

▶ **FILE #:** 7-C-16-UR

AGENDA ITEM #: 43

AGENDA DATE: 7/14/2016

▶ **APPLICANT:** BALL HOMES, LLC

OWNER(S): Ball Homes, LLC

TAX ID NUMBER: 104 PART OF 01708 AND 084

[View map on KGIS](#)

JURISDICTION: County Commission District 6

STREET ADDRESS: 10105 Hardin Valley Rd

▶ **LOCATION:** South side of Hardin valley Rd., southern end of Westcott Blvd.

▶ **APPX. SIZE OF TRACT:** 20.2 acres

SECTOR PLAN: Northwest County

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via Hardin Valley Rd., a minor arterial street with 4 lanes and a center median with a required 100' right-of-way

UTILITIES: Water Source: West Knox Utility District

Sewer Source: West Knox Utility District

WATERSHED: Beaver Creek

▶ **ZONING:** PR (Planned Residential)

▶ **EXISTING LAND USE:** Vacant land

▶ **PROPOSED USE:** 252 Apartment Units

HISTORY OF ZONING: The Knox County Commission approved a sector plan amendment to medium density residential and a rezoning to PR (Planned Residential) at a density of up to 6 du/ac. on March 23, 2015 and September 28, 2015.

SURROUNDING LAND USE AND ZONING: North: Vacant land and residence / PC (Planned Commercial) & PR (Planned Residential)

South: Vacant land (approved subdivision) / PR (Planned Residential)

East: Vacant land (approved subdivision) and residences / PR (Planned Residential)

West: Residences / RA (Low Density Residential)

NEIGHBORHOOD CONTEXT: This site is located in an area along Hardin Valley Rd., that includes a mix of industrial, commercial and low to medium density residential development that has occurred under I, PC, PR, RA and A zoning.

STAFF RECOMMENDATION:

▶ **APPROVE the Development Plan for up to 252 apartment units, and the requested reduction of the peripheral setback from 35' to 25' as shown on the development plan, subject to 8 conditions.**

1. Meeting all applicable requirements of the Knox County Zoning Ordinance.
2. Connecting the apartments to sanitary sewer, as well as meeting other applicable requirements of the Knox County Health Department.

3. Provision of street names which are consistent with the Uniform Street Naming and Addressing system Ordinance (Ord. 91-1-102).
4. Installation of sidewalks for the apartment complex as identified on the development plan. Sidewalks shall meet all applicable requirements of the Americans with Disabilities Act (ADA) .
5. Installing all landscaping for the apartment complex, as shown on the landscape plan, within six months of issuance of occupancy permits for the project, or posting a bond with the Knox County Department of Engineering and Public Works, to guarantee such installation.
6. Implementation of the intersection improvements and recommendations outlined in the Traffic Impact Study prepared by Fulghum MacIndoe & Associates, Inc. as revised on August 24, 2015. The details for the timing and costs associated with a traffic signal warrant analysis and possible traffic signal at the development entrance onto Hardin Valley Rd. shall be worked out between the applicant and the Knox County Department of Engineering and Public Works
7. Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
8. This use on review approval only modifies the previous use on review approval (7-C-15-UR) as it relates to the apartment development and does not change that approval for the approved concept plan for the 170 lot subdivision.

With the conditions noted, this plan meets the requirements for approval in the PR zone and the other criteria for approval of a Use on Review.

COMMENTS:

The applicant is requesting approval of a revision to a previously approved use on review application for an apartment development located on the south side of Hardin Valley Road directly south of Westcott Blvd. and the Westbridge Business Park. The approved development included a 248 unit apartment complex and a detached residential subdivision with 170 lots on a 94.82 acre tract . The proposed revision includes an increase of four apartment units for a total of 252 units. The changes also include some minor changes to the driveway and parking lot layout,

A new public street which will be located approximately 800 feet east of Westcott Blvd. will serve as the single access point for the development. The subdivision will be served by public streets. A private driveway system will provide access to the apartment complex. The main entrance for the proposed apartment complex will be off of the main access street for the subdivision approximately 475 off of Hardin Valley Rd.

The apartment complex will include 9 three story buildings with 28 dwelling units in each building. The majority of the proposed parking will be located in surface parking areas with 60 spaces located within five of the buildings. An amenity area is being provided near the main entrance to the complex that includes a clubhouse and pool area. Sidewalks will be provided through the complex and will connect to the sidewalk system that serves the subdivision. There will be an emergency access driveway at the southwest corner of the complex that will connect to the main access street for the subdivision.

A Traffic Impact Study was prepared by Fulghum MacIndoe & Associates, Inc. for this development with the last revision date being August 24, 2015. The study concluded that the existing street system will continue to operate at acceptable levels of services with the proposed development. Staff has recommended a condition that the details for the timing and costs associated with a future traffic signal warrant analysis and possible traffic signal at the development entrance onto Hardin Valley Rd. shall be worked out between the applicant and the Knox County Department of Engineering and Public Works.

The applicant has requested a reduction of the peripheral setback from 35' to 25' along all exterior boundaries of this Subdivision which can be approved by the Planning Commission.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE

1. The proposed apartment development will have minimal impact on local services since utilities are available to serve this site.
2. The proposed low density residential development (apartments and detached residential subdivision) is compatible with the scale and intensity of recent development that has occurred in this area.
3. The traffic impact study that had been prepared for the development identifies that the street system will continue to operate at acceptable levels of services with the proposed development.
4. The applicant has laid out the development to stay off the steeper portion of the site. The concept plan had included the steeper area within common area, and with the previously approved conditions, that area will be

protected from development.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

1. With the recommended conditions, the proposed residential development is consistent with all relevant requirements of the PR zoning, as well as other criteria for approval of a use on review.
2. The development is consistent with the following general standards for uses permitted on review: The proposal is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas since the development has access to a minor arterial street.
2. The proposed residential development at a density of 4.45 du/ac, is consistent in use and density with the PR zoning of the property at a density of up to 6 du/ac.

CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

1. The Northwest County Sector Plan proposes medium density residential (MDR) uses for this site. The proposed development at a density of 4.45 du/ac is consistent with the sector plan.
2. This site is located within the Planned Growth Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: 2190 (average daily vehicle trips)

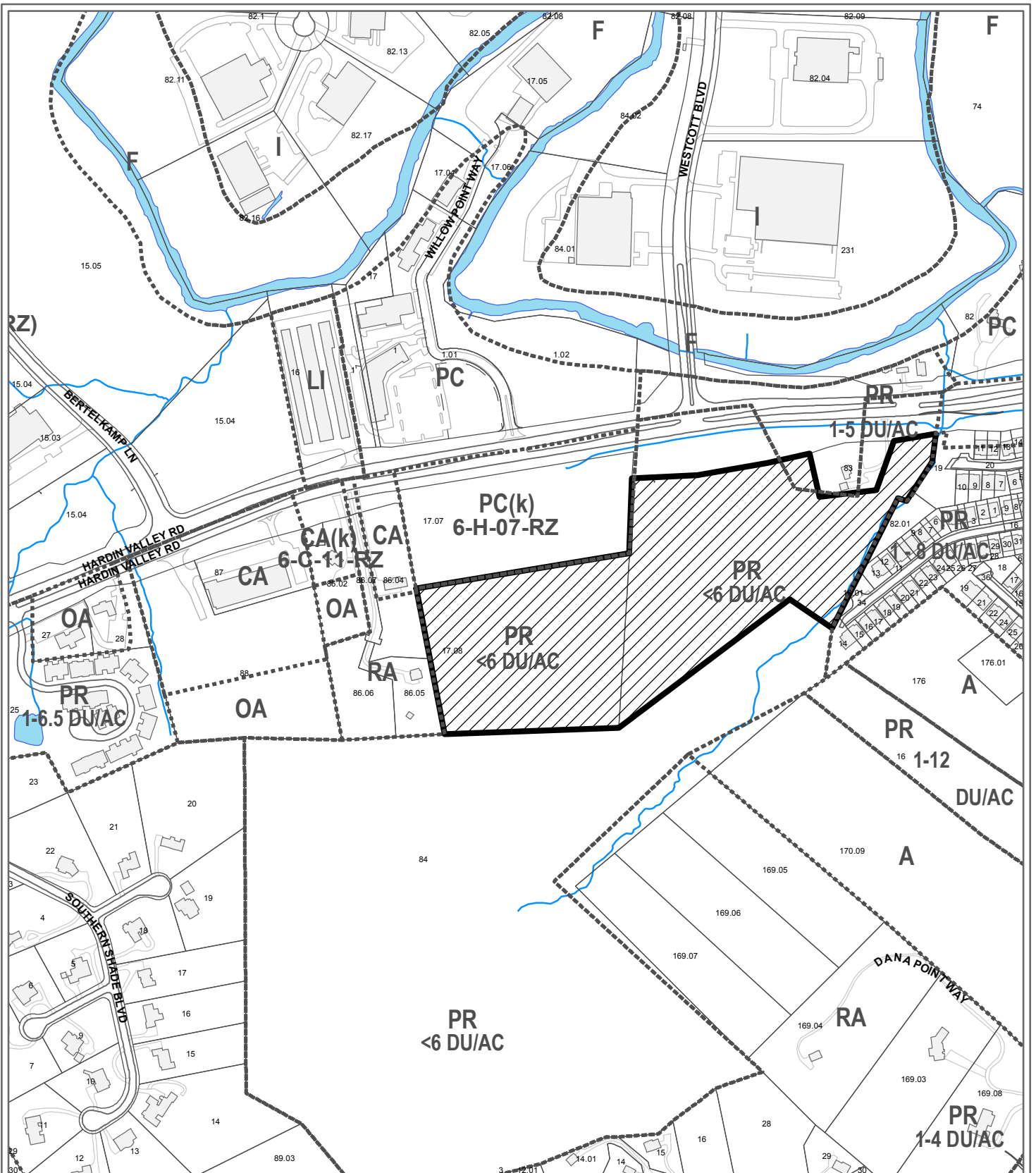
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: 58 (public and private school children, ages 5-18 years)

Schools affected by this proposal: Hardin Valley Elementary, Karns Middle, and Hardin Valley Academy.

