

**KNOXVILLE/KNOX COUNTY METROPOLITAN PLANNING COMMISSION
 USE ON REVIEW REPORT**

▶ **FILE #:** 10-I-16-UR **AGENDA ITEM #:** 36
 POSTPONEMENT(S): 10/13/2016 **AGENDA DATE:** 11/10/2016
 ▶ **APPLICANT:** TAPESTRY TURKEY CREEK
 OWNER(S): Arlington Properties, Inc.

TAX ID NUMBER: 130 174 [View map on KGIS](#)

JURISDICTION: County Commission District 6

STREET ADDRESS: 11616 Snyder Rd

▶ **LOCATION:** East side Snyder Rd., north side Outlet Dr.

▶ **APPX. SIZE OF TRACT:** 12.27 acres

SECTOR PLAN: Northwest County

GROWTH POLICY PLAN: Urban Growth Area

ACCESSIBILITY: Access is via Snyder Rd., a minor collector street with 20' of pavement width within 50' of right-of-way, or Outlet Dr., a 3 lane, major collector street with 36' of pavement width within 100' of right-of-way. Vehicular access to the site has limited to Outlet Dr. only by County Commission when the property was rezoned (5-E-15-RZ).

UTILITIES: Water Source: First Knox Utility District

Sewer Source: First Knox Utility District

WATERSHED: Turkey Creek

▶ **ZONING:** PR (Planned Residential) up to 18 du/ac

▶ **EXISTING LAND USE:** Vacant

▶ **PROPOSED USE:** Multi-dwelling development with 220 units
 17.9

HISTORY OF ZONING: Property rezoned from A to PR @ 6.5 du/ac in 2007, then PR @ 12 in March 2015, then PR @ 18 in Sept. 2015.

SURROUNDING LAND USE AND ZONING: North: House / LDR / A (Agricultural)
 South: Outlet Dr. - RV sales business / LDR / CA (General Business)
 East: Vacant land / MDR / PR (Planned Residential) @ 1-12 du/ac
 West: Snyder Rd. - House, vacant land, outdoor vehicle storage / Town of Farragut

NEIGHBORHOOD CONTEXT: This area just north of I-40/75 is developed with a mix of uses, including low and medium density residential, office and commercial. The site is located about a half mile east of the N. Campbell Station Rd. and I-40/75 interchange, which is developed primarily with commercial uses.

STAFF RECOMMENDATION:

▶ **APPROVE the development plan for a multi-dwelling development with up to 220 apartment units, subject to 11 conditions.**

1. Connecting the development to sanitary sewer, as well as meeting other applicable requirements of the

Knox County Health Department.

2. Provision of street names which are consistent with the Uniform Street Naming and Addressing System Ordinance (Ord. 91-1-102).
3. Meeting all applicable requirements of the Knox County Zoning Ordinance.
4. Meeting the Knox County Access Policy for the Outlet Dr. driveway, unless otherwise approved by the Knox County Department of Engineering and Public Works.
5. Installing all landscaping, as shown on the landscape plan (sheet LC5.00), within six months of issuance of the first occupancy permit for the project, or posting a bond with the Knox County Department of Engineering and Public Works, to guarantee such installation.
6. Meeting all applicable sign regulations of the Knox County Zoning Ordinance.
7. All sidewalks shall be a minimum of 5 feet wide and all internal development sidewalks shall meet the applicable requirements of the ADA Accessibility Guidelines (ADAAG).
8. All sidewalk crossings shall have high visibility markings according to MUTCD (Manual of Uniform Traffic Control Devices) standards.
9. Obtaining approval from the Knox County Fire Marshall and Knox County Department of Engineering and Public Works for the proposed fire access and gate from Snyder Rd., which provided a secondary access to the development for emergency services only.
10. Access to Snyder Rd. through the proposed "fire access and gate" is to be limited to emergency services personnel only, unless otherwise approved by County Commission.
11. Meeting all other applicable requirements of the Knox County Department of Engineering and Public Works.

With the conditions noted, this plan meets the requirements for approval in the PR (Planned Residential) zoning district and the other criteria for approval of a Use on Review.

COMMENTS:

The applicant is requesting approval of a 220 unit apartment development on 12.27 acres that is zoned PR (Planned Residential) up to 18 du/ac, and the development has a density of 17.9 du/ac.

The proposed development will have a single access driveway off of Outlet Dr, as required by the condition placed on the zoning by County Commission. The development will include a total of seven apartment buildings and one 2 story loft style building with units above garages. The dwelling unit mix includes 66 one bedroom units, 128 two bedroom units and 26 three bedroom units. The minimum parking requirement from the Knox County Zoning Ordinance is 317 parking spaces and 339 parking spaces are proposed. Most of the buildings be 3 stories and approximately 46' tall. Buildings I and II will have a 3-story front elevation and an additional walkout basement level for a total of 4 stories which is approximately 56' tall.

The amenities for the development will include a clubhouse, pool, sidewalks, and open lawn area. Sidewalks will be installed within the development and along Snyder Rd. for the length of the property frontage.

A landscape plan has been submitted that includes a combination of deciduous and evergreen trees. A mix of evergreens will predominantly be used as vegetative screening between the development and properties to the north and east.

A fire access and gate is provided to Snyder Rd. and is to be restricted to emergency personnell only. This access is needed because developments of this size are required to have multiple access points. The proposed design includes a rollover curb and structural plastic grid that allows grass to grow up through it. This will visually differentiate this entrance so drivers do not mistake it for an entrance to the development. The final design will need to be reviewed and approved by both the Knox County Department of Engineering and Public and the Knox County Fire Marshall.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE

1. The proposed apartment development will have minimal impact on local services since utilities are available to serve this site.
2. The proposed development at a density of 17.9 du/ac, is consistent in use and density with the approved rezoning of the property and the high density residential sector plan designation.
3. An estimated 51 school age children will live in the development, which are currently zoned for Farragut Primary/Intermediate, Farragut Middle, and Hardin Valley Academy.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING

ORDINANCE

1. The proposed apartment development, with the recommended conditions, meets the standards for development within a PR (Planned Residential) Zone and all other requirements of the Zoning Ordinance.
2. The proposed development is consistent with the general standards for uses permitted on review: The proposed development is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood since this area is proposed for and developing with a mix of uses, including office, commercial, residential and a public school.

CONFORMITY OF THE PROPOSAL TO ADOPTED PLANS

1. The property designated HDR on the sector plan, with a small portion of the property designated Hillside Protection in the northeast corner. The PR zoning approved by the Knox County Commission in September 2015 allows consideration of a density up to 18 du/ac. The proposed apartment development at a density of 17.9 du/ac is consistent with the recommendations of the Sector Plan and the approved zoning.
2. The site is located within the Urban Growth Boundary of the Town of Farragut on the Knoxville-Knox County-Farragut Growth Policy Plan map.

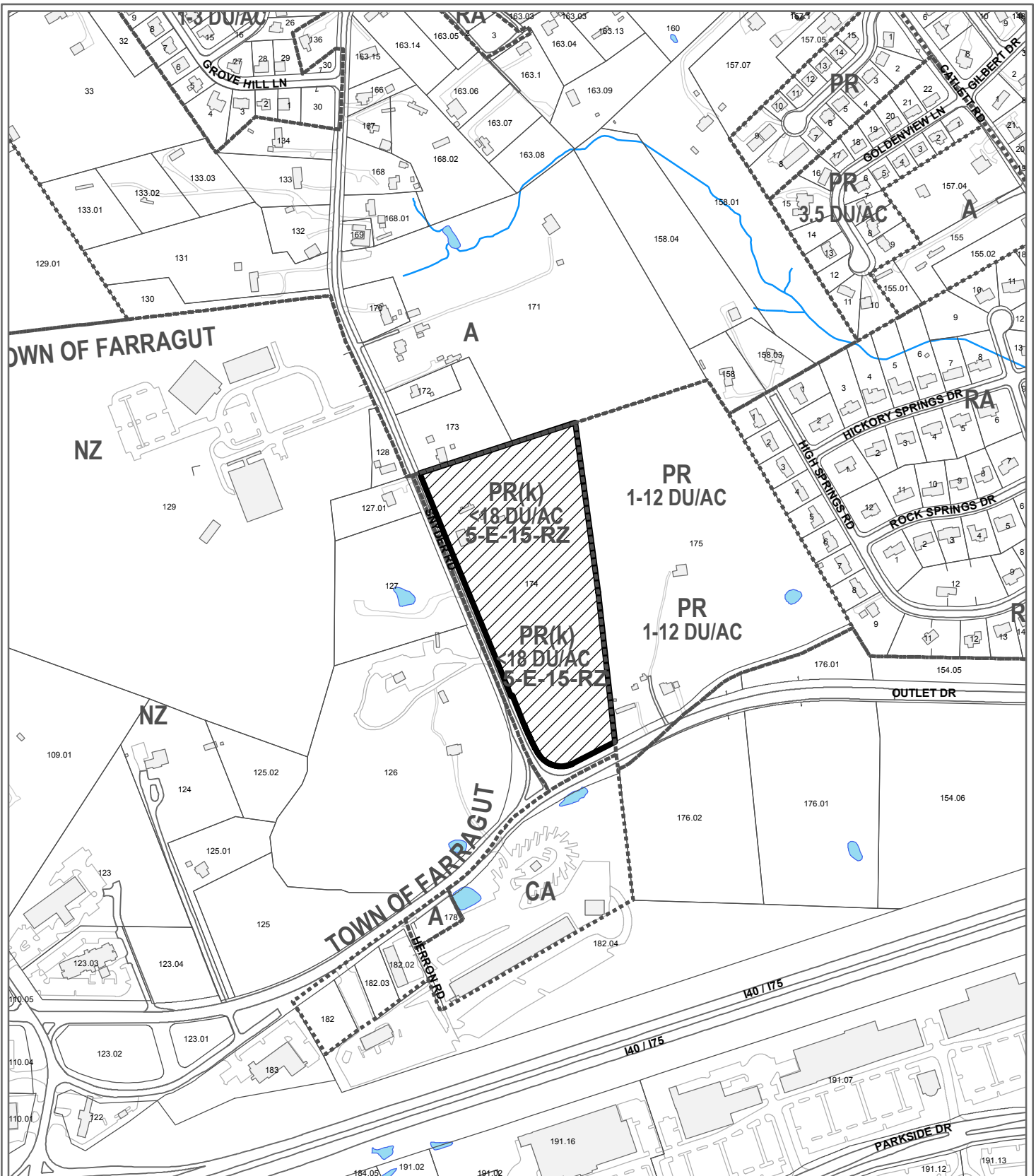
ESTIMATED TRAFFIC IMPACT: A traffic impact study was prepared by the applicant. The findings of that study were used in formulating the recommendations of this staff report.

ESTIMATED STUDENT YIELD: 51 (public and private school children, ages 5-18 years)

Schools affected by this proposal: Farragut Primary/Intermediate, Farragut Middle, and Hardin Valley Academy.

- School-age population (ages 5–18) is estimated by MPC using data from a variety of sources.
- While most children will attend public schools, the estimate includes population that may be home-schooled, attend private schools at various stages of enrollment, or drop out of the public system.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.
- School capacities are subject to change by Knox County Schools through building additions, curriculum or scheduling changes, or amendments to attendance zone boundaries.

MPC's approval or denial of this request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal an MPC decision in the County.



**10-I-16-UR
USE ON REVIEW**



Multi-dwelling development with 220 units in PR (Planned Residential) up to 18 du/ac

Original Print Date: 9/23/2016

Revised:

Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

Petitioner: Tapestry Turkey Creek

Map No: 130

Jurisdiction: County



ARLINGTON PROPERTIES

217 2nd AVENUE NORTH
BIRMINGHAM, ALABAMA 35203
PHONE: 205-328-9600
www.arlingtonproperties.net

Tapestry Turkey Creek

Knox County, Tennessee



Preliminary Design Concepts

September 01, 2016

ARCHITECT



charlan brock & associates

MEP ENGINEER
MiGre Engineers, LLC
155 EAST WILDMERE AVE.
SUITE 1021
LONGWOOD, FLORIDA 32750
PH. 407-636-7999
CONTACT: EDWIN GONZALEZ
E-MAIL: EGONZALEZ@MIGRE-ENG.COM

1770 FENNEL STREET
MAITLAND, FLORIDA 32751
PH. 407-660-8900
FAX. 407-875-9948
www.cbaarchitects.com
CONTACT: DOUG ANDERSON
EMAIL: DOUG@CBAARCHITECTS.COM

STRUCTURAL ENGINEER
ADVANCED STRUCTURAL DESIGN
1265 S. SEMORAN BLVD.
SUITE 1201
WINTER PARK, FLORIDA 32792
PH. 407-677-5836
CONTACT: JOHN BAILES
E-MAIL: JOHNBAILES@ADVANCEDSTRUCTURALDESIGN.COM

10-I-16-UR

REVISED
10:37 am, Oct 26, 2016

KNOX COUNTY, TENNESSEE

ARLINGTON PROPERTIES
217 2ND AVENUE NORTH
BIRMINGHAM, ALABAMA 35203
PH. 205-328-9600

CHARLAN BROCK & ASSOC., ARCHITECT, AIA/LEED
CHARLES L. CHUBBIN, ARCHITECT, AIA/LEED
100 HUNTERS CREEK OVERLOOK DRIVE

Tapestry Turkey Creek
KNOX COUNTY, TN.

