

- NOTES PER ORDINANCE:**
1. Property to be developed into condominiums/offices/retail living or related O-1 office or medical services that come into compliance with this zoning.
 2. Landscape buffers to be installed in accordance with recorded ordinance and City of Knoxville requirements regarding design and installation.
 3. Lighting will comply with recorded ordinance to include cut off lens to shield adjacent developments from light pollution and lighting in the O-1 zone and small retail of the PC-1 zone will be ornamental lights see the DP in height.
 4. No gas pumps nor similar facilities shall be established with a grocery store nor with any adjacent development.
 5. No drive-thru restaurants/food stands shall be established.
 6. Coordination between developers of PC area adjacent to O-1 zone.
 7. Coordination between developers of PC area adjacent to O-1 zone and O-1 zone developers to produce a planting plan to insure compliance with the existing zoning ordinance.
 8. Driveway signs along perimeter of development to be restricted.
 9. Driveway and trash pick-up will not occur between 10PM and 7AM.
 10. All outside trash bins and dumpsters shall be screened from view with screens and landscaping.

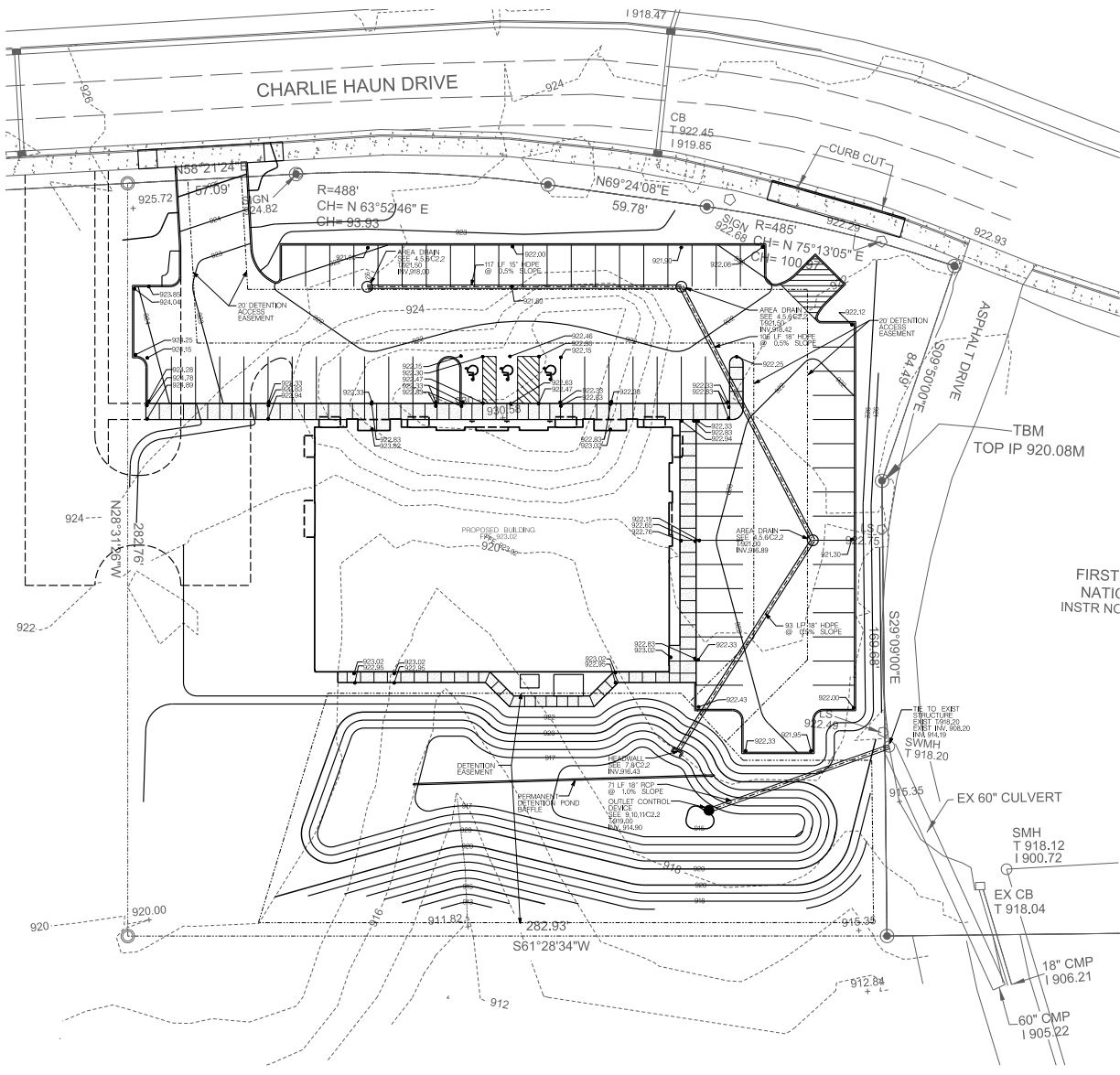
- O-1 ZONE**
1. Uses that are limited to business and professional offices or housing allowed in the O-1 zone will be the basis of the development; such uses as message centers and recording studios will not be part of the development.
 2. Landscape buffers, street and parking lot landscaping will be in accordance with the City of Knoxville street tree master plan and landscape ordinance.
 3. Dimension buffers will be located and landscaped in accordance with City of Knoxville requirements.
 4. Connections of sidewalks and crosswalks from the Office (O-1) area to the PC area, along Valley View and from Fishers will be created at time of O-1 development.
 5. All existing conditions of the existing zoning resolution will be adhered to.
 6. All zoning conditions in the City Ordinance O-259-06 shall be adhered to.