- School-age population (ages 5–18) is estimated by MPC using data from a variety of sources.
- While most children will attend public schools, the estimate includes population that may be home-schooled, attend private schools at various stages of enrollment, or drop out of the public system.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.
- School capacities are subject to change by Knox County Schools through building additions, curriculum or scheduling changes, or amendments to attendance zone boundaries.

MPC's approval or denial of this request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal an MPC decision in the County.



**7-C-16-UR
USE ON REVIEW**

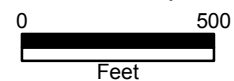


252 Apartment Units in PR (Planned Residential)

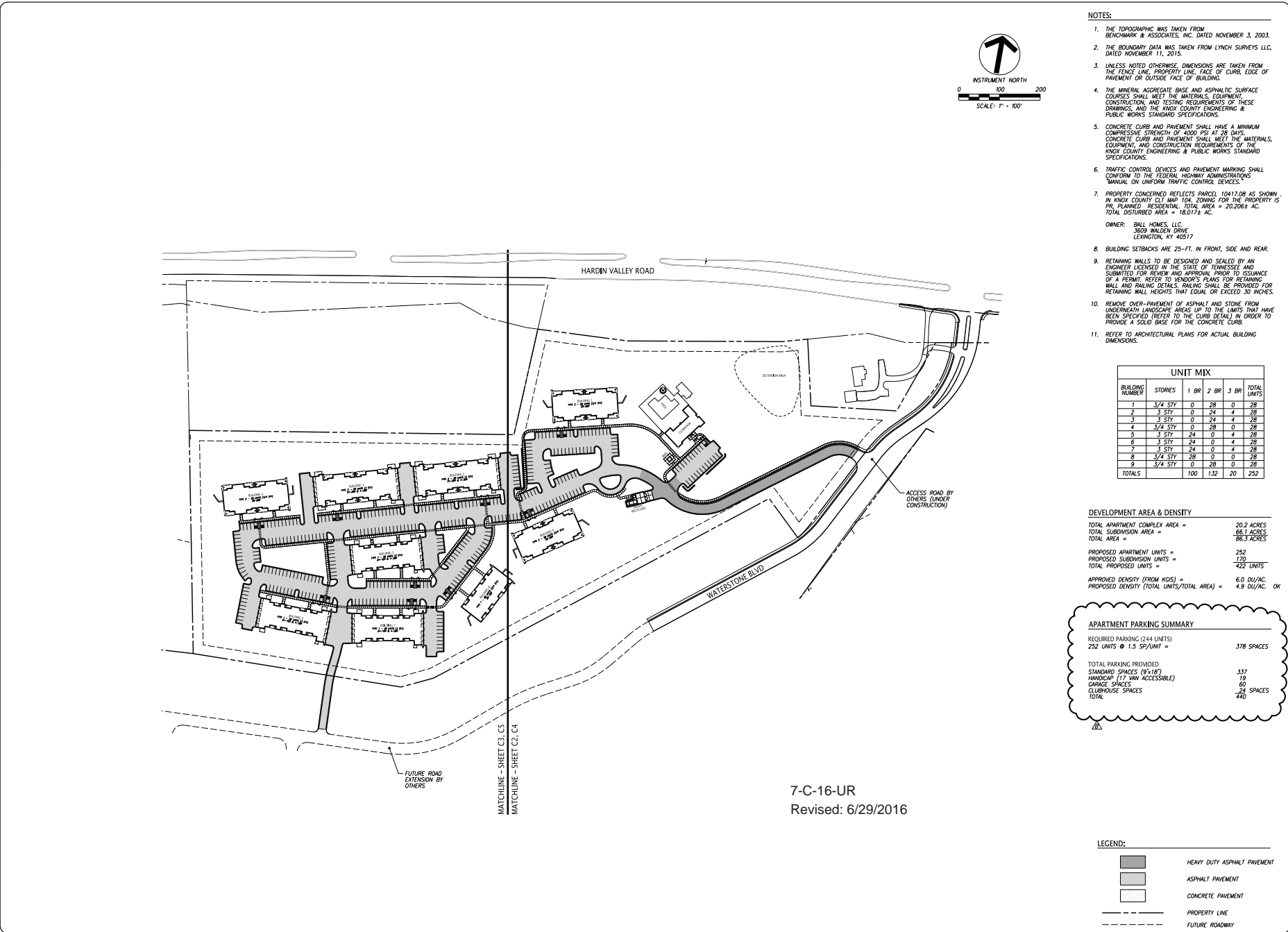
Petitioner: Ball Homes, LLC

Map No: 104

Jurisdiction: County



Original Print Date: 6/16/2016 Revised: 7/1/16
 Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902



- NOTES:**
1. THE TOPOGRAPHIC WAS TAKEN FROM BENCHMARK & ASSOCIATES, INC. DATED NOVEMBER 3, 2003.
 2. THE BOUNDARY DATA WAS TAKEN FROM LYNCH SURVEYS LLC, DATED NOVEMBER 11, 2015.
 3. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM THE FENCE LINE, PROPERTY LINE, FACE OF CURB, EDGE OF PAVEMENT OR OUTSIDE FACE OF BUILDING.
 4. THE MINERAL AGGREGATE BASE AND ASPHALTIC SURFACE COURSES SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE DRAWINGS, AND THE KNOX COUNTY ENGINEERING & PUBLIC WORKS STANDARD SPECIFICATIONS.
 5. CONCRETE CURB AND PAVEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. CONCRETE CURB AND PAVEMENT SHALL MEET THE MATERIALS, EQUIPMENT, AND CONSTRUCTION REQUIREMENTS OF THE KNOX COUNTY ENGINEERING & PUBLIC WORKS STANDARD SPECIFICATIONS.
 6. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
 7. PROPERTY CONCERNED REFLECTS PARCEL 10417.08 AS SHOWN IN KNOX COUNTY CLT MAP 104. ZONING FOR THE PROPERTY IS PR, PLANNED RESIDENTIAL, TOTAL AREA = 20.206 AC. TOTAL DISTURBED AREA = 18.0172 AC.
 OWNER: BALL HOMES, LLC
 3609 WALDEN DRIVE
 LEXINGTON, KY 40517
 8. BUILDING SETBACKS ARE 25'-FT. IN FRONT, SIDE AND REAR.
 9. RETAINING WALLS TO BE DESIGNED AND SEALED BY AN ENGINEER LICENSED IN THE STATE OF TENNESSEE AND SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A PERMIT. REFER TO VENDOR'S PLANS FOR RETAINING WALL AND RAILING DETAILS. RAILING SHALL BE PROVIDED FOR RETAINING WALL HEIGHTS THAT EQUAL OR EXCEED 30 INCHES.
 10. REMOVE OVER-PAVEMENT OF ASPHALT AND STONE FROM UNDERNEATH LANDSCAPE AREAS UP TO THE LIMITS THAT HAVE BEEN SPECIFIED (REFER TO THE CURB DETAIL) IN ORDER TO PROVIDE A SOLID BASE FOR THE CONCRETE CURB.
 11. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.

UNIT MIX					
BUILDING NUMBER	STORIES	1 BR	2 BR	3 BR	TOTAL UNITS
1	3/4 STY	0	28	0	28
2	3 STY	0	24	4	28
3	3 STY	0	24	4	28
4	3/4 STY	0	28	0	28
5	3 STY	24	0	4	28
6	3 STY	24	0	4	28
7	3 STY	24	0	4	28
8	3/4 STY	28	0	0	28
9	3/4 STY	0	28	0	28
TOTALS		100	132	20	252

DEVELOPMENT AREA & DENSITY

TOTAL APARTMENT COMPLEX AREA =	20.2 ACRES
TOTAL SUBDIVISION AREA =	86.1 ACRES
TOTAL AREA =	86.3 ACRES
PROPOSED APARTMENT UNITS =	252
PROPOSED SUBDIVISION UNITS =	170
TOTAL PROPOSED UNITS =	422 UNITS
APPROVED DENSITY (FROM KDCS) =	6.0 DU/AC.
PROPOSED DENSITY (TOTAL UNITS/TOTAL AREA) =	4.9 DU/AC. OK

APARTMENT PARKING SUMMARY

REQUIRED PARKING (244 UNITS)	
252 UNITS @ 1.5 SP/UNIT =	378 SPACES
TOTAL PARKING PROVIDED	
STANDARD SPACES (9'x18')	337
HANDICAP (17 VAN ACCESSIBLE)	19
GARAGE SPACES	60
CLUBHOUSE SPACES	24
TOTAL	440 SPACES

LEGEND:

	HEAVY DUTY ASPHALT PAVEMENT
	ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	PROPERTY LINE
	FUTURE ROADWAY

7-C-16-UR
 Revised: 6/29/2016

FULGHUM

MACINDOE
 ASSOCIATES, INC.

10330 HARDEN VALLEY ROAD SUITE 201
 KNOXVILLE, TN 37932
 OFFICE: 865.690.6419
 FAX: 865.690.6449
 www.fulghummacindoe.com

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

HARDIN VALLEY APARTMENTS
 10105 HARDIN VALLEY ROAD
 KNOXVILLE, TENNESSEE 37932

BALL HOMES, LLC
 3609 WALDEN DRIVE
 LEXINGTON, KY 40517
 CONTACT: D. RAY BALL, JR.
 TELEPHONE NO.: 859.268.1391

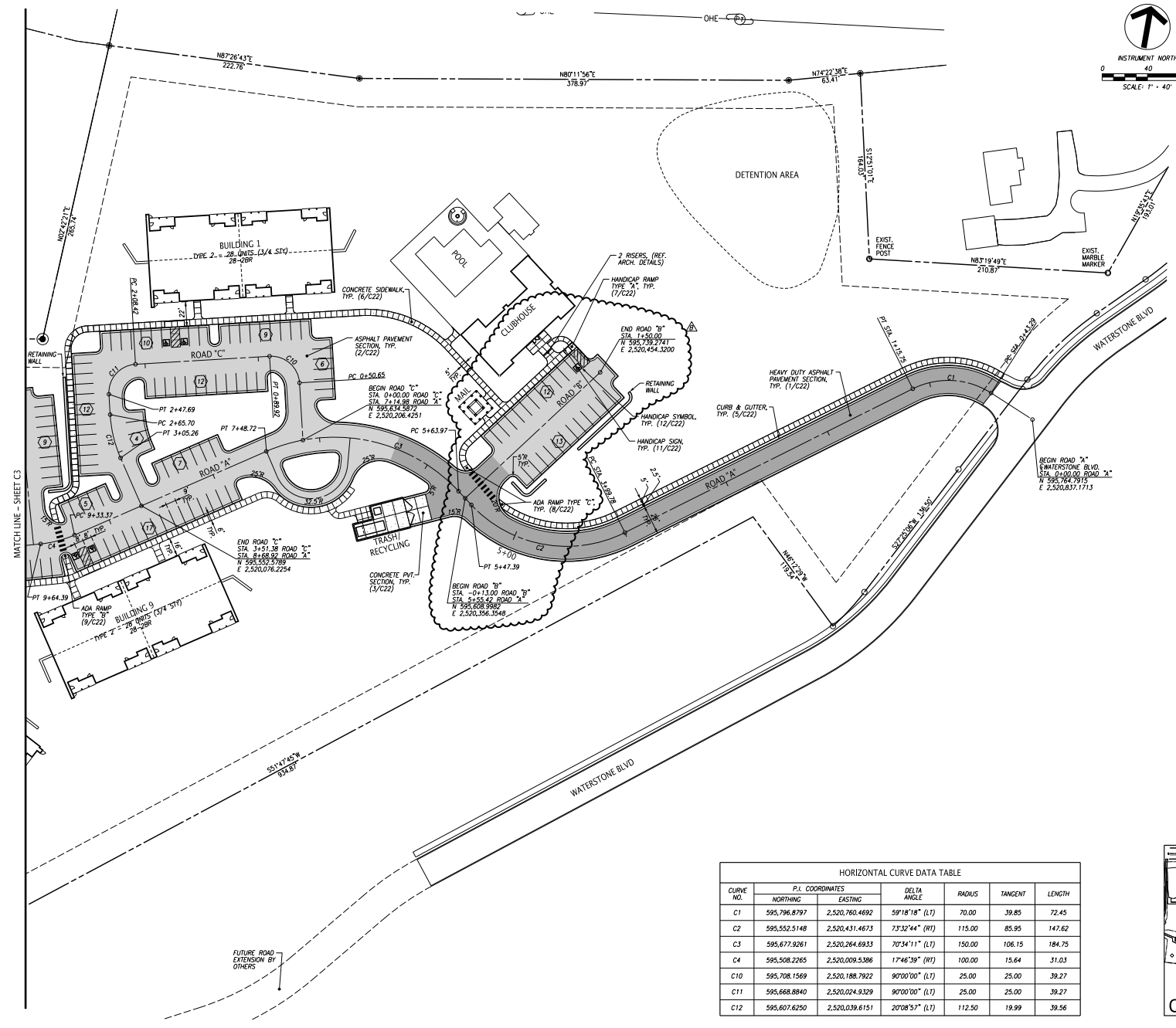
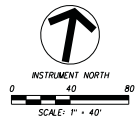
UOR OVERALL PLAN

PROJ. NO.	ISSUED BY	DATE	REVISION/ISSUE
	CHC	06/29/16	
	WCF	05/21/16	

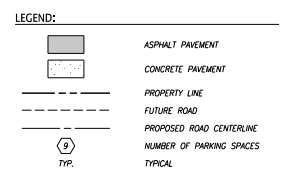
Project: 330.009.1
 Sheet: **C1**
 Date: 06/20/16
 Scale: 1" = 100'

PROJ. NO.	1330.009.1	DATE	06/29/16
ISSUED BY	WCF	REVISION	05/21/16
DESIGNED BY	WCF	REVISION	
DRAWN BY	CHC	REVISION	
CHECKED BY	WCF	REVISION	
APPROVED BY	WCF	REVISION	
PROJECT	HARDIN VALLEY APARTMENTS		
SHEET	C2		
DATE	06/20/16		
SCALE	1"=40'		

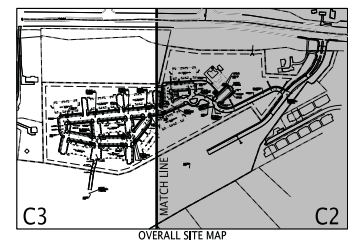
NOTES:
1. REFER TO SHEET C1 FOR GENERAL NOTES.



7-C-16-UR
Revised: 6/29/2016



CURVE NO.	P.L. COORDINATES		DELTA ANGLE	RADIUS	TANGENT	LENGTH
	NORTHING	EASTING				
C1	595,796.8797	2,520,760.4692	59°18'18" (L)	70.00	39.85	72.45
C2	595,552.5148	2,520,431.4673	73°32'44" (RT)	115.00	85.95	147.62
C3	595,677.9261	2,520,264.6933	70°34'11" (L)	150.00	106.15	184.75
C4	595,508.2265	2,520,009.5386	17°46'39" (RT)	100.00	15.64	31.03
C10	595,708.1569	2,520,188.7922	90°00'00" (L)	25.00	25.00	39.27
C11	595,668.8840	2,520,024.8329	90°00'00" (L)	25.00	25.00	39.27
C12	595,607.6250	2,520,039.6151	20°08'57" (L)	112.50	19.99	39.56

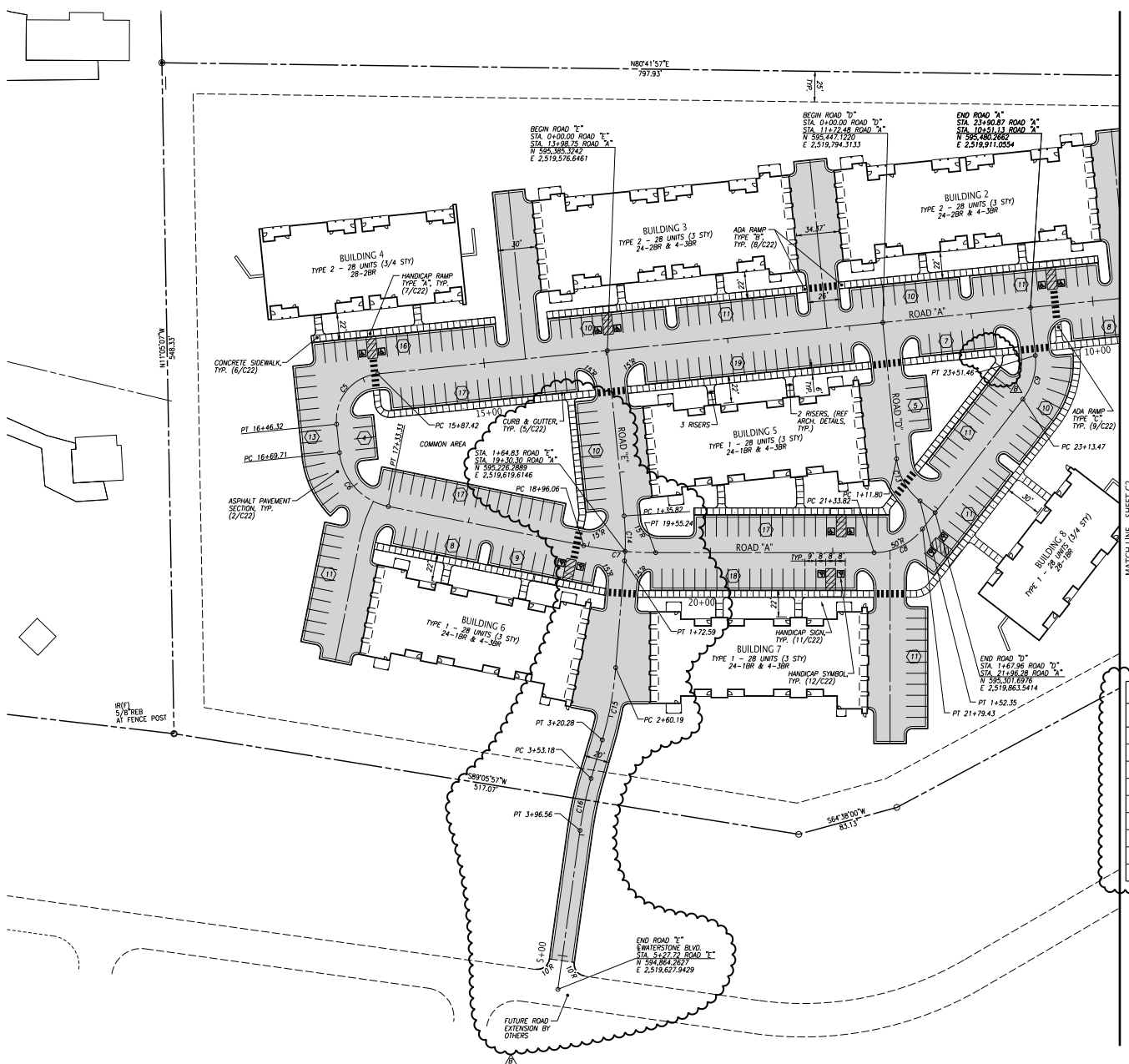
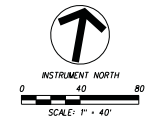


File Name: A:\1330.009.01 (1005) Concept\1330091.rvt
Plot Date: 6/29/2016

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PROJ. NO.	ISSUED BY	DATE	REVISION/ISSUE
330.009.1	WCF	06/29/16	
	WCF	05/21/16	
	WCF		

- NOTES:**
1. REFER TO SHEET C1 FOR GENERAL NOTES.
 2. REFER TO SHEET C2 FOR LEGEND.



