

**KNOXVILLE/KNOX COUNTY METROPOLITAN PLANNING COMMISSION
 USE ON REVIEW REPORT**

▶ **FILE #:** 4-J-17-UR

AGENDA ITEM #: 74

AGENDA DATE: 4/13/2017

▶ **APPLICANT:** **MORNING POINTE OF WEST KNOXVILLE**

OWNER(S): Independent Healthcare Properties, LLC

TAX ID NUMBER: 144 03013

[View map on KGIS](#)

JURISDICTION: City Council District 2

STREET ADDRESS: 1015 Emory Church Rd

▶ **LOCATION:** **Northwest side of Westland Dr., southwest side of Emory Church Rd., northeast side of I-140.**

▶ **APPX. SIZE OF TRACT:** **18.29 acres**

SECTOR PLAN: Southwest County

GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)

ACCESSIBILITY: Access is via Westland Dr., a minor arterial street with a 30' - 55' pavement at this location and Emory Church Rd., a minor collector street with a 25' pavement width within a 60' right-of-way.

UTILITIES: Water Source: First Knox Utility District

Sewer Source: First Knox Utility District

WATERSHED: Sinking Creek

▶ **ZONING:** **OS-1 (Open Space Preservation)**

▶ **EXISTING LAND USE:** **Vacant land**

▶ **PROPOSED USE:** **Assisted Living Facility**

HISTORY OF ZONING: None noted

SURROUNDING LAND USE AND ZONING: North: Vacant land - PR (Planned Residential) (k)

South: Church and vacant land - RP-1 (Planned Residential) & A-1 (General Agricultural)

East: Residences - A (Agricultural)

West: I-140 - OS-1 (Open Space Preservation)

NEIGHBORHOOD CONTEXT: The site is located on the northeastern quadrant of the Westland Dr. interchange with Pellissippi Parkway. Adjoining the site on the east is another church. To the south residences are in place. Most recent development in the area consists of both single detached and single family attached dwellings. A 262 unit apartment development is located in the southwest quadrant of this interchange.

STAFF RECOMMENDATION:

▶ **APPROVE the development plan for an assisted living facility/memory care facility with up to 133 units and a total of 145 beds, subject to 9 conditions.**

1. Connection to sanitary sewer and meeting any other relevant requirements of the Knox County Health Department.
2. Meeting all applicable requirements and obtaining all required permits from the State of Tennessee for the Assisted Living Facility
3. Meeting all applicable requirements of the Knoxville Fire Marshal
4. Construction of all sidewalks shown on the development plan in compliance with the Americans with Disabilities Act and requirements of the Knoxville Department of Engineering.
5. Installation of landscaping within six months of the issuance of occupancy permits for this project.
6. Provide landscaping in accordance with the City of Knoxville Tree Protection Ordinance and meeting all applicable requirements of the Knoxville Urban Forester.
7. Meeting all applicable requirements of the Knoxville Department of Engineering.
8. Sign plans are subject to approval of Planning Commission and Knoxville Plans Review and Inspections Staff approval.
9. Meeting all other applicable requirements of the Knoxville Zoning Ordinance.

With the conditions noted, this plan meets the requirements for approval of an assisted living facility in the PC-1 District and a use on review.

COMMENTS:

The applicant is proposing to develop this 18.29 acre site as a two phase development. An assisted living facility with a total of 80 beds in 73 units will be the first phase and a memory care facility with a total of 65 beds in 60 units will be the second phase. The site is located in the northeast quadrant of the I-140 / Westland Dr. interchange directly north of Shoreline Church. The facility will share the existing driveways for the Church with access out to both Westland Dr. and Emory Church Rd.

A total of 126 parking spaces will be provided for the full facility. The assisted living facility will be a one story building.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTIES AND THE COMMUNITY AS A WHOLE

1. All utilities are in place to serve this site.
2. Assisted living facilities do not have a significant traffic impact as compared to other residential use types.
3. The proposal will have no impact on schools.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOXVILLE ZONING ORDINANCE

1. This proposed assisted living facility/memory care facility in a RP-1 zone district is consistent with the general standards for uses permitted on review: The proposed development is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas since it is located on arterial and collector streets.

