

**KNOXVILLE/KNOX COUNTY METROPOLITAN PLANNING COMMISSION
 USE ON REVIEW REPORT**

▶ **FILE #:** 8-B-16-UR **AGENDA ITEM #:** 41
 POSTPONEMENT(S): 8/11/2016 **AGENDA DATE:** 9/8/2016
 ▶ **APPLICANT:** PELLISSIPPI INVESTORS III
 OWNER(S): Pellissippi Investors, III

TAX ID NUMBER: 104 00603 [View map on KGIS](#)
 JURISDICTION: County Commission District 6
 STREET ADDRESS: Hardin Valley Rd
 ▶ **LOCATION:** Northwest side of Hardin Valley Rd., northeast of Cherahala Blvd.
 ▶ **APPX. SIZE OF TRACT:** 16.25 acres
 SECTOR PLAN: Northwest County
 GROWTH POLICY PLAN: Planned Growth Area
 ACCESSIBILITY: Access is via Hardin Valley Dr., a minor arterial street with 4 lanes and a center median within 190' of right-of-way and Cherahala Blvd., a local street that serves the Pellissippi Corporate Center.
 UTILITIES: Water Source: West Knox Utility District
 Sewer Source: West Knox Utility District
 WATERSHED: Beaver Creek

▶ **ZONING:** BP (Business and Technology) / TO (Technology Overlay)
 ▶ **EXISTING LAND USE:** Vacant land
 ▶ **PROPOSED USE:** Office, research and development

HISTORY OF ZONING: Property was rezoned to BP (Business and Technology) / TO (Technology Overlay) by Knox County Commission on December 21, 2015.

SURROUNDING LAND USE AND ZONING: North: Vacant land / BP (Business and Technology) / TO (Technology Overlay)
 South: Business / BP (Business and Technology) / TO (Technology Overlay)
 East: Residences and vacant land / RA (Low Density Residential) / TO (Technology Overlay)
 West: Business (National Transportation Research Center) / BP (Business and Technology) / TO (Technology Overlay)

NEIGHBORHOOD CONTEXT: The subject property is located on the eastern most side of Pellissippi Corporate Center business park along Hardin Valley Rd. To the east is residential development, zoned A/TO and PR/TO.

STAFF RECOMMENDATION:

▶ **APPROVE the request for an office/research and development facility of approximately 108,755 square feet as shown on the development plan subject to 8 conditions.**

1. Obtaining approval from the Tennessee Technology Corridor Development Authority (TTCDA) for the

proposed development (7-C-16-TOB).

2. Connecting the development to sanitary sewer, as well as meeting other applicable requirements of the Knox County Health Department.
3. Implementation of the recommendations outlined in the Traffic Impact Study prepared by Michael Brady Inc. as revised on August 26, 2016. The design details and timing of the installation of the improvements shall be worked out with the Knox County Department of Engineering and Public Works.
4. Installing the sidewalk connections as identified on the Site Master Plan meeting the requirements of the Knox County Department of Engineering and Public Works.
5. The clearing and grading shall not encroach into the "Undisturbed Buffer" areas designated on the grading plan along the eastern and northern property lines. These areas shall be clearly marked in the field prior to any clearing or grading activity.
6. Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
7. Installing all landscaping, as shown on the landscape plan, within six months of issuance of occupancy permits for the project, or posting a bond with the Knox County Department of Engineering and Public Works, to guarantee such installation.
8. Meeting all applicable requirements of the Knox County Zoning Ordinance.

With the conditions noted above, this request meets the requirements for approval in the BP (Business and Technology) / TO (Technology Overlay) zoning districts, as well as other criteria for approval of a use on review.

COMMENTS:

The applicant is proposing to develop a 108,755 square foot building that is planned as an expansion of the National Transportation Research Center (NTRC) facility that is located directly to the west of the site. While this 16.25 acre site has frontage on Hardin Valley Rd., the proposed access to the site will be through the NTRC facility with access out to Cherahala Blvd.

A traffic impact analysis is required for the proposed development. The recommendations from the Traffic Impact Study prepared by Michael Brady Inc. are attached. Recommended improvements include a right turn lane into the facility, modifications to the median in Cherahala Blvd., and removal of the parking along the drive aisle through the NTRC Building II site. A sidewalk connection between the three buildings has also been added. The proposed development connection to Cherahala Blvd through the NTRC facility and the proposed modification to the median in Cherahala Blvd., have been reviewed and approved by The Development Corporation of Knox County.

The proposed third building includes a three story office building with 60,000 square feet and an attached highbay and support space with 48,755 square feet. The applicant is proposing 314 parking spaces for the new building. With the loss of 48 parking spaces along the main drive aisle through the Building II site, the applicant evaluated the overall parking layout and it was determined that the 497 total parking spaces will comply with the Zoning Ordinance requirements.

The proposed development requires a Certificate of Appropriateness from the Tennessee Technology Corridor Development Authority and is scheduled to go before the TTCDA Board on September 6, 2016 (7-C-16-TOB).

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTIES AND THE COMMUNITY AS A WHOLE

1. Public water and sewer utilities are available in the area to serve this site.
2. The recommended improvements to Cherahala Blvd and the access driveway to the site will offset the traffic impacts generated by the proposed development.
3. The proposed development is compatible with the scale and intensity of the surrounding development and zoning pattern.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOXVILLE ZONING ORDINANCE

1. The proposal meets all requirements of the BP zoning district as well as the general criteria for approval of a use-on-review.
2. The proposed facility is consistent with the following general standards for uses permitted on review: The proposal is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the

character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas. No surrounding land uses will pose a hazard or create an unsuitable environment for the proposed use.

CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

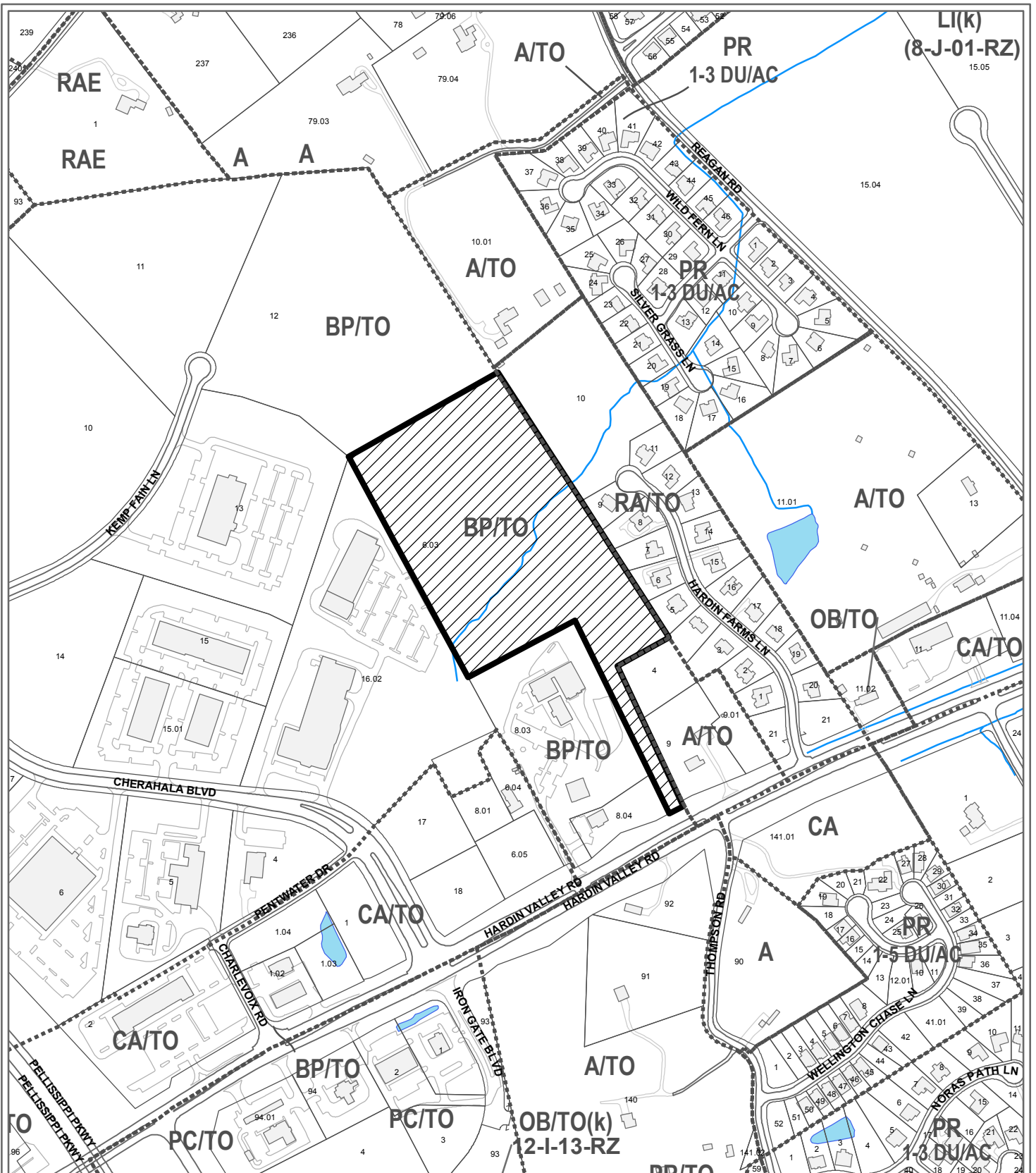
1. The Northwest County Sector Plan proposes Technology Park uses for the site. The proposed office/research and development facility is consistent with the BP zoning district and sector plan designation.
2. The site is located within the Planned Growth Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: 1080 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal an MPC decision in the County.



**8-B-16-UR
USE ON REVIEW**



Office, research and development in BP (Business and Technology) / TO (Technology Overlay)

Original Print Date: 7/20/2016

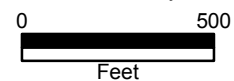
Revised:

Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

Petitioner: Pellissippi Investors III

Map No: 104

Jurisdiction: County

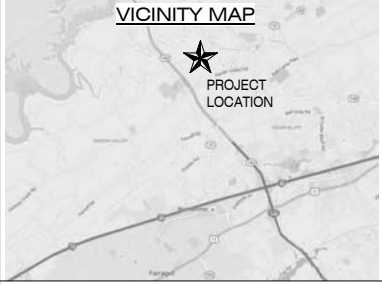


A NEW DEVELOPMENT FOR: PELLISSIPPI INVESTORS BUILDING III

HARDIN VALLEY ROAD KNOXVILLE, TN 37932

ABBREVIATIONS

A.F.F.	ABOVE FINISH FLOOR	ME.T	METAL
A.S.	ASBESTOS	ME.	MECHANICAL
AC.	ACRYLIC	MAN.	MANUFACTURING
ADCH.	ARCHITECTURAL	MAN.	MANUFACTURING
ADCT.	ARCHITECTURAL TILE CEILING	MAN.	MANUFACTURING
AG.	AGGREGATE	M.A.S.	MANUFACTURING ASSEMBLY
A.G.F.	AGGREGATE FINISH	N.T.S.	NOT TO SCALE
AS.F.	ASBESTOS	N.D.	NOT DETAILED
B.M.	BENCH MARK	O.C.	ON CENTER
B.D.	BUILDING	O.S.D.	OFFSHORE DIMETER
B.S.	BUILDING	P.A.S.	PLASTER
B.S.P.	BUILDING	P.L.	PLASTER LAMINATE
B.T.	BATH	P.V.	PLYWOOD
C.A.	CONCRETE	R.D.	ROUGH DRAIN
C.C.	CONCRETE	R.F.	ROUGH FINISH
C.D.	CONCRETE	R.G.	ROUGH GRADE
C.E.	CONCRETE	R.H.	ROUGH HOUSING
C.F.	CONCRETE	R.O.	ROUGH OPENING
C.G.	CONCRETE	R.S.	ROUGH SILL
C.H.	CONCRETE	R.T.	ROUGH TIE
C.I.	CONCRETE	S.C.	SOIL CORE WOOD
C.L.	CONCRETE	S.D.	SOIL DRAIN
C.M.	CONCRETE	S.F.	SOIL FINISH
C.N.	CONCRETE	S.G.	SOIL GRASS
C.O.	CONCRETE	S.P.	SOIL PILE
C.P.	CONCRETE	S.R.	SOIL REINFORCEMENT
C.Q.	CONCRETE	S.S.	SOIL STRIP
C.R.	CONCRETE	S.T.	SOIL TIE
C.S.	CONCRETE	S.U.	SOIL UNDERLAYER
C.D.	CONCRETE	S.V.	SOIL VENT
C.E.	CONCRETE	S.W.	SOIL WATER
C.F.	CONCRETE	S.W.	SOIL WATER
C.G.	CONCRETE	S.W.	SOIL WATER
C.H.	CONCRETE	S.W.	SOIL WATER
C.I.	CONCRETE	S.W.	SOIL WATER
C.L.	CONCRETE	S.W.	SOIL WATER
C.M.	CONCRETE	S.W.	SOIL WATER
C.N.	CONCRETE	S.W.	SOIL WATER
C.O.	CONCRETE	S.W.	SOIL WATER
C.P.	CONCRETE	S.W.	SOIL WATER
C.Q.	CONCRETE	S.W.	SOIL WATER
C.R.	CONCRETE	S.W.	SOIL WATER
C.S.	CONCRETE	S.W.	SOIL WATER
C.T.	CONCRETE	S.W.	SOIL WATER
C.U.	CONCRETE	S.W.	SOIL WATER
C.V.	CONCRETE	S.W.	SOIL WATER
C.W.	CONCRETE	S.W.	SOIL WATER
C.X.	CONCRETE	S.W.	SOIL WATER
C.Y.	CONCRETE	S.W.	SOIL WATER
C.Z.	CONCRETE	S.W.	SOIL WATER
D.A.	DRIVE ASH	T.F.	TOP FINISH
D.B.	DRIVE BENCH	T.P.	TOP PLASTER
D.C.	DRIVE CURB	T.R.	TOP REINFORCEMENT
D.E.	DRIVE EDGE	T.S.	TOP SURFACE
D.F.	DRIVE FINISH	T.T.	TOP TIE
D.G.	DRIVE GRADE	T.V.	TOP VENT
D.H.	DRIVE HOUSING	U.	UNDER
D.I.	DRIVE INSULATION	U.C.	UNDER CONCRETE
D.J.	DRIVE JOINT	V.	VERTICAL
D.K.	DRIVE KEY	V.C.	VERTICAL CURB
D.L.	DRIVE LAMINATE	V.V.	VERTICAL VENT
D.M.	DRIVE MASONRY	W.	WATER
D.N.	DRIVE NAIL	W.H.	WATER HEAD
D.O.	DRIVE NAIL	W.P.	WATER PROOFING
D.P.	DRIVE NAIL	W.S.	WATER STOP
D.Q.	DRIVE NAIL	W.W.	WATER WOOD
D.R.	DRIVE NAIL	W.W.	WATER WOOD
D.S.	DRIVE NAIL	W.W.	WATER WOOD
D.T.	DRIVE NAIL	W.W.	WATER WOOD
D.U.	DRIVE NAIL	W.W.	WATER WOOD
D.V.	DRIVE NAIL	W.W.	WATER WOOD
D.W.	DRIVE NAIL	W.W.	WATER WOOD
D.X.	DRIVE NAIL	W.W.	WATER WOOD
D.Y.	DRIVE NAIL	W.W.	WATER WOOD
D.Z.	DRIVE NAIL	W.W.	WATER WOOD
E.A.	ELECTRIC	X	CROSS
E.B.	ELECTRIC	X	CROSS
E.C.	ELECTRIC	X	CROSS
E.D.	ELECTRIC	X	CROSS
E.E.	ELECTRIC	X	CROSS
E.F.	ELECTRIC	X	CROSS
E.G.	ELECTRIC	X	CROSS
E.H.	ELECTRIC	X	CROSS
E.I.	ELECTRIC	X	CROSS
E.J.	ELECTRIC	X	CROSS
E.K.	ELECTRIC	X	CROSS
E.L.	ELECTRIC	X	CROSS
E.M.	ELECTRIC	X	CROSS
E.N.	ELECTRIC	X	CROSS
E.O.	ELECTRIC	X	CROSS
E.P.	ELECTRIC	X	CROSS
E.Q.	ELECTRIC	X	CROSS
E.R.	ELECTRIC	X	CROSS
E.S.	ELECTRIC	X	CROSS
E.T.	ELECTRIC	X	CROSS
E.U.	ELECTRIC	X	CROSS
E.V.	ELECTRIC	X	CROSS
E.W.	ELECTRIC	X	CROSS
E.X.	ELECTRIC	X	CROSS
E.Y.	ELECTRIC	X	CROSS
E.Z.	ELECTRIC	X	CROSS
F.A.	FLOOR	X	CROSS
F.B.	FLOOR	X	CROSS
F.C.	FLOOR	X	CROSS
F.D.	FLOOR	X	CROSS
F.E.	FLOOR	X	CROSS
F.F.	FLOOR	X	CROSS
F.G.	FLOOR	X	CROSS
F.H.	FLOOR	X	CROSS
F.I.	FLOOR	X	CROSS
F.J.	FLOOR	X	CROSS
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F.X.	FLOOR	X	CROSS
F.Y.	FLOOR	X	CROSS
F.Z.	FLOOR	X	CROSS
G.A.	GLASS	X	CROSS
G.B.	GLASS	X	CROSS
G.C.	GLASS	X	CROSS
G.D.	GLASS	X	CROSS
G.E.	GLASS	X	CROSS
G.F.	GLASS	X	CROSS
G.G.	GLASS	X	CROSS
G.H.	GLASS	X	CROSS
G.I.	GLASS	X	CROSS
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G.K.	GLASS	X	CROSS
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G.T.	GLASS	X	CROSS
G.U.	GLASS	X	CROSS
G.V.	GLASS	X	CROSS
G.W.	GLASS	X	CROSS
G.X.	GLASS	X	CROSS
G.Y.	GLASS	X	CROSS
G.Z.	GLASS	X	CROSS



PROJECT INFORMATION:

PROJECT DESCRIPTION:
A NEW 108,780 S.F. FACILITY INCLUDING THREE STORIES OF OFFICE SPACE AND A HIGH-BAY SPACE FOR MANUFACTURING RESEARCH UTILIZING 3D PRINTING TECHNOLOGY.

LOCATION:
1000 COUNTY, TENNESSEE
CITY COUNTY BUILDING, SUITE 547
424 MARKET STREET
KNOXVILLE, TN 37902
888 215-5205

METROPOLITAN PLANNING COMMISSION:
TENNESSEE TECHNOLOGY CORRIDOR DEVELOPMENT AUTHORITY
CITY COUNTY BUILDING, SUITE 403
424 MARKET STREET
KNOXVILLE, TN 37902
888 215-5205

DESIGN CODES:
2012 INTERNATIONAL BUILDING CODE
2012 NATIONAL ELECTRICAL CODE
2012 INTERNATIONAL FIRE CODE
2012 INTERNATIONAL MECHANICAL CODE
2012 INTERNATIONAL PLUMBING CODE
2012 INTERNATIONAL PLUMBING CODE
2012 INTERNATIONAL ENERGY CONSERVATION CODE
2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES CODE (ICC A117.1-2009)

TYPE OF CONSTRUCTION:
TYPE II, SPRINKLERED
PRIMARY BUSINESS (B)
SECONDARY FACTORY (F-1)
TERTIARY ASSEMBLY (A-2)

OCCUPANCY:
TYPE II, SPRINKLERED
PRIMARY BUSINESS (B)
SECONDARY FACTORY (F-1)
TERTIARY ASSEMBLY (A-2)

NUMBER OF STORES:
3 STORES

ALLOWABLE BUILDING AREA AND HEIGHT:
OCCUPANCY B - BUSINESS - 10 HIGH, 3 STORES, 18,250 S.F.
OCCUPANCY F-1 - FACTORY - 10 HIGH, 1 STORY, 41,000 S.F. FRONTAL INCREASE + 48,000 S.F.
OCCUPANCY A-2 - ASSEMBLY - 10 HIGH, 3 STORES, 18,250 S.F.
OCCUPANCY F-1 - FACTORY - 10 HIGH, 1 STORY, 41,000 S.F. FRONTAL INCREASE + 48,000 S.F.

ACTUAL BUILDING AREA AND HEIGHT:
OCCUPANCY B - BUSINESS + 54 HIGH, 3 STORES, 47,100 S.F.
OCCUPANCY F-1 - FACTORY + 18 HIGH, 1 STORY, 41,000 S.F. FRONTAL INCREASE + 48,000 S.F.

ACTUAL BUILDING AREA AND HEIGHT:
OCCUPANCY A-2 - ASSEMBLY + 10 HIGH, 3 STORES, 18,250 S.F.
OCCUPANCY F-1 - FACTORY + 18 HIGH, 1 STORY, 41,000 S.F. FRONTAL INCREASE + 48,000 S.F.

ACTUAL BUILDING AREA AND HEIGHT:
OCCUPANCY A-3 - ASSEMBLY + 18 HIGH, 1 STORY, 12,000 S.F.

SPRINKLER SYSTEM TYPE:
NFPA 13

MATERIALS LEGEND

[Pattern]	CONCRETE BLOCK	[Pattern]	CONCRETE IN SECTION	[Pattern]	WOOD INSULATION, EPS AS NOTED
[Pattern]	BRICK	[Pattern]	SOIL IN SECTION	[Pattern]	PLYWOOD
[Pattern]	METAL IN SECTION	[Pattern]	CRUSHED STONE	[Pattern]	FINISH WOOD
[Pattern]	CONCRETE ON CONCRETE IN PLAN AS NOTED	[Pattern]	BATT INSULATION	[Pattern]	WOOD FRAMING

MBI

michael brady inc.
architecture . engineering . interiors

PROJECT DIRECTORY:

OWNER:
PELLISSIPPI INVESTORS II
MICHAEL BRADY INC.
872 FOX DEN LANE
LA FOLLETTE, TN 37760
865-567-1725

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SURVEYOR:
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865-584-0999

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865-584-0999

ELECTRICAL ENGINEER:
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CHUCK POWELL
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KNOXVILLE, TN 37919
865-584-0999

LIST OF DRAWINGS:

GENERAL:
CVR COVER SHEET

SURVEYING:
SSET.1 SITE SURVEY

CIVIL AND SITE ENGINEERING:
CO.0 MASTER PLAN
CO.1 TRAFFIC MOVEMENT PLAN
CO.2 SITE LAYOUT PLAN
CA.1 SITE GRADING PLAN
CA.2 DRIVE ASHLE PROFILE
L2.0 SITE LANDSCAPE PLAN

ARCHITECTURAL:
A1.1 MAIN LEVEL - COMPOSITE PLAN
A1.2 LOWER LEVEL - OFFICE FLOOR PLAN
A1.3 MAIN LEVEL - PART A
A1.4 MAIN LEVEL - PART B
A1.5 UPPER LEVEL - PART A
A1.6 UPPER LEVEL - PART B
AA.1 EXTERIOR ELEVATIONS
AA.4 CLAMPER DETAIL

ELECTRICAL ENGINEERING:
EES.1 SITE PLAN
EES.2 PHOTOMETRIC
EES.3 ELECTRICAL DETAILS AND LIGHTING SCHEDULE
Grand total: 19

8-B-16-UR
Revised: 8/26/2016

ARCHITECTURAL	CIVIL	STRUCTURAL	MECHANICAL	ELECTRICAL
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MBI
michael brady inc.
architecture . engineering . interiors

NOT FOR CONSTRUCTION
FOR REVIEW AND PRICING PURPOSES ONLY

PROJECT: PELLISSIPPI INVESTORS BUILDING III
HARDIN VALLEY ROAD
KNOXVILLE, TN 37932

Date: 08/26/2016
Designed By: CAR
Drawn By: SBE
Reviewed By: CMG
Comm. No: 158620
Revisions:

Sheet: _____ of _____
CVR

C:\Users\mbrady\Documents\158620_SBE_8B-16-UR.dwg
8/26/2016 11:08 AM

CONTRACT # 1506200, BRADY INC. 1516

NOT FOR CONSTRUCTION

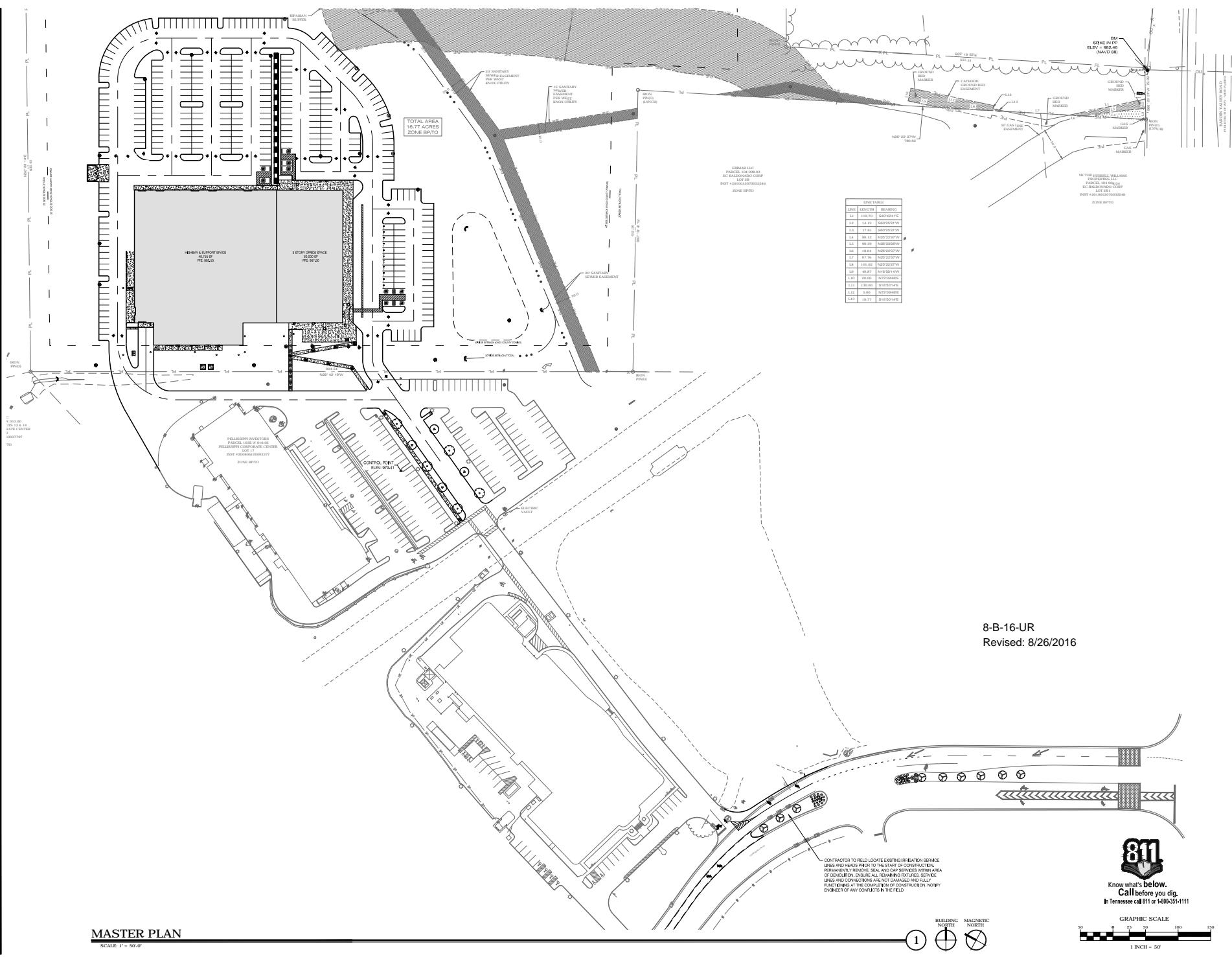
ANNUAL DEVELOPMENT FOR
PELLISSIPPI INVESTORS - BUILDING III
 HARRISON VALLEY
 HARRISON, TN

THIS DRAWING HAS BEEN ISSUED:
 FOR REVIEW ONLY
 FOR PERMITTING ONLY
 SCHEMATIC DESIGN
 DESIGN DEVELOPMENT
 CONSTRUCTION DOCUMENTS

Drawing Title:
 MASTER PLAN

Date: 06/26/2016
 Designed By: J.M.P.
 Drawn By: J.S.B.
 Reviewed By: D.J.M.
 Comm. No. 1506200
 Revisions:

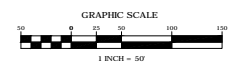
Sheet: Sheet No. of C0.3



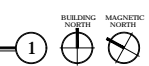
8-B-16-UR
 Revised: 8/26/2016

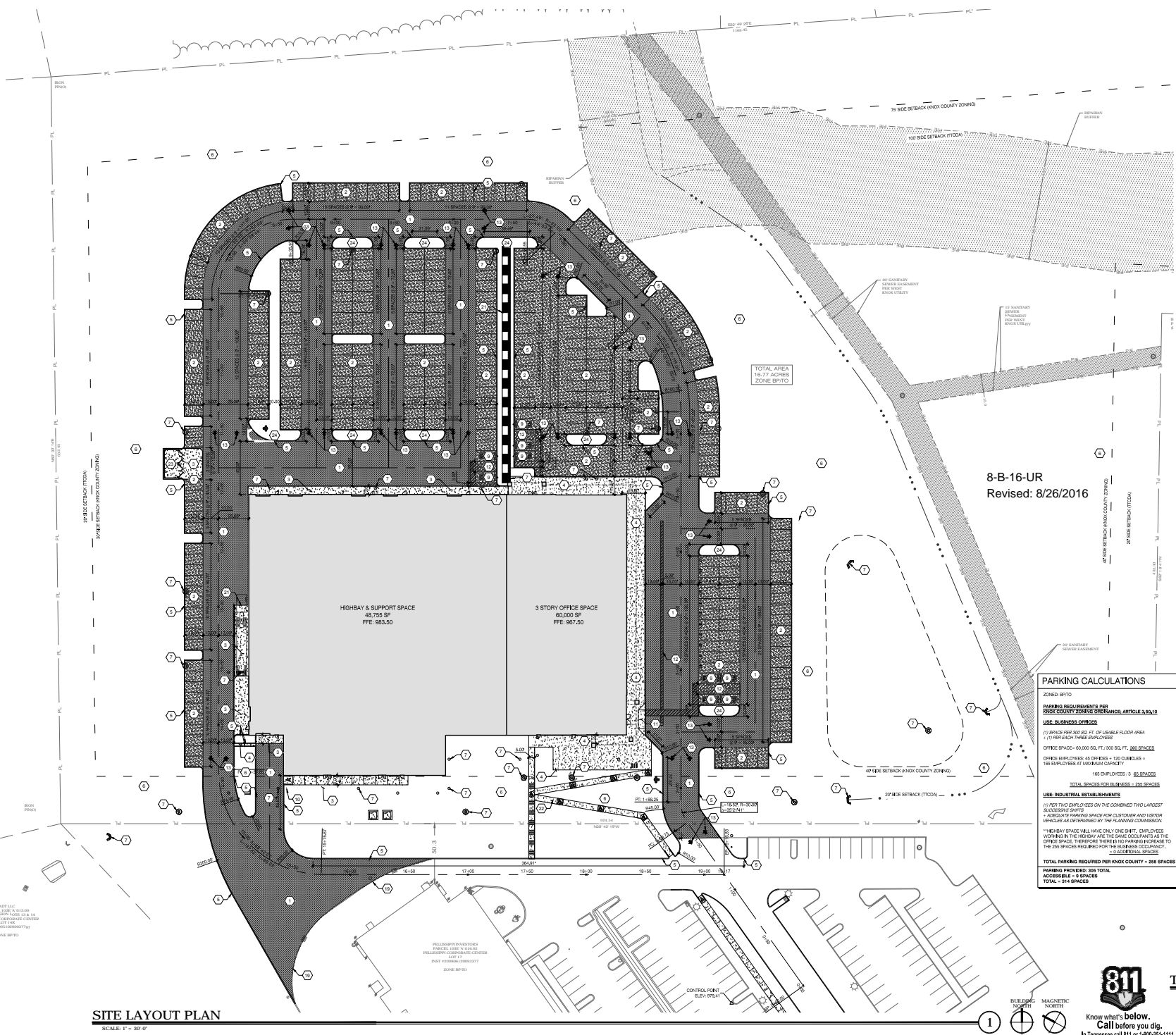


Know what's below.
 Call before you dig.
 In Tennessee call 811 or 1-800-351-1111



MASTER PLAN
 SCALE: 1" = 50' 0"





- GENERAL SHEET NOTES:**
- SEE SHEET C-3 FOR B.A. NOTES AND LEGENDS
 - FOR TYPICAL PARKING SPACE LAYOUT SEE 13012
 - ALL PAVEMENT LABELS ARE TO BE 13010
- SITE KEYED NOTES**
- LIGHT DUTY ASPHALT PAVING. SEE DETAIL 407.2
 - HEAVY DUTY ASPHALT PAVING. SEE DETAIL 407.3
 - CONCRETE PAVING. SEE DETAIL 407.2
 - CONCRETE SIDEWALK. SEE DETAIL 307.2
 - CONCRETE CURB. SEE DETAIL 307.2
 - AREAS DISTURBED BY CONSTRUCTION OR PAVING TO BE SEDED, SOILED OR LANDSCAPED
 - STORM DRAINAGE STRUCTURE. SEE SHEET C-2 FOR DETAILS
 - SEWAGE SANITARY SEWER STRUCTURE. SEE SHEET C-2 FOR DETAILS
 - HANDICAP PARKING SPACE. SEE DETAIL 1307.2
 - SINGLE CONCRETE RAMP. SEE DETAIL 407.2
 - FLARED CONCRETE RAMP. SEE DETAIL 1707.2
 - PAINTED STOP MARKING AREA. COLOR TO BE WHITE. SEE DETAIL 1407.2
 - PAINTED OPERATIONAL ARROWS. COLOR TO BE WHITE. SEE DETAIL 1407.2
 - PAINTED STOP MARK. COLOR TO BE WHITE. SEE DETAIL 1407.2
 - LIFE LIGHTING. SEE ELECTRICAL PLANS FOR DETAILS
 - Ø BALLARD. SEE DETAIL 107.3
 - Ø HANDRAIL. SEE DETAIL 107.3
 - Ø HOLE MOUNTED STOP SIGN. SEE DETAIL 1807.2
 - Ø PROVIDE SMOOTH TRANSITION TO EXISTING SURFACE
 - Ø CONCRETE PAD. SEE MECHANICAL AND ELECTRICAL SHEETS FOR DETAILS
 - Ø RETAINING WALL
 - Ø CONCRETE STAIRS
 - Ø WASTE ENCLOSURE
 - Ø TYPICAL ISLAND. SEE DETAIL 200.0

AREAS & CALCULATIONS

IMPERVIOUS AREA	
EXISTING	PROPOSED
500 Acres	51.9 Acres
500 sq ft	221,199 sq ft
5.11 Acres	221,156 sq ft

DISTURBED AREA	
TOTAL SITE AREA	DISTURBED AREA
1877 Acres	827 Acres
730,501 sq ft	418,512 sq ft

EARTHWORK QUANTITIES		
CUT	FILL	NET
58,845.44 CU YD.	85,987.44 CU YD.	28,014.00 CU YD.

GROUND AREA COVERAGE (GAC)	
GROSS LOT AREA - 730,501 SF	
EXCLUDED FOOTPRINT AREA - 108,145 SF	
GAC - 622,356 SF ALLOWED	
FLOOR AREA RATIO (FAR)	
GROSS LOT AREA - 730,501 SF	
GROSS FLOOR AREA - 108,145 SF	
FAR - 0.148 ALLOWED	
IMPERVIOUS AREA RATIO (IAR)	
IMPERVIOUS AREA - 221,156 SF	
GROSS IMPERVIOUS AREA - 221,305 SF	
IAR - 0.303 ALLOWED	

PARKING CALCULATIONS

ZONED: BP10

PARKING REQUIREMENTS PER TOWN COUNTY ZONING ORDINANCE, ARTICLE 8.5.0.10

USE: BUSINESS OFFICE

1) 1 SPACE PER 200 SQ. FT. OF USABLE FLOOR AREA
 1) 15 PER EACH THREE EMPLOYEES

OFFICE SPACE: 60,000 SQ. FT. / 200 SQ. FT. = 300 SPACES

OFFICE EMPLOYEES: 45 OFFICES = 130 EMPLOYEES + 165 EMPLOYEES AT MAXIMUM CAPACITY = 195 EMPLOYEES

195 EMPLOYEES = 33 SPACES

TOTAL OFFICES FOR BUSINESS = 333 SPACES

USE: INDUSTRIAL ESTABLISHMENTS

1) PER FIVE EMPLOYEES ON THE COMBINED FIVE LARGEST SUCCESSIVE SHIFTS
 4 ACCESSIBLE PARKING SPACES FOR CUSTOMER AND VISITOR VEHICLES AS DETERMINED BY THE PLANNING COMMISSION

4 ACCESSIBLE SPACES

TOTAL PARKING REQUIRED PER TOWN COUNTY = 295 SPACES

PARKING PROVIDED: 305 TOTAL

ACCESSIBLE = 3 SPACES

TOTAL = 314 SPACES

PARKING REQUIREMENTS PER TOWN COUNTY ZONING ORDINANCE, ARTICLE 8.5.0.10

LAND USE: OFFICE

MINIMUM 1 SPACE PER 1000 SQ. FT. OF GROSS FLOOR AREA
 MAXIMUM 4.5 SPACES PER 1000 SQ. FT. OF GROSS FLOOR AREA

OFFICE GROSS FLOOR AREA = 60,000 SQ. FT.

60,000 SQ. FT. / 1,000 = 60

MINIMUM = 60 X 1.0 = 60 SPACES
 MAXIMUM = 60 X 4.5 = 270 SPACES

LAND USE: INDUSTRIAL AND MANUFACTURING

MINIMUM 1 SPACE PER 1000 SQ. FT. OF GROSS FLOOR AREA
 MAXIMUM 1.5 SPACES PER 1000 SQ. FT. OF GROSS FLOOR AREA

HIGHWAY + SUPPORT SPACE GROSS FLOOR AREA = 48,765 SQ. FT.

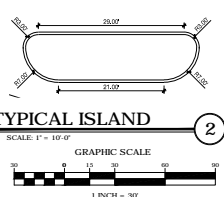
48,765 SQ. FT. / 1,000 = 49

MINIMUM = 49 X 1.0 = 49 SPACES
 MAXIMUM = 49 X 1.5 = 74 SPACES

TOTAL MINIMUM = 109 + 49 = 158

TOTAL MAXIMUM = 270 + 74 = 344

TOTAL PARKING REQUIRED PER TOWN COUNTY = 295 SPACES

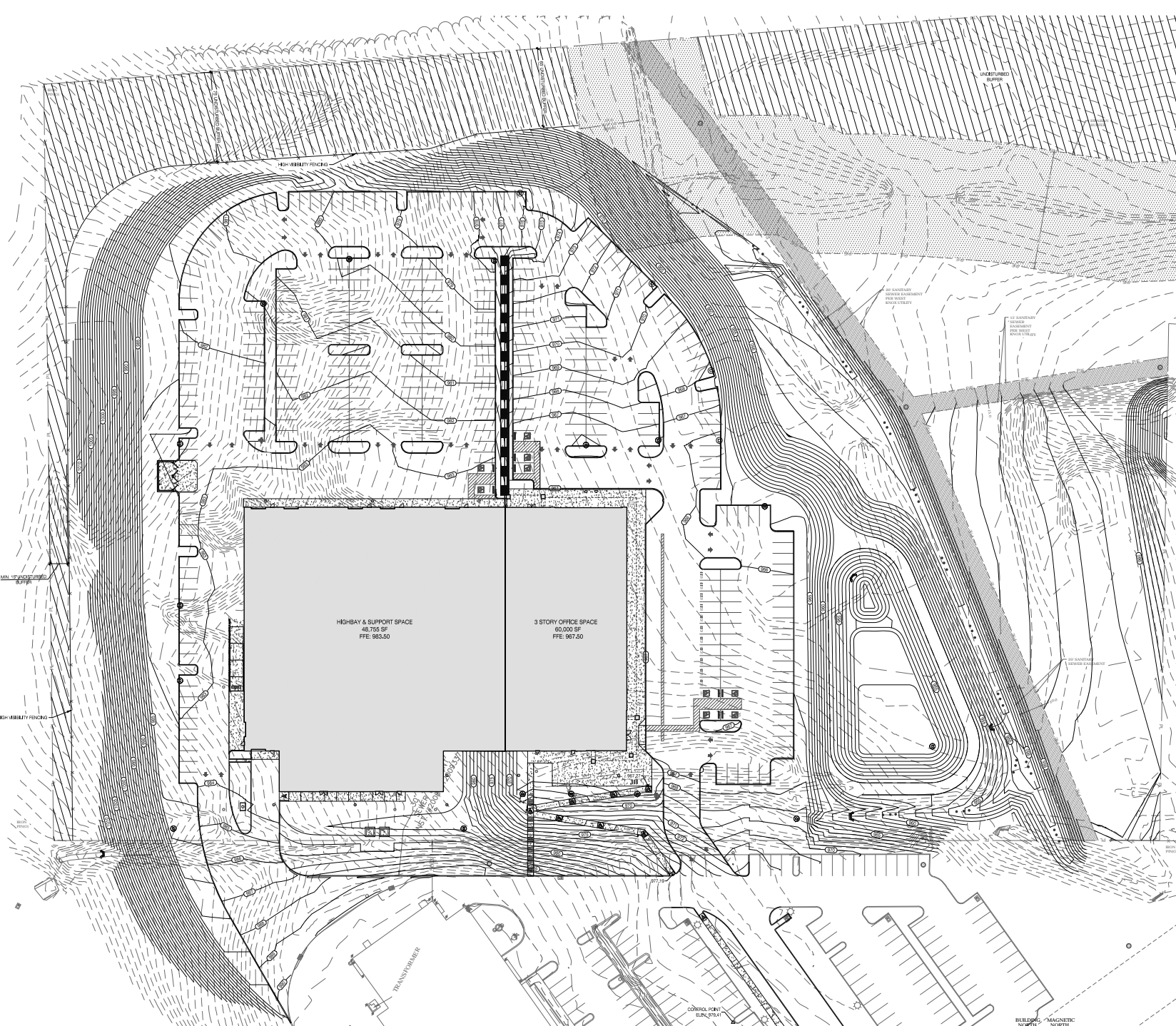


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 FAX: 901.734.1101
 WWW.MBI-CORP.COM

PELLISSIPPI INVESTORS - BUILDING III

DATE: 06/26/2016
 DESIGNED BY: J.M.B.
 DRAWN BY: J.S.B.
 REVIEWED BY: D.M.M.
 COMM. NO.: 150620

Sheet No. **C3.0**



GENERAL SHEET NOTES:

- SEE SHEET C-1 FOR I.M., NOTES AND LEGENDS
- APPROPRIATE DRAINAGE, EROSION AND SEDIMENT CONTROL, MEASURES, BEST MANAGEMENT PRACTICES, AND/OR OTHER STORMWATER MANAGEMENT PRACTICES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING CONSTRUCTION, DAMAGED TO NEARBY PROPERTY AND/OR THE CONSTRUCTION SITE CAUSED BY THE CONTRACTOR OR OTHERS SHALL BE REPAIRED TO ORIGINAL AND MAINTAIN ADEQUATE DRAINAGE AND EROSION/SEDIMENT CONTROL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESPONSIBILITY OF THE PROPERTY OWNER AND/OR CONTRACTOR.

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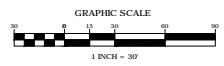
PELLISSIPPI INVESTORS - BUILDING III
 HARDEN VALLEY ASSOCIATES, INC.

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 SCHEMATIC DESIGN
 RECORD DEVELOPMENT
 CONSTRUCTION DOCUMENTS

8-B-16-UR
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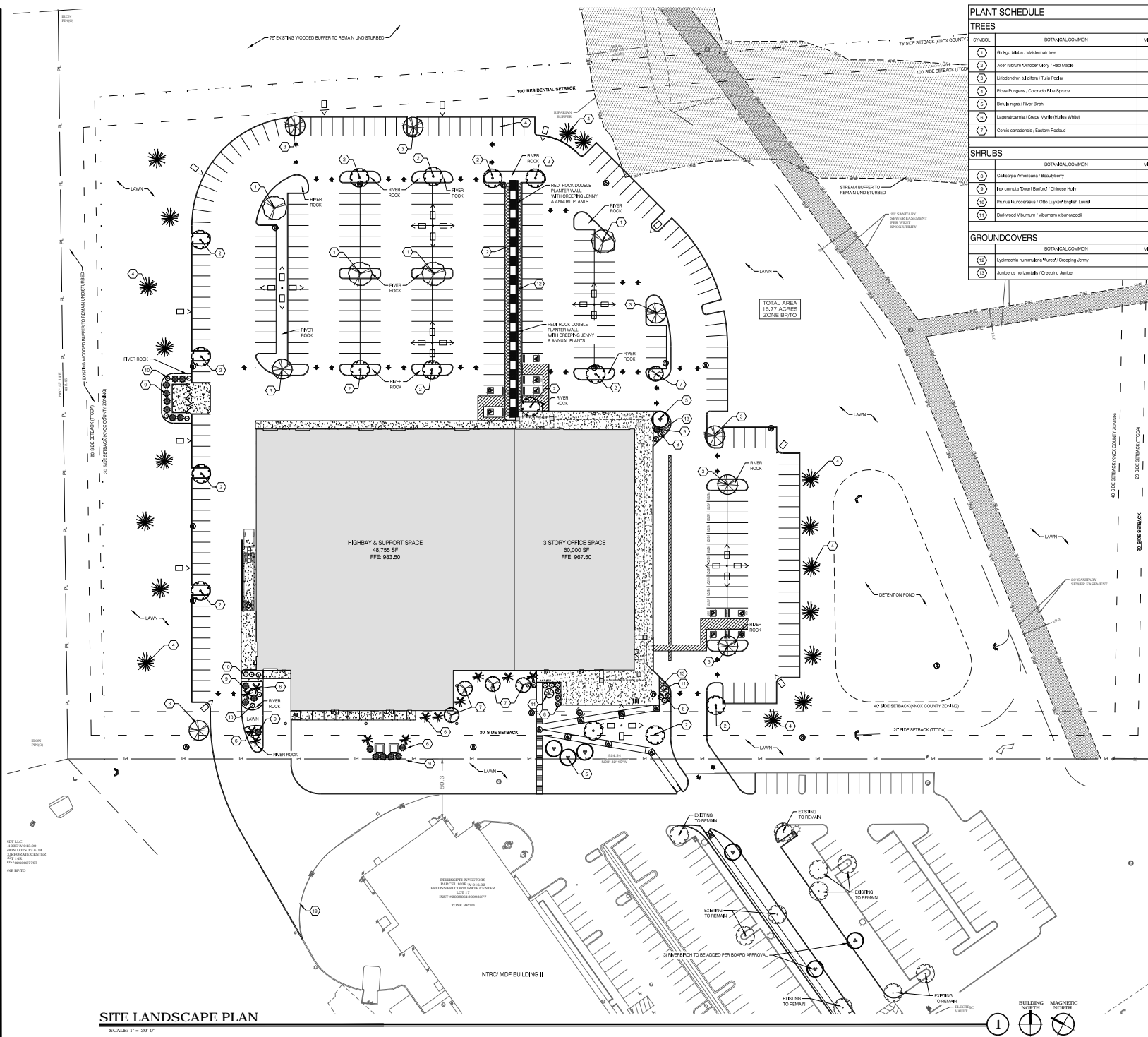
Date: 06/26/2016
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 Reviewed By: C.M.V.
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Sheet: Sheet No. of C4.1

SITE GRADING PLAN
 SCALE: 1" = 30'-0"



PLANT SCHEDULE

TREES				
SYMBOL	BOTANICAL COMMON	MIN. PLANTING SIZE	QTY.	NOTES
1	Gringa (Sassafras) / Madroer tree	2" CAL.	4	FRUITLESS (MALE) ONLY ALLOWED
2	Acer rubrum / Common Maple / Red Maple	2" CAL.	11	Unsuitable for city streets
3	Liriodendron tulipifera / Tulip Poplar	2" CAL.	8	Golden Fall Color / Solid trunk
4	Picea pungens / Colorado Blue Spruce	2" CAL.	17	Screening Evergreen
5	Betula nigra / River Birch	2" CAL.	4	MAJ-5000
6	Liquidambar styraciflua / Sweetgum / Sweetgum	2" CAL.	12	Multi-trunk / Distinct foliage
7	Quercus canadensis / Eastern Redbud	2" CAL.	5	Spring color

SHRUBS				
SYMBOL	BOTANICAL COMMON	MIN. PLANTING SIZE	QTY.	NOTES
8	Salix americana / Weeping Willow	2" GAL.	12	Small trees / Screen / Autumn leaf colors
9	Buxus sempervirens / Chinese Holly	2" GAL.	18	Decorative / Full / Low maintenance
10	Phlox paniculata / Phlox / Phlox	2" GAL.	9	Emergen
11	Burnwood / Viburnum / Viburnum	2" GAL.	2	Emergen

GROUNDCOVERS				
SYMBOL	BOTANICAL COMMON	MIN. PLANTING SIZE	QTY.	NOTES
12	Lysimachia nummularia / Moneywort / Creeping Jenny	4" Pkt	1	1 plant spreads 4-12'
13	Ajuga reptans / Creeping Ajuga	4" Pkt	1	1 plant spreads 4-10'

- ### LANDSCAPE NOTES
- CARE BE TO BE TAKEN TO PROTECT ALL UNDERGROUND UTILITIES. THE GENERAL CONTRACTOR IS TO VERIFY AND MARK THE EXACT LOCATION OF ALL EXISTING UTILITIES (WATER, SEWER, GAS, ELECTRIC, SEPTIC TANKS, ETC).
 - SOIL USED IN THE BACKFILL OF PLANTING BEDS AND LANDSCAPE BEDS SHALL BE CLEAN AND FREE OF DEBRIS AND SHALL BE TESTED WITHIN 30 DAYS OF PLANTING BY A QUALIFIED LABORATORY TO VERIFY THAT MOISTURE, PH, AND NUTRIENT LEVELS ARE WITHIN ACCEPTABLE RANGES.
 - SOIL REMEDIATION NURSERY FERTILIZER OR EQUAL SHALL BE USED IN ALL PLANTING BEDS.
 - HERBICIDES, IF ANY, SHALL BE APPLIED TO PLANTING BEDS FOR INVASIVE WEED CONTROL.
 - ALL PLANTING BEDS TO HAVE A MINIMUM 3" OF FINE BARK MULCH. PRESSURE TREATED WOODEN STAKES SHALL BE USED FOR TREES OVER 2" CALIBER OR IN AREAS WHERE HEAVY AND/OR 8" FERTILIZER.
 - ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN A PROFESSIONAL MANNER AND ACCORDING TO ACCEPTED PLANTING PROCEDURES.
 - TORUS, FURNISHED BY THE OWNER OR LANDSCAPE CONTRACTOR SHALL BE NATURAL, FERTILE, FRESH SOIL POSSESSING CHARACTERISTICS REPRESENTATIVE OF PRODUCTIVE SOILS IN THE AREA. SOIL SHALL NOT BE EXCESSIVELY ACIDIC, SALINE OR TOXIC THAT IT MAY BE HARMFUL TO PLANT GROWTH. TORUS SHOULD BE FREE OF CLAY LAMPS, STONES, STEWERS, ROOTS, OR SUBSTANCE 2" OR MORE IN DIAMETER.
 - ALL TREES REMOVED OR NOT SHALL BE PROPERLY MAINTAINED TO ENSURE THEIR SURVIVAL FOR 12 MONTHS AFTER DATE OF SUBSTANTIAL COMPLETION. ANY TREE WHICH FAILS TO SURVIVE AFTER 12 MONTHS SHALL BE REPLACED WITHIN 90 DAYS OF CLOSE.
 - LANDSCAPE SHALL BE PROVIDED WITH FRESH, CLEAN, NEW-GROWTH SEED COVERS WITH TOLERANCE FOR PUNNEY AND OPERATIONS ESTABLISHED BY OFFICIAL. SEED ANALYSIS OF SEED VENDORS CERTIFIED STATEMENT FOR EACH GRAIN BE REQUIRED.
 - PROJECT CONDITIONS SHALL BE MAINTAINED AND COMPLETE LAWN AND SPRINKLER SYSTEM AS PORTION OF THE BECOME AVAILABLE. UTILIZED WITH COMMERCIAL PERCENTAGE TO BE DETERMINED WITH ANALYSIS AND SEASON OF INSTALLATION. LIFE TO BE NATURAL, SOLIDITY, HERBICIDE CONTAINING NOT LESS THAN 60% OF TOTAL CARBONATE WITH MINIMUM OF 5% SLOW RELEASE CARBONATE.
 - SOIL SHALL BE SPRINKLED WITHIN 72 HOURS OF COMPLETION. SOIL SHALL BE SPRINKLED WITHIN 72 HOURS OF COMPLETION. SOIL SHALL BE SPRINKLED WITHIN 72 HOURS OF COMPLETION.
 - PROPOSED PLANT MATERIAL WILL NOT INTERFERE WITH ANY EXISTING AND/OR PLANNED UNDERGROUND OR OVERHEAD UTILITIES.
 - ANY TEMPORARY SEEDING AND/OR GRASSING OPERATIONS ARE TEMPORARILY MAINTAINED FOR OVER 12 MONTHS AND SHALL BE PROTECTED SURFACES TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARILY TO SOIL STOCKPILES.
 - ANY REMAINING SEEDS WHENEVER GRASSING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE SETBACK AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
 - THE GROWTH OF TREES IF PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.
 - THE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR THE STABILITY AND PLUMB CONDITION OF ALL TREES AND SHRUBS AND SHALL BE SOLELY LIABLE FOR ANY DAMAGE CAUSED BY THE INSTABILITY OF ANY PLANT MATERIALS. THE PLUMBING DETAILS ARE AN APPROVED METHOD OF TREE GUARD. OR EQUAL. CONTRACTOR SHALL ADHERE TO ALL LOCAL LANDSCAPE ORDINANCES.

TREE COUNT REQUIREMENTS

SPACING	MIN. TREE PER ACRE
LARGE OR MEDIUM CANOPY TREE PER 10 SPACES	24 TREES REQUIRED
SMALL TREE PER 10 SPACES	32 TREES PROVIDED

YARD SPACE	MIN. TREE PER ACRE
10 LARGE TREES PER ACRE	10 TREES REQUIRED
YARD SPACE = 1.0 ACRES X 10 TREES = 10 TREES PROVIDED	19 TREES PROVIDED

25% TO BE EVERGREEN - 18 PROPOSED, 17 PROVIDED
 EXISTING WOODS TO BE PRESERVED ALONG STREET AND RESIDENTIAL SETBACKS

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PELLISSIPPI INVESTORS - BUILDING III
 HAZARD VALLEY
 ANNOUNCEMENT

ANNA DEVELOPMENT FOR
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Drawing Title: SITE LANDSCAPE PLAN

Date: 06/26/2016
 Designed By: ANM
 Drawn By: ANM
 Reviewed By: GJM
 Comm. No.: 150620
 Revisions:

8-B-16-UR
 Revised: 8/26/2016

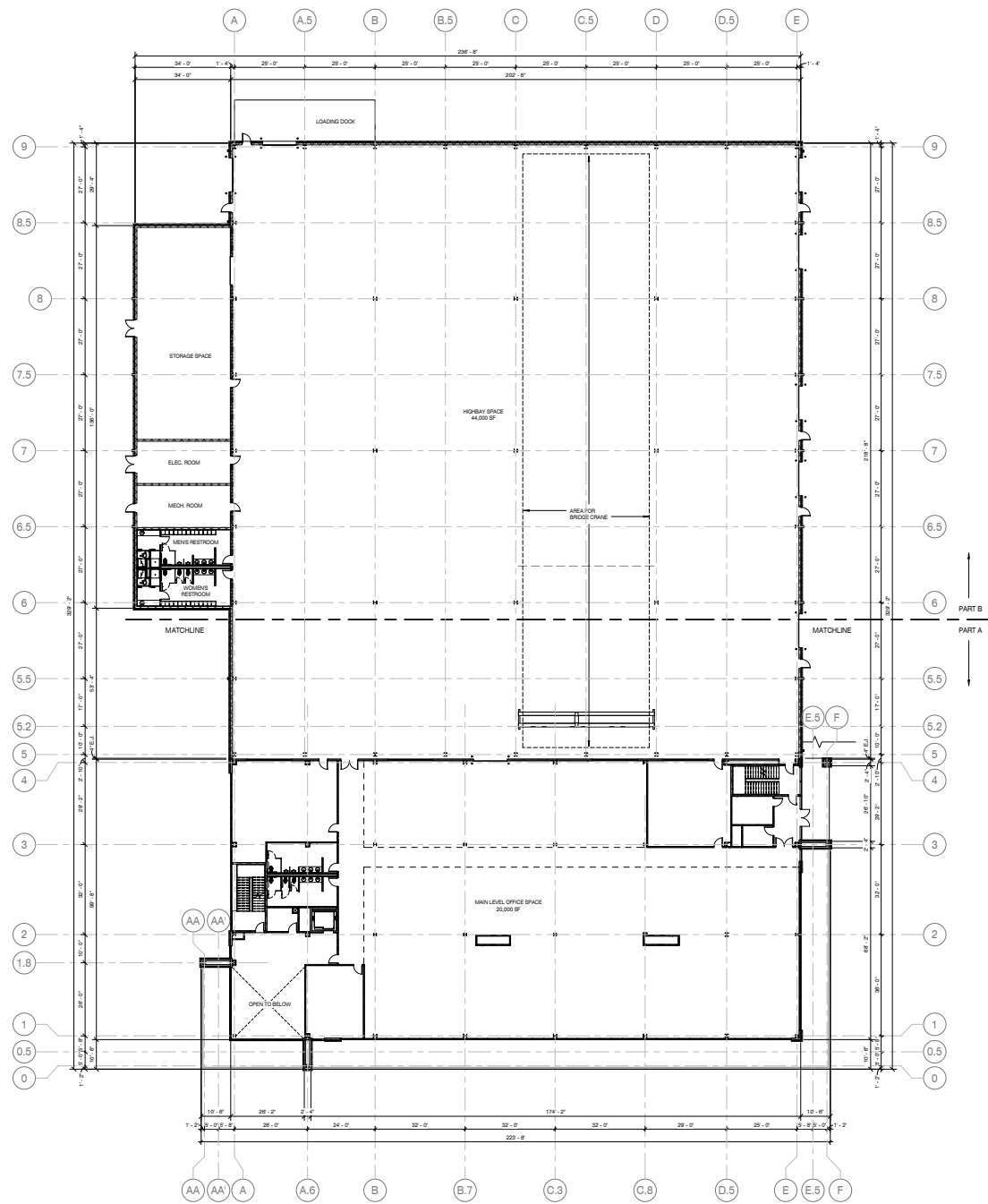
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Graphic Scale: 1 INCH = 30'

Sheet: 1 of 2
 Sheet No.: L2.0

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PELLISSIPPI INVESTORS BUILDING III
 HARDEN VALLEY ROAD
 HAVENHURST, TN 37066

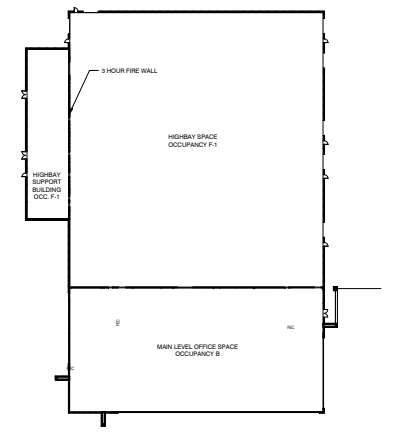


MAIN LEVEL - OVERALL FLOOR PLAN
 SCALE: 1/8" = 1'-0"

8-B-16-UR
 Revised: 8/26/2016

GROSS BUILDING SQUARE FOOTAGES:

OFFICE:	
LOWER LEVEL	= 20,000 S.F.
MAIN LEVEL	= 20,000 S.F.
UPPER LEVEL	= 20,000 S.F.
TOTAL	= 60,000 S.F.
HIGHWAY:	
WORK SPACE	= 44,000 S.F.
SUPPORT SPACE	= 2,055 S.F.
TOTAL	= 46,055 S.F.
*SEPARATED BY 3 HOUR RATED WALL.	
BUILDING TOTAL S.F.	= 106,755 S.F.



KEY PLAN
 SCALE: 1" = 40'-0"

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 Designed By: CAR
 Drawn By: SBE
 Reviewed By: CMC
 Comm. No. 150620
 Revisions:

Sheet No. 1 of 1
 Sheet No. A1.1

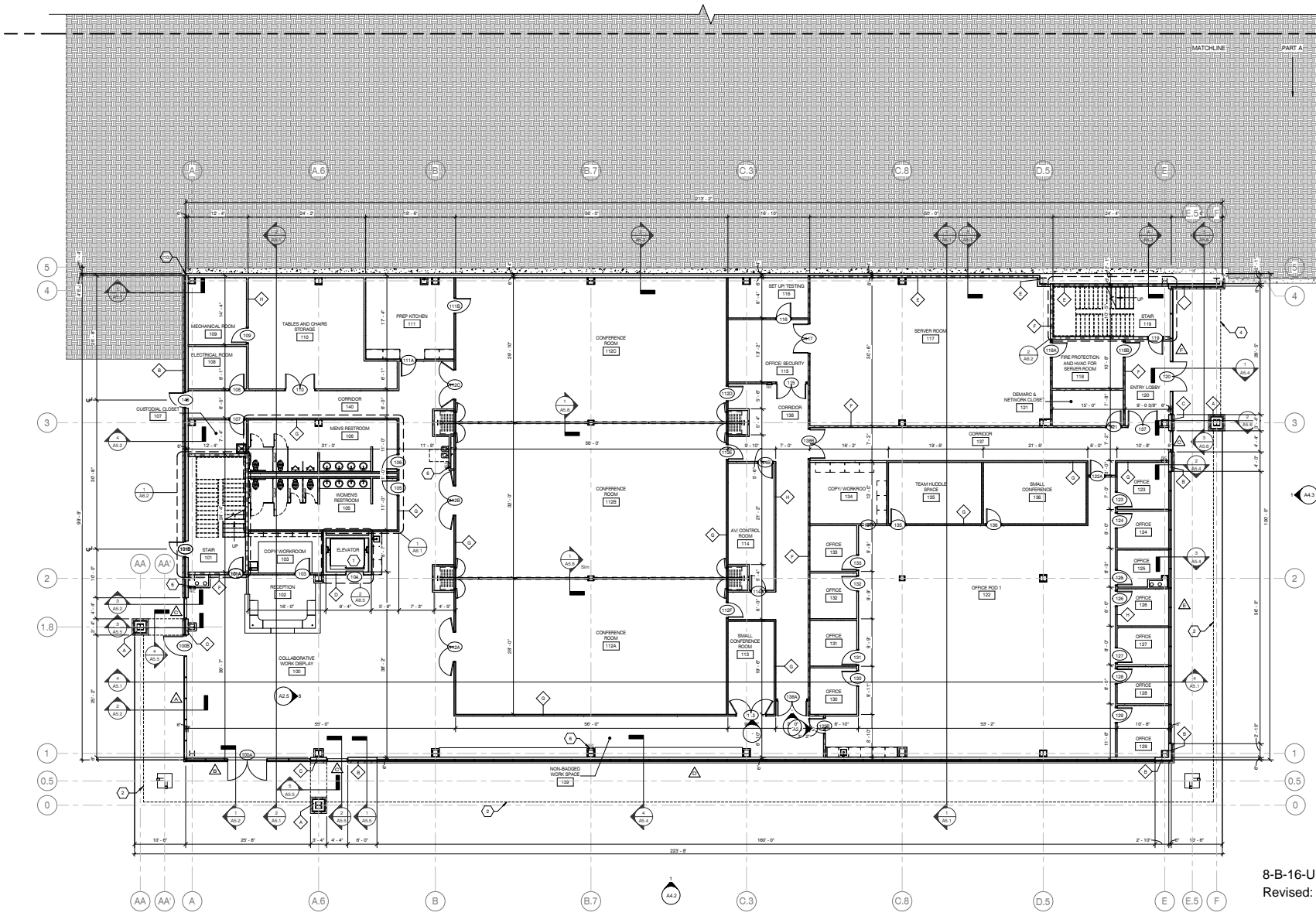
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 HARDEN VALLEY ROAD
 HARDENVILLE, TN 37066

Drawing Title: LOWER LEVEL - OFFICE FLOOR PLAN

Date: 08/12/16
 Designed By: CAR
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 Revisions:

Sheet No. **A1.2**
 of

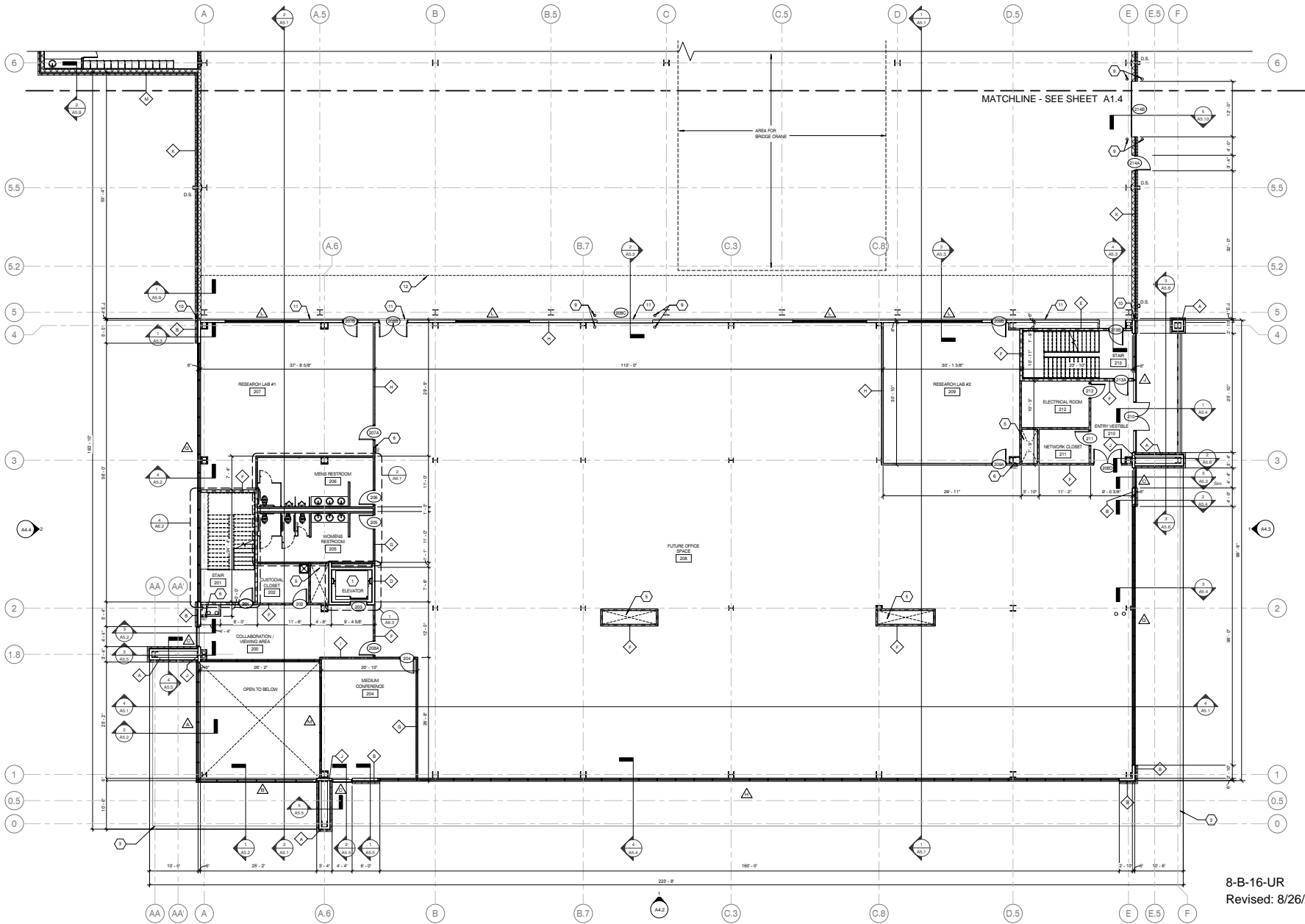


LOWER LEVEL FLOOR PLAN
 SCALE: 1/8" = 1'-0"

8-B-16-UR
 Revised: 8/26/2016

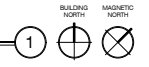
FLOOR PLAN KEYNOTES	
1.	3,000 LBS. MACHINE ROOM-LESS ELEVATOR
2.	ROOF GARDNY ABOVE
3.	ROOF GARDNY BELOW
4.	ENTRANCE ABOVE
5.	MECHANICAL CHASE
6.	WALL MOUNTED FIRE EXTINGUISHER AND CABINET
7.	WALL MOUNTED FIRE EXTINGUISHER
8.	ROOF ACCESS LADDER W/ ROOF SUTURE ABOVE
9.	SHIMMER OR STEEL BALLAST W/ CONCRETE SEE DETAIL
10.	WALL EXPANSION JOINT SEE DETAIL
11.	FLOOR EXPANSION JOINT SEE DETAIL
12.	GENERATION BALCONY ABOVE

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MAIN LEVEL FLOOR PLAN - PART A

SCALE: 1/8" = 1'-0"



FLOOR PLAN KEYNOTES	
1.	3,500 LBS. MACHINE ROOM-LESS ELEVATOR
2.	ROOF CANOPY ABOVE
3.	ROOF CANOPY BELOW
4.	ENTRWAY ABOVE
5.	MECHANICAL CHASE
6.	WALL MOUNTED FIRE EXTINGUISHER AND CABINET
7.	WALL MOUNTED FIRE EXTINGUISHER
8.	ROOF ACCESS LADDER W/ ROOF SCUTTLE ABOVE
9.	Ø DIAMETER STEEL BOLLARD FILLED WITH CONCRETE; SEE DETAIL
10.	WALL EXPANSION JOINT; SEE DETAIL
11.	FLOOR EXPANSION JOINT; SEE DETAIL
12.	OBSERVATION BALCONY ABOVE

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A NEW DEVELOPMENT FOR
PELLISSIPPI INVESTORS BUILDING III
 HARDEN VALLEY ROAD
 ANN ARBOR, MI 48106

THIS DRAWING HAS BEEN ISSUED FOR THE FOLLOWING PROJECT:
 PELLISSIPPI INVESTORS BUILDING III
 ARCHITECT: MICHAEL BRADY INC.
 ENGINEER: MICHAEL BRADY INC.
 CONTRACTOR: CONSTRUCTION CONSULTANTS

Drawing Title:
 MAIN LEVEL - PART A

Date: 08/12/16
 Designed By: CAR
 Drawn By: SBE
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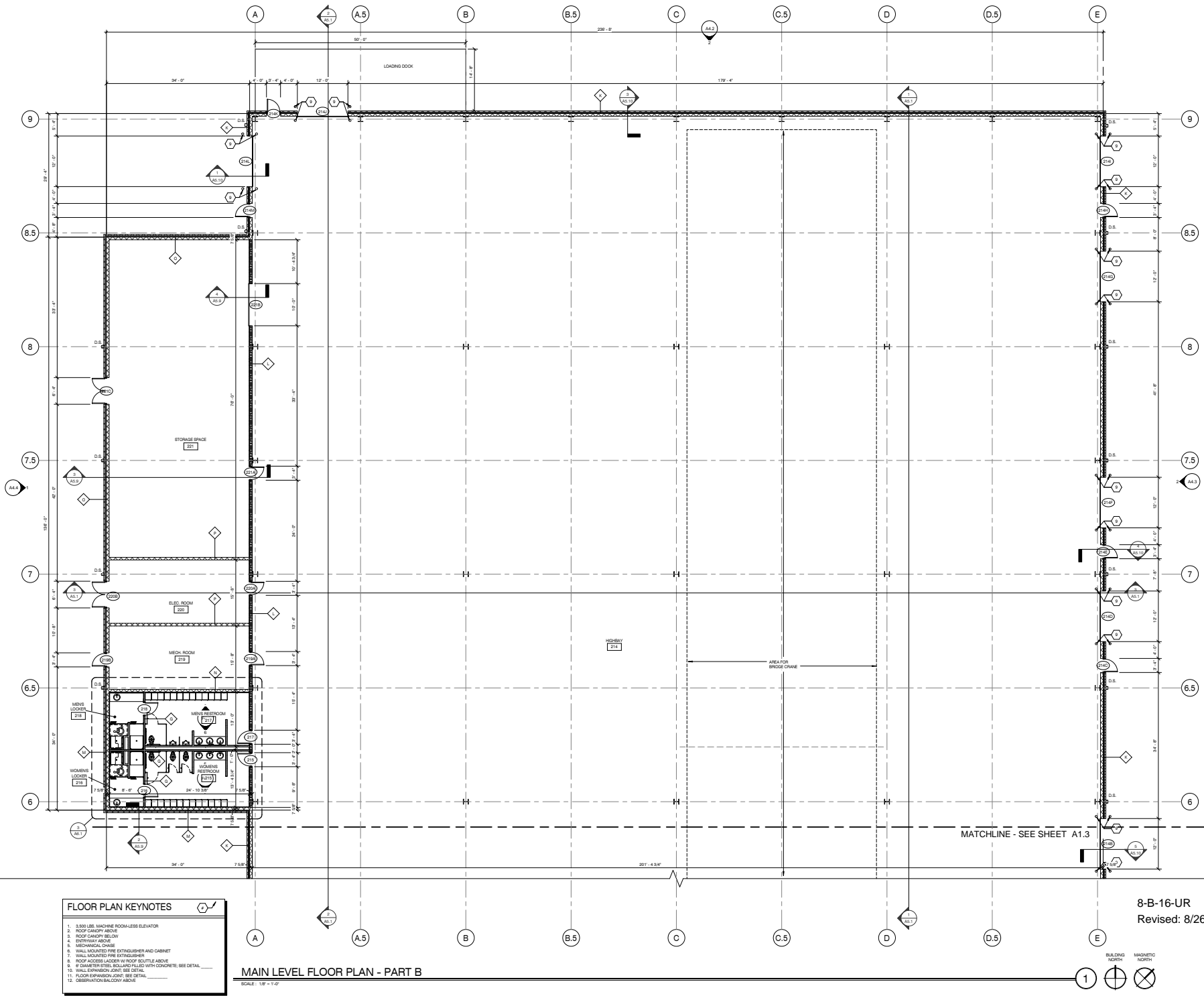
PELLISSIPPI INVESTORS BUILDING III
 HARDEN VALLEY ROAD
 HARDEN, TN 37056

Drawing Title:
 MAIN LEVEL - PART B

Date: 08/12/16
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 Reviewed By: CMC
 Comm. No. 150620
 Revisions:

8-B-16-UR
 Revised: 8/26/2016

Sheet No. **A1.4**
 of



FLOOR PLAN KEYNOTES	
1.	3,000 LBS. MACHINE ROOM-LESS ELEVATOR
2.	ROOF CANOPY ABOVE
3.	ROOF CANOPY BELOW
4.	STRETTWAY ABOVE
5.	MEDICAL CHAIR
6.	WALL MOUNTED FIRE EXTINGUISHER AND CABINET
7.	WALL MOUNTED FIRE EXTINGUISHER
8.	ROOF ACCESS LADDER W/ ROOF SCUTTLE ABOVE
9.	6" DIAMETER STEEL BECLAND FILL WITH CONCRETE; SEE DETAIL
10.	WALL EXPANSION JOINT; SEE DETAIL
11.	FLOOR EXPANSION JOINT; SEE DETAIL
12.	OBSERVATION BALCONY ABOVE

MAIN LEVEL FLOOR PLAN - PART B
 SCALE: 1/8" = 1'-0"

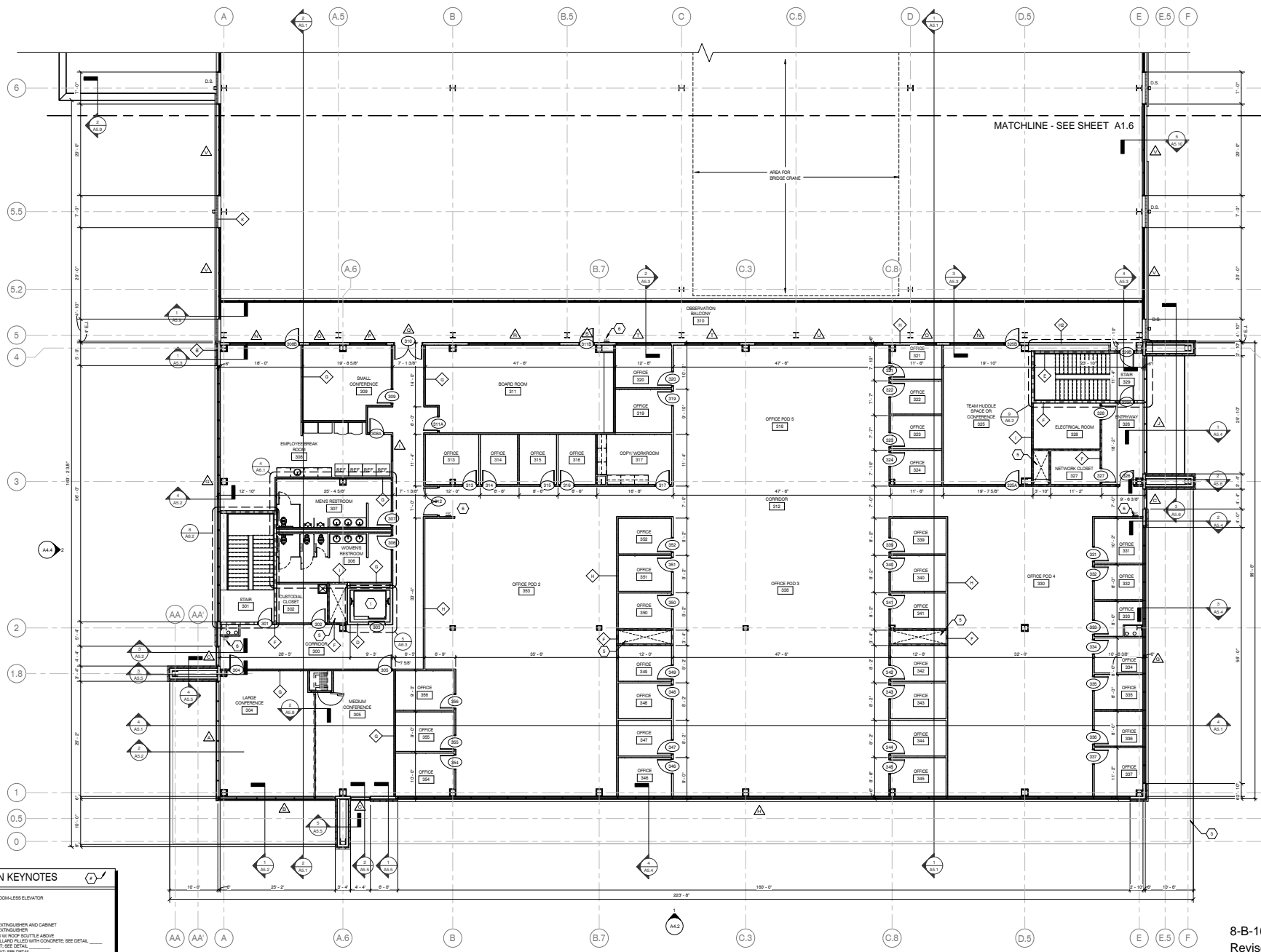
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HARDEN VALLEY ROAD
 HARTSDALE, TN 37062

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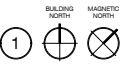
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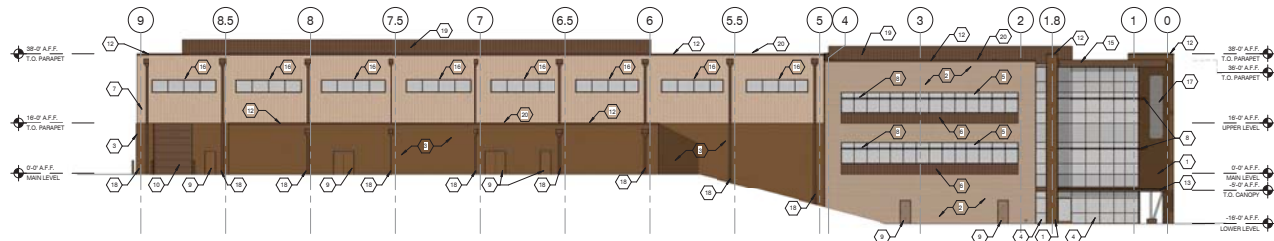


- FLOOR PLAN KEYNOTES**
1. 1/2" X 1/2" X 1/2" MACHINE ROOM-LESS ELEVATOR
 2. ROOF CANOPY ABOVE
 3. ROOF CANOPY BELOW
 4. ENTRYWAY ABOVE
 5. SIGNATURE CHASE
 6. WALL MOUNTED FIRE EXTINGUISHER AND CABINET
 7. WALL MOUNTED FIRE EXTINGUISHER
 8. ROOF ACCESS LADDER W/ ROOF SCOUTLE ABOVE
 9. 4" DIMENSION STEEL SQUARE FILLER WITH CONCRETE. SEE DETAIL.
 10. WALL EXPANSION JOINT. SEE DETAIL.
 11. FLOOR EXPANSION JOINT. SEE DETAIL.
 12. OBSERVATION BALCONY ABOVE

UPPER LEVEL FLOOR PLAN - PART A
 SCALE: 1/8" = 1'-0"



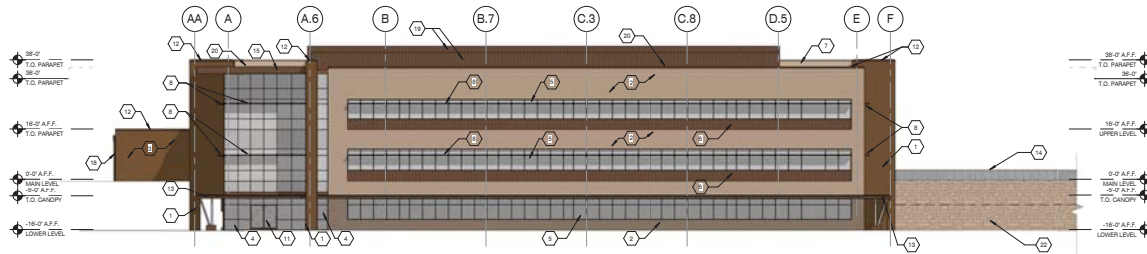
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COMPOSITE WEST ELEVATION

SCALE: 1/8" = 1'-0"

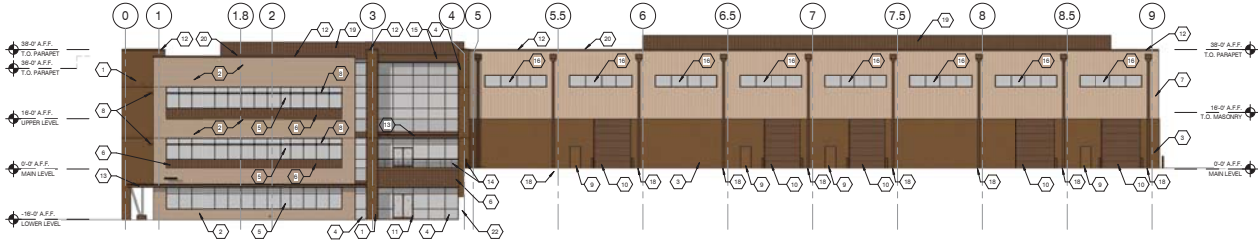
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COMPOSITE SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

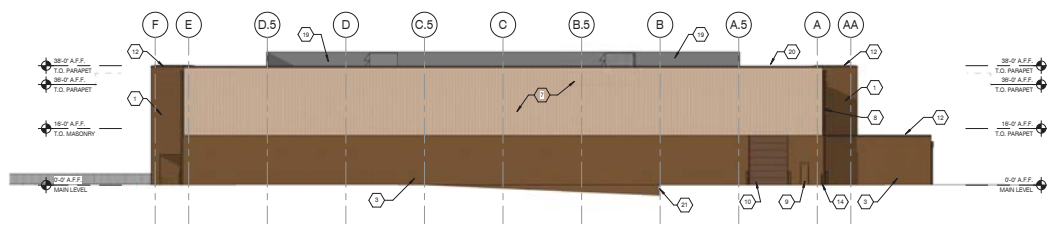
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COMPOSITE EAST ELEVATION

SCALE: 1/8" = 1'-0"

3



COMPOSITE NORTH ELEVATION

SCALE: 1/8" = 1'-0"

4

ELEVATION KEYNOTES

1. BRICK VENEER (BVI)
2. BRICK VENEER ACCENT COLOR (BVC)
3. SPLITFACE CMU OVER SMOOTHFACE CMU WALL (SF)
4. ALUMINUM CURTAIN WALL SYSTEM WITH INSULATED GLASS (IG)
5. ALUMINUM STOREFRONT SYSTEM WITH INSULATED GLASS (SIF)
6. PREFINISHED METAL PANEL ACCENT COLOR (PPAC)
7. PREFINISHED INSULATED METAL PANEL (IMP)
8. SUNSHADE (PS)
9. HOLLOW METAL DOOR AND FRAME (HMF)
10. OVERHEAD DOOR (OF)
11. ALUMINUM CURTAIN WALL DOOR AND FRAME (ACWDF)
12. PREFINISHED METAL CORNER (PPC)
13. ALUMINUM GANTRY SYSTEM (MFS)
14. ALUMINUM 42 HIGH QUADRANT (EP)
15. PREFINISHED FLUSH SEAM METAL PANEL FABRIQ (PPF)
16. KALWALL STANDARD THERMAL BREAK TRANSLUCENT WALL SYSTEM (KTS)
17. BUILDING SIGNAGE PROPOSED LOCATION (BUILDING PROTRUSION - 300" PROPOSED SIGNAGE LOCATION SHOWN AT MAXIMUM ALLOWABLE AREA OF 100 S.F.)
18. SCUPPER WITH DOWNPOUT (PF)
19. EQUIPMENT SCREENING - FLUSH SEAM ALUMINUM METAL PANELS, MEDIUM BRONZE (ES)
20. 60 MIL TPO ROOF MEMBRANE
21. LOADING DOOR SCUPPERS
22. RED-ROCK RETAINING WALL WITH PLANTERS AT MIDPOINT AND TOP ELEVATIONS AND REFERENCE SHOW GENERAL REPRESENTATION. SEE CIVIL DRAWINGS FOR RETAINING WALL AND LANDSCAPING DETAILS

EXTERIOR FINISH SCHEDULE

CODE	ITEM	MANUFACTURER	DESCRIPTION
BV1	BRICK VENEER	GENERAL SHALE	COLOR: MEDIOLE ANTRACITE (MATCHES NTRIC BUILDING I)
BV2	BRICK VENEER (DARK ACCENT)	GENERAL SHALE	COLOR: MALLSTONE (MATCHES NTRIC BUILDING I)
B1	CONSTRUCTION JOINT SEALANT (MERE)	BY APPROVED MFG.	COLOR: MATCH BV1
B2	CONSTRUCTION JOINT SEALANT (MERE)	BY APPROVED MFG.	COLOR: MATCH BV2
SP1	SPLIT FACE CMU	BY APPROVED MFG.	COLOR: MATCH BV2
IMP1	INSULATED METAL PANEL	METL SPAN	COLOR: BROWNSTONE (MATCH BV1)
IMP2	INSULATED METAL PANEL	METL SPAN	COLOR: MEDIUM BRONZE (MATCH BV2)
PP1	PREFINISHED METAL FLUSH-SEAM CORNER	BY APPROVED MFG.	COLOR: MEDIUM BRONZE
PP2	PREFINISHED METAL SPLIT PANEL	METL SPAN	FLUSH SEAM COLOR: MEDIUM BRONZE
IG1	1" INSULATED GLASS	BY APPROVED MFG.	COLOR: TINTED SOLAR BRONZE
SG1	SPANDREL GLASS	BY APPROVED MFG.	PRODUCE COLOR AND PATTERN TO MATCH SPECIFIED VISION GLASS
EP1	PANT (EXTERIOR METAL)	BY APPROVED MFG.	COLOR: DARK BRONZE
PP1	PREFINISHED PANEL (O.H. DOORS)	BY APPROVED MFG.	COLOR: DARK BRONZE
EB1	EQUIPMENT SCREENING	BY APPROVED MFG.	COLOR: MEDIUM BRONZE

BRICK SAMPLES FOR BUILDING III



8-B-16-UR
Revised: 8/26/2016



NOT FOR CONSTRUCTION
FOR REVIEW AND PRICING PURPOSES ONLY

PELLISSIPPI INVESTORS BUILDING III
HARDEN VALLEY ROAD
HARDEN, MISSISSIPPI 39021

Drawing Title: EXTERIOR ELEVATIONS

Date: 08/12/16
Designed By: CAR
Drawn By: SBE
Reviewed By: CMC
Comm. No. 150620
Revisions:

Sheet No. of A4.1

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MBI

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AERIAL VIEW

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SOUTHWEST MAIN ENTRY



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VIEW OF WEST ELEVATION FROM BACK OF MDF

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AERIAL VIEW OF LOADING DOCK



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VIEW OF EAST SIDE

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EAST ELEVATION: EMPLOYEE LOWER & MAIN FLOOR ENTRANCES