cba
charlan • brock
associates

architects planners

1770 Fennell Street
Maitland Florida 32751-2738
407-660-8900 F: 407-875-9948
www.cbaarchitects.com

PROJECT
COVER SHEET

date: 09-01-2016
job no: 3887.14
drawn by: DC / DPA
reviewed by: CBA
file: 3887A0.01
issue history:

A0.01

TAPESTRY TURKEY CREEK
 KNOX COUNTY, TN.

charlan • brock
 associates architects planners
 1770 fernell street
 millbrook, florida 32751-7206
 407-460-8900 f-407-815-9148
 www.charlanbrock.com

ABBREVIATIONS,
 SYMBOLS, MAPS
 & CODES

date: 09-01-2016
 job no: 3887.16
 drawn by: DC / DFA
 reviewed by: CBA
 file: 3887A0.03
 issue history:

10-I-16-UR
REVISED
 10:37 am, Oct 26, 2016

A0.03

BUILDING HEIGHT

BUILDING HEIGHT AS MEASURED FROM THE LOWEST GRADE POINT TO THE TOP OF ROOF = 44'-6"
 BUILDING HEIGHT AS ALLOWED BY INTERNATIONAL BUILDING CODE = 60'-0"

ALLOWABLE HEIGHT PER TABLE 503 = 40'-0"
 ALLOWABLE INCREASE PER 504 = 20'-0"

TOTAL = 60'-0"

** ALLOWABLE INCREASE IS BASED ON NFPA 13R SPRINKLER SYSTEM INSTALLED PER 903.1.2.



LOCATION MAP



VICINITY MAP



PROJECT NARRATIVE

11. BUILDING USE / OCCUPANCY / TYPE
 GROUP R-2
 CONSTRUCTION TYPE: TYPE V-A
 NON-SPRINKLED

12. BUILDING HEIGHT (IBC TABLE 602)
 ALLOWED: 3 STORIES / 60'
 4 STORIES / 60' (INCREASE PER IBC 504.2)
 PROPOSED: 4 STORIES / 60'-2"

13. BUILDING AREA (IBC TABLE 602)
 ALLOWED: 12,000 SQ. FT.
 21,000 SQ. FT. (INCREASE PER IBC 504)
 PROPOSED: 16,771 SQ. FT. MAX.

14. FIRE RESISTANCE RATINGS (IBC TABLE 602)
 STRUCTURAL FRAME: 1 HOUR
 EXTERIOR BEARING WALL: 1 HOUR
 INT. NON-BEARING WALL: 0 HOUR (IBC TABLE 602)
 INT. NON-BEARING WALL: 0 HOUR
 FLOOR CONSTRUCTION: 1 HOUR
 ROOF CONSTRUCTION: 1 HOUR

15. FIRE SEPARATION
 TENANT SEPARATION: 1 HOUR (IBC 709.3)
 CORRIDOR: 1 HOUR (IBC 1018.1)

16. EXIT ACCESS
 CORRIDOR: 0 HOUR

CODE INFORMATION

17. MINIMUM INTERIOR FINISH CLASSIFICATION
 IBC TABLE 903.9 & NFPA 101 TABLE A.10.2.2

GROUP	UNSPRINKLED	SPRINKLED (NFPA - 13R)
GROUP	VERTICAL EXITS	EXIT ACCESS CORRIDORS
A-3	A	A
B	A	B

18. MAINTENANCE
 GROUP I
 CONSTRUCTION TYPE: TYPE V-B
 NON-SPRINKLED

19. BUILDING HEIGHT (IBC TABLE 602)
 ALLOWED: 2 STORIES / 40'
 PROPOSED: 1 STOREY

20. BUILDING AREA (IBC TABLE 602)
 ALLOWED: 5,000 SQ. FT.
 PROPOSED: 1,034 SQ. FT. MAX.

21. FIRE RESISTANCE RATINGS (IBC TABLE 602)
 STRUCTURAL FRAME: 0 HOUR
 INTERIOR BEARING WALL: 1 HOUR
 EXTERIOR BEARING WALL: 0 HOUR
 INT. NON-BEARING WALL: 0 HOUR
 INT. NON-BEARING WALL: 0 HOUR
 FLOOR CONSTRUCTION: 1 HOUR
 ROOF CONSTRUCTION: 0 HOUR

GARAGES

11. BUILDING USE / OCCUPANCY / TYPE
 GROUP U
 CONSTRUCTION TYPE: TYPE V-B
 NON-SPRINKLED

12. BUILDING HEIGHT (IBC TABLE 602)
 ALLOWED: 3 STORIES / 60'
 PROPOSED: 1 STOREY

13. BUILDING AREA (IBC TABLE 602)
 ALLOWED: 9,000 SQ. FT.
 PROPOSED: 1,034 SQ. FT.

14. FIRE RESISTANCE RATINGS (IBC TABLE 602)
 STRUCTURAL FRAME: 1 HOUR
 INTERIOR BEARING WALL: 1 HOUR
 EXTERIOR BEARING WALL: 1 HOUR
 INT. NON-BEARING WALL: 0 HOUR
 INT. NON-BEARING WALL: 0 HOUR
 FLOOR CONSTRUCTION: 1 HOUR
 ROOF CONSTRUCTION: N/A

MAINTENANCE NOTE

THESE WOOD FRAME BUILDINGS, AS WITH ALL STRUCTURES, ONCE COMPLETED WILL REQUIRE CONTINUOUS AND ONGOING MAINTENANCE AND REPAIR TO KEEP THEM IN GOOD CONDITION AND PREVENT DETRIORATION OVER TIME. THE DEVELOPER IN CONJUNCTION WITH THE CONTRACTOR NEEDS TO DEVELOP A MAINTENANCE PROGRAM BASED UPON THE MATERIALS AND SYSTEMS INCORPORATED INTO THE BUILDINGS. THE OWNER OR THE LEASING / MANAGEMENT COMPANY WILL NEED TO PROVIDE FOR A QUALIFIED MAINTENANCE STAFF TO PROVIDE CONTINUED MAINTENANCE, RE-PAINTING, RE-APPLICATION OF SEALANTS AND OTHER REPAIR WORK AS REQUIRED BY THE MAINTENANCE PROGRAM FOR THE PROJECT. IF THE PROJECT IS SOLD TO A THIRD PARTY, THE THIRD PARTY MUST CONTINUE TO PROVIDE THE MAINTENANCE PROGRAM ESTABLISHED BY THE OWNER. THE THIRD PARTY, LIKE ALL BUILDING OWNERS, IS REQUIRED TO MAINTAIN AND REPAIR THE BUILDING TO THE MINIMUM LEVEL ESTABLISHED IN THE MAINTENANCE PROGRAM.

MATERIALS LEGEND

PLAN	SECTION / ELEVATION
[Symbol]	METAL STUD WALL
[Symbol]	1-HOUR FIRE RATED WALL
[Symbol]	2-HOUR FIRE RATED WALL
[Symbol]	FRAME WALL W/ INSULATION
[Symbol]	BEARING FRAME WALLS
[Symbol]	BLOCK WALL - PLAN
[Symbol]	POURED WALL
[Symbol]	DIMENSIONAL LUMBER
[Symbol]	CUT LUMBER
[Symbol]	PLYWOOD
[Symbol]	EARTH FILL
[Symbol]	STRUCTURAL STEEL
[Symbol]	BATT INSULATION
[Symbol]	RIGID FOAM / INSULATION
[Symbol]	CONCRETE MASONRY UNIT
[Symbol]	FLOOR TRUSS

KEY TO SYMBOLS

UNIT IDENTIFICATION UNIT #1 ALTERNATE UNIT TYPE	DETAIL DETAIL #1 SCALE: 1/8"=1'-0"	UNIT DOOR IDENTIFICATION S
SPACE REFERENCE ASSIST. MANAGER 101	SECTION REFERENCE 1 A1.1	PUBLIC DOOR IDENTIFICATION 1001
DETAIL SECTION REFERENCE 1 A1.1	BUILDING SECTION REFERENCE 1 A1.1	WINDOW IDENTIFICATION A
DETAIL PLAN / ELEVATION REFERENCE 1 A1.1	INTERIOR ELEVATION REFERENCE 1 A1.1	WALL TYPE IDENTIFICATION 10
	NORTH ARROW	

STANDARD ABBREVIATIONS

A.B. ANCHOR BOLT	D. DRYER	F.G. FIRE GLASS	I.T.G. LIGHTING	P.S.I. POUND PER SQUARE INCH	S.S. STAINLESS STEEL
A/C. AIR CONDITIONER	DBL. DOUBLE	F.P. FIRE-PLACE	M.A.L. MATERIAL	P.T. PRESSURE TREATED	S.F.O. STANDARD
ACCU. ACoustICAL	DET. DETAIL	FT. FEET	MAX. MAXIMUM	PH. PAPER HOLDER	STR. STRUCTURAL
ADJ. ADJACENT	DIAM. DIAMETER	FTD. FOOTING	M.C. MECHANICAL	P.H. PAPER HOLDER	SUB. SUBSTITUTE
A.H.U. AIR HANDLER UNIT	D.M. DIMENSION	GA. GAUGE	M.H. MECHANICAL	Q. QUANTITY	SUP. SUPPORT
A.L.U. ALUMINUM	DSP. DISPOSAL	CALV. CALCIUM	M.H. MECHANICAL	R.A.Q. RETURN AIR GRILL	T.C. TRASH COMPACTOR
ALT. ALTERNATE	D.L. DEAD LOAD	GL. GLASS	MISC. MISCELLANEOUS	RAD. RADIUS	TEMP. TEMPERATURE
APPROX. APPROXIMATE	D.H. DOWN	DYP. DRYPIPE	M.O. MASONRY OPENING	R.D. ROOF DRAIN	THK. THICKNESS
BRG. BEARING	DRY. DRYWALL	H.B. HOLLOW CORE	M.T. METAL	REF. REFRIGERATOR	TYP. TYPICAL
BD. BOARD	D.W. DOWNWALKER	H.C. HOLLOW CORE	M.L. METAL	REF-F. REB-FORCE	U.L. UNDERWRITERS LABORATORY
B.LD.G. BUILDING	DWG. DRAWING	HW. HARDWARE	O.C. OVERALL	REGD. REQUIRED	VENT. VENTILATION
BLK. BLOCK	E.A. EACH	H.M. HOLLOW METAL	O.C. ON CENTER	REV. REVISION / REVERSE	VOL. VOLUME
B.M. BEAM	E.I.F.E. EXTERIOR INSULATION FINISH SYSTEM	H.C. HOLLOW CORE	O.D. OUTSIDE DIAMETER	R.O.S. ROUGH SAWN	W.C. WATER CLOSET
BTM. BOTTOM	E.J. EXPANSION JOINT	H.T. HEIGHT	O.P.F. OPPOSITE	S.C. SOLID CORE	W.D. WOOD
COL. COLUMN	H.T.C. HEATING	H.T. HEIGHT	O.P.T. OPTIONAL	S.C.H.E. SCHEDULE	W.D.W. W/INDOW
CER. CERAMIC	H.T.C. HEATING	H.T. HEIGHT	O.P.T. OPTIONAL	S.C.H.E. SCHEDULE	W.H. WATER HEATER
CER. CERAMIC	H.T.C. HEATING	H.T. HEIGHT	O.P.T. OPTIONAL	S.C.H.E. SCHEDULE	W.C. WALK-IN CLOSET
C.S.R. CONSTRUCTION JOINT	H.T.C. HEATING	H.T. HEIGHT	O.P.T. OPTIONAL	S.C.H.E. SCHEDULE	W.P. WATERPROOF
CLG. CEILING	H.T.C. HEATING	H.T. HEIGHT	O.P.T. OPTIONAL	S.C.H.E. SCHEDULE	
C.M.U. CONCRETE BLOCK	H.T.C. HEATING	H.T. HEIGHT	O.P.T. OPTIONAL	S.C.H.E. SCHEDULE	
CONC. CONCRETE	H.T.C. HEATING	H.T. HEIGHT	O.P.T. OPTIONAL	S.C.H.E. SCHEDULE	
CONCT. CONSTRUCTION	H.T.C. HEATING	H.T. HEIGHT	O.P.T. OPTIONAL	S.C.H.E. SCHEDULE	
CONF. CONFERENCE	H.T.C. HEATING	H.T. HEIGHT	O.P.T. OPTIONAL	S.C.H.E. SCHEDULE	
CONT. CONTINUOUS	H.T.C. HEATING	H.T. HEIGHT	O.P.T. OPTIONAL	S.C.H.E. SCHEDULE	
CTR. CENTER	H.T.C. HEATING	H.T. HEIGHT	O.P.T. OPTIONAL	S.C.H.E. SCHEDULE	

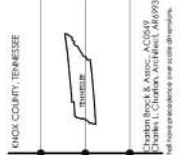
APPLIED CODES

City of Knoxville Zoning Ordinance (with amendments)
 2009 ICC (ANSI) A117.1
 2012 International Energy Conservation Code as adopted by City Ordinance 0-219-2012
 2012 Green Construction Code as adopted by City Ordinance 0-227-2014
 2012 International Building Code as adopted by City Ordinance 0-226-2012
 2012 International Existing Building Code as adopted by City Ordinance 0-226-2012
 2012 International Residential Code as adopted by City Ordinance 0-218-2012
 2012 International Performance Code as adopted by City Ordinance 0-220-2012
 2011 edition of the National Electrical Code as adopted by City Ordinance 0-132-2014
 2012 edition of the International Fuel Gas Code as adopted by City Ordinance 0-223-2012
 2012 edition of the International Mechanical Code as adopted by City Ordinance 0-222-2012
 2012 edition of the International Plumbing Code as adopted by City Ordinance 0-224-2012
 2012 edition of the International Property Maintenance Code as adopted by City Ordinance 0-223-2012
 Knoxville Code of Ordinances: Chapter 6 Buildings and Building Regulations, Article I, Section 6-5. Fire District
 2012 International Fire Code with Local Amendments as adopted by City Ordinance 0-227-2012
 FAIR HOUSING ACT DESIGN MANUAL- 1998 (DWELLING UNITS)
 ADA ACCESSIBILITY GUIDELINES- 2010 (LEASING CENTER)

NOTES:

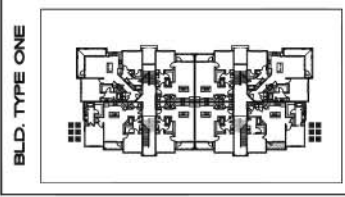
TO THE BEST OF CHARLAN, BROCK & ASSOCIATES KNOWLEDGE THESE PLANS AND SPECIFICATIONS COMPLY WITH ALL APPLICABLE MINIMUM BUILDING CODES, FIRE SAFETY CODES, AND HANDICAP ACCESSIBILITY CODES AS DETERMINED BY THE LOCAL GOVERNING AUTHORITY.

Tapestry Turkey Creek



KNOX COUNTY, TENNESSEE

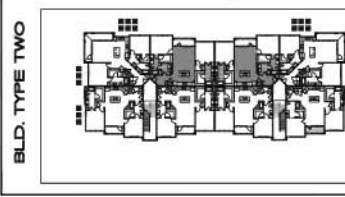
Charlan Brock & Assoc., A/C2018
317 2ND AVENUE NORTH
BIRMINGHAM, ALABAMA, 35203
PH: 205-528-6000



BUILDING MIX								
BUILDING TYPE 1	1	2	3	4	5	6	7	TOTAL
UNIT A1	0	1	2	4	4	14	2	29
UNIT B1	0	1	2	2	2	5	2	10
UNIT B3	2	2	2	2	2	8	2	16
UNIT B1A	0	1	-	-	-	1	2	2
TOTALS UNITS	4	8	8	8	8	28	2	56

BUILDING DATA - TYPE 1	
OCCUPANCY TYPE:	R-2
CONSTRUCTION TYPE:	TYPE V-A (IFPA 13R SYSTEM)
AREA LIMITATION PER FLR:	12,000 SQ. FT.
HEIGHT/FLOORS LIMITATION:	60'-0" / 3 ST.
PROPOSED AREA:	9,876 SQ. FT.
PROPOSED HEIGHT:	44'-6"
PROPOSED NO. FLOORS:	3 STORIES

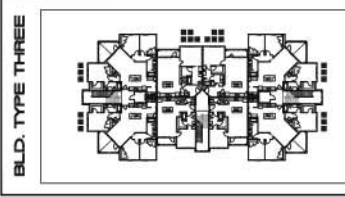
BUILDING AREA - TYPE 1	
A/C AREA PER FLOOR:	3,938 SQ. FT.
1ST FLR:	7,440 SQ. FT.
2ND FLR:	7,440 SQ. FT.
3RD FLR:	7,440 SQ. FT.
TOTAL:	22,320 SQ. FT.
TOTAL AREA PER BUILDING:	5,102 SQ. FT.
1ST FLR:	9,876 SQ. FT.
2ND FLR:	9,314 SQ. FT.
3RD FLR:	9,314 SQ. FT.
TOTAL:	33,330 SQ. FT.
TOTAL AREA PER BUILDING:	3,612 SQ. FT.
SALCOVY:	



BUILDING MIX								
BUILDING TYPE 2	1	2	3	4	5	6	7	TOTAL
UNIT B1	2	4	4	10	1	1	10	
UNIT B3	2	2	2	6	1	8		
UNIT B4	2	2	2	6	1	8		
UNIT B1A	2	-	-	2	1	2		
TOTALS UNITS	8	8	8	24	1	24		

BUILDING DATA - TYPE 2	
OCCUPANCY TYPE:	R-2
CONSTRUCTION TYPE:	TYPE V-A (IFPA 13R SYSTEM)
AREA LIMITATION PER FLR:	12,000 SQ. FT.
HEIGHT/FLOORS LIMITATION:	60'-0" / 3 ST.
PROPOSED AREA:	10,674 SQ. FT.
PROPOSED HEIGHT:	44'-6"
PROPOSED NO. FLOORS:	3 STORIES

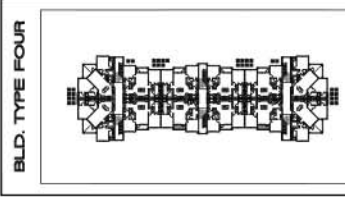
BUILDING AREA - TYPE 2	
A/C AREA PER FLOOR:	9,306 SQ. FT.
1ST FLR:	9,306 SQ. FT.
2ND FLR:	9,306 SQ. FT.
3RD FLR:	9,306 SQ. FT.
TOTAL:	27,918 SQ. FT.
TOTAL AREA PER BUILDING:	10,674 SQ. FT.
1ST FLR:	10,674 SQ. FT.
2ND FLR:	10,674 SQ. FT.
3RD FLR:	10,674 SQ. FT.
TOTAL:	31,716 SQ. FT.
TOTAL AREA PER BUILDING:	2,190 SQ. FT.
SALCOVY:	



BUILDING MIX								
BUILDING TYPE 3	1	2	3	4	5	6	7	TOTAL
UNIT A1	2	2	2	6	2	12		
UNIT A3	1	2	2	6	2	10		
UNIT C1	3	4	4	11	2	22		
UNIT A3A	1	-	-	1	2	2		
UNIT C1A	1	-	-	1	2	2		
TOTALS UNITS	8	8	8	34	2	48		

BUILDING DATA - TYPE 3	
OCCUPANCY TYPE:	R-2
CONSTRUCTION TYPE:	TYPE V-A (IFPA 13R SYSTEM)
AREA LIMITATION PER FLR:	12,000 SQ. FT.
HEIGHT/FLOORS LIMITATION:	60'-0" / 3 ST.
PROPOSED AREA:	10,416 SQ. FT.
PROPOSED HEIGHT:	44'-6"
PROPOSED NO. FLOORS:	3 STORIES

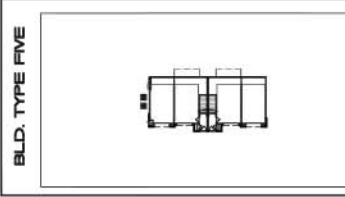
BUILDING AREA - TYPE 3	
A/C AREA PER FLOOR:	8,514 SQ. FT.
1ST FLR:	8,514 SQ. FT.
2ND FLR:	8,514 SQ. FT.
3RD FLR:	8,514 SQ. FT.
TOTAL:	25,542 SQ. FT.
TOTAL AREA PER BUILDING:	10,416 SQ. FT.
1ST FLR:	10,416 SQ. FT.
2ND FLR:	10,416 SQ. FT.
3RD FLR:	10,416 SQ. FT.
TOTAL:	31,716 SQ. FT.
TOTAL AREA PER BUILDING:	2,840 SQ. FT.
SALCOVY:	



BUILDING MIX								
BUILDING TYPE 4	1	2	3	4	5	6	7	TOTAL
UNIT B1	6	8	8	22	1	22		
UNIT B2	4	4	4	12	1	12		
UNIT B1A	2	4	4	2	1	2		
TOTALS UNITS	12	12	12	36	1	36		

BUILDING DATA - TYPE 4	
OCCUPANCY TYPE:	R-2
CONSTRUCTION TYPE:	TYPE V-A (IFPA 13R SYSTEM)
AREA LIMITATION PER FLR:	21,000 SQ. FT.
HEIGHT/FLOORS LIMITATION:	60'-0" / 3 ST.
PROPOSED AREA:	16,771 SQ. FT.
PROPOSED HEIGHT:	44'-6"
PROPOSED NO. FLOORS:	3 STORIES

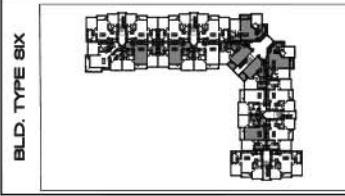
BUILDING AREA - TYPE 4	
A/C AREA PER FLOOR:	13,620 SQ. FT.
1ST FLR:	13,620 SQ. FT.
2ND FLR:	13,620 SQ. FT.
3RD FLR:	13,620 SQ. FT.
TOTAL:	40,860 SQ. FT.
TOTAL AREA PER BUILDING:	16,771 SQ. FT.
1ST FLR:	16,187 SQ. FT.
2ND FLR:	16,187 SQ. FT.
3RD FLR:	16,187 SQ. FT.
TOTAL:	49,145 SQ. FT.
TOTAL AREA PER BUILDING:	3,020 SQ. FT.
SALCOVY:	



BUILDING MIX								
BUILDING TYPE 5	1	2	3	4	5	6	7	TOTAL
UNIT A2	2	2	2	1	2			
TOTALS UNITS	2	2	2	1	2			

BUILDING DATA - TYPE 5	
OCCUPANCY TYPE:	R-2
CONSTRUCTION TYPE:	TYPE V-A (IFPA 13R SYSTEM)
AREA LIMITATION PER FLR:	12,000 SQ. FT.
PROPOSED AREA:	1,540 SQ. FT.
PROPOSED HEIGHT:	24'-6"
PROPOSED NO. FLOORS:	2 STORIES

BUILDING AREA - TYPE 5	
A/C AREA PER FLOOR:	213 SQ. FT.
1ST FLR:	213 SQ. FT.
2ND FLR:	1,418 SQ. FT.
TOTAL:	1,630 SQ. FT.
TOTAL AREA PER FLOOR:	1,540 SQ. FT.
1ST FLR:	1,540 SQ. FT.
2ND FLR:	1,540 SQ. FT.
TOTAL:	3,080 SQ. FT.
SALCOVY:	130 SQ. FT.



BUILDING MIX								
BUILDING TYPE 6	1	2	3	4	5	6	7	TOTAL
UNIT A3	1	2	2	5	1	5		
UNIT B1	8	8	8	24	1	24		
UNIT B3	1	1	1	3	1	3		
UNIT B4	3	3	3	9	1	9		
UNIT B5	2	1	1	4	1	4		
UNIT C2	0	1	1	2	1	2		
UNIT A3A	1	-	-	1	1	1		
TOTALS UNITS	18	18	18	54	1	54		

BUILDING DATA - TYPE 6	
OCCUPANCY TYPE:	R-2
CONSTRUCTION TYPE:	TYPE V-A (IFPA 13R SYSTEM)
AREA LIMITATION PER FLR:	12,000 SQ. FT.
PROPOSED AREA:	1,540 SQ. FT.
PROPOSED HEIGHT:	24'-6"
PROPOSED NO. FLOORS:	2 STORIES

BUILDING AREA - TYPE 6	
A/C AREA PER FLOOR:	19,828 SQ. FT.
1ST FLR:	19,828 SQ. FT.
2ND FLR:	19,713 SQ. FT.
3RD FLR:	19,713 SQ. FT.
TOTAL:	59,254 SQ. FT.
TOTAL AREA PER FLOOR:	25,364 SQ. FT.
1ST FLR:	25,364 SQ. FT.
2ND FLR:	24,798 SQ. FT.
3RD FLR:	24,798 SQ. FT.
TOTAL:	74,960 SQ. FT.
TOTAL AREA PER BUILDING:	3,843 SQ. FT.
SALCOVY:	

LEASING / CLUB

OCCUPANCY TYPE: A-3
CONSTRUCTION TYPE: TYPE V-B

AREA LIMITATION PER FLR: 6,000 SQ. FT.
FRONTAGE INCRS. FBC SDR: 9,300 SQ. FT.

1ST FLR: 9,300 SQ. FT.
2ND FLR: 9,300 SQ. FT.
3RD FLR: 9,300 SQ. FT.
TOTAL: 27,900 SQ. FT.

TOTAL AREA PER FLOOR: 10,674 SQ. FT.
1ST FLR: 10,674 SQ. FT.
2ND FLR: 10,674 SQ. FT.
3RD FLR: 10,674 SQ. FT.
TOTAL: 31,716 SQ. FT.

TOTAL AREA PER BUILDING: 2,190 SQ. FT.

PROPOSED AREA: 6,000 SQ. FT.
PROPOSED HEIGHT: 22'-6"
PROPOSED NO. FLOORS: 1 STORIES

BUILDING AREA - CLUB

A/C AREA PER FLOOR: 5,609 SQ. FT.
1ST FLR: 5,609 SQ. FT.
TOTAL AREA PER FLOOR: 5,609 SQ. FT.

MAINTENANCE

OCCUPANCY TYPE: U
CONSTRUCTION TYPE: TYPE V-B

AREA LIMITATION PER FLR: 5,300 SQ. FT.
HEIGHT/FLOORS LIMITATION: 40'-0" / 1 ST.

PROPOSED AREA: 1,054 SQ. FT.
PROPOSED HEIGHT: 11'-4"
PROPOSED NO. FLOORS: 1 STORY

TRASH COMPACTOR

OCCUPANCY TYPE: U
CONSTRUCTION TYPE: TYPE V-B

AREA LIMITATION PER FLR: 5,300 SQ. FT.
HEIGHT/FLOORS LIMITATION: 40'-0" / 1 ST.

PROPOSED AREA: 408 SQ. FT.
PROPOSED HEIGHT: 10'-1"
PROPOSED NO. FLOORS: 1 STORY

PAVILLION

OCCUPANCY TYPE: A-3
CONSTRUCTION TYPE: TYPE V-B

AREA LIMITATION PER FLR: 6,000 SQ. FT.

PROPOSED AREA: 588 SQ. FT.
PROPOSED HEIGHT: 11'-4"
PROPOSED NO. FLOORS: 1 STORIES

SQUARE FOOTAGE TOTALS

BUILDING TYPE 1 - AREA CALC'S		
A/C AREA TOTAL:	26,848 SQ. FT.	x 2 = 26,848 SQ. FT.
TOTAL AREA:	33,330 SQ. FT.	x 2 = 33,330 SQ. FT.

BUILDING TYPE 2 - AREA CALC'S		
A/C AREA TOTAL:	27,918 SQ. FT.	x 1 = 27,918 SQ. FT.
TOTAL AREA:	31,716 SQ. FT.	x 1 = 31,716 SQ. FT.

BUILDING TYPE 3 - AREA CALC'S		
A/C AREA TOTAL:	35,548 SQ. FT.	x 2 = 51,076 SQ. FT.
TOTAL AREA:	33,014 SQ. FT.	x 2 = 66,028 SQ. FT.

BUILDING TYPE 4 - AREA CALC'S		
A/C AREA TOTAL:	40,860 SQ. FT.	x 1 = 40,860 SQ. FT.
TOTAL AREA:	49,145 SQ. FT.	x 1 = 49,145 SQ. FT.

BUILDING TYPE 5 - AREA CALC'S		
A/C AREA TOTAL:	1,630 SQ. FT.	x 1 = 1,630 SQ. FT.
TOTAL AREA:	3,088 SQ. FT.	x 1 = 3,088 SQ. FT.

BUILDING TYPE 6 - AREA CALC'S		
A/C AREA TOTAL:	58,951 SQ. FT.	x 1 = 58,951 SQ. FT.
TOTAL AREA:	74,960 SQ. FT.	x 1 = 74,960 SQ. FT.

CLUBHOUSE - AREA CALC'S		
A/C AREA TOTAL:	5,609 SQ. FT.	x 1 = 5,609 SQ. FT.
TOTAL AREA:	6,453 SQ. FT.	x 1 = 6,453 SQ. FT.

MAINTENANCE - AREA CALC'S		
A/C AREA TOTAL:	0 SQ. FT.	x 1 = 0 SQ. FT.
TOTAL AREA:	1,054 SQ. FT.	x 1 = 1,054 SQ. FT.

TRASH COMPACTOR - AREA CALC'S		
A/C AREA TOTAL:	0 SQ. FT.	x 1 = 0 SQ. FT.
TOTAL AREA:	608 SQ. FT.	x 1 = 608 SQ. FT.

PAVILLION - AREA CALC'S		
A/C AREA TOTAL:	0 SQ. FT.	x 1 = 0 SQ. FT.
TOTAL AREA:	588 SQ. FT.	x 1 = 588 SQ. FT.

PROJECT TOTALS		
A/C AREA TOTAL:	239,364 SQ. FT.	
TOTAL AREA:	291,798 SQ. FT.	

PROJECT EFFICIENCY		
PROJECT EFFICIENCY:	82%	
AVERAGE UNIT SIZE:	1,088 SQ. FT.	

BUILDING TOTALS

BUILDING TYPE	TOTAL BLDGS
BUILDING TYPE ONE	2
BUILDING TYPE TWO	1
BUILDING TYPE THREE	2
BUILDING TYPE FOUR	1
BUILDING TYPE FIVE	1
BUILDING TYPE SIX	1
CLUBHOUSE	1
MAINTENANCE	1
TRASH COMPACTOR ENCLOSURE	1
PAVILLION	1
TOTAL NUMBER OF BUILDINGS	12

TAPESTRY TURKEY CREEK KNOX COUNTY, TN.



1770 fennell street
montford park 32753-1208
407.640.8900 f: 407.675.9248
www.charlanbrock.com

PROJECT
DATA SHEET

date: 01-01-2016
job no: 3887.14
drawn by: DC / DPA
reviewed by: CBA
file: 3887AD.04
issue history:

10-1-16-UR

REVISED
10:38 am, Oct 26, 2016

A0.04



2 BUILDING TYPE ONE - LEFT ELEVATION SCALE: 1/8"=1'-0"



1 BUILDING TYPE ONE - FRONT ELEVATION SCALE: 1/8"=1'-0" 10-1-16-UR REVISED 10:39 am, Oct 26, 2016

ELEVATION KEY NOTES

- 1 ARCHITECTURAL STYLE SHINGLES, OVER #30 FELT OVER ROOF SHEATHING, OVER PRE-ENGINEERED ROOF TRUSSES. PROVIDE 36" WIDE 30 MIL SELF-ADHERING MEMBRANE, CENTERED IN VALLEYS, OVER ROOF SHEATHING.
- 2 STANDING SEAM METAL ROOF OVER 40 MIL HIGH TEMPERATURE MEMBRANE. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 3 ALUMINUM Drip EDGE ON ALUMINUM WRAPPED TREATED 1X3 OR TREATED 2X10 FASCIA BOARD WITH ALUMINUM GUTTER PER ROOF PLAN
- 4 ANODIZED ALUMINUM GUTTER & DOWNSPOUT SYSTEM
- 5 4" REVEAL FIBER CEMENT LAP SIDING OVER BLD. WRAP OVER EXTERIOR WALL PER MANUFACTURER'S RECOMMENDATIONS.
- 6 8" REVEAL FIBER CEMENT LAP SIDING OVER BLD. WRAP OVER EXTERIOR WALL PER MANUFACTURER'S RECOMMENDATIONS
- 7 FIBER CEMENT PANEL, VERTICAL SIDING OVER RAINDOOR OVER BLD. WRAP, OVER EXTERIOR WALL PER MANUFACTURER'S RECOMMENDATIONS
- 8 STONE VENEER OVER 2 COATS OF STUCCO ON PAPER BACK METAL LATH OVER BUILDING WRAP. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 9 DECORATIVE BRACKET
- 10 LIGHT FIXTURE
- 11 BUILDING SIGNAGE
- 12 ALUMINUM RAILING
- 13 ALUMINUM RAILING AT 42" A.F.F.
- 14 METER LOCATION
- 15 WALL TO ROOF "KICK OUT" FLASHING REQUIRED. SEE NOTE 14 OF TYPICAL ELEVATION NOTES.
- 16 VERTICAL HARDIE BOARD TO BE SPACED 1/2" ON CENTER.

TYPICAL ELEVATION NOTES

1. TYPICAL EXTERIOR CLADDING - COMBINATION OF CEMENTITIOUS LAPPED SIDING, CEMENTITIOUS PANEL SIDING AND CULTURED STONE VENEER. ENTIRE BUILDING TO BE WRAPPED WITH BUILDING WRAP. HIGHS AND OUTSIDE CORNERS TO BE PRE-WRAPPED WITH SELF-ADHERED MEMBRANE FOR 6" EACH SIDE OF CORNER. STONE VENEER TO BE INSTALLED OVER STUCCO BASE WITH METAL LATH ON DRAIN MAT ON AND #15 FELT OVER BUILDING WRAP.
2. ALL EXTERIOR WOOD TRIM TO BE 3/4" HARDI TRIM.
3. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR SKIN SHALL BE SET IN BED OF SEALANT. REFER TO SHEETS A7-11 & A7-42 FOR PENETRATION DETAILS.
4. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MODIFYING AND WATERPROOFING TO ARCHITECT FOR APPROVAL. FINISH BLOCKING REQUIRED AT ALL PENETRATIONS AND SURFACE MOUNTED FIXTURES INCLUDING CULTURED STONE.
5. ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE AT 1/2" PER FOOT.
6. ALL EXTERIOR BALCONY RAILS TO BE POWDER COATED ALUMINUM.
7. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8. PROVIDE URETHANE SEALANT AT ALL SIDING, PANEL AND TRIM CONDITIONS.
9. PROVIDE URETHANE SEALANT W/ BOND BREAKER OR BACKER ROD (DO PREVENT SICKED ADHESION) AT PERIMETER OF WINDOWS / DOORS.
10. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISJUNCT SUBSTRATES, SUCH AS BALCONY CEILING, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ECT.
11. PROVIDE POSITIVE SLOPE 1/2" AT TOP OF METAL FLASHINGS AT TRIM BANDS. TYPICAL.
12. ALL ATTACHMENT AND PENETRATION THRU THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION.
13. EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3/4" BAKED SHIMMER ALUMINUM.
14. ALL ROOF TO WALL INTERSECTIONS TO HAVE VERTICAL TERMINATION OF UNDERLAYMENT, 8" AND 1" FLASHING WITH VERTICAL, LEG EXTENDING MINIMUM 2" UP THE WALL. ALL ROOF TO WALL LEAVE TERMINATIONS MUST HAVE KICK-OUT FLASHING.
15. REFER TO DETAILS/A7.32 FOR TYPICAL PAINT DETAIL.

KNOX COUNTY, TENNESSEE
 TAPESTRY TURKEY CREEK
 KNOX COUNTY, TN.

ARLINGTON PROPERTIES
 217 2ND AVENUE NORTH
 BRIMINGHAM, ALABAMA 35203
 PH. 205-329-9600

charlan brock associates
 architects planners
 1770 fennell street
 mcalland florida 32751-7208
 407 660 8900 f: 407 875 9948
 www.cbarchitects.com

BUILDING TYPE ONE BUILDING ELEVATIONS

date: 09-01-2016
 job no: 3887.14
 drawn by: DC / DPA
 re-viewed by: CBA
 file: 3887A2.11
 issue history:

A2.11

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2 BUILDING TYPE ONE - RIGHT ELEVATION

SCALE: 1/8"=1'-0"



1 BUILDING TYPE ONE - REAR ELEVATION

SCALE: 1/8"=1'-0"

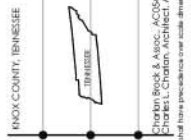
REVISED
10:39 am, Oct 26, 2016

ELEVATION KEY NOTES

- | | | |
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| <p>1 ARCHITECTURAL STYLE SHIMHOLES, OVER #30 FILL, OVER ROOF SHEATHING, OVER PRE-ENGINEERED ROOF TRUSSES. PROVIDE 3/4" WIDE 30 MIL SELF-ADHERING MEMBRANE, CENTERED IN VALLEYS, OVER ROOF SHEATHING.</p> <p>2 STANDING SEAM METAL ROOF OVER 40 MIL HIGH TEMPERATURE MEMBRANE, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.</p> <p>3 ALUMINUM DRIP EDGE ON ALUMINUM WRAPPED TREATED 1x3 ON TREATED 2x10 FASCIA BOARD WITH ALUMINUM GUTTER PER ROOF FLASH.</p> <p>4 ANODIZED ALUMINUM GUTTER & DOWNSPOUT SYSTEM.</p> | <p>5 4" REVEAL FIBER CEMENT LAP SIDING OVER BLD. WRAP OVER EXTERIOR WALL PER MANUFACTURER'S RECOMMENDATIONS.</p> <p>6 8" REVEAL FIBER CEMENT LAP SIDING OVER BLD. WRAP OVER EXTERIOR WALL PER MANUFACTURER'S RECOMMENDATIONS.</p> <p>7 FIBER CEMENT PANEL, VERTICAL SIDING OVER BANKSCREEN OVER BLD. WRAP, OVER EXTERIOR WALL PER MANUFACTURER'S RECOMMENDATIONS.</p> <p>8 STONE VENEER OVER 2 COATS OF STUCCO ON PAPER BACK METAL LATH OVER BUILDING WRAP, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.</p> <p>9 DECORATIVE BRACKET</p> | <p>10 LIGHT FIXTURE</p> <p>11 BUILDING SIGNAGE</p> <p>12 ALUMINUM RAILING</p> <p>13 ALUMINUM RAILING AT 42" A.F.F.</p> <p>14 METER LOCATION</p> <p>15 WALL TO ROOF "KICK OUT" FLASHING REQUIRED, SEE NOTE 14 OF TYPICAL ELEVATION NOTES.</p> <p>16 VERTICAL HARDIE BOARD TO BE SPACED 1/2" ON CENTER.</p> |
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TYPICAL ELEVATION NOTES