CURVE NO.	P.I. COORDINATES		DELTA ANGLE	RADIUS	TANGENT	LENGTH
	NORTHING	EASTING				
C5	595,323.5559	2,519,359.0830	90°00'00" (LT)	37.50	37.50	58.90
C6	595,229.4551	2,519,385.7991	72°53'47" (LT)	50.00	36.93	63.61
C7	595,224.4359	2,519,615.0967	11°18'09" (LT)	300.00	29.69	59.18
C8	595,265.0534	2,519,844.3137	52°15'53" (LT)	50.00	24.53	45.61
C9	595,423.1528	2,519,927.2705	43°32'11" (LT)	50.00	19.97	37.99
C13	595,318.9248	2,519,830.7097	46°27'49" (LT)	50.00	21.46	40.55
C14	595,618.7763	2,519,618.7763	10°32'10" (RT)	200.00	18.44	36.78
C15	595,101.3348	2,519,631.3877	11°28'39" (RT)	300.00	30.15	60.10
C16	595,017.0537	2,519,622.2855	08°17'04" (LT)	300.00	21.73	43.38

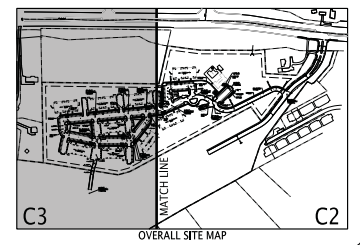
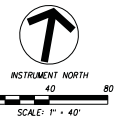
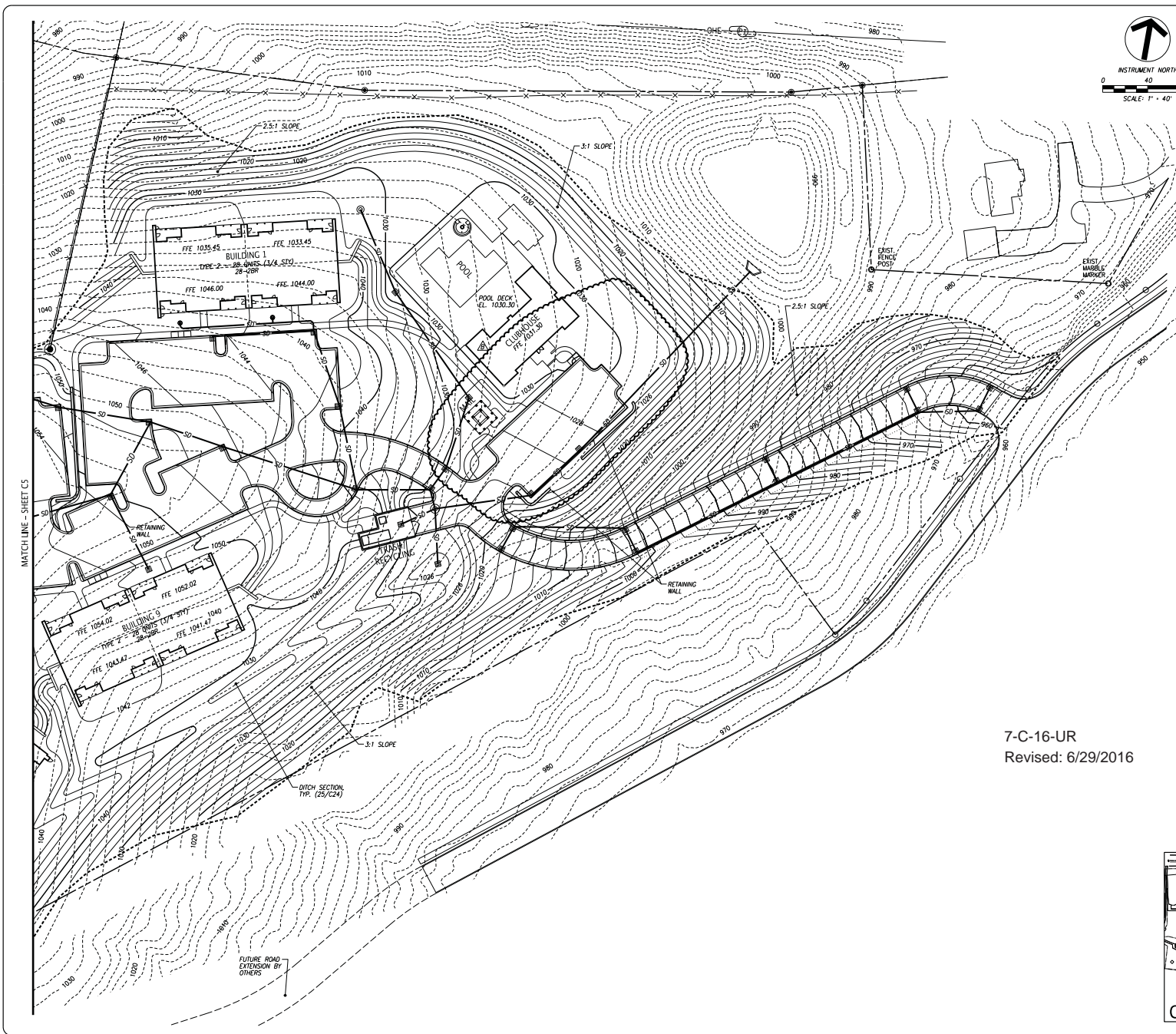


FIG. NUMBER: 15101-002006 (1) (UNMS) Concept 1300007.rvt (06/29/16)
REV. NUMBER: 02/20/16

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 Plot Date: 6/29/2016

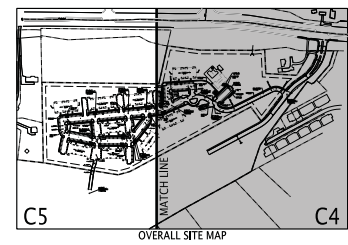


- GRADING NOTES:**
- UNLESS NOTED OTHERWISE, THE PROPOSED GRADES SHOWN ON THESE DRAWINGS ARE FINISHED GRADE. EXISTING AND PROPOSED CONTOURS ARE SHOWN AT 2'-FT. INTERVALS.
 - THE ACCURACY OF THE GRADES IS DEPENDANT ON THE DATA PROVIDED BY THE OWNER OR OWNER'S REPRESENTATIVE. FIELD VERIFY AS NECESSARY PRIOR TO CONSTRUCTION.
 - THE SITE SHALL BE CLEARED AND GROBBERD WITHIN THE LIMITS OF EXCAVATION. COMPLETELY REMOVE ALL MATERIALS RESULTING FROM CLEARING AND GROBBERD. OFF-SITE BURNING SHALL NOT BE PERMITTED UNLESS PRIOR APPROVAL IS OBTAINED BY THE LOCAL FIRE DEPARTMENT. THE CONTRACTOR MUST OBTAIN A PERMIT AND MEET ALL OF THE REQUIREMENTS AS SPECIFIED BY THE FIRE DEPARTMENT.
 - ALL TREES STUMPS, BOULDERS, AND OTHER OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF 2 FT BELOW THE SUBGRADE. ROCK SHALL BE SCARRED TO DEPTH OF 1 FT BELOW SUBGRADE.
 - STOP TOPSOIL FULL DEPTH (6-IN. MIN.) AND TEMPORARILY STOCKPILE EXCAVATED MATERIALS. INSTALL SILT FENCE OR OTHER APPROPRIATE EROSION CONTROL STRUCTURES ON THE DOWN HILL SIDE OF THE STOCKPILE.
 - PROOF ROLL ALL AREAS TO RECEIVE FILL. PROOF ROLL WITH A FULLY LOADED TANGAM AREA DUMP TRUCK USING A CROSS-CROSS PATTERN (4 PASSES MIN) AREAS FAILING THE PROOF ROLLING SHALL BE REWORKED AND GROUTLED USING AN ENGINEERED FILL OR STABILIZED BY A METHOD APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
 - AREAS THAT EXHIBIT WEAK SOIL OR OTHERWISE UNSUITABLE CONDITIONS SHALL BE UNDERCUT TO A FIRM LEVEL OF SOIL FOLLOED BY BACKFILL WITH ENGINEERED FILL TOOT NO. 57, OR TOOT NO. 67 STONE.
 - FILL MATERIAL SHALL BE SATISFACTORY MATERIAL FREE FROM ROOTS AND OTHER ORGANIC MATERIAL. PROZER MATERIAL, AND TRASH. FILL MATERIAL SHOULD BE FREE OF STONE OR OTHER MATERIAL LARGER THAN 6 IN. AND LARGER THAN 4 IN. IN THE TOP 6 IN. OF AN EMBANKMENT.
 - FILL SOILS SHALL HAVE A PI LESS THAN 30 & A MAXIMUM DRY DENSITY OF 90 PCF OR GREATER.
 - UNSATISFACTORY SOILS INCLUDE MATERIALS THAT ARE TOO WET OR TOO SOFT, EXPANSIVE SOILS AND SOILS CLASSIFIED PI, CH, AND OL. LEGALLY DISPOSE OF UNSATISFACTORY SOILS OFF-SITE UNLESS OTHERWISE APPROVED BY THE OWNER OR GEOTECHNICAL ENGINEER.
 - FILL MATERIAL SHALL BE PLACED IN LOOSE, HORIZONTAL LIFTS NOT EXCEEDING 8 IN. THICKNESS. COMPACT EACH LAYER TO AT LEAST 98% MAXIMUM DRY DENSITY. CONSTRUCT THE UPPER 24 IN. OF FILL BENEATH PAVEMENTS AND THE UPPER 12 IN. BENEATH BUILDING SLABS TO 100% MAXIMUM DRY DENSITY. MAINTAIN THE MOISTURE CONTENT TO WITHIN -1 TO +3 PERCENT OF THE OPTIMUM MOISTURE CONTENT.
 - A 6 IN. (MIN.) LAYER OF TOPSOIL SHALL BE PLACED OVER THE AREAS TO BE SEEDD AND TO THE FINISH GRADE ELEVATIONS AS SHOWN ON THE DRAWINGS.
 - DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS OR POOD. ON-SITE, PROVIDE NECESSARY MEASURES TO KEEP THE SITE FREE-DRAINING.
 - NO SLOPE SHALL EXCEED 2:1 UNLESS PROPER SLOPE STABILIZATION MEASURES ARE IMPLEMENTED.
 - PROTECT AND MAINTAIN SUBGRADE UNTIL PLACEMENT OF THE FINAL SURFACE IS ACHIEVED.
 - VERIFY GRADES WHEREVER NECESSARY TO BRING THE PROPOSED LINES, ELEVATIONS, SLOPES, AND CROSS-SECTIONS OF THE GRADING WORK TO WITHIN THE FOLLOWING TOLERANCES ABOVE OR BELOW THAT AS SHOWN ON THE PLANS: SUBGRADE 0.1', UNPAVED AREAS 0.1', SIDEWALKS 0.10", PAVEMENTS 0.04", AND BUILDINGS 0.04".
 - SLOPES GREATER THAN 4:1 SLOPE AT A HEIGHT GREATER THAN 8'-FT SHALL BE TESTED BY THE PROJECT GEOTECHNICAL ENGINEER TO DETERMINE STABILITY.
 - DISTURBED AREAS SHALL BE STABILIZED IN AN EXPEDITED MANNER TO MINIMIZE TIME OF EXPOSURE TO WEATHER.
 - PRIOR TO INSTALLING NEW PIPING, CONTRACTOR SHALL LOCATE EXISTING UTILITIES/STRUCTURES WHERE NEW PIPES CROSS BY POT-HOILING. AFTER EXPOSING EXISTING UTILITY/STRUCTURE, CONTRACTOR SHALL OBTAIN HORIZONTAL AND VERTICAL LOCATIONS BY FIELD SURVEY, AND RESOLVE ANY CONFLICTS BETWEEN UNDERGROUND UTILITIES/STRUCTURES AND NEW PIPING UNDER THE DIRECTION OF THE OWNER PRIOR TO INSTALLING NEW PIPING.

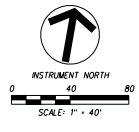
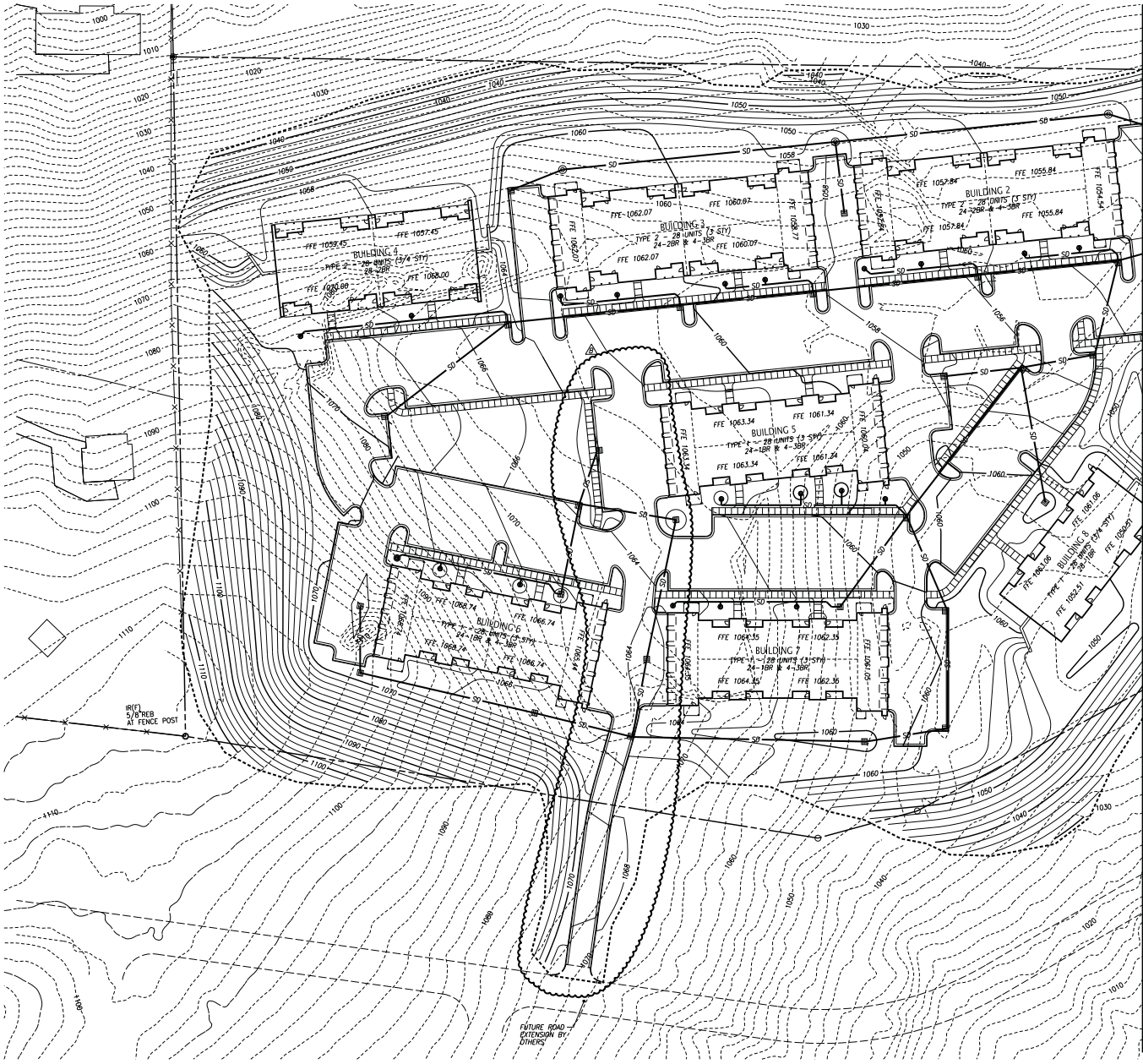
LEGEND:

---	PROPERTY LINE
----	EXISTING CONTOUR
- - - - -	PROPOSED CONTOUR
---	PROPOSED STORM DRAIN
---	FUTURE ROAD
●	PROPOSED STORM MANHOLE
■	PROPOSED STORM HEADWALL
□	PROPOSED CATCH BASIN/ AREA DRAIN

7-C-16-UR
 Revised: 6/29/2016



 10330 HARDEN VALLEY ROAD SUITE 102 KNOXVILLE, TN 37932 OFFICE: 865.690.6419 FAX: 865.690.6418 www.fulghummacindoe.com																											
PRELIMINARY NOT FOR CONSTRUCTION																											
HARDIN VALLEY APARTMENTS 10105 HARDIN VALLEY ROAD KNOXVILLE, TENNESSEE 37932																											
BALL HOMES, LLC 3609 WALDEN DRIVE LEXINGTON, KY 40517 CONTACT: D. RAY BALL, JR. TELEPHONE NO.: 855.268.1311																											
UOR SITE GRADING PLAN																											
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 20%;">DRAWN BY</td> <td style="width: 20%;">CVC</td> <td style="width: 20%;">CHECKED BY</td> <td style="width: 20%;">MCF</td> <td style="width: 20%;">ISSUED FOR USE ON REVIEW</td> <td style="width: 20%;">05/21/16</td> </tr> <tr> <td>PROJ. NO.</td> <td>MCF</td> <td>REVISED ROAD & LENGTH</td> <td>06/29/16</td> <td>ISSUED FOR USE ON REVIEW</td> <td>05/21/16</td> </tr> <tr> <td>No.</td> <td></td> <td>Revision/Issue</td> <td></td> <td></td> <td></td> </tr> </table>	DRAWN BY	CVC	CHECKED BY	MCF	ISSUED FOR USE ON REVIEW	05/21/16	PROJ. NO.	MCF	REVISED ROAD & LENGTH	06/29/16	ISSUED FOR USE ON REVIEW	05/21/16	No.		Revision/Issue				<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>Project</td> <td>330,009.1</td> </tr> <tr> <td>Date</td> <td>06/20/16</td> </tr> <tr> <td>Scale</td> <td>1"=40'</td> </tr> <tr> <td>Sheet</td> <td style="font-size: 2em; text-align: center;">C4</td> </tr> </table>	Project	330,009.1	Date	06/20/16	Scale	1"=40'	Sheet	C4
DRAWN BY	CVC	CHECKED BY	MCF	ISSUED FOR USE ON REVIEW	05/21/16																						
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GRADING NOTES:
 1. REFER TO SHEET C4 FOR GRADING NOTES AND LEGEND.

FULGHUM
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 & ASSOCIATES, INC.

10330 HARDEN VALLEY ROAD
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 www.fulghummacindoe.com

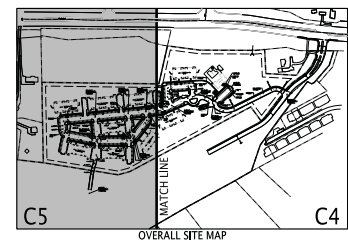
**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

HARDIN VALLEY APARTMENTS
 10.05 HARDIN VALLEY ROAD
 KNOXVILLE, TENNESSEE 37932

BALL HOMES, LLC
 3609 WALDEN DRIVE
 LEXINGTON, KY 40517
 CONTACT: D. RAY BALL, JR.
 TELEPHONE NO.: 859.268.1191

UOR SITE GRADING PLAN

7-C-16-UR
 Revised: 6/29/2016



PROJ. NO.	ISSUED BY	DATE	REVISION/ISSUE	NO.	DATE
330.009.1	WCF	06/29/16	REVISED SIDEWALK AND ROAD E GRADINGS		
	WCF	05/21/16	ISSUED FOR USE ON REVIEW		

Project: 330.009.1
 Date: 06/20/16
 Scale: 1"=40'

Sheet: **C5**

PL NUMBER: 15101-2016-06 (10405) Concept (10405) 15101001.rvt
 Plot Date: 6/29/2016

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HARDIN VALLEY SUBDIVISION
10105 HARDIN VALLEY ROAD
KNOXVILLE, TENNESSEE 37932

SHADY GLEN, LLC
405 MONTBROOK LANE
KNOXVILLE, TN 37919
CONTACT: ERIC MOSELEY
TELEPHONE NO.: 865.539.1112

LANDSCAPE PLAN



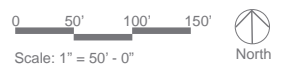
- Legend**
- 1. Flowering trees at entrance
 - 2. Canopy trees line entry drive
 - 3. Evergreen screen of trash enclosure
 - 4. Canopy trees to shade parking lot
 - 5. Flowering trees at building entrances
 - 6. Evergreen screen
 - 7. Existing woodland

City of Knoxville Planting Requirement:
For each five thousand (5,000) square feet of parking area, a tree shall be provided that will obtain a minimum height of forty (40) feet at maturity.

Total square feet of parking area: 178,398

Total trees required: 36
Proposed canopy trees: 59

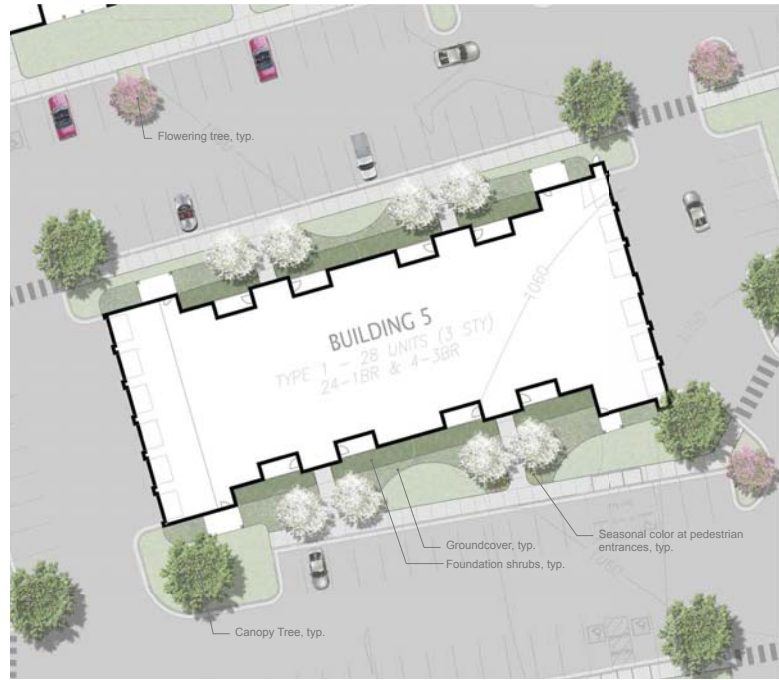
7-C-16-UR
Revised: 6/29/2016



PROJ. NO.	ISSUED BY	ISSUED FOR	DATE
130.009	DESIGNED BY	ISSUED FOR CONCEPT PLAN	06/28/16
	REVISION/ISSUE		
Project Sheet			No.
Date	Scale		
06/28/16	1"=50'		

File Name: 7-C-16-UR
Plot Area: 0.0000

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Landscape Enlargement

0 10' 20' 30'
Scale: 1" = 10' - 0" North



Gro-Low Sumac



Fountaingrass



Drift Rose



Juniper



Russian Sage



Compacta Inkberry



Liriope



English Laurel

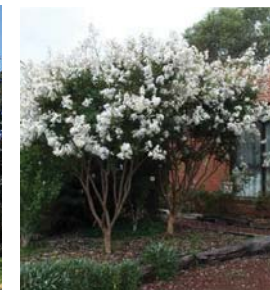


Flowering Trees

Eastern Redbud



Flowering Dogwood



Grape Myrtle



Canopy Trees

Sweetgum



Tulip Poplar



Sugar Maple



Canopy Trees

Little Gem Magnolia



Cryptomeria



Green Giant Arborvitae



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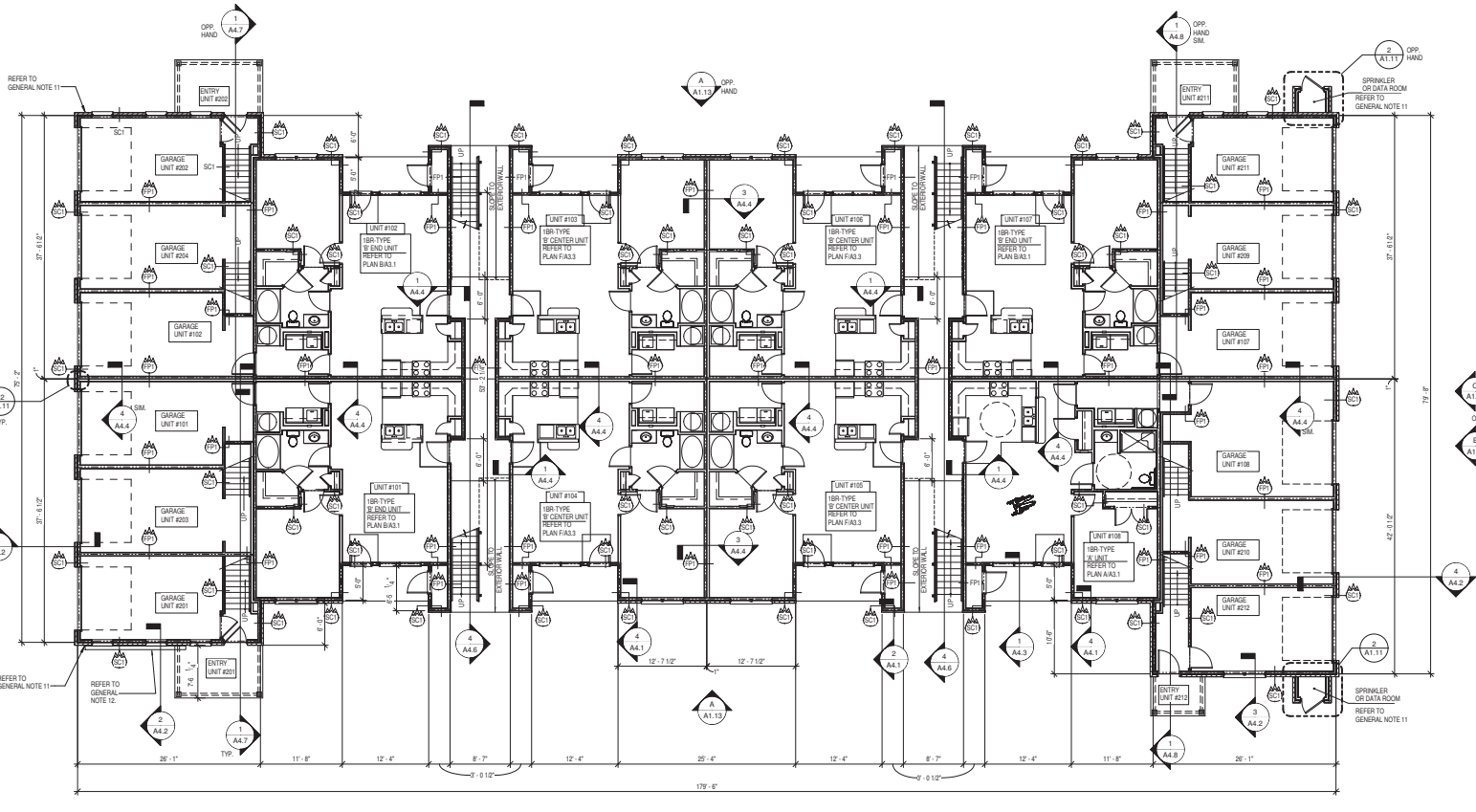
HARDIN VALLEY SUBDIVISION
10105 HARDIN VALLEY ROAD
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SHADY GLEN, LLC
405 MONTEBROOK LANE
KNOXVILLE, TN 37919
CONTACT: ERIC MOSELEY
TELEPHONE NO.: 865.538.1112

LANDSCAPE ENLARGEMENT
& PLANT BOARD

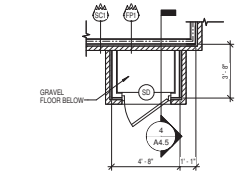
PROJ. NO.	330.009	DESIGNED BY		DRAWN BY		DATE	06/28/16
ISSUED FOR CONCEPT PLAN							
NO.		REVISION/DATE					
Project	330.009	Sheet	L2				
Date	06/28/16	Scale	1"=50'				

File Name: 874213
Plot Date: 8/27/16
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1 BUILDING TYPE '1' - FIRST FLOOR PLAN
 1/8" = 1'-0"

7-C-16-UR



2 ENLARGED SPRINKLER/DATA ROOM
 1/4" = 1'-0"

BUILDING PLAN GENERAL NOTES

- DIMENSIONS INCLUDE THICKNESS OF APA RATED SHEATHING ON EXTERIOR WALLS (TYPE APA RATED SHEATHING SHOWN AND DIMENSIONED AT 1/2" TYP. THROUGHOUT CONTRACT DOCUMENTS) EXTERIOR FACE OF BRICK IS BEYOND FACE OF SHEATHING.
- DIMENSIONS AT BREEZEWAYS ARE TO FACE OF STUD.
- REFER TO ELEVATIONS FOR VERTICAL EXTEND OF BRICK VENEER.
- REFER TO STRUCTURAL DRAWINGS FOR NOTATIONS ON WOOD FRAMING COMPONENTS.
- UNIT PLANS MAY BE ROTATED 180 DEG. OR MIRRORED COMPARED TO THE ENLARGED UNIT PLANS SHOWN ON SHEETS A1.1 THROUGH A1.6.
- REFER TO CIVIL DRAWINGS (BY OTHERS) FOR SPECIFIC ELEVATIONS OF TOP OF SLAB AT FIRST FLOOR UNITS.
- GARAGE FLOORS SLOPE 4" DOWN FROM THE WALL AT THE STAIRS TO THE GARAGE DOOR STARTING AT THE ELEVATION REFERENCE SHOWN ON ENLARGED PLANS.
- BUILDING PLAN IS SYMMETRICAL IN BOTH DIRECTIONS, EXCEPT AT GARAGE ADJACENT TO TYPE 'X' UNITS. REFER TO OPPOSITE HAND DIMENSIONS AND SECTIONS IF NOT SHOWN.
- ALL LOAD BEARING WALLS SUPPORTING RATED FLOOR CEILING AND ROOF CEILING ASSEMBLIES SHALL BE SCI (SUPPORTING CONSTRUCTION) RATED. REFER TO STRUCTURAL FOR LOAD BEARING WALL LOCATIONS.
- ALL BEAMS SHALL BE WRAPPED WITH 5/8" TYPE 'X' GIP BOARD. REFER TO DETAIL 144.5.
- GARAGE SPRINKLER ROOMS SHALL BE LOCATED AT TWO OF THE FOUR CORNERS OF THE BUILDING DEPENDING ON LOCATION OF UTILITIES FEEDING THOSE ROOMS. FIELD COORDINATE OMT WINDOW AT LOCATION OF SPRINKLER OR DATA ROOM.
- ELECTRIC PANELS SHALL BE LOCATED AT ONE OF THE FOUR CORNERS OF THE BUILDING DEPENDING ON LOCATIONS OF UTILITIES. FIELD COORDINATE PROVIDE 2" WOOD STUD WALL AND OMT WINDOWS AT LOCATION OF ELECTRIC PANELS.
- REFER TO CIVIL DRAWINGS AND SHEET A1.2 FOR HEIGHT ELEVATIONS OF TOP OF SLAB, FLOOR AND TRUSS BEARING ELEVATIONS.

LEGEND

- ONE HOUR RATED FIRE PARTITION
- ONE HOUR RATED SUPPORTING CONSTRUCTION
- ONE HOUR FIRE RESISTANCE RATED, 150.5.1 RATED FOR EXPOSURE FROM INTERIOR



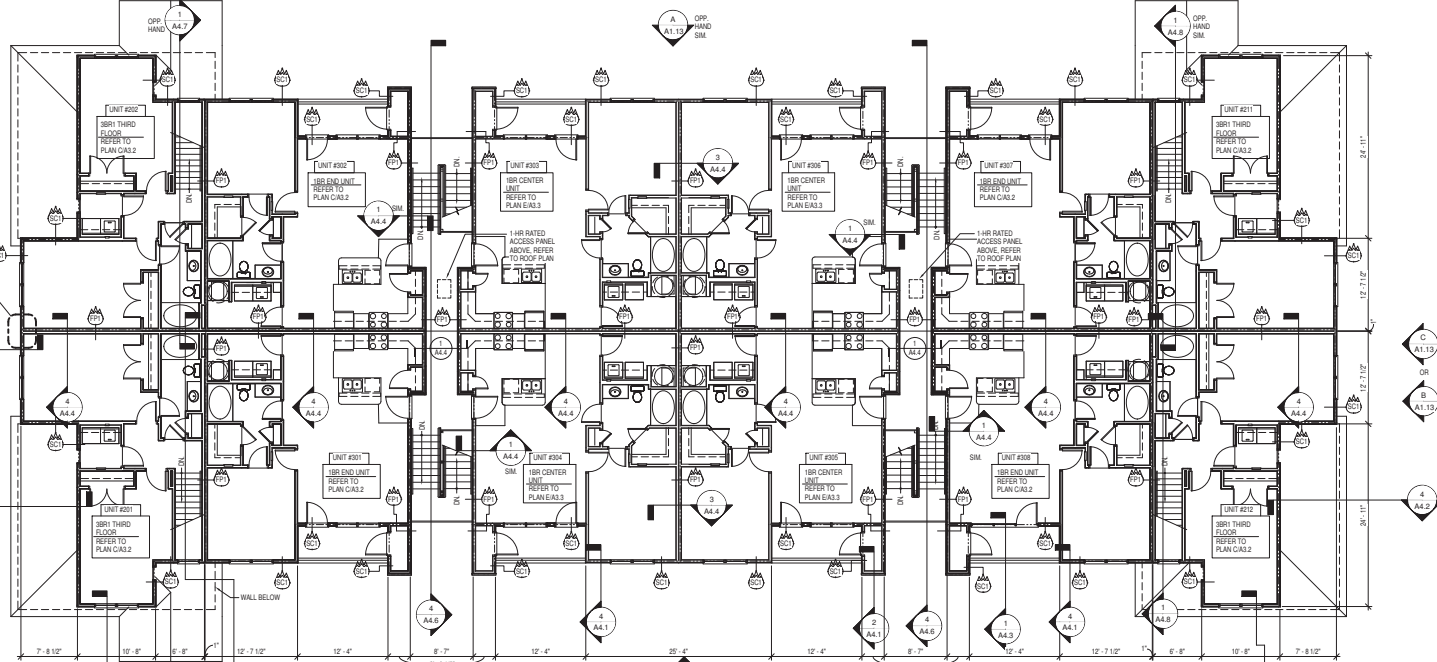
7-C-16-UR

BUILDING PLAN GENERAL NOTES

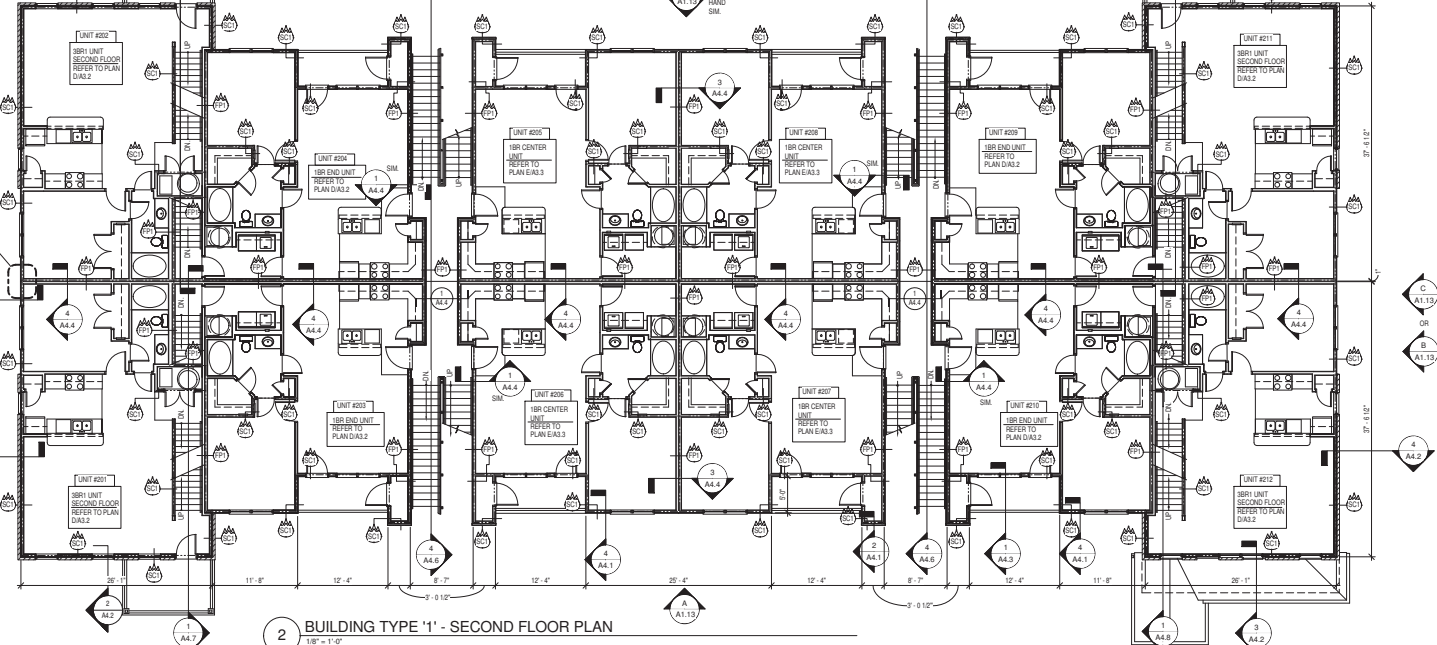
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- DIMENSIONS AT BREEZINGWAYS ARE TO FACE OF STUD.
- REFER TO ELEVATIONS FOR VERTICAL EXTEND OF BRICK VENEER.
- REFER TO STRUCTURAL DRAWINGS FOR NOTATIONS ON WOOD FRAMING COMPONENTS.
- UNIT PLANS MAY BE ROTATED 180 DEG. OR MIRRORED COMPARED TO THE ENLARGED UNIT PLANS SHOWN ON SHEETS A1.1 THROUGH A1.6.
- REFER TO CIVIL DRAWINGS (BY OTHERS) FOR SPECIFIC ELEVATIONS OF TOP OF SLAB AT FIRST FLOOR UNITS.
- GARAGE FLOORS SLOPE 4" DOWN FROM THE WALL AT THE STAIRS TO THE GARAGE DOOR STARTING AT THE ELEVATION REFERENCE SHOWN ON ENLARGED PLANS.
- BUILDING PLAN IS SYMMETRICAL IN BOTH DIRECTIONS, EXCEPT AT GARAGE ADJACENT TO TYPE 'K' UNITS. REFER TO OPPOSITE HALL DIMENSIONS AND SECTIONS IF NOT SHOWN.
- ALL LOAD BEARING WALLS SUPPORTING RATED FLOOR/CEILING AND ROOF/CEILING ASSEMBLIES SHALL BE SCI (SUPPORTING CONSTRUCTION) RATED. REFER TO STRUCTURAL FOR LOAD BEARING WALL LOCATIONS.
- ALL BEAMS SHALL BE WRAPPED WITH 5/8" TYPE 'K' GIP. BOARD. REFER TO DETAIL 144.5.
- DATA AND SPRINKLER ROOMS SHALL BE LOCATED AT TWO (2) OF THE FOUR CORNERS OF THE BUILDING DEPENDING ON LOCATION OF UTILITIES FEEDING THOSE ROOMS. FIELD COORDINATE OMT WINDOW AT LOCATION OF SPRINKLER OR DATA ROOM.
- ELECTRIC PANELS SHALL BE LOCATED AT ONE OF THE FOUR CORNERS OF THE BUILDING DEPENDING ON LOCATIONS OF UTILITIES FIELD COORDINATE PROVIDE 4" WOOD STUD WALL AND OMT WINDOWS AT LOCATION OF ELECTRIC PANELS.
- REFER TO CIVIL DRAWINGS AND SHEET A2.5 FOR RATED ELEVATIONS OF TOP OF SLAB FLOOR AND TRUSS BEARING ELEVATIONS.

LEGEND

- ONE HOUR RATED FIRE PARTITION
- ONE HOUR RATED SUPPORTING CONSTRUCTION
- ONE HOUR FIRE RESISTANCE RATED (160.5) RATED FOR EXPOSURE FROM INTERIOR



1 BUILDING TYPE '1' - THIRD FLOOR PLAN
1/8" = 1'-0"



2 BUILDING TYPE '1' - SECOND FLOOR PLAN
1/8" = 1'-0"



FINAL DOCUMENTS

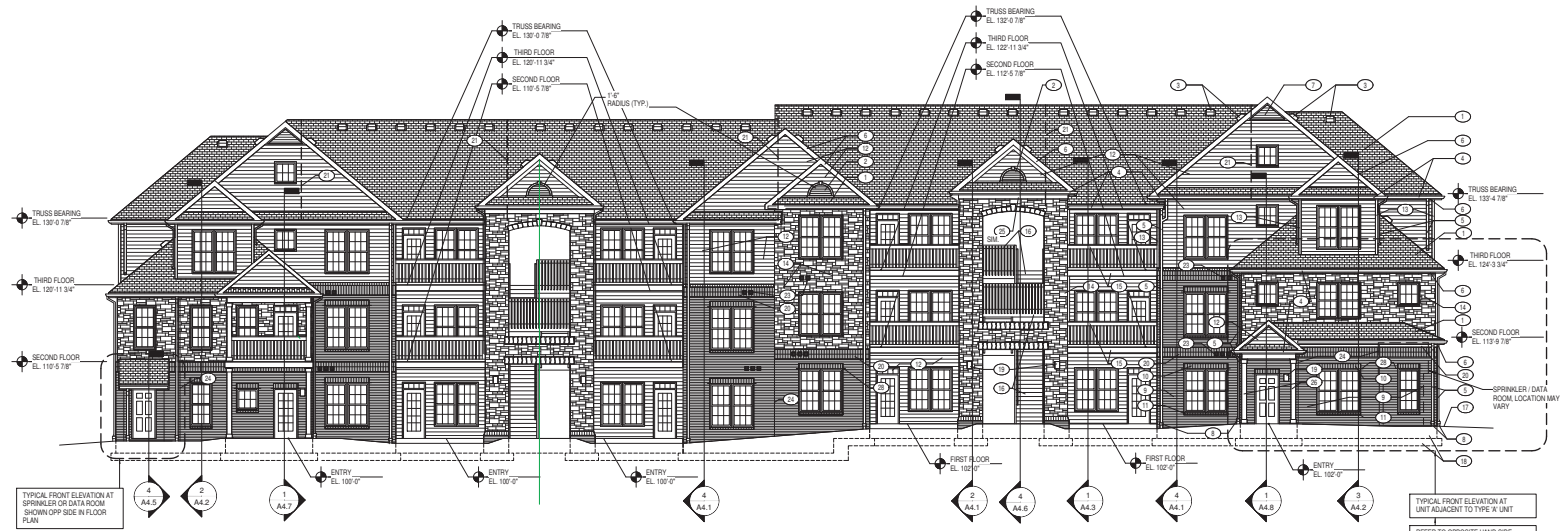
RML Apartments at Harvey Property
 RML Construction
 Lexington, Kentucky

7-C-16-UR
 BUILDING TYPE '1' - ELEVATIONS
 Sherman Carter - Barnhart
 ARCHITECTURE - INTERIORS - LANDSCAPE ARCHITECTURE - ENGINEERING

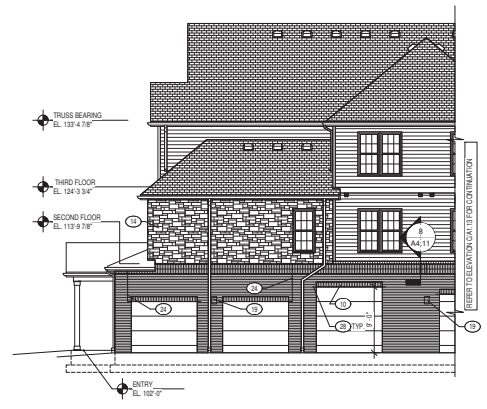
JOB NO. 1457
 DATE Sep 30, 2014
 DRAWN RTP
 CHECKED BCL

REVISIONS
 REVISED 4/17/2015

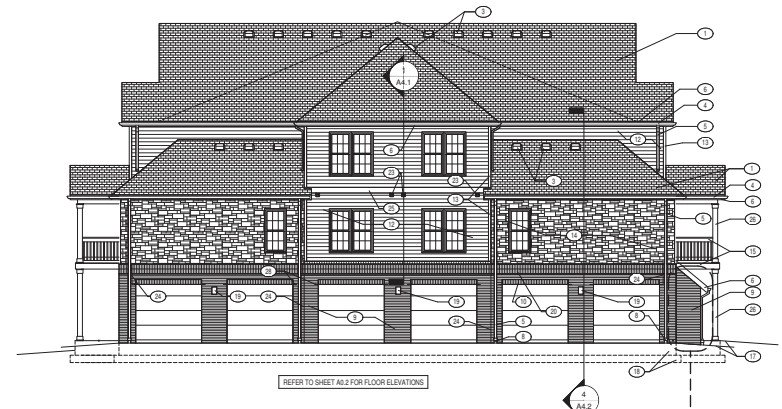
SHEET
A1.13



A BUILDING TYPE '1' - FRONT ELEVATION
 138' - 1'-0" (REAR ELEVATION MIRROR IMAGE)



B BUILDING TYPE '1' - SIDE ELEVATION AT TYPE 'A' UNIT
 18' - 1'-0"



C BUILDING TYPE '1' AND '1A' - SIDE ELEVATION
 138' - 1'-0"

GENERAL NOTE	ELEVATION TAG NOTES
<p>1. FINISH ELEVATIONS NOTED ARE ASSUMED FOR TYPICAL BUILDINGS. ELEVATIONS WILL VARY DEPENDANT UPON FINAL SITE GRADING AND ELEVATIONS TO BE ADVISED ACCORDINGLY. REFER TO A3.0 FOR ASSUMED ELEVATIONS AT STEPPED AND NON-STEPPED BUILDINGS.</p>	<p>THE FOLLOWING ELEVATION TAG NOTES ARE TYPICAL THROUGHOUT THIS SET OF PLANS. SOME TAG NOTES MAY NOT APPLY TO THIS SHEET</p>
<p>1. CLASS 'A' FIBERGLASS ROOF SHINGLES</p> <p>2. MOLDED MILLWORK GABLE END VENT WITH INSECT SCREEN - SIZE SHOWN ON ELEVATION</p> <p>3. LOMANCO MODEL 775 ROOF VENT</p> <p>4. PREFINISHED ALUMINUM GUTTER</p> <p>5. PREFINISHED ALUMINUM DOWNSPOUTS</p> <p>6. 2X6 FASCIA OR RAKE</p> <p>7. GABLE END VENT WITH INSECT SCREEN</p> <p>8. PVC DOWNSPOUT BOOT AT EACH DOWNSPOUT</p>	<p>9. BRICK VENEER</p> <p>10. BRICK SOLDIER COURSE AT WINDOW/DOOR HEAD</p> <p>11. BRICK ROWLOCK SILL</p> <p>12. VINYL SIDING</p> <p>13. CORNER TRIM</p> <p>14. APPLIED STONE VENEER</p> <p>15. SALICOPY AND RAILING WITH FIBER CEMENT FINISH TRIM</p> <p>16. WOOD STAIRS AND LANDING BEYOND</p> <p>17. FINISH GRADE VARIES</p> <p>18. FOUNDATION AND FOOTING BELOW GRADE</p> <p>19. LIGHT FIXTURE. REFER TO ELEC. PLANS. MIN. 8" IF TO BOTTOM OF FIXTURE</p> <p>20. DOUBLE BRICK SOLDIER COURSE AT FLOOR LINE</p> <p>21. ATTIC DRAFTSTOPPING. REFER TO SECTIONS AND ROOF FRAMING PLANS.</p> <p>22. ALUMINUM DOWNSPOUT THRU BALCONIES TO UNDERGROUND DRAINAGE BELOW. REFER TO FOUNDATION PLAN</p> <p>23. DRYER OR BATHROOM EXHAUST VENT. REFER TO MECHANICAL PLANS.</p> <p>24. BRICK EXPANSION JOINT WITH SEALANT.</p> <p>25. 8" TRIM BAND CLAD IN PREFINISHED ALUM. AT FLOOR LINE. REFER TO DETAIL 17.3A.11.</p> <p>26. STRUCTURAL COLUMN</p> <p>27. 8" TRIM AROUND BREZEWAY OPENING</p> <p>28. STOP MORTAR BED AT END OF STEEL LINTEL. SEALANT AND PROVIDE SEALANT TO MATCH MORTAR</p>
	<p>NOTE: REFER TO SHEET A.03 FOR SLAB FLOOR AND TRUSS BEARING ELEVATIONS THAT MAY DIFFER FROM WHAT IS SHOWN.</p>