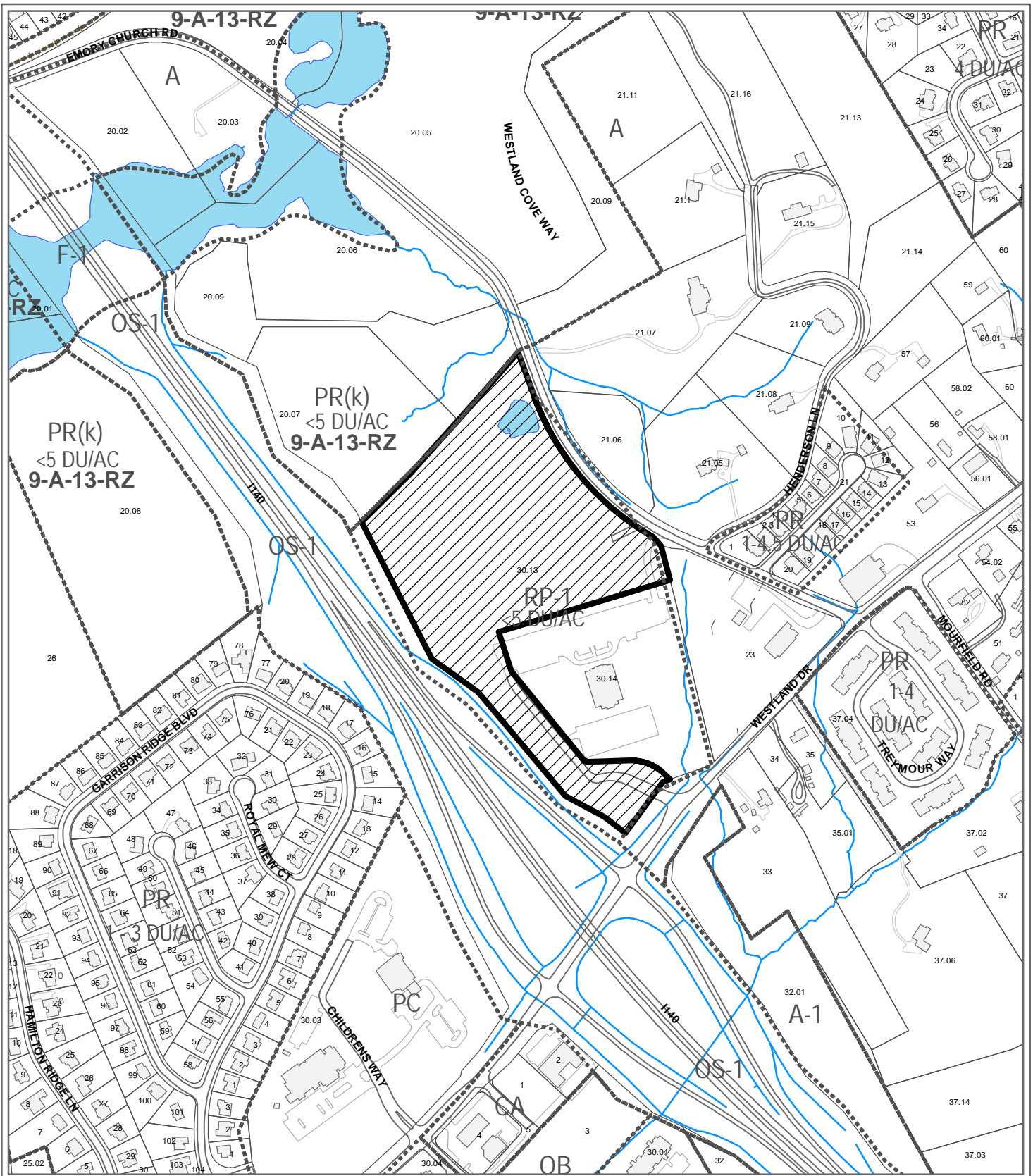
CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

1. The One Year Plan and the Southwest County Sector Plan propose civic and institutional uses for this site. The proposed development is consistent with those plans.
2. The site is located within the city limits of Knoxville on the Urban Growth Area on the Knoxville, Knox County, Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal an MPC decision in the City.



**4-J-17-UR
USE ON REVIEW**



Assisted Living Facility in RP-1 (Planned Residential)

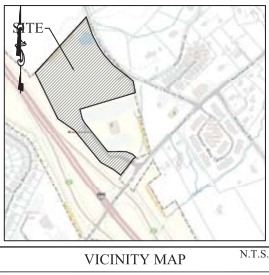
Petitioner: Morning Pointe of West Knoxville

Map No: 144

Jurisdiction: City



Original Print Date: 3/14/2017
 Revised:
 Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902



INDEX TO DRAWINGS		
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Use on Review Plans
MPC File Number 4-J-17-UR

for

Morning Pointe of West Knoxville

Westland Drive at Emory Church Road
Knoxville, Tennessee 37922

Owner:
Independent Healthcare Properties, LLC.
6020 Arbury Way
Ooltewah, Tennessee 37363
(423) 238-5330

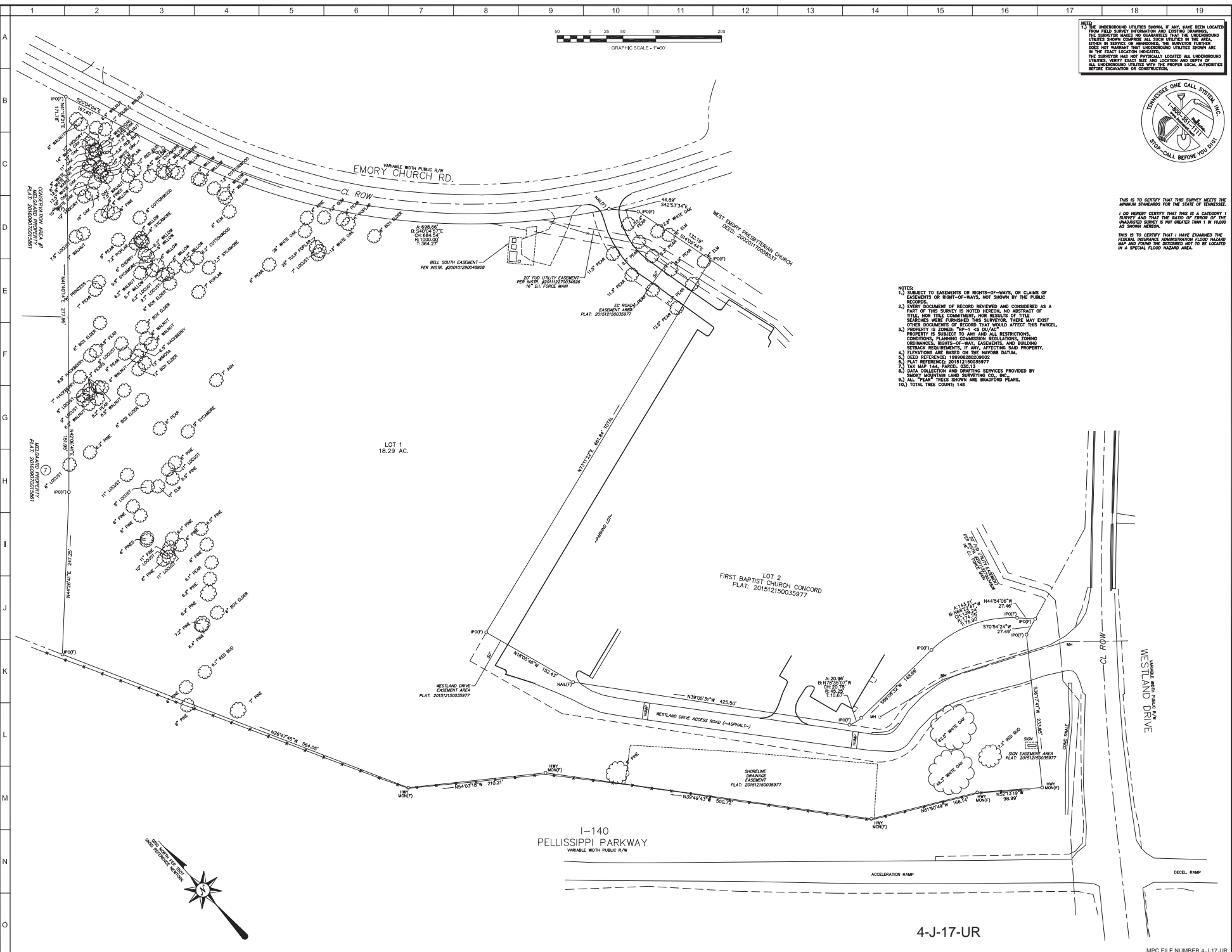


Use on Review - Cover Sheet
Morning Pointe of West Knoxville
Westland Drive at Emory Church Road
Knoxville, Tennessee 37922
Parcel ID: 144 03013 City Block: 51012

REVISIONS	
NO.	DATE COMMENTS

4-J-17-UR
Revised: 3/30/2017

C0.0



NOTE:
 THE UNDERGROUND UTILITIES SHOWN, IF ANY, HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR DOES NOT GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA. EITHER AN INQUIRY OR A REQUEST FOR INFORMATION FROM THE UTILITY PROVIDER MUST BE MADE PRIOR TO ANY EXCAVATION. THE SURVEYOR FURTHER DOES NOT WARRANT THAT UNDERGROUND UTILITIES SHOWN ARE ACCURATELY LOCATED. THE SURVEYOR WILL NOT BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. VERIFY EXACT DEPTH AND LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES WITH THE PROPER LOCAL AUTHORITIES BEFORE EXCAVATION OR CONSTRUCTION.



THIS IS TO CERTIFY THAT THIS SURVEY MEETS THE MINIMUM STANDARDS FOR THE STATE OF TENNESSEE.
 I DO HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY AND THAT THE STATUS OF SURVEY OF THE UNADJUSTED SURVEY IS NOT GREATER THAN 1 IN 10,000 AS SHOWN HEREON.
 THIS IS TO CERTIFY THAT I HAVE EXAMINED THE RELEVANT RECORDS AND FOUND THE DESCRIBED LOT TO BE LOCATED IN A SPECIAL FLOOD HAZARD AREA.

- NOTES:
- 1.) SUBJECT TO EASEMENTS OR RIGHTS-OF-WAY, OR CLAIMS OF EASEMENTS OR RIGHTS-OF-WAY, NOT SHOWN BY THE PUBLIC RECORD.
 - 2.) EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON, NO ABSTRACT OF TITLE, NOR TITLE COMMITMENT, NOR RESULTS OF TITLE SEARCHES WERE FURNISHED BY THE SURVEYOR. THERE MAY EXIST OTHER DOCUMENTS OF RECORD THAT WOULD AFFECT THIS PARCEL.
 - 3.) PROPERTY IS ZONED "R-1 <S> D1/4". PROPERTY IS SUBJECT TO ANY AND ALL RESTRICTIONS, ORDINANCES, PLANNING COMMISSION REGULATIONS, ZONING ORDINANCES, RIGHTS-OF-WAY, EASEMENTS, AND BUILDING SETBACK REQUIREMENTS, IF ANY, AFFECTING SAID PROPERTY.
 - 4.) ELEVATIONS ARE BASED ON THE NAVD83 DATUM.
 - 5.) DEED REFERENCE: 19990302000000
 - 6.) PLAT REFERENCE: 201512150035977
 - 7.) DATUM: NAD 83
 - 8.) DATA COLLECTION AND DIGITIZING SERVICES PROVIDED BY SHOOK MOUNTAIN SURVEYING CO., INC.
 - 9.) ALL "YEAR" TREES SHOWN ARE BRADFORD PEARS.
 - 10.) TOTAL TREE COUNT: 148

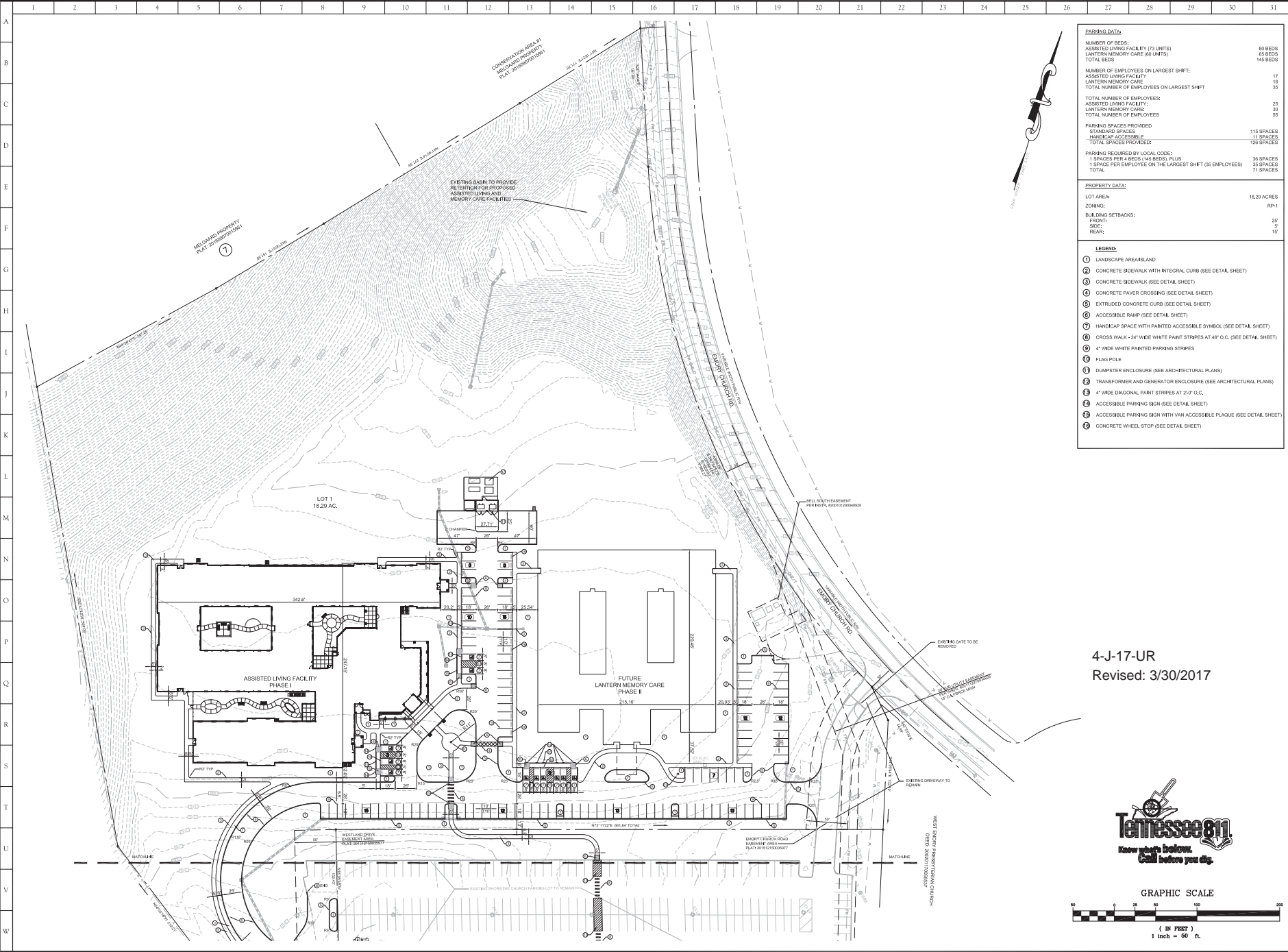
BNDY
 CIVIL ENGINEERