTED FOR MPC STAFF APPROVAL PRIOR TO OBTAINING BUILDING PERMIT.

Arizango DESIGN

1255 WEST RIO SALADO PARKWAY
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FAX 480.268.2909
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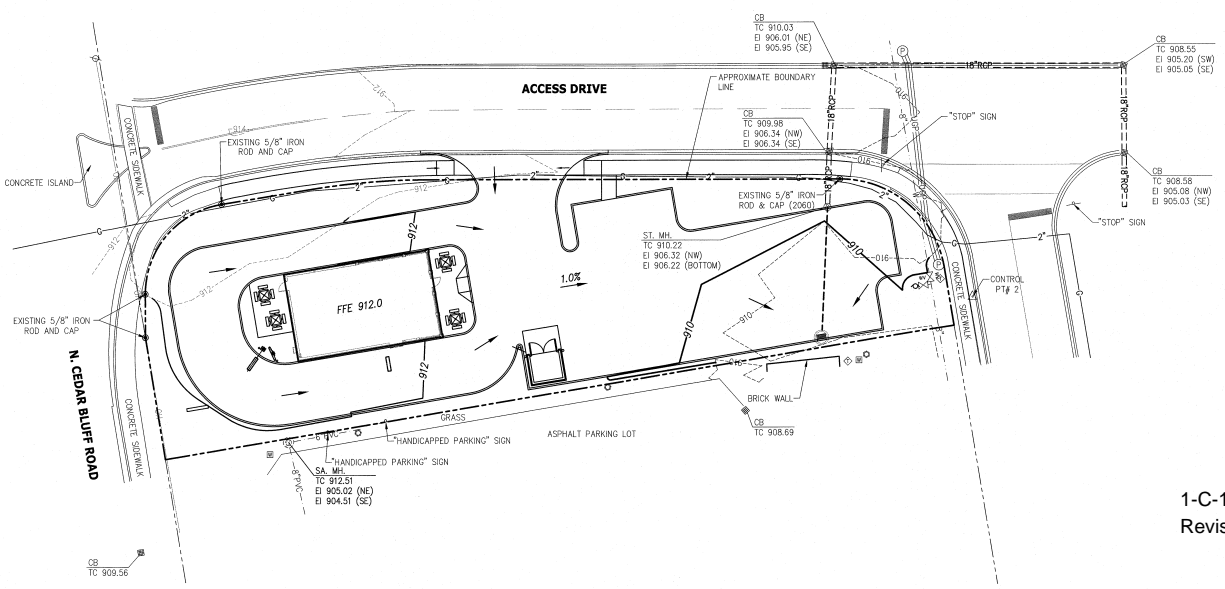
RQA ROBERT QUATTARA
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DALLAS, TEXAS 75246
(972) 333-3714

JIMMY JOHN'S
Since 1953
WORLD'S GREATEST GOURMET SANDWICHES

THESE PLANS ARE SUBMITTED FOR THE PROJECT AND THE DESIGNER HAS PROVIDED AN OVERVIEW OF THE PROJECT. THE DESIGNER HAS NOT CONDUCTED A FIELD SURVEY OF THE PROJECT. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED BY THE DESIGNER.

DATE
DELTA

JIMMY JOHN'S
STORE # 3381
KINGSTON PIKE AND CEDAR BLUFF ROAD
KNOXVILLE, TENNESSEE 37922



1-C-16-UR
Revised: 12/29/2015



CANNON & CANNON INC
CONSULTING ENGINEERS
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8500 Skemples Pike
Knoxville, TN 37919
TEL 865.670.8555

SHEET TITLE	
USE ON REVIEW	
GRADING PLAN	
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DATE	30 DECEMBER 2015
SCALE	AS NOTED
DRAWN	AWG
CHECKED	AWG
SHEET NO.	UR2.01

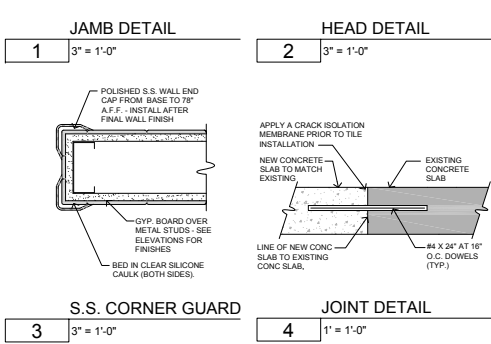
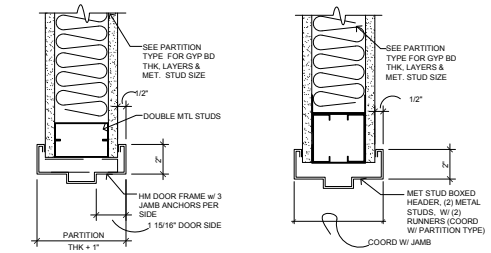
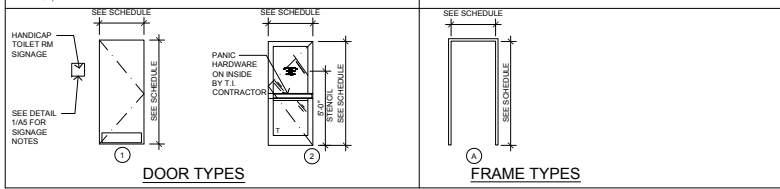
DOOR SCHEDULE												
DOOR NUMBER	DOOR			FRAME			DETAILS			HDWR GROUP	REMARKS	
	TYPE	DOOR SIZE	MATERIAL	FINISH	TYPE	MATERIAL	FINISH	HEAD	JAMB			SILL
1	2	3'-0" x 7'-0"	ALUM./GLASS	ALUMINUM	(A)	ALUMINUM	FACTORY FINISH	-	-	-	01	2. STOREFRONT DOOR - G.C. TO PROVIDE PANIC HARDWARE
2	1	3'-0" x 7'-0" x 1-3/4"	S.C. WOOD	BIRCH VENEER	(A)	HOLLOW METAL	FACTORY FINISH	2A-1	1A-1	-	02	1.2,3,4
3	1	3'-0" x 7'-0" x 1-3/4"	S.C. WOOD	BIRCH VENEER	(A)	HOLLOW METAL	FACTORY FINISH	2A-1	1A-1	-	02	1.2,3,4
4	2	3'-0" x 7'-0"	ALUM./GLASS	ALUMINUM	(A)	ALUMINUM	FACTORY FINISH	-	-	-	01	2. STOREFRONT DOOR - G.C. TO PROVIDE PANIC HARDWARE