OWNER:
CAPITAL BANK
1501 PARKSIDE DR
KNOXVILLE, TN. 37922

2-B-16-UR
Revised: 3/7/2016

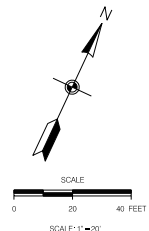
LeMAY AND ASSOCIATES
CONSULTING ENGINEERS
PH: 865-671-0183 FAX: 865-671-0213
10816 KINGSTON PIKE
KNOXVILLE, TENNESSEE 37934

CONCEPTUAL SITE PLAN		SHEET 1 OF 1	
TAX ID: 059 NC 00.01, 002.03, 002.04, 008.02, & 008.03			
DISTRICT 7 * WARD * 33 * CITY OF KNOXVILLE, TN			
DRAWN BY: RELJ	APPROVED BY: REL	DATE: 06-26-2015	LATEST REVISION DATE: 03-07-2016
		SCALE: 1" = 100'	DRAWING NUMBER: 5153



LEGEND:

		GROUND CONTOUR ELEVATION
		SPOT ELEVATION
		STRUCTURE
		PROPERTY LINE
		EASEMENT
		EDGE OF PAVEMENT
		STORM DRAIN
		SANITARY SEWER
		POTABLE WATER
		NATURAL GAS
		UNDERGROUND ELECTRICAL
		MANHOLE
		WATER METER
		FIRE HYDRANT
		SURFACE FLOW
		SILT FENCING
		CURB
		CONCRETE PAVEMENT
		ASPHALT PAVEMENT
		CONSTRUCTION ENTRANCE
		EROSION CONTROL MAT



SITE GRADING NOTES

1. SITE BENCHMARK CONTACT SURVEYOR FOR LOCATION AND ELEVATION OF SITE BENCHMARK BASED INVIDS.
2. SITE BOUNDARY AND TOPOGRAPHIC SURVEY IS BASED ON A SURVEY BY LEMAY ASSOCIATES DATED 12/20/05. THE CONTRACTOR SHALL VERIFY THE EXISTING INFORMATION PRIOR TO CONSTRUCTION. THE ARCHITECT NOR THE ENGINEER ACCEPT NO RESPONSIBILITY FOR THE ACCURACY AND/OR COMPLETENESS OF EXISTING CONDITIONS INFORMATION PROVIDED BY OTHERS.
3. UTILITY INFORMATION IS BASED ON INFORMATION OBTAINED FROM THE UTILITY PROVIDERS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE ACCURACY OF THIS INFORMATION.
4. CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES INCLUDING SILT FENCE #10 PIP AND EROSION CONTROL MAT AS SOON AS PRACTICAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE STRUCTURES UNTIL THE SITE HAS BEEN SUFFICIENTLY STABILIZED.
5. THE CONTRACTOR SHALL EMPLOY SOILS CONSULTANTS FOR THE TESTING OF SOIL COMPACTION IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. SOIL SHALL BE COMPACTED TO 98% OF ITS MINIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROCTOR METHOD. SOIL MOISTURE CONTENT SHALL BE MAINTAINED WITHIN +/- 3% OF OPTIMUM.
6. THIS PROJECT MAY INVOLVE IMPORT OR WASTE OF FILL MATERIAL. THE CONTRACTOR SHALL REVIEW THIS PLAN, THE SITE SURVEY AND INSPECT THE SITE FIRST. THE CONTRACTOR SHALL THEN FORMULATE HIS OWN OPINION AS TO THE APPLICABILITY OF THIS PLAN TO THE GOAL OF AN ECONOMICALLY OPTIMAL SITE. CONTACT THE ENGINEER IF CHANGES TO THE GRADING PLAN ARE REQUIRED TO MEET THIS GOAL.
7. ALL SLOPES GREATER THAN 3:1 SHALL BE SPREAD WITH NORTH AMERICAN GREEN 5-8 EROSION CONTROL FABRIC. INSTALL FABRIC PER MANUFACTURERS RECOMMENDATIONS.
8. NO SLOPES SHALL BE GREATER THAN 2 HORIZONTAL: 1 VERTICAL.
9. APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE TEMPORARILY HALTED FOR OVER 14 DAYS AND FINAL GRADING OR EXPOSED SURFACES IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO SOIL STOCKPILES.
10. APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
11. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL FOLLOW THE APPROVED PLAN DETAILS. IF DETAILS ARE NOT SHOWN, REFERENCE THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK LATEST EDITION.
12. SLOPES SHALL HAVE EROSION CONTROL MAT INSTALLED IMMEDIATELY AFTER SLOPE GRADING IS COMPLETED AND TOPSOIL HAS BEEN INSTALLED TO ENCOURAGE GROWTH IN OF EROSION MAT.
13. ADEQUATE DRAINAGE, EROSION AND SEDIMENT CONTROL MEASURES, BEST MANAGEMENT PRACTICES AND/OR OTHER STORMWATER MANAGEMENT FACILITIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION. DAMAGES TO ADJACENT PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTORS OR PROPERTY OWNERS FAILURE TO PROVIDE AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL FOR THE CONSTRUCTION AREA SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.
14. CONTRACTOR SHALL STORE CHEMICALS AND SOLUBLE MATERIALS IN AN ENCLOSED WATERPROOF LOCATION OR PROVIDED WITH SECONDARY CONTAINMENT CAPABLE OF STORING THE CONTENTS OF THE TOTAL AMOUNT OF CHEMICALS STORED. SPILL CLEANUP MATERIALS MUST BE LOCATED WITHIN THE IMMEDIATE PROXIMITY OF THE MATERIALS AS WELL.
15. NO VEHICLE MAINTENANCE OF CONSTRUCTION VEHICLES WILL OCCUR ONSITE.
16. CONSTRUCTION MATERIALS WILL BE STAGED IN THE EXISTING PARKING AREA FOR TRASH ON THE PROJECT PROVIDE A TRASH RECEPTACLE WITH A LID. MAINTAIN THE MATERIAL STAGING AREA IN AN NEAT AND ORDERLY MANNER.
17. CONTRACTOR SHALL INSTALL 4" THICK LAYER OF QUALITY TOPSOIL ON ALL DISTURBED AREAS AND ESTABLISH A THICK STAND OF GRASS ACCEPTABLE TO THE CITY OF KNOXVILLE SITE INSPECTOR.

PERMANENT COVER SEEDING MIXTURES

SEEDING DATE	GRASS SEED	PERCENTAGES
FEBRUARY 1 TO JULY 1	PENNSYLVANIA FESCUE	60%
	KENTUCKY 31 FESCUE	30%
	ENGLISH RYE	10%
JUNE 1 TO AUGUST 15	PENNSYLVANIA FESCUE	35%
	KENTUCKY 31 FESCUE	35%
	ROSIAN LESPEDEZA	20%
	BERNARD VILLET	10%
APRIL 15 TO AUGUST 15	BERNARDVILLET	70%
	KENTUCKY 31 FESCUE	30%
AUGUST 1 TO DECEMBER 1	PENNSYLVANIA FESCUE	70%
	KENTUCKY 31 FESCUE	30%
FEBRUARY 1 TO DECEMBER 1	PENNSYLVANIA FESCUE	70%
	KENTUCKY 31 FESCUE	30%
	ENGLISH RYE	3%

TEMPORARY COVER SEEDING MIXTURES

SEEDING DATE	GRASS SEED	PERCENTAGES
JANUARY 1 TO MAY 1	ITALIAN RYE	33%
	KOREAN LESPEDEZA	33%
	SOYBEAN HAY	33%
MAY 1 TO JULY 15	SUDAN - SOYBEAN	100%
MAY 1 TO JULY 15	ENGLISH RYE	100%
JULY 1 TO JANUARY 1	BALSA, RYE	33%
	ITALIAN RYE	33%

- CONSTRUCTION SEQUENCE OF EVENTS**
1. INSTALL EROSION CONTROL MEASURES
 2. SITE CLEARING AND GRUBBING
 3. SITE ROUGH GRADING
 4. TEMPORARY SEEDING
 5. FOUNDATION CONSTRUCTION
 6. SLAB CONSTRUCTION
 7. WALL/ROOF SYSTEM CONSTRUCTION
 8. EXTERIOR/INTERIOR FINISH
 9. PARKING LOT PAVING
 10. FINISH GRADING
 11. PERMANENT SEEDING/LANDSCAPING
 12. SITE CLOSURE/OUTLOOK TERM MAINTENANCE

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J.S. RIDENOUR CONSTRUCTION, INC.