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| <p>1. TYPICAL EXTERIOR CLADDING - COMBINATION OF CEMENTITIOUS LAPPED SIDING, CEMENTITIOUS PANEL SIDING AND CULTURED STONE VENEER. ENTIRE BUILDING TO BE WRAPPED WITH BUILDING WRAP, INSIDE AND OUTSIDE CORNERS TO BE PRE-WRAPPED WITH SELF-ADHERED MEMBRANE FOR 4" EACH SIDE OF CORNER. STONE VENEER TO BE INSTALLED OVER STUCCO BASE WITH METAL LATH ON DRAIN MAT ON AND #16 FET OVER BUILDING WRAP.</p> <p>2. ALL EXTERIOR WOOD TRIM TO BE 5/4" HARDIE TRIM.</p> <p>3. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR FINISH SHALL BE SET IN BED OF SEALANT. REFER TO SHEETS AT-1 & AT-2 FOR PENETRATION DETAILS.</p> <p>4. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL. PLUMB BLOCKING REQUIRED AT ALL PENETRATIONS AND SURFACE MOUNTED FIXTURES INCLUDING CULTURED STONE.</p> | <p>5. ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE AT 1/2" PER FOOT.</p> <p>6. ALL EXTERIOR BALCONY RAILS TO BE POWDER COATED ALUMINUM.</p> <p>7. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.</p> <p>8. PROVIDE URETHANE SEALANT AT ALL SIDING, PANEL AND TRIM CONDITIONS.</p> <p>9. PROVIDE URETHANE SEALANT W/ BOND BREAKER OR BACKER ROD (TO PREVENT 3-SIDED ADHESION) AT PERIMETER OF WINDOWS / DOORS.</p> <p>10. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILING, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ECT.</p> | <p>11. PROVIDE POSITIVE SLOPE 1:2 AT TOP OF METAL FLASHINGS AT TRIM BANDS, TYPICAL.</p> <p>12. ALL ATTACHMENT AND PENETRATION THRU THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION.</p> <p>13. EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3x6" BACKED SHAMIE, ALUMINUM.</p> <p>14. ALL ROOF TO WALL INTERSECTIONS TO HAVE VERTICAL TERMINATION OF UNDERLAYMENT, MIN. 4" AND 1" FLASHING WITH VERTICAL LEG EXTENDING MINIMUM 6" UP THE WALL. ALL ROOF TO WALL LEAVE TERMINATIONS MUST HAVE KICK-OUT FLASHING.</p> <p>15. REFER TO DETAILS/A7.32 FOR TYPICAL PAINT DETAIL.</p> |
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TAPESTRY TURKEY CREEK
KNOX COUNTY, TN.

charlan • brock
associates

architects planners
1770 lennell street
midland florida 32751-7208
407.660.8900 f. 407.875.9946
www.cbarchitect.com

BUILDING TYPE
ONE
BUILDING
ELEVATIONS

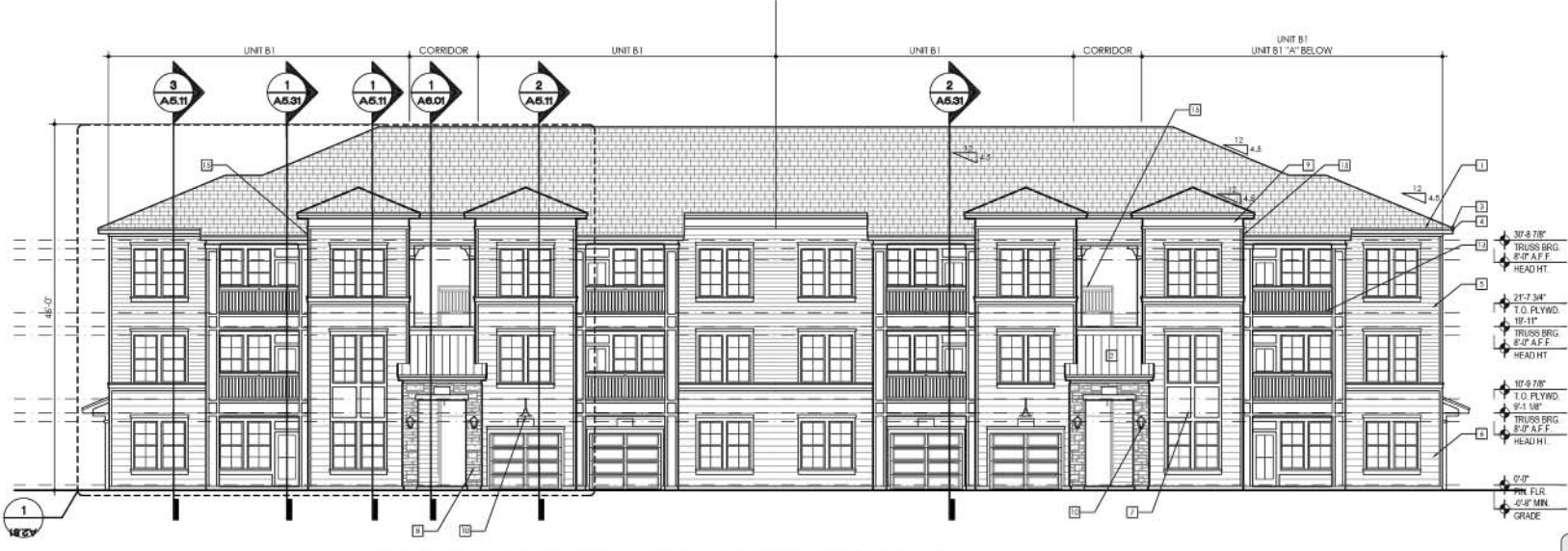
date: 09-01-2016
job no: 3887.16
drawn by: DC / DPA
reviewed by: CBA
file: 3887A2.12
issue history:

A2.12



2 BUILDING TYPE TWO - LEFT ELEVATION

SCALE: 1/8"=1'-0"



1 BUILDING TYPE TWO - FRONT ELEVATION

SCALE: 1/8"=1'-0"

ELEVATION KEY NOTES

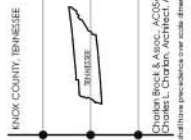
- | | | |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>1 ARCHITECTURAL STYLE SHINGLES, OVER #30 FELT, OVER ROOF SHEATHING, OVER PRE-ENGINEERED ROOF TRUSSES. PROVIDE 3/4" WIDE 30 MIL SELF-ADHERING MEMBRANE, CENTERED IN VALLEYS, OVER ROOF SHEATHING.</p> <p>2 STANDING SEAM METAL ROOF OVER 40 MIL HIGH TEMPERATURE MEMBRANE, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.</p> <p>3 ALUMINUM DRIP EDGE ON ALUMINUM WRAPPED TREATED 1x3 ON TREATED 2x10 FASCIA BOARD WITH ALUMINUM GUTTER PER ROOF FLASH.</p> <p>4 ANODIZED ALUMINUM GUTTER & DOWNSPOUT SYSTEM.</p> | <p>5 4" REVEAL FIBER CEMENT LAP SIDING OVER BLD. WRAP OVER EXTERIOR WALL PER MANUFACTURER'S RECOMMENDATIONS.</p> <p>6 8" REVEAL FIBER CEMENT LAP SIDING OVER BLD. WRAP OVER EXTERIOR WALL PER MANUFACTURER'S RECOMMENDATIONS.</p> <p>7 FIBER CEMENT PANEL, VERTICAL SIDING OVER BANKSHEEN OVER BLD. WRAP. OVER EXTERIOR WALL PER MANUFACTURER'S RECOMMENDATIONS.</p> <p>8 STONE VENEER OVER 2 COATS OF STUCCO ON PAPER BACK METAL LATH OVER BUILDING WRAP. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.</p> <p>9 DECORATIVE BRACKET.</p> | <p>10 LIGHT FIXTURE</p> <p>11 BUILDING SIGNAGE</p> <p>12 ALUMINUM RAILING</p> <p>13 ALUMINUM RAILING AT 42" A.F.F.</p> <p>14 METER LOCATION</p> <p>15 WALL TO ROOF "KICK OUT" FLASHING REQUIRED. SEE NOTE 14 ON TYPICAL ELEVATION NOTES.</p> <p>16 VERTICAL HARDIE BOARD TO BE SPACED 1/2" ON CENTER.</p> |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

TYPICAL ELEVATION NOTES

1. TYPICAL EXTERIOR CLADDING - COMBINATION OF CEMENTITIOUS LAPPED SIDING, CEMENTITIOUS PANEL SIDING AND CULTURED STONE VENEER. ENTIRE BUILDING TO BE WRAPPED WITH BUILDING WRAP, INSIDE AND OUTSIDE CORNERS TO BE PRE-WRAPPED WITH SELF-ADHERED MEMBRANE FOR 4" EACH SIDE OF CORNER. STONE VENEER TO BE INSTALLED OVER STUCCO BASE WITH METAL LATH ON DRAIN MAT ON AND #16 FELT OVER BUILDING WRAP.
2. ALL EXTERIOR WOOD TRIM TO BE 5/4" HARDY TRIM.
3. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR FINISH SHALL BE SET IN BED OF SEALANT. REFER TO SHEETS A7-A1 & A7-A2 FOR PENETRATION DETAILS.
4. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL. PLUMB BLOCKING REQUIRED AT ALL PENETRATIONS AND SURFACE MOUNTED FIXTURES INCLUDING CULTURED STONE.
5. ALL UNIT BALCONIES TO HAVE STRUCTURAL FLOOR SYSTEM SLOPED AWAY FROM UNIT FOR DRAINAGE AT 1/4" PER FOOT.
6. ALL EXTERIOR BALCONY RAILS TO BE POWDER COATED ALUMINUM.
7. ALL FINISH GRADE SHALL BE MINIMUM 8" BELOW FINISH FLOOR AND SLOPE AWAY FROM BUILDING.
8. PROVIDE URETHANE SEALANT AT ALL SIDING, PANEL AND TRIM CONDITIONS.
9. PROVIDE URETHANE SEALANT W/ BOND BREAKER OR BACKER ROD (TO PREVENT 3-SIDED ADHESION) AT PERIMETER OF WINDOWS, DOORS.
10. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILING, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ECT.
11. PROVIDE POSITIVE SLOPE 1/2" AT TOP OF METAL FLASHINGS AT TRIM BANDS, TYPICAL.
12. ALL ATTACHMENT AND PENETRATION THRU THE EXTERIOR CLADDING SYSTEM MUST BE SEALED AGAINST POTENTIAL WATER INTRUSION.
13. EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3x3" BAKED ENAMEL ALUMINUM.
14. ALL ROOF TO WALL INTERSECTIONS TO HAVE VERTICAL TERMINATION OF UNDERLAYMENT, MIN. 4" AND 1" FLASHING WITH VERTICAL LEG EXTENDING MINIMUM 4" UP THE WALL. ALL ROOF TO WALL LEAVE TERMINATIONS MUST HAVE KICK-OUT FLASHING.
15. REFER TO DETAILS/A7.32 FOR TYPICAL PAINT DETAIL.

10-I-16-UR

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10:40 am, Oct 26, 2016



TAPESTRY TURKEY CREEK
KNOX COUNTY, TN.

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1770 lenox steel
moffatt fordway 32751-7208
407.660.8900 f. 407.875.9946
www.cbaarchitect.com

BUILDING TYPE
TWO
BUILDING
ELEVATIONS

date: 09-01-2014
job no: 3887.14
drawn by: DC / DPA
reviewed by: CBA
file: 3887A2.21
issue history:

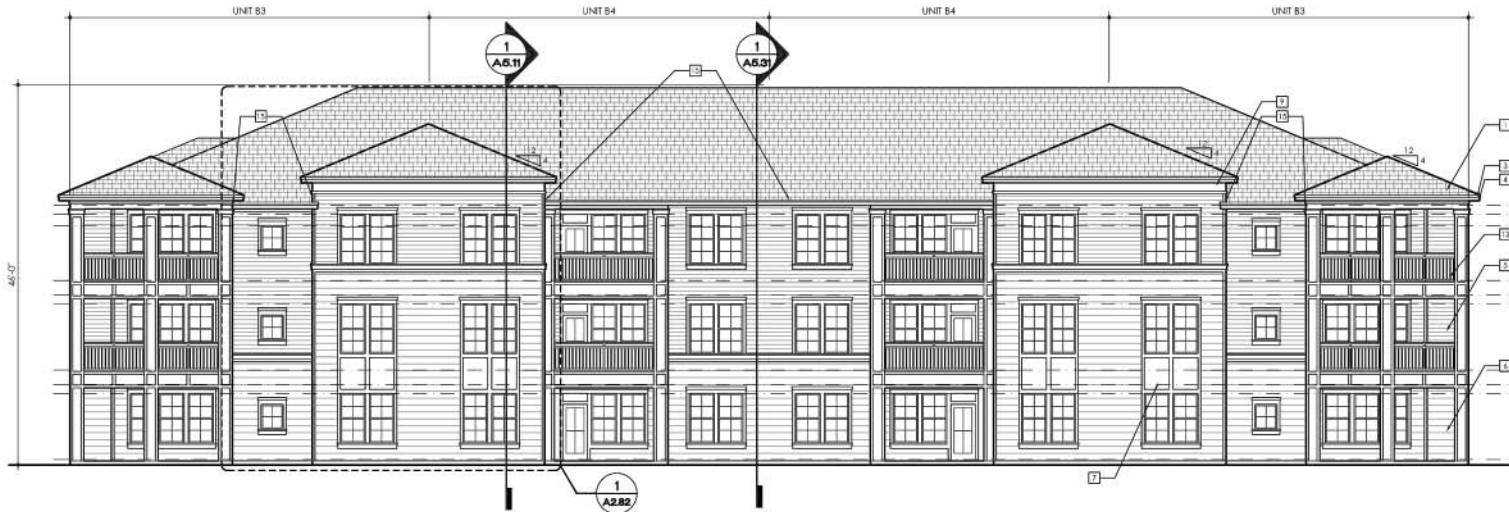
A2.21

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2 BUILDING TYPE TWO - RIGHT ELEVATION

SCALE: 1/8"=1'-0"



1 BUILDING TYPE TWO - REAR ELEVATION

SCALE: 1/8"=1'-0"



10-I-16-UR

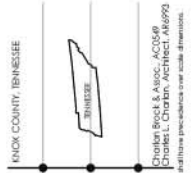
REVISED
10:40 am, Oct 26, 2016

ELEVATION KEY NOTES

- | | | |
|----------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------|
| <p>1 ARCHITECTURAL STYLE SHINGLES, OVER #30 FELT, OVER ROOF SHEATHING, OVER PRE-ENGINEERED ROOF TRUSSES. PROVIDE 3/4\"/> </p> | <p>5 4\"/> </p> | <p>10 LIGHT FIXTURE</p> |
| <p>2 STANDING SEAM METAL ROOF OVER 40 MIL HIGH TEMPERATURE MEMBRANE, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.</p> | <p>6 8\"/> </p> | <p>11 BUILDING SIGNAGE</p> |
| <p>3 ALUMINUM DRIP EDGE ON ALUMINUM WRAPPED TREATED 1x3 ON TREATED 2x10 FASCIA BOARD WITH ALUMINUM GUTTER PER ROOF FLASH</p> | <p>7 FIBER CEMENT PANEL, VERTICAL SIDING OVER BANKSCREEN OVER BLD. WRAP, OVER EXTERIOR WALL PER MANUFACTURER'S RECOMMENDATIONS</p> | <p>12 ALUMINUM RAILING</p> |
| <p>4 ANODIZED ALUMINUM GUTTER & DOWNSPOUT SYSTEM</p> | <p>8 STONE VENEER OVER 2 COATS OF STUCCO ON PAPER BACK METAL LATH OVER BUILDING WRAP, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.</p> | <p>13 ALUMINUM RAILING AT 42\"/> </p> |
| | <p>9 DECORATIVE BRACKET</p> | <p>14 METER LOCATION</p> |
| | | <p>15 WALL TO ROOF \"KICK OUT\" FLASHING REQUIRED. SEE NOTE 14 OF TYPICAL ELEVATION NOTES.</p> |
| | | <p>16 VERTICAL HARDIE BOARD TO BE SPACED 1/2\"/> </p> |

TYPICAL ELEVATION NOTES

1. TYPICAL EXTERIOR CLADDING - COMBINATION OF CEMENTITIOUS LAPPED SIDING, CEMENTITIOUS PANEL SIDING AND CULTURED STONE VENEER. ENTIRE BUILDING TO BE WRAPPED WITH BUILDING WRAP, INSIDE AND OUTSIDE CORNERS TO BE PRE-WRAPPED WITH SELF-ADHERED MEMBRANE FOR 4\"/>
2. ALL EXTERIOR WOOD TRIM TO BE 5/4\"/>
3. ALL PENETRATIONS MUST BE PROPERLY FLASHED AND/OR SEALED. ATTACHMENTS THROUGH EXTERIOR FINISH SHALL BE SET IN BED OF SEALANT. REFER TO SHEETS AT-1 & AT-40 FOR PENETRATION DETAILS.
4. ALL BUILDING MOUNTED EQUIPMENT, PANELS, ETC. SHALL BE MOUNTED AFTER EXTERIOR FINISH IS APPLIED AND PAINTED. IF SEQUENCING OF CONSTRUCTION REQUIRES MOUNTING PRIOR TO THIS, CONTRACTOR SHALL SUBMIT METHOD OF MOUNTING AND WATERPROOFING TO ARCHITECT FOR APPROVAL. PLUMB BLOCKING REQUIRED AT ALL PENETRATIONS AND SURFACE MOUNTED FIXTURES INCLUDING CULTURED STONE.
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7. PROVIDE URETHANE SEALANT IN BOND BREAKER OR BACKER ROD (TO PREVENT 3-SIDED ADHESION) AT PERIMETER OF WINDOWS / DOORS.
8. PROVIDE SEALANT JOINTS AT INTERFACE BETWEEN DISSIMILAR SUBSTRATES, SUCH AS BALCONY CEILING, BALCONY EXTERIOR EDGES, EXTERIOR WALL TO SOFFIT AND CEILING CONDITIONS ECT.
9. PROVIDE POSITIVE SLOPE 1:2 AT TOP OF METAL FLASHINGS AT TRIM BANDS, TYPICAL.
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13. EXTERIOR WALLS TO BE PAINTED PRIOR TO INSTALLATION OF DOWNSPOUTS. ALL DOWNSPOUTS TO BE 3x6\"/>
14. ALL ROOF TO WALL INTERSECTIONS TO HAVE VERTICAL TERMINATION OF UNDERLAYMENT, MIN. 4\"/>
15. REFER TO DETAILS/A7.32 FOR TYPICAL PAINT DETAIL.



TAPESTRY TURKEY CREEK
KNOX COUNTY, TN.

ARLINGTON PROPERTIES
217 2ND AVENUE NORTH
BIRMINGHAM, ALABAMA 35203
PH. 205-328-9600

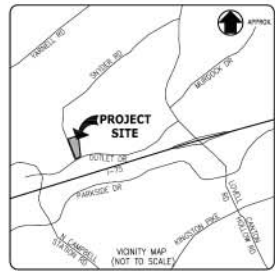
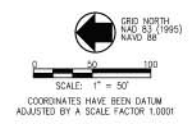
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BUILDING TYPE
TWO
BUILDING
ELEVATIONS

date: 09-01-2014
job no: 3887.14
drawn by: DC / DPA
reviewed by: CBA
file: 3887A2.22
issue history:

A2.22



NOTES:
1. SEE SHEET UOR1.01 FOR GENERAL NOTES

LEGEND

	NUMBER OF PARKING SPACES
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE SIDEWALK
	STORM SEWER LINE
	SANITARY SEWER LINE
	WATER LINE
	UNDERGROUND GAS LINE
	CATCH BASIN
	STORM MANHOLE
	REINFORCED CONCRETE PIPE
	LIGHT POLE
	POWER EQUIPMENT
	TELEPHONE LINE RISER
	WATER VALVE
	FIRE HYDRANT
	WATER METER
	GAS VALVE
	SANITARY MANHOLE
	SANITARY CLEAN OUT
	SON
	EXISTING SHRUB
	EXISTING TREE

	REVISED PER MPC COMMENTS	10-25-18
	REVISED PER MPC COMMENTS	09-28-18
	REVISIONS	DATE

CANNON & CANNON INC.
CONSULTING ENGINEERS - FIELD SURVEYORS
146 855.870.8555 | 1850 Kingston Pike
www.cannon-cannon.com | Knoxville, TN 37919

CLIENT:
ARLINGTON PROPERTIES
2117 SECOND AVENUE NORTH
BIRMINGHAM, AL 35203
PH: (205) 397-6884

PROJECT:
TAPESTRY TURKEY CREEK
11616 SNYDER ROAD
KNOXVILLE, TN 37932

USE ON REVIEW
OVERALL SITE LAYOUT PLAN

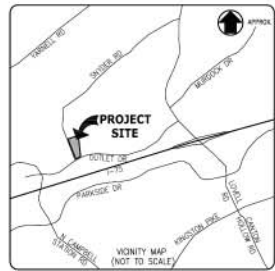
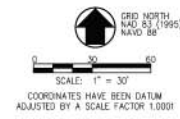
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NOT FOR	DRAWING DATE	AUGUST 21, 2018
CONSTRUCTION	PN	ADG
	PK	PC
	DMN	SPG
	CHECKED	-

UOR1.00

10-I-16-UR

REVISED
10:49 am, Oct 26, 2018





SPECIAL NOTE
EVALUATION OF EITHER RETENTION PONDS OR DRAINAGE CASSEMENTS TO OFF-SITE DRAINAGES TO BE DETERMINED IN DESIGN.

- NOTES:**
1. STORM WATER DETENTION AND WATER QUALITY TO BE EVALUATED AS PART OF FINAL DRAINAGE DESIGN.
 2. DETAILED LANDSCAPING PLAN SHALL BE SUBMITTED FOR MPC STAFF APPROVAL PRIOR TO OBTAINING BUILDING PERMIT.

10-I-16-UR
REVISED
10:49 am, Oct 26, 2016

REVISION	REVISED PER MPC COMMENTS	10-25-16
REVISION	REVISED PER MPC COMMENTS	09-28-16
REVISION		DATE

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2117 SECOND AVENUE NORTH
BIRMINGHAM, AL 35203
PH: (205) 397-6884

PROJECT: TAPESTRY TURKEY CREEK
11616 SNYDER ROAD
KNOXVILLE, TN 37932

USE ON REVIEW
SITE GRADING PLAN

ISS PROJECT NO.	01273-0000
DRAWING DATE	AUGUST 21, 2016
PREP	ARJG PJC
DRAWN	SPJC
CHECKED	

USE ON REVIEW
NOT FOR CONSTRUCTION

UOR2.01

LEGEND

1040	PROPOSED CONTOUR LINE
1040	EXISTING CONTOUR LINE
---	STORM SEWER LINE
---	SANITARY SEWER LINE
---	WATER LINE
---	UNDERGROUND GAS LINE
---	CATCH BASIN
---	STORM MANHOLE
---	REINFORCED CONCRETE PIPE
---	LIGHT POLE
---	POWER EQUIPMENT
---	TELEPHONE LINE RISER
---	WATER VALVE
---	FIRE HYDRANT
---	WATER METER
---	GAS VALVE
---	SANITARY MANHOLE
---	SANITARY CLEAN OUT
---	EXISTING SHRUB
---	EXISTING TREE



MATCHLINE SEE SHEET UOR2.01

K.U.B. UTILITY EASEMENT
DEED 20100824-0080025

EXISTING PROPERTY LINE
ASPHALT DRIVE

PROPOSED PROPERTY LINE

APPROX. PERMANENT SLOPE EASEMENT
DEED 20110527-0068701

SNYDER ROAD

EXISTING PROPERTY LINE

APPROX. PERMANENT SLOPE EASEMENT
DEED 20110527-0068701

OUTLET DRIVE

APPROXIMATE OUTFALL

APPROXIMATE OUTFALL

EXISTING PROPERTY LINE

F.F.E. 987.0

F.F.E. 987.5

F.F.E. 1003.0

F.F.E. 997.5

F.F.E. 1011.0

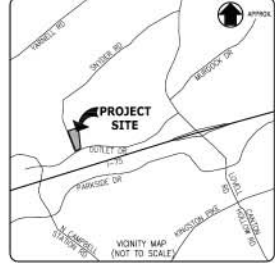
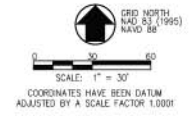
F.F.E. 1000.5

F.F.E. 1015.5

F.F.E. 1010.5

DETENTION POND

DETENTION POND



NOTES
1. SEE SHEET UOR2.01 FOR NOTES.

10-I-16-UR

REVISED
10:40 am, Oct 26, 2016

REVISION	REVISED PER MPC COMMENTS	10-25-16
REVISION	REVISED PER MPC COMMENTS	09-28-16
REVISION		DATE

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CONSULTING ENGINEERS - FIELD SURVEYORS
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www.cannon-cannon.com | Knoxville, TN 37919

CLIENT: **ARLINGTON PROPERTIES**
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BIRMINGHAM, AL 35203
PH: (205) 397-6884

PROJECT: **TAPESTRY TURKEY CREEK**
11616 SNYDER ROAD
KNOXVILLE, TN 37932

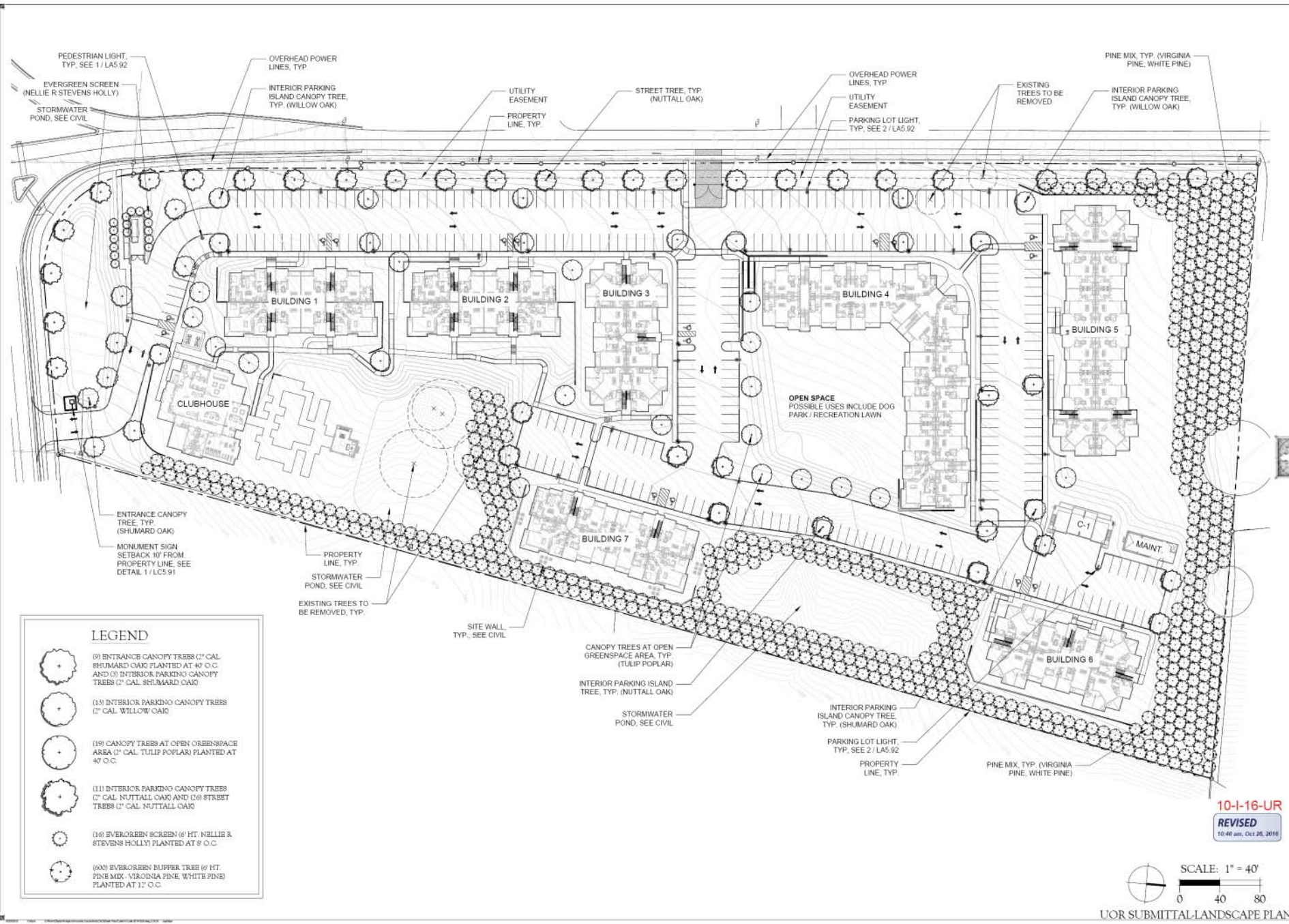
USE ON REVIEW
SITE GRADING PLAN

USE ON REVIEW NOT FOR CONSTRUCTION	CD PROJECT NO.	01273-0000
	DRAWING DATE	AUGUST 21, 2016
	PREP	APRIL
	CHECKED	PC
	DRAWN	SPIC
		CHECKED

UOR2.02

LEGEND	
1040	PROPOSED CONTOUR LINE
1040	EXISTING CONTOUR LINE
ST	STORM SEWER LINE
SA	SANITARY SEWER LINE
W	WATER LINE
G	UNDERGROUND GAS LINE
CB	CATCH BASIN
SM	STORM MANHOLE
ROP	REINFORCED CONCRETE PIPE
LP	LIGHT POLE
PE	POWER EQUIPMENT
TLR	TELEPHONE LINE RISER
WV	WATER VALVE
FIH	FIRE HYDRANT
WR	WATER METER
GV	GAS VALVE
SMH	SANITARY MANHOLE
SCO	SANITARY CLEAN OUT
SN	SIGN
ES	EXISTING SHRUB
ET	EXISTING TREE





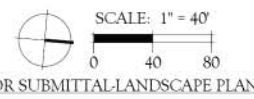
Date:	09/28/2016
Drawn by:	JSP
Reviewed by:	BCC / MJO
Job Number:	111113
Revision:	Date:
1	10/17/2016

TAPESTRY TURKEY CREEK
 Knoxville, TN

DIX HITE
 PARTNERS
 2117 Sycamore Road, Suite 300
 Brentwood, TN 37027

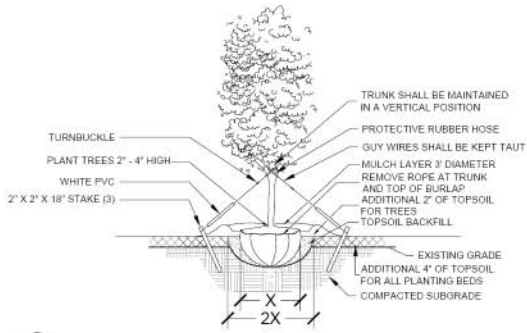
UOR SUBMITTAL-LANDSCAPE PLAN
 OVERALL PLAN

10-1-16-UR
 REVISED
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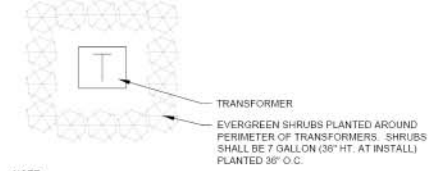


LEGEND

	(0) ENTRANCE CANOPY TREES (2" CAL. SHUMARD OAK) PLANTED AT 40' O.C. AND (3) INTERIOR PARKING CANOPY TREES (2" CAL. SHUMARD OAK)
	(13) INTERIOR PARKING CANOPY TREES (2" CAL. WILLOW OAK)
	(19) CANOPY TREES AT OPEN GREENSPACE AREA (2" CAL. TULIP POPLAR) PLANTED AT 40' O.C.
	(11) INTERIOR PARKING CANOPY TREES (2" CAL. NUTTALL OAK AND (5) STREET TREES (2" CAL. NUTTALL OAK)
	(16) EVERGREEN SCREEN (6' HT. NELLIE R. STEVENS HOLLY) PLANTED AT 9' O.C.
	(60) EVERGREEN BUFFER TREES (6' HT. PINE MIX: VIRGINIA PINE, WHITE PINE) PLANTED AT 12' O.C.

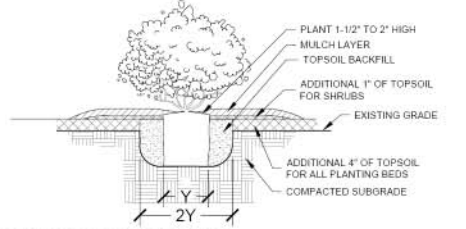


TYPICAL TREE PLANTING - CROSS SECTION
SCALE: NTS

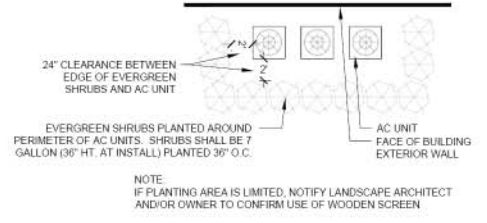


NOTE:
REFER TO LOCAL CODE FOR CLEARANCE REQUIREMENTS. PLANTINGS SHOULD COMPLETELY SURROUND TRANSFORMER TO SCREEN VIEWS FROM UNITS, SIDEWALKS AND ROADS. NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCY BETWEEN PLAN AND SITE CONDITIONS.

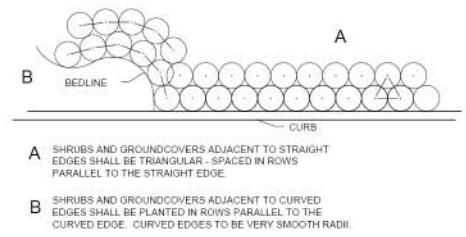
EVERGREEN SCREEN FOR TRANSFORMERS
SCALE: NTS



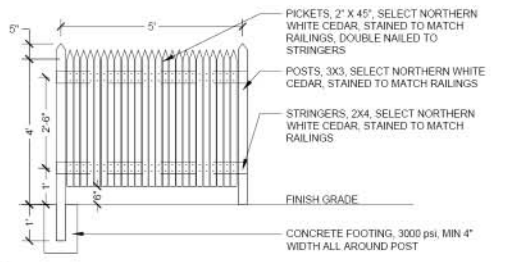
TYPICAL SHRUB PLANTING - CROSS SECTION
SCALE: NTS



EVERGREEN SCREEN FOR AIR CONDITIONER UNITS
SCALE: NTS



TYPICAL SHRUB LAYOUT - PLAN
SCALE: NTS



SCREEN PANEL FOR AIR CONDITIONER UNITS
SCALE: NTS

LANDSCAPE NOTES

- CONTRACTOR IS EXPECTED TO CARRY OUT ALL RESPONSIBILITIES SET FORTH IN THESE LANDSCAPE NOTES AND IN THE LANDSCAPE SPECIFICATIONS. THEY WILL BE STRICTLY ENFORCED BY THE OWNER/L.A.
- ALL PLANT MATERIAL SHALL BE ANSI Z60 1-2004 OR BETTER ACCORDING TO THE CURRENT NURSERY GRADES AND STANDARDS.
- ALL PLANT BEDS SHALL BE DRESSED WITH 3\"/>
- CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO INSTALLATION.
- ALL PLANTS SHALL MEET SIZE, CONTAINER, AND SPACING SPECIFICATIONS. ANY MATERIAL NOT MEETING SPECIFICATIONS SHALL BE REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL BE RESPONSIBLE TO RECEIVE THE LANDSCAPE ARCHITECT'S APPROVAL OF ALL PLANT BED LAYOUTS AND TREE LOCATIONS PRIOR TO INSTALLATION. IF PLANT MATERIAL IS INSTALLED PRIOR TO LANDSCAPE ARCHITECT'S APPROVAL, CONTRACTOR WILL BE SUBJECT TO RELOCATING THE MATERIAL AT THE LANDSCAPE ARCHITECT'S REQUEST AND THE CONTRACTOR'S OWN EXPENSE.
- ALL SHRUBS SHALL BE PLANTED 1-1/2\"/>
- CONTRACTOR SHALL PERFORM SOIL TESTING PRIOR TO CONSTRUCTION 1) TO DETERMINE NUTRIENT STATUS AND PH OF SOIL AND 2) TO DETERMINE THE SOIL TEXTURE IN THE TOP 6\"/>
- CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING. GRADING SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CONTRACTOR SHALL SUBMIT UNIT PRICES FOR ALL BID ITEMS.
- SOIL SHALL BE FREE FROM LIME ROCK AND CONSTRUCTION DEBRIS.
- IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES REPRESENTED ON THE FINAL LANDSCAPE PLAN VS. QUANTITIES SHOWN ON THE PLANT LIST, THE PLAN SHALL CONTROL.
- CONTRACTOR SHALL MAINTAIN TREES IN A STRAIGHT AND PLUMB POSITION FOR ONE YEAR. CONTRACTOR SHALL STAKE ALL TREES IF REQUIRED BY THE JURISDICTION.
- PRIOR TO REMOVAL OF ANY TREES, THE TREES TO BE RETAINED SHALL HAVE PROTECTIVE TREE BARRIERS.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR OWN TAKE OFF'S AND QUANTITIES. THE QUANTITIES ON THE PLANT LIST SERVE ONLY AS A GUIDE TO THE OWNER AND L.A. THIS INCLUDES SOO AND MULCH QUANTITIES OF WHICH THE CONTRACTOR SHALL BE HELD TO BID QUANTITIES.
- SUCCESSFUL BIDDER SHALL LOCK UP ALL MATERIALS IMMEDIATELY AFTER CONTRACT ASSIGNMENT. PLANTS SHALL BE HELD DURING THE PERIOD FROM CONTRACT TO INSTALLATION TO ALLOW ADDITIONAL GROWTH. ALL PLANTS WILL BE REQUIRED TO BE FULL AND HEALTHY. CONTRACTOR SHALL ARRANGE FOR PLANT APPROVAL PRIOR TO DELIVERY, EITHER BY SAMPLES, PHOTOS, OR NURSERY VISITS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR WARRANTY OF HEALTH OF PLANTS IN ON-SITE SOILS. IF, DURING DIGGING, CONTRACTOR DISCOVERS WATER-LOGGED, CLAYEY, COMPACTED OR SIMILARLY POORLY DRAINED SOILS, IT SHOULD BE BROUGHT TO THE ATTENTION OF OWNER/LANDSCAPE ARCHITECT FOR REMEDIAL ACTION.
- CONTRACTOR SHALL ANTICIPATE THE FIRST FIVE FEET AROUND BUILDING PERIMETER WILL BE COMPACTED AND FOUNDATION BEDS SHOULD BE TILLED AND IMPROVED TO SUSTAIN VIGOROUS, HEALTHY PLANT GROWTH.