REMARKS

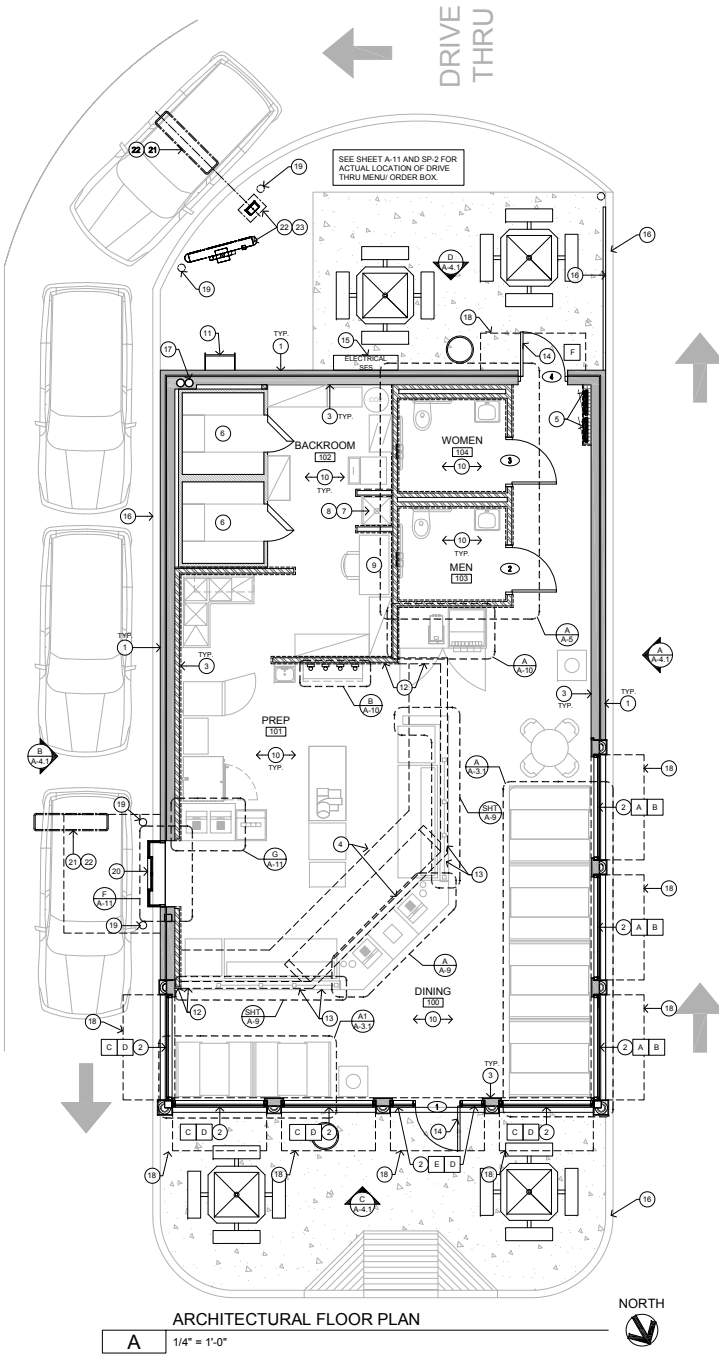
- PROVIDE WOOD BLOCKING FOR DOOR STOPS.
- CLOSER TYPE TO BE BY OPENING.
- PAINT FRAMES PT-3. STAIN DOORS SF-4. FINISH WITH 3 COATS SATIN POLYURETHANE.
- PROVIDE H.C. ACCESSIBLE MEN'S/WOMEN'S SIGNAGE AT WALL OUTSIDE OF DOOR AS REQUIRED BY GOVERNING AUTHORITIES.

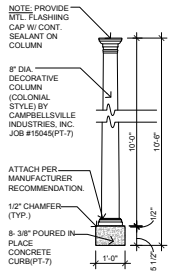
NOTE:
EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WHO THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