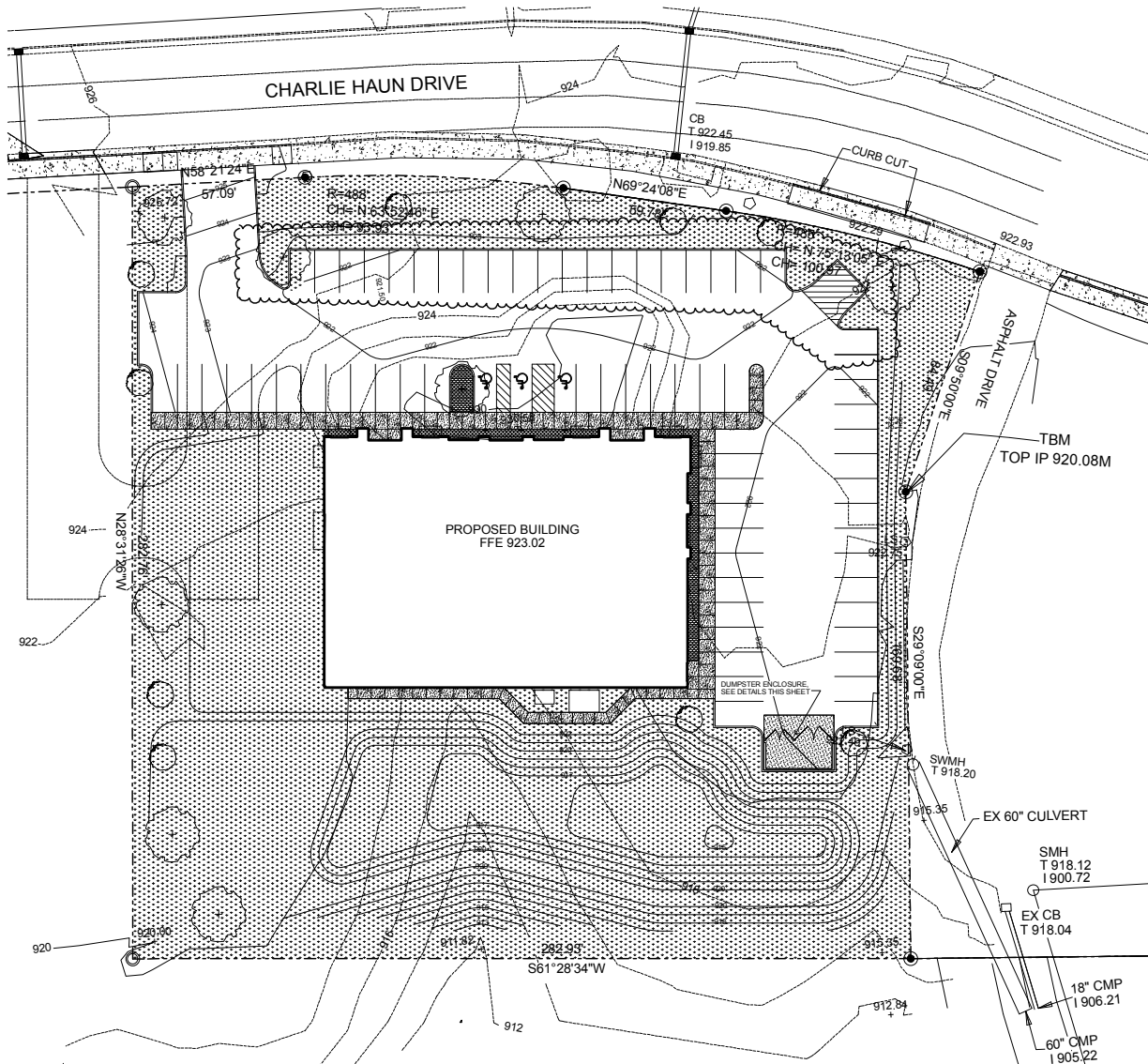
A NEW BUILDING FOR:
D'S WINE, SPIRITS & BEER
 CHARLIE HAUN DRIVE
 KNOXVILLE, TENNESSEE



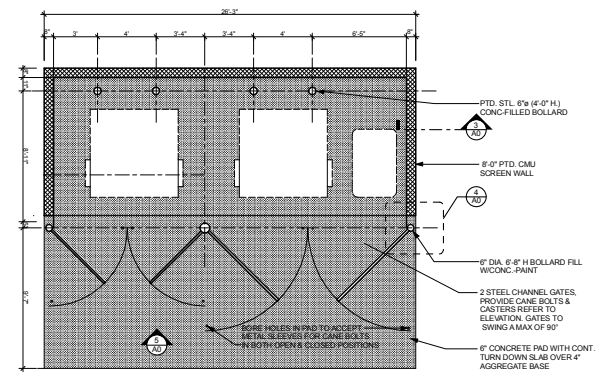
SITE GRADING PLAN

2-B-16-UR
 Revised: 3/7/2016

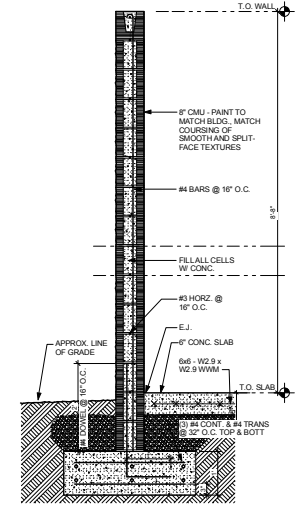
DATE: 04 MARCH 2016
 PROJECT NO.: 15055
 PROJ. NO.: S1A
C1.4



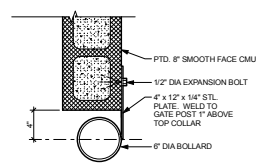
1
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LANDSCAPE PLAN
SCALE: 1" = 20'



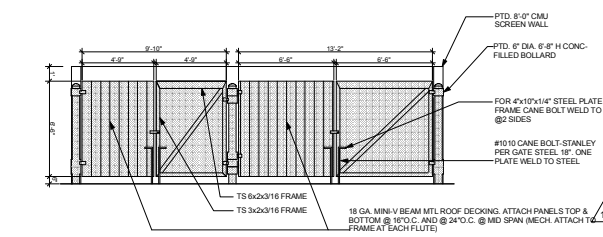
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DUMPSTER ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



3
A0
ENCLOSURE SECTION
SCALE: 3/4" = 1'-0"



4
A0
GATE DETAIL
SCALE: 1 1/2" = 1'-0"



5
A0
DUMPSTER ENCLOSURE GATE DETAIL
SCALE: 1/4" = 1'-0"

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COMMERCIAL

A NEW BUILDING FOR:
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CHARLIE HAUN DRIVE
KNOXVILLE, TENNESSEE



LANDSCAPE PLAN & DUMPSTER ENCLOSURE DETAILS

DATE: 08 MAR 2016
PROJECT NO.: 15055
PROJECT MGR.: SHA
REVISION #1: 08 MAR 2016

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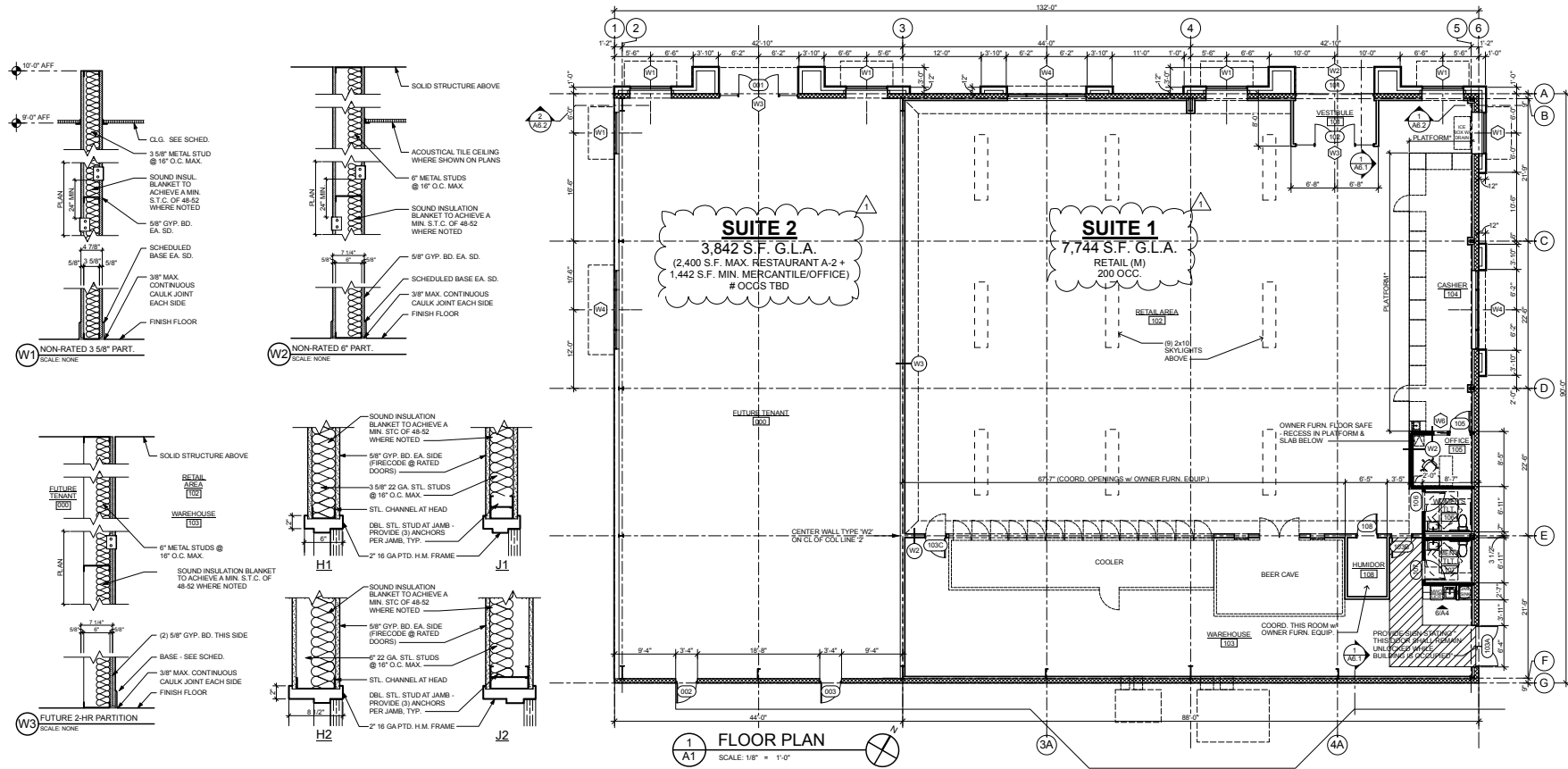
FLOOR PLAN & DETAILS

2-B-16-UR

Revised: 3/7/2016

DATE: 23 DEC 2015
PROJECT NO.: 15055
PROJECT MGR.: SHA
REVISION #1: 08 MAR 2016

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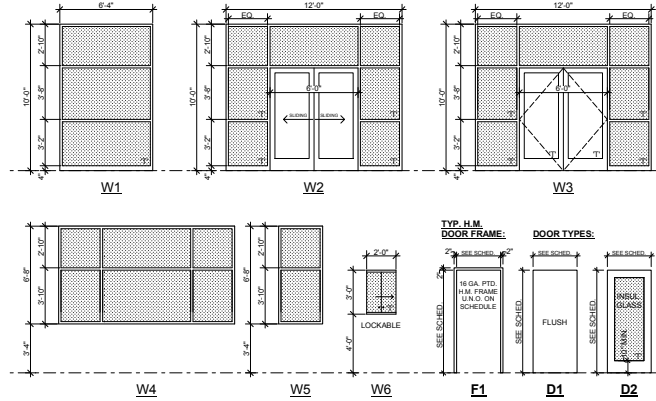
1 FLOOR PLAN
SCALE: 1/8" = 1'-0"

PLAN LEGEND:

(W1)	3/8" MTL STUD w/ 5/8" GYP. BD EACH SIDE
(W2)	6" MTL STUD w/ 5/8" GYP. BD EACH SIDE
(W3)	6" MTL STUD w/ (2) 5/8" GYP. BD TENANT SIDE

- PLAN NOTES:**
- 1) 3/8" MTL STUD OVER 6" MTL STUD @ 16" O.C. MAX.
 - 2) COORD. TYPE, NUMBER & LOCATION OF FIRE EXTINGUISHER CABINETS w/ LOCAL FIRE MARSHAL PRIOR TO CONSTRUCTION.
 - 3) SEE DWG 5/14 FOR DTLS FOR ROOM 106 / 107

ALUM. STOREFRONT:
GLASS TO BE 1" INSUL. LOW-E TINTED GLAZING IN 4 1/2" x 1 3/4" ALUM. STOREFRONT
"T" = TEMPERED



DOOR SCHEDULE

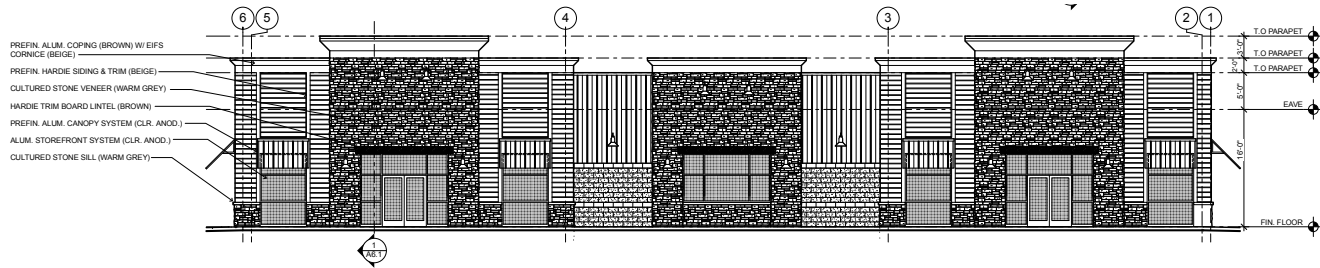
MARK	W	H	T	LABEL	TYPE	FRAME	HEAD	JAMB	HOWR	REMARKS
001	(2) 3'-0"	7'-0"	1'-3/4"	-	D2	ALUM.	ALUM.	-	-	ENTRY - SEE STOREFRONT W3
002	3'-0"	7'-0"	1'-3/4"	-	D1	HM	HM	-	-	ENTRY -
003	3'-0"	7'-0"	1'-3/4"	-	D1	HM	HM	-	-	ENTRY -
101	(2) 3'-0"	7'-0"	1'-3/4"	-	D2	ALUM.	ALUM.	-	-	AUTOMATIC - SEE STOREFRONT W2
102	(2) 3'-0"	7'-0"	1'-3/4"	-	D2	ALUM.	ALUM.	H2	J2	PUSH/PULL - SEE STOREFRONT W3
103A	(2) 3'-0"	7'-0"	1'-3/4"	-	D2	HM	HM	-	-	PROVIDE SECURITY BAR (SCORER DOOR) w/ SIGN PER BUS. PLAN.
103B	3'-0"	7'-0"	1'-3/4"	-	D1	SCWD	HM	H2	J2	PASSAGE -
103C	3'-0"	7'-0"	1'-3/4"	-	D1	SCWD	HM	H2	J2	PUSH/PULL - RATTLE DOOR
105	3'-0"	7'-0"	1'-3/4"	-	D1	SCWD	HM	H2	J2	LOCKSET -
106	3'-0"	7'-0"	1'-3/4"	-	D1	SCWD	HM	H1	J1	PRIVACY - PROVIDE COATHOOK
107	3'-0"	7'-0"	1'-3/4"	-	D1	SCWD	HM	H1	J1	PRIVACY - PROVIDE COATHOOK
108	3'-0"	7'-0"	1'-3/4"	-	D6	SCWD	HM	H1	J1	PASSAGE -

FINISH SCHEDULE

NO.	ROOM NAME	FLOOR	BASE	WALLS	CEILING	REMARKS
000	FUTURE TENANT	SEAL CONC.	CONC.	PAINT*	OPEN	* DRYWALL SURFACES ONLY
101	VESTIBULE	POL. CONC.	VINYL	PAINT	OPEN	-
102	RETAIL AREA	POL. CONC.	VINYL	PAINT	OPEN	-
103	WAREHOUSE	SEAL CONC.	VINYL	PAINT	OPEN	-
104	CASHER	CARRET	VINYL	PAINT	OPEN	-
105	OFFICE	CARRET	VINYL	PAINT	A.C.T. @ #	-
106	WOMEN'S TOILET	SEAL CONC.	VINYL	PAINT	A.C.T. @ #	-
107	MEN'S TOILET	SEAL CONC.	VINYL	PAINT	A.C.T. @ #	-
108	HUMIDOR	SEAL CONC.	WOOD*	WOOD*	-	* COORD. w/ OWNER EQUIP.

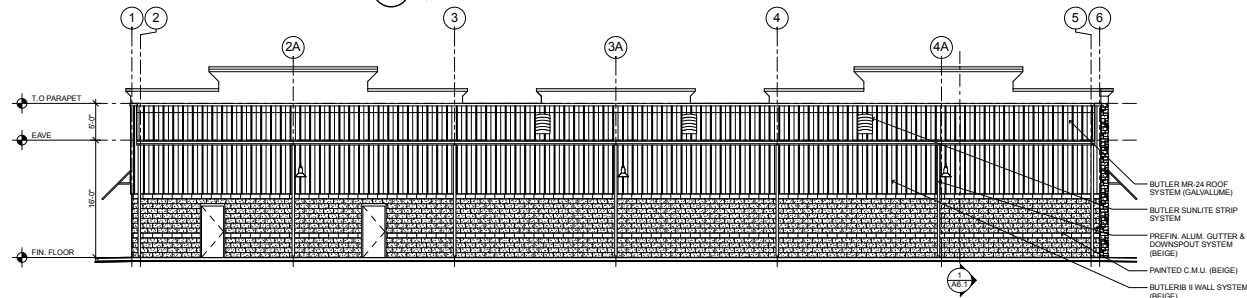
- FINISH NOTES:**
- 1) ALL INTERIOR FINISHES SHALL COMPLY WITH CHAPTER 8, INTERNATIONAL BUILDING CODE, 2012 ED.
 - 2) PREPARE ALL FLOOR SURFACES AS REQ'D TO RECEIVE FLOORING MATERIAL - PATCH AND LEVEL ALL OPENINGS/DEPRESSIONS, ROUGHNESS, ETC.
 - 3) PATCH ALL FINISHES WHERE DISTURBED BY THE WORK OF ANY SUB-CONTRACTOR
 - 4) INTERIOR WALL FINISH, CEILING FINISHES SHALL BE CLASS "A" FLOORING SHALL BE CLASS 1
 - 5) REFER TO ARCH. SPECIFICATIONS SHEET AS FOR ALL OTHER INFORMATION.
 - 6) ALL CEILING HEIGHTS TO BE 9'-0" U.N.D. ON PLANS
 - 7) COORDINATE ALL FINISH SELECTIONS w/ OWNER.

- DOOR NOTES:**
- 1) CALK BOTH SIDES OF ALL DOOR FRAMES
 - 2) PROVIDE DBL. STUDS AND BASE ANCHORS AT ALL JAMBS, TYP.
 - 3) HARDWARE ON DOORS SHALL BE LEVER TYPE FOR HANDICAP ACCESSIBILITY.
 - 4) CONTRACTOR SHALL VERIFY ALL HARDWARE SETS w/ TENANT PRIOR TO INSTALLATION.
 - 5) THRESHOLDS AT ALL EXT. DOORS SHALL BE MAX. 1/2" HIGH
 - 6) REFER TO ARCH. SPECIFICATIONS SHEET AS FOR ALL OTHER INFORMATION.



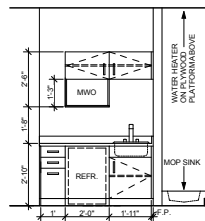
1 NORTH ELEVATION

SCALE: 1/8" = 1'-0"



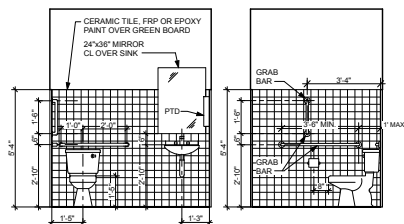
2 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



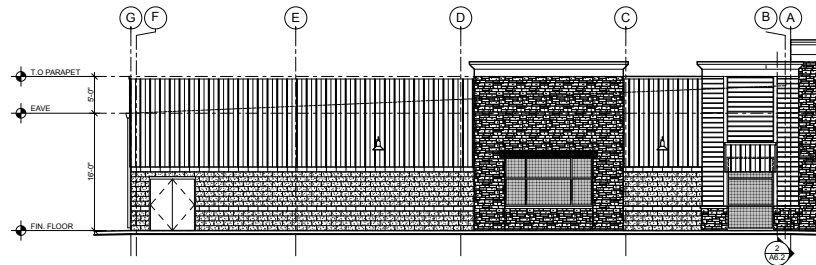
6 BREAK AREA

SCALE: 3/8" = 1'-0"



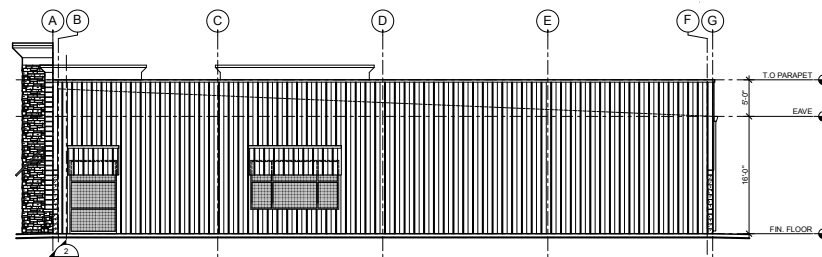
5 TOILET DETAILS

SCALE: 3/8" = 1'-0"



3 EAST ELEVATION

SCALE: 1/8" = 1'-0"



4 WEST ELEVATION

SCALE: 1/8" = 1'-0"



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KNOXVILLE, TENNESSEE



EXT. & INT. ELEVATIONS

DATE: 23 DEC 2015
PROJECT NO.: 15055
PROJECT MGR.: SHA
REVISION #1: 08 MAR 2016

2-B-16-UR

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Revised: 3/7/2016