Date:	09/25/2016
Drawn by:	LP
Reviewed by:	REG./MCO
Job Number:	133713
Revision:	Date
1	10/27/2016

TAPESTRY TURKEY CREEK
Knoxville, TN
Adlington Properties
2117 Sevenson Avenue, Suite 800
Birmingham, AL

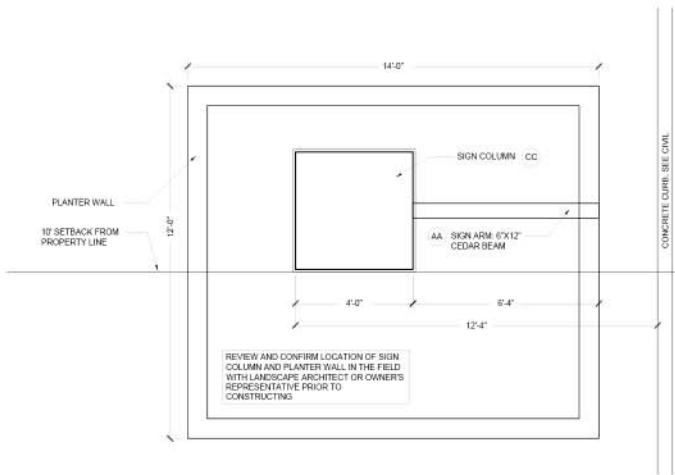


UOR SUBMITTAL-LANDSCAPE PLAN
LANDSCAPE DETAILS

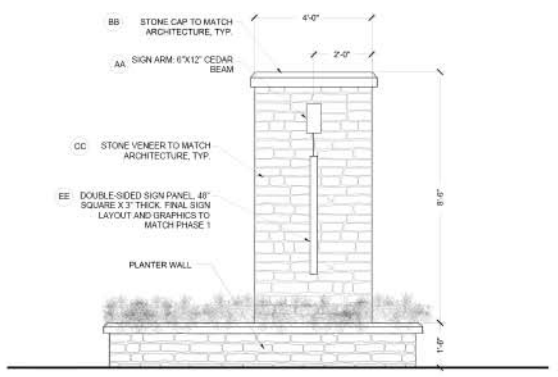
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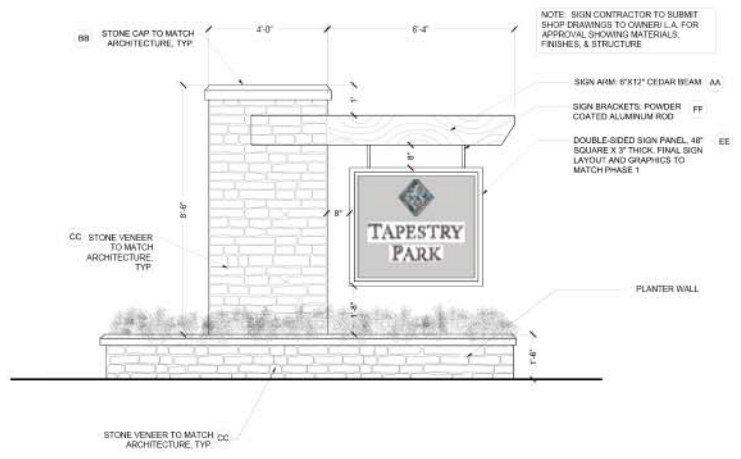
UOR SUBMITTAL-LANDSCAPE PLAN



1 MONUMENT SIGN - PLAN
LA5.91 SCALE: 1/2"=1'-0"



3 MONUMENT SIGN - ELEVATION
LA5.91 SCALE: 1/2"=1'-0"



2 MONUMENT SIGN - ELEVATION
LA5.91 SCALE: 1/2"=1'-0"

Date:	09/28/2016
Drawn by:	32P
Reviewed by:	8CC / MJD
Job Number:	11312.8
Revision:	Date:
1	10/17/2016

TAPESTRY TURKEY CREEK
Knoxville, TN
Adington Properties
2117 Sycamore Lane, Suite 300
Birmingham, AL



DIX HITE
F FATHERS
Landscape Architecture
184 4th Ave SE, Suite 1177
Birmingham, AL 35203

UOR SUBMITTAL-LANDSCAPE PLAN

SIGN DETAILS

10-I-16-UR

REVISED
10:41 am, Oct 26, 2016

Sheet Number:
LA5.91

UOR SUBMITTAL-LANDSCAPE PLAN



PRODUCT: MNC MANCHESTER
 MANUFACTURER: COOPER LIGHTING, www.cooperlighting.com
 MODEL: MNC-150-MP-MT-xx-C-V-M-BK-L

MNC MANCHESTER
 150 150W LAMP WATTAGE
 MP PULSE START METAL HALIDE LAMP
 MT MULTI-TAP VOLTAGE
 xx REFRACTOR TYPE (TBD BY MEP)
 C CLASSICAL CAGE
 V VICTORIAN TOP
 M MODERN FINIAL
 BK BLACK FINISH
 L LAMP INCLUDED

MOUNTED @ 16' AFG ON A DIRECT BURY ALUMINUM POLE
 STANDARD DUTY POLE WITH BLACK FINISH BY
 ALLIANCE COMPOSITES, INC., www.alliancecompositesinc.com

1 PEDESTRIAN LIGHT
 LA5.92 SCALE: 1/2"=1'-0"



PRODUCT: TRIBUTE
 MANUFACTURER: COOPER LIGHTING, www.cooperlighting.com
 MODEL: MP-TR-3F-250-MT-LL-BK/MA1017BK

MP PULSE START METAL HALIDE
 TR TRIBUTE (ARM INCLUDED)
 3F TYPE III FORMED DISTRIBUTION
 250 250W LAMP WATTAGE
 MT MULTI-TAP WIRED 277V
 LL LAMP INCLUDED
 BK BLACK FINISH
 MA1017 SINGLE TENON ADAPTER FOR 2 3/4" O.D. TENON

MOUNTED @ 18' AFG ON A DIRECT BURY ALUMINUM POLE
 STANDARD DUTY POLE WITH BLACK FINISH BY
 ALLIANCE COMPOSITES, INC., www.alliancecompositesinc.com

2 PARKING LOT LIGHT
 LA5.92 SCALE: 1/2"=1'-0"

McGraw-Edison

DESCRIPTION
 The MNC Manchester displays an old-fashioned appearance and lighting, enhancing your lighting application with a contemporary look to light. It is best for pedestrian, street lighting.

DESCRIPTION FEATURES
 Construction: Cast aluminum body, glass globe, metal frame, and glass globe. The globe is made of clear glass and is protected by a metal cage. The frame is made of cast aluminum and is finished with a black powder coat. The globe is made of clear glass and is protected by a metal cage. The frame is made of cast aluminum and is finished with a black powder coat.

INSTALLATION
 Mounting: Mount on a 1 1/2" diameter pole. The mounting bracket is made of cast aluminum and is finished with a black powder coat. The globe is made of clear glass and is protected by a metal cage. The frame is made of cast aluminum and is finished with a black powder coat.

ENERGY DATA
 Wattage: 150W
 Voltage: 277V
 Lumens: 15,000
 Efficacy: 100 lm/W

FINISHES
 BK: Black
 MA1017: Single Tenon Adapter for 2 3/4" O.D. Tenon

COOPER LIGHTING

Lumark

DESCRIPTION
 The Lumark Tribute is a modern, rectangular, low-profile parking lot light fixture. It is designed for use in parking lots and other outdoor areas. The fixture is made of cast aluminum and is finished with a black powder coat. It features a multi-tap wired design and a pulse start metal halide lamp.

DESCRIPTION FEATURES
 Construction: Cast aluminum body, metal frame, and glass globe. The globe is made of clear glass and is protected by a metal cage. The frame is made of cast aluminum and is finished with a black powder coat. The globe is made of clear glass and is protected by a metal cage. The frame is made of cast aluminum and is finished with a black powder coat.

INSTALLATION
 Mounting: Mount on a 2 3/4" diameter pole. The mounting bracket is made of cast aluminum and is finished with a black powder coat. The globe is made of clear glass and is protected by a metal cage. The frame is made of cast aluminum and is finished with a black powder coat.

ENERGY DATA
 Wattage: 250W
 Voltage: 277V
 Lumens: 25,000
 Efficacy: 100 lm/W

FINISHES
 BK: Black
 MA1017: Single Tenon Adapter for 2 3/4" O.D. Tenon

COOPER LIGHTING

Date:	09/28/2016
Drawn by:	SLP
Reviewed by:	RCC/MS
Job Number:	10017.9
Revision:	Date
1	10/27/2016

TAPESTRY TURKEY CREEK
 Knoxville, TN



DIXIE HITE
 UOR SUBMITTAL LANDSCAPE PLAN
 LIGHTING SPECIFICATIONS

10-I-16-UR
 REVISED
 10:41 am, Oct 26, 2016

Sheet Number
 LA5.92

UOR SUBMITTAL LANDSCAPE PLAN

Use on Review **Development Plan**

Name of Applicant: TAPESTRY TURKEY CREEK

Date Filed: 8/31/2016 Meeting Date: OCT. 13, 2016

Application Accepted by: M. Payne

Fee Amount: _____ File Number: Development Plan _____

Fee Amount: 2,100.00 File Number: Use on Review 10-I-16-UR

PROPERTY INFORMATION

Address: 11616 SNYDER RD

General Location: NE CORNER OF
OUTLET DRIVE / SNYDER ROAD

Tract Size: 12.27 AC No. of Units: 220

Zoning District: PR

Existing Land Use: OPEN LAND

Planning Sector: HDR NORTHWEST COUNTY

Sector Plan Proposed Land Use Classification:
HDR

Growth Policy Plan Designation: URBAN

Census Tract: 59.04

Traffic Zone: 237

Parcel ID Number(s): 130174

Jurisdiction: City Council _____ District
 County Commission 6 District

PROPERTY OWNER/OPTION HOLDER

PLEASE PRINT WILLIAM MORRIS DAVID ELLIS
 Name: TAPESTRY TURKEY CREEK

Company: ARLINGTON PROPERTIES, INC.

Address: 2117 2ND AVE. NORTH

City: BIRMINGHAM State: AL Zip: 35203

Telephone: 205.328.9600

Fax: 205.328.0020

E-mail: wmorris@arlingtonproperties.net
dellis@arlingtonproperties.net

APPLICATION CORRESPONDENCE

All correspondence relating to this application should be sent to:

PLEASE PRINT ALAN GRISSOM
 Name: _____

Company: CANNON & CANNON, INC.

Address: 8550 KINGSTON PK

City: KNOXVILLE State: TN Zip: 37919

Telephone: 865.670.8555

Fax: 865.670.8866

E-mail: agrissom@cannon-cannon.com

APPROVAL REQUESTED

Development Plan: Residential Non-Residential

Home Occupation (Specify Occupation)

Other (Be Specific)
UOR

APPLICATION AUTHORIZATION

I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request or holders of option on same, whose signatures are included on the back of this form.

Signature: _____

PLEASE PRINT ALAN GRISSOM
 Name: _____

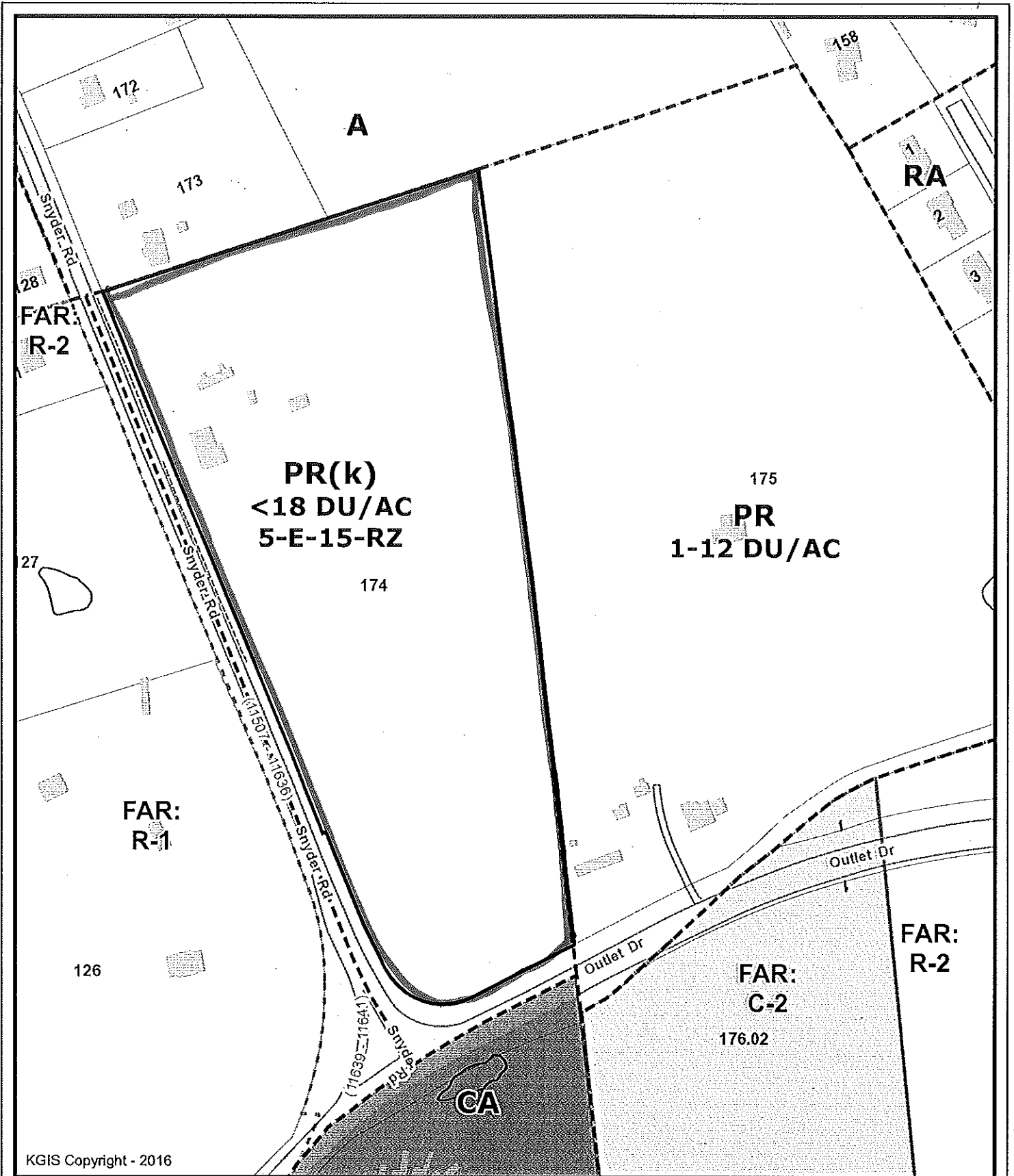
Company: CANNON & CANNON, INC.

Address: 8550 KINGSTON PIKE

City: KNOXVILLE State: TN Zip: 37919

Telephone: 865.670.8555

E-mail: agrissom@cannon-cannon.com

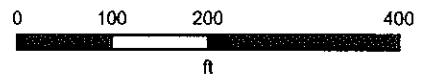


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Knoxville - Knox County - KUB Geographic Information System



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