DOOR NOTES		DOOR HARDWARE	
1. EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.	6. ENTRY/EXIT DOORS TO HAVE SIGN - "THIS DOOR TO REMAIN UNLOCKED WHILE BUILDING IS OCCUPIED" POSTED.	HARDWARE SET NO. 1 (CONTRACTOR TO VERIFY) (1) LOCKSET, SINGLE CYLINDER DEAD BOLT SECURITY LOCK BY U-CHANGE INDUSTRIES DOOR SERIES (LOCK) (2) CLOSER, AUTOMATIC CORBIN-RUSSWIN D2200 SERIES (LOCK) (3) HINGES, TOP BOTTOM & STANDARD INTERMEDIATE OFFSET PIVOTS (4) PULL, STYLE Q2 BLACK FOR KAWNEER DOORS OR SIMILAR (DOOR 1) ALL DOOR HARDWARE FINISH TO BE USED (TYP.)	HARDWARE SET NO. 2 (1) 1 1/2" PAIR HAGER HINGES 881275, 4 1/2" x 4 1/2" (US2RD FN) (2) SCHEDULE 40S SPARTA LEVER HANDED PRIVACY LOCK (US2RD) (3) LCN SUPER SMOOTHIE DOOR CLOSER SERIES #844 (HINGE SIDE MOUNT) (US2RD FN) (4) DELTAM DEL-WB250US26 2 1/2" WALL BUMPER OR SIMILAR (DOOR 1) (5) SCHEDULE LEVER HANDLE ALL DOOR HARDWARE FINISH TO BE USED (TYP.)
2. ALL FIRE RATED DOORS AND ALL EXTERIOR SWINGING DOORS SHALL HAVE CLOSURES.	7. ALL DOOR OPERATING HARDWARE SHALL BE MOUNTED AT 3" A.F.F.	8. DOOR HARDWARE MUST BE OPERABLE BY A SINGLE HAND WITHOUT TIGHT GRASPING, TIGHT PINCHING OR TWISTING.	
3. ALL INTERIOR DOORS TO BE SOLID WOOD CORE, WITH BIRCH VENEER, STAINED.	8. DOOR OPENING FORCE SHALL NOT EXCEED 15 LBS.	9. "T" INDICATES TEMPERED GLASS.	
4. ALL NEW/REPLACED DOOR HARDWARE SHALL BE BRUSHED ALUMINUM/SATIN CHROME (LS 2D) FINISH.	9. "T" INDICATES TEMPERED GLASS.	10. HOLLOW METAL FRAMES MUST BE 2" WELDED FRAMES.	
	10. HOLLOW METAL FRAMES MUST BE 2" WELDED FRAMES.	11. ALL INTERIOR DOOR CLOSURES MUST NOT BE SEEN FROM DINING SIDE.	
	11. ALL INTERIOR DOOR CLOSURES MUST NOT BE SEEN FROM DINING SIDE.	12. SILENCERS REQUIRED AT ALL DOORS	



WALL LEGEND	
	EXISTING WALL PATCH & REPAIR AS REQUIRED MAINTAIN ANY EXISTING RATINGS.
	WALL 5/8" x 20 ga. METAL STUDS AT 16" O.C. w/ 5/8" GWB ON EACH EXPOSED SIDE(S).
	SOFFIT AT 8" O.F.F. ABOVE COUNTER UNLESS OTHERWISE NOTED.
	WALL 5/8" x 20 ga. METAL STUD AT 12" O.C. w/ 5/8" GWB ON EACH SIDE. SEE INTERIOR ELEVATIONS FOR HEIGHT.
	PARTITION 3/8" x 1 1/2" METAL STUDS AT 12" O.C. w/ 5/8" GWB ON EACH SIDE. SEE INTERIOR ELEVATIONS FOR HEIGHT.
	FINISH EDGE OF WALL.
GENERAL NOTES:	
1. MIN 20 ga. METAL STUDS REQUIRED (MUST PROVIDE DIAGONAL CROSS BRACING FOR WALLS OVER 16'-0" @ 4'-0" O.C. SECURED TO STRUCTURE ABOVE OR TOP OF CEILING).	
2. ALL FRAMING TO CONTINUE TO BOTTOM OF ROOFDECK MUST BE BRACED TO THE STRUCTURE ABOVE AS REQUIRED BY CODE.	
3. USE MILD RESISTANT GYP. BOARD FOR ALL RESTROOM, KITCHEN/BORH, & MOP SINK WALLS.	
4. REFER TO SHEET A-3 FOR SCHEDULED FINISHES.	
5. PORCELAIN TILE OR 4" SUBWAY TILE AND 1" COVE BASE OR 1" BRICK VENEER OR 1" COVE BASE.	
6. ALL FRAMING AND GYP. BOARD MUST EXTEND TO ROOF/DECK ON EXTERIOR & DEMISING WALLS.	

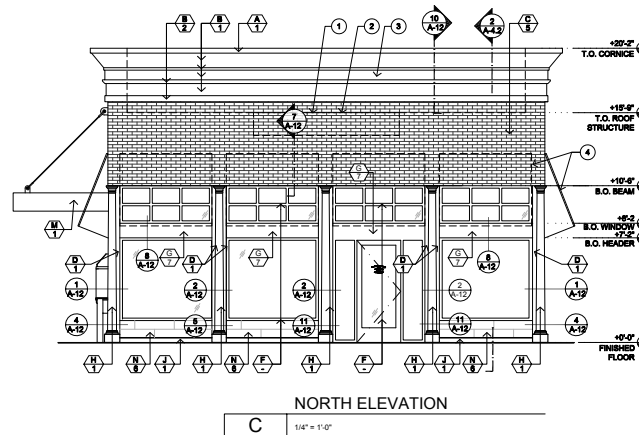
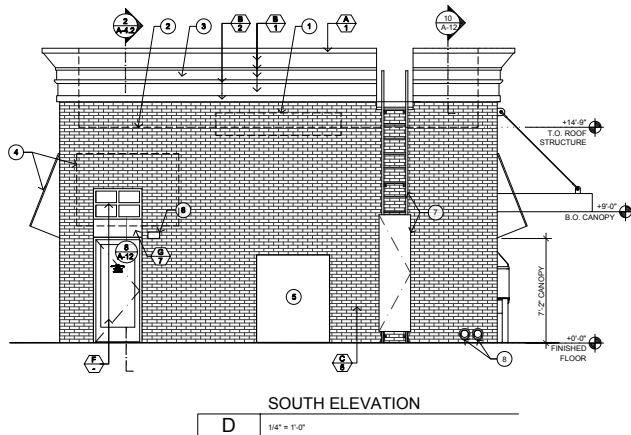
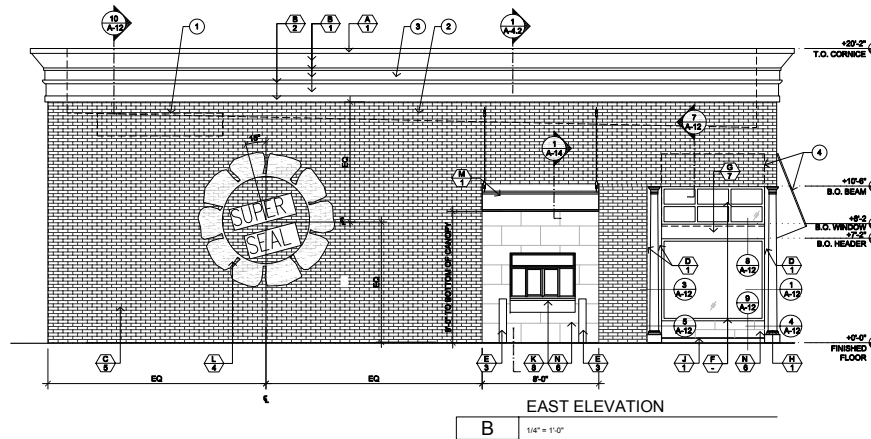
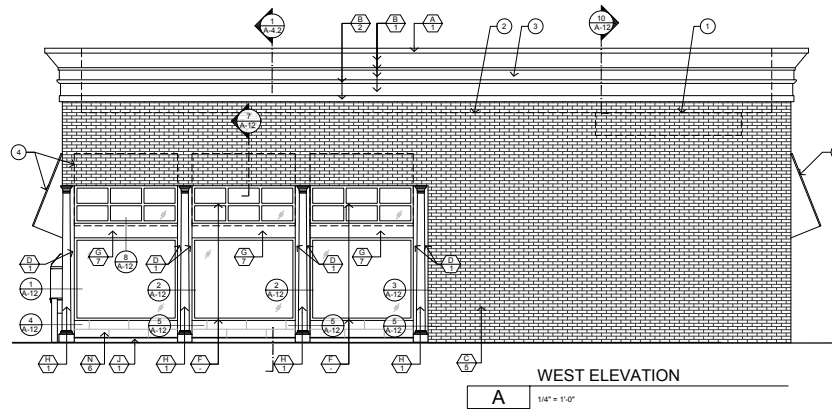




DECORATIVE COLUMN DETAIL

E 1/2" = 1'-0"

1-C-16-UR
Revised: 12/29/2015



KEYED NOTES

- 1 JJS APPROVED SIGN BY TENANT - APPROVED UNDER SEPARATE REVIEW AND PERMIT.
- 2 LINE OF ROOF.
- 3 FOAM CORNICE - SEE 10A-12.
- 4 FIRE RESISTANT CANVAS AWNING (UNDER SEPARATE PERMIT).
- 5 S.E.S. - SEE ELECTRICAL.
- 6 EXTERIOR WALL PACK LIGHT FIXTURE AT + 7'-2" A.F.F. - SEE SHEET E-2.
- 7 LADDER WITH ENCLOSURE - SEE SHEET A-13.
- 8 OVERFLOW DRAIN / ROOF DRAIN - SEE SHEET A-13.

MATERIALS

- 1 METAL FLASHING
- 2 E.I.F.S. FINISH
- 3 FACE BRICK #A-06-14 WITH STANDARD GRAY MORTAR
- 4 STRUCTURAL COLUMN - SEE STRUCTURAL DRAWINGS
- 5 STEEL PIPE BOLLARD - SEE DETAIL 6SP-3.
- 6 KAWNEER 451T ALUM/GLASS STOREFRONT (1/4" INSULATED BRONZE TINTED TEMPERED GLASS, 20% MAX. REFLECTIVITY) PAINTED BLACK FINISH
- 7 BREAK METAL
- 8 8" DECORATIVE (COLONIAL STYLE) COLUMN BY CAMPBELLVILLE INDUSTRIES INC. - SEE EIA-4.1
- 9 POURED IN PLACE CONCRETE CURB - SEE DETAIL 3SP-3
- 10 DRIVE THRU WINDOW - STATUARY BRONZE FINISH READY ACCESS 80-10 - SEE DETAIL EIA-10
- 11 SUPER SEAL 10'-0" DIAMETER - STENCIL PROVIDED BY OWNER, CENTER ON THE BRICK WALL
- 12 METAL CANOPY - SEE 10A-14.
- 13 PORCELAIN TILE
- 14 OVERFLOW DRAIN - SEE METAL CANOPY DETAILS

FINISHES

- 1 PT-7 - PAINT - SHERWIN WILLIAMS - TRICORN BLACK #SW628 SEMI GLOSS FINISH
- 2 PT-8 - PAINT - SHERWIN WILLIAMS - REALIST BEIGE
- 3 PT-9 - PAINT - PITTSBURGH - SAFETY RED
- 4 RUSTOLEUM WHITE SATIN SPRAY CAN
- 5 BR-1 - BRICK - BELDEN BRICK JUMBO ROSEWOOD (USE STANDARD GRAY MORTAR)
- 6 WT-8 - 12"X24" BENGALA NEGRO WITH TEC RAVEN GROUT.
- 7 EXXON - RED
- 8 STATUARY BRONZE FINISH
- 9 PAINT TO MATCH BRICK

GENERAL NOTES

1. ALL ROOF MOUNTED EQUIPMENT SHALL BE FULLY SCREENED BY THE PERMIT.
2. E.I.F.S. SHALL BE "STO" ESR-1720 OR EQUAL.
3. ALL SIGNAGE SHALL BE REVIEWED AND APPROVED UNDER SEPARATE SUBMITTAL.
4. ALL BUILDING MOUNTED UTILITY BOXES ARE TO BE PAINTED TO MATCH ADJACENT COLORS.

Arizajo DESIGN
1255 WEST RIO SALADO PARKWAY SUITE 207 TEMPE, AZ 85281
PHONE 480.268.2900 FAX 480.244.2905 WWW.ARIZAJODESIGN.COM

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PHONE 480.755.2210 FAX 480.755.2210

JIMMY JOHN'S
Since 1953
WORLD'S GREATEST GOURMET SANDWICHES

THESE PLANS ARE INSTRUMENTS OF PROFESSIONAL SERVICE. THEY ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR MODIFICATION OF THESE PLANS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS PROHIBITED.

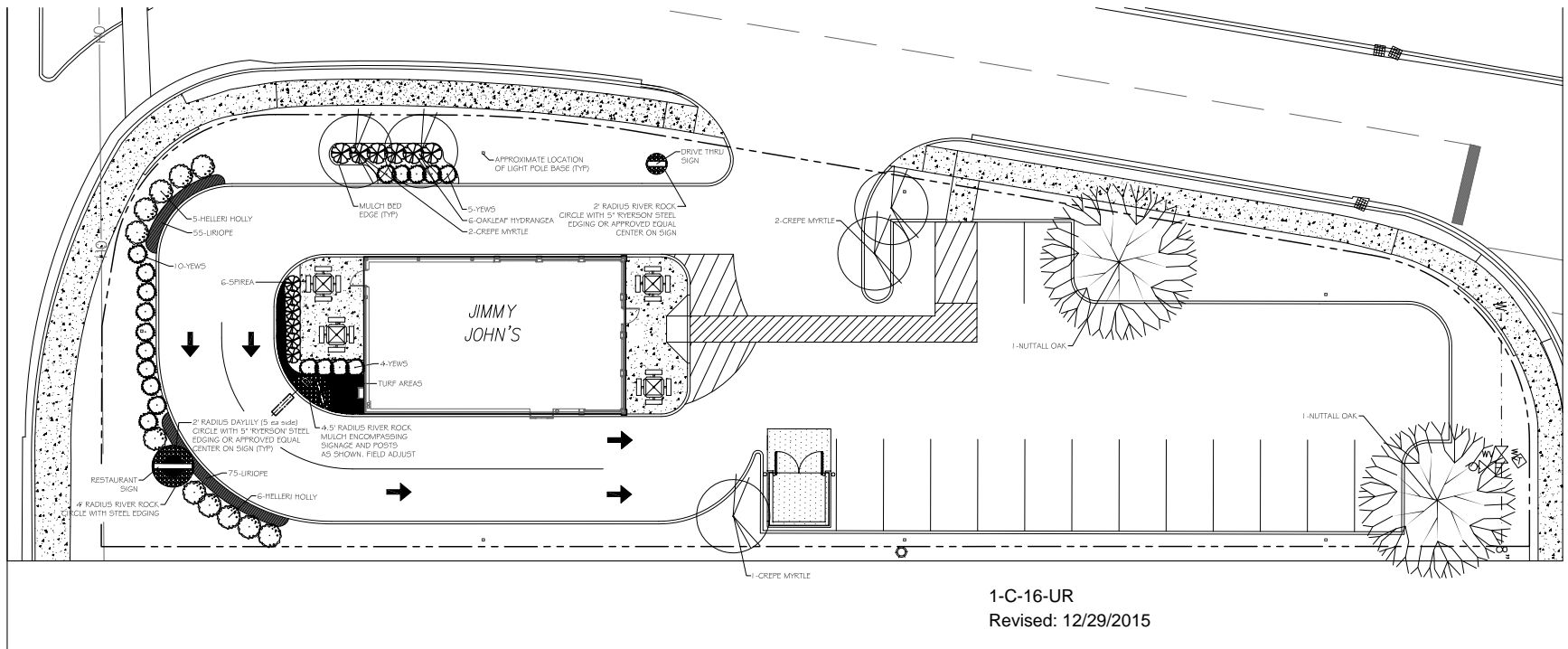
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JIMMY JOHN'S
STORE # 3381
KINGSTON PIKE AND CEDAR BLUFF ROAD
KNOXVILLE, TENNESSEE 37922

SHEET TITLE
EXTERIOR ELEVATIONS

JOB NO. A15260
DATE 23, DECEMBER, 2015
SCALE AS NOTED
DRAWN MM
CHECKED CC
SHEET NO

A-4.1



1-C-16-UR
 Revised: 12/29/2015

SEEDING NOTES:

1. FINE GRADE TURF AREAS TO SMOOTH, EVEN SURFACE WITH LOOSE, UNIFORM FINE TEXTURE SOIL BASE. ANY BRACKEN LAWN AREAS, REMOVE ROOTS AND FULL DEPTH TO 4" TO MEET FINISH GRADE.
2. 1" OF TOPSOIL (WHETHER ON SITE GENERATED SHALL BE PROVIDED ON ALL AREAS TO BE SEED). INSTALL AND STABILIZE PRIOR TO SEEDING. TOPSOIL SHALL BE CLEAN, FRAGILE SOIL WITH LANDSCAPE INDUSTRY ACCEPTABLE LEVELS OF ORGANIC MATERIAL. UNDER NO CIRCUMSTANCES WILL SUBGRADE OR SOIL IMPROVEMENT BE USED AS TOPSOIL. CONTRACTOR IS RESPONSIBLE TO OBTAIN AND VERIFY ACCEPTABILITY OF TOPSOIL PRIOR TO PLANTING. UNDESIRABLE SOILS USED AS TOPSOIL SHALL BE REMOVED AND REPLACED AT CONTRACTORS EXPENSE.
3. ALL UNDESIRABLE AREAS AND THOSE AFFECTING THE PLANT WITH 10% FIVE FEETLE HEIGHT OR APPROVED LOCAL WEEDS OF ABOUT 10" HEIGHT WITH 2" WOOD OR 4" ANNUAL FIVE FEET TO 18" HEIGHT CONTRACTOR SHALL CONSULT WITH OWNER TO DETERMINE EXTENT OF SEEDING OPERATIONS.
4. SEEDS PREPARATION: LOOSEN SUBGRADE OF TURF AREAS TO A MINIMUM DEPTH OF 3 INCHES. BREAK UP STONES, METALS OVER 1 1/2 INCHES IN ANY DIMENSION, REMOVE ROCKS OVER 1 1/2 INCHES IN ANY DIMENSION, REMOVE TWIGS AND TOPSOIL AND MIX THOROUGHLY WITH SUBGRADE TO 3 INCHES DEPTH. SUBGRADE HAS BECOME COMPACTED DURING CONSTRUCTION, 2" MINIMUM TO 3" THICK. SUBGRADE HAS BECOME COMPACTED TO 3 INCHES DEPTH. CONTRACTOR SHALL BREAK UP THE COMPACTED SURFACE BEFORE SEEDING PREPARATION.
5. FERTILIZER: APPLY AGRICULTURAL LIME AT THE RATE OF 50 POUNDS PER 1000 SF. APPLY 15 POUNDS LIME TO 5000 SF. APPLY FERTILIZER PER EQUIVALENT PER 1000 SF. SPREAD LIME AND FERTILIZER UNIFORMLY OVER ALL AREAS AND MIX THOROUGHLY WITH THE SOIL. APPLY EQUIVALENT OF 2 POUNDS PER 1000 SF. OF AMMONIUM NITRATE OR EQUIVALENT NITROGEN GRADE 32-0-0 FAL.
6. GRASS SEED: PROVIDE FRESH, CLEAN, NEW-CROP SEED. COUPLING WITH TOLERANCE FOR PLUNKY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSIS OF NORTH AMERICA.
7. SEEDING AND REPAIR: CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SEEDING AREAS UNTIL 85% GRASS COVER IS ESTABLISHED.
8. REPAIR AND RESEED: ALL ERODED OR DISTURBED SEEDING AREAS WHERE VEGETATIVE COVER HAS NOT BEEN ESTABLISHED.
9. WEEDS: CONTRACTOR SHALL REMOVE ALL WEEDS AND WEEDING ELEMENTS TO FINAL BUILDING, PAVING, SIGNAGE, LIGHTING, ETC. TO ACHIEVE INTENDED LOOK.

SODDING NOTES:

1. 1" OF TOPSOIL (WHETHER ON SITE GENERATED) SHALL BE PROVIDED ON ALL AREAS TO BE SODDED. INSTALL AND STABILIZE PRIOR TO SODDING. TOPSOIL SHALL BE CLEAN, FRAGILE SOIL WITH LANDSCAPE INDUSTRY ACCEPTABLE LEVELS OF ORGANIC MATERIAL. UNDER NO CIRCUMSTANCES WILL SUBGRADE OR SOIL IMPROVEMENT BE USED AS TOPSOIL. CONTRACTOR IS RESPONSIBLE TO OBTAIN AND VERIFY ACCEPTABILITY OF TOPSOIL PRIOR TO PLANTING WITH THE LANDSCAPE ARCHITECT OR OWNER.
2. SODD AREAS INDICATED ON THE PLANS WITH TURF-TYPE REELS OR APPROVED EQUIVALENT.
3. SODD IS TO BE LAID WITHIN 24 HOURS OF DELIVERY TO THE PROJECT SITE. ONLY FRESH, NEW-CROP SODD SHALL BE RECEIVED. SODD SHALL BE SHOWN OR SHOWN VISIBLE SIGNS OF STRESS WILL BE REJECTED UNACCEPTABLE. ANY SODD NOT DELIVERED WITHIN 24 HOURS OF DELIVERY TO THE PROJECT SITE SHALL BE REJECTED.
4. SODD IS TO BE ROLLED AND WATERED THOROUGHLY AT THE TIME OF INSTALLATION.
5. ENDS OF SODD PANELS ARE TO BE OFFSET. SODD PANELS ARE TO BE LAID TIGHTLY SO THAT THERE IS NO GAP BETWEEN SODD PANELS.
6. TOP DRESS SODD AREAS WITH CLEAN, WEED-FREE BULKERS SAND TO FILL IN ANY GAPS OR OTHER IRREGULARITIES IN THE LAID SODD.

LANDSCAPE NOTES:

1. THE LOCATION OF ALL TREES, SHRUBS AND GROUNDCOVER AREAS SHOWN ON THE PLANS SHALL BE STAYED/LOCKED BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER REPRESENTATIVE BEFORE THE DRIVING OF ANY DRIVEN PILES LOCATED TO BE LOCATED AS SHOWN ON THE DRAWINGS.
2. PROVIDE ONLY PLANTS THAT ARE FREE FROM DISEASES AND PESTS, AND THAT COMPLY WITH THE LATEST EDITION OF PUBLICATION AND 2012 AMERICAN STANDARDS FOR NURSERY STOCK, BY THE AMERICAN ASSOCIATION OF NURSERYMEN. DIMENSIONS FOR HEIGHT, SPREAD, AND TRUNK CIRCUMFERENCE ON THE MATERIAL SCHEDULE IS A GENERAL PERMISSON FROM THE OWNER.
3. DO NOT MAKE QUANTITIES REGARDING PLANT SIZES OR SPECIES WITHOUT WRITTEN PERMISSION FROM THE OWNER.
4. REMOVE ALL STRINGS AND OTHER TIES FROM TREES.
5. FERTILIZE ALL PLANTS WITH 1/2 LB. 16-16-16 SLOW RELEASE FERTILIZER AT THE RATE OF 3 POUNDS PER 100 SF OF BED FOR SHRUBS AND GROUNDCOVER.
6. PLANTS UNDESIRABLE TO BE PLANTED SHALL BE BALLED AND BURLAPPED. THEY SHALL BE BUILT WITH FIRM, NATURAL BAILS OF DENSITY SUFFICIENT DIAMETER AND LENGTH TO ENCOMPASS THE TRUNK AND CROWN ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF THE PLANT. BAILS SHALL BE FINELY WRAPPED WITH BURLAP OR SIMILAR MATERIAL AND PLANTS WITH TWIGS OR GAPS.
7. ONLY "TRUMP" BURLAP AND TWINE SHALL BE USED. NO TREATED OR PRESERVED BURLAP OR TWINE IS ALLOWED. ALL TWINE TANGLES MUST BE CUT. TWINE TO THE ROOT BALL IS TO HAVE ALL BURLAP AND TWINE REMOVED. IF ROOTS ARE GIRDLING OR GIRDLING THEY MUST BE LOGGERS OR CUT.
8. THE BALLS OF BUMP PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY ON DELIVERY SHALL BE COVERED WITH FRESH BURLAP OR OTHER PROTECTION FROM DRYING WIND AND SOIL. ALL PLANTS INSTALLED IN TREES SHALL BE WATERED BY CONTRACTOR AS NECESSARY UNTIL FINAL ACCEPTANCE.
9. TREE BALLS SHALL BE A MINIMUM DIAMETER IN FEET EQUAL TO 1/10 FOR EACH CALIPER INCH OF THE TREE.
10. ALL PLANTS SHALL BE BOUND WITH ROPE OR WIRE IN A MANNER THAT DAMAGES THE BARK, BREAKS BRANCHES, OR DISTURBS ITS NATURAL SHAPE. NO PLANT MATERIAL SCHEDULED TO BE BALLED AND BURLAPPED SHALL BE PLANTED WITHOUT BURLAP OR TWINE REQUIRED BURLAP, STAPLES, ROPES OR PLATFORM HAS BEEN REMOVED.
11. THE NUMBER OF TREES TO BE PLANTED SHALL BE AS SHOWN ON THE PLANS. OR IF THE BALLS ARE TO BE FIELD CHECKED FOR ACCEPTANCE BY THE OWNER, ANY PLANTS INCORRECTLY APPLIED TO THE PLANS SHALL BE OWNERS RISK. CONTRACTOR TO PLANTING FOR REMOVED WOOD CONTROL.
12. PRE-EMERGENT HERBICIDE (TRIFLURALIN OR EQUIVALENT) SHALL BE APPLIED ACCORDING TO MANUFACTURERS INSTRUCTIONS TO ALL PLANT BEDS PRIOR TO PLANTING FOR REMOVED WOOD CONTROL.
13. ALL PLANTING BEDS AND TREE AND SHRUB PLANTINGS SHALL RECEIVE A MINIMUM 2" DEEP SHREDED HAWKWOOD MULCH LAYER.
14. CONTRACTOR IS RESPONSIBLE FOR THE WATERING AND MAINTENANCE OF ALL INSTALLED PLANT MATERIAL, INCLUDING GRASS AREAS, UNTIL FINAL ACCEPTANCE BY THE OWNER. WATER ALL PLANT MATERIAL AT THE END OF EACH PLANTING DAY.
15. ALL PLANT MATERIAL IS TO BE GUARANTEED FOR ONE (1) YEAR. GUARANTEE PERIOD STANDS FROM DATE OF PLANTING.
16. THE OWNER MAY INSPECT TREES AND SHRUBS EITHER AT PLACE OF GROWTH OR AT SITE BEFORE PLANTING. INSPECTION SHALL BE CONDUCTED WITHIN 14 DAYS OF DELIVERY. INSPECT TREES AND SHRUBS FOR SIZE AND CONDITION ON ROOT BALL. INSPECT, HOLEDS, AND BARK DAMAGE. INSPECTION SHALL BE CONDUCTED PRIOR TO PLANTING. INSPECTION SHALL BE CONDUCTED WITHIN 14 DAYS OF DELIVERY. REMOVE REJECTED MATERIAL IMMEDIATELY FROM THE PROJECT SITE.
17. ALL PLANTING MATERIAL SHALL BE PLANTED WITHIN 14 DAYS OF DELIVERY. ALL PLANTING MATERIAL SHALL BE PLANTED WITHIN 14 DAYS OF DELIVERY. ALL PLANTING MATERIAL SHALL BE PLANTED WITHIN 14 DAYS OF DELIVERY. ALL PLANTING MATERIAL SHALL BE PLANTED WITHIN 14 DAYS OF DELIVERY.
18. ONLY ONE REPLACEMENT PER TREE, SHRUB, OR PLANT WILL BE REQUIRED AT THE END OF THE WARRANTY PERIOD, EXCEPT FOR DISEASE OR REPAIRS WHICH DO NOT FAILURE TO COMPLY WITH THE SPECIFIED REQUIREMENTS.

GENERAL NOTES:

1. UTILITY SERVICES MAY EXIST ON SITE. THE LOCATION OF ALL SURFACE AND UNDERGROUND UTILITIES, SHEET OF WORK, ASSESSMENTS, ETC. SHALL BE OBTAINED BY THE CONTRACTOR BEFORE CONSTRUCTION AND TO REPAIR ANY DAMAGE WHICH SHOULD OCCUR TO THE CONTRACTOR OF THE OWNER'S ONLY COMPANY. COMMANDMENT OF PROJECT CONTRACTOR OF EXISTING CONDITIONS.
2. EXISTING SUBGRADE UPON WHICH WORK IS TO BE PERFORMED. EXISTING SUBGRADE AND PROVIDE PRECIPITATION DRENCHERS OR OTHER TIES TO PREVENT WATER FROM STAYING IN THE AREAS. GROWING CONDITIONS WILL BE PROVIDED FOR PLANTS. IF PRECIPITATION TESTS OR SUBSOIL CONDITIONS INDICATE WATER TABLE OR WATER IN PLANTING AREAS, OWNER'S SUPERVISOR OR WRITING OF THIS FACT OR OTHER UNDESIRABLE CONDITIONS BEFORE BACKFILLING. DO NOT PROCEED WITH THE WORK UNTIL UNDESIRABLE CONDITIONS HAVE BEEN CORRECTED.
3. ACTUAL AS-BUILT AND/OR EXISTING SITE CONDITIONS MAY VARY FROM THIS PLAN.
4. DAMAGE BY CONTRACTOR TO UNDESIRABLE AREAS OUTSIDE THE LIMITS OF CONSTRUCTION SHALL BE REPAIRED BY CONTRACTOR TO THE SATISFACTION OF THE OWNER.
5. CONTRACTOR IS RESPONSIBLE FOR CONDUCTING SITE INSPECTION PRIOR TO BIDDING WORK, TO DETERMINE THE EXISTING AREAS TO BE IMPROVED. THE CONTRACTOR HAS VERIFIED SITE CONDITIONS AND PLANT MATERIAL QUANTITIES.
6. FINAL ACCEPTANCE: THE LANDSCAPE ARCHITECT OR THE OWNER REPRESENTATIVE WILL PROVIDE THE FINAL INSTRUCTION. THE INSTRUCTION FINISH WORK, INCOMPLETE, THE CONTRACTOR SHALL REMEDY THE DEFICIENCIES.
7. IF THE SUBSTANTIAL COMPLETION OR FINAL INSPECTION REQUIRE CORRECTION BY LANDSCAPE ARCHITECT, DUE TO CHANGE OF WORK OR CORRECTION OF DEFICIENCIES CLAIMED BY LANDSCAPE ARCHITECT OR OWNER REPRESENTATIVE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF CORRECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF CORRECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF CORRECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF CORRECTION.
8. AFTER FINAL ACCEPTANCE AND PRIOR TO END OF WARRANTY PERIOD, CONTRACTOR SHALL REPLACE ALL PLANT MATERIAL THAT HAS DIED OR HAS DEFECTS, INCLUDING UNSATISFACTORY GROWTH, IN THE OPINION OF THE OWNER.
9. DURING LANDSCAPE INSTALLATION KEEP PAVEMENTS CLEAN AND WORK AREA IN ORDERLY CONDITION. THE PROJECT SITE SHALL BE LEFT IN A CLEAN CONDITION AT THE END OF EVERY WORK DAY.
10. CONTRACTOR TO REPAIR ANY PAVEMENTS, CURBS, AND OTHER IMPROVEMENTS DAMAGED AS A RESULT OF LANDSCAPE INSTALLATION ACTIVITIES.
11. STEEL EDGING AS INDICATED SHALL BE WELDED STEEL EDGING OR APPROVED EQUAL. INSTALL PER MANUFACTURERS INSTRUCTIONS FOR THE APPLICATION. COLOR: BRUSHED ALUMINUM.
12. ROCK MULCH SHALL BE 1/2" BOUNDED ROCK, NATURAL BANSFAN COLOR. TOP OF MULCH SHALL BE PROTECTED FROM ALL WEATHER. INSTALL LANDSCAPE COLOR: NATURAL BANSFAN. TO RECEIVE ROCK MULCH, INSTALL ROCK MULCH TO A DEPTH ADEQUATE TO COMPLETELY COVER VERTICALLY. THE LANDSCAPE ARCHITECT OR OWNER REPRESENTATIVE SHALL BE RESPONSIBLE FOR THE COST OF CORRECTION.

PLANT LIST:

Qty	Latin Name	Common Name	Size	Notes
10	1-1/2" GALV. WIRE			
10	2" x 2" HARDWOOD OR TREATED SOFTWOOD STAKE 2' LONG			
10	3" PARTS EXISTING SOIL FROM FIT			
10	1-1/2" GALV. WIRE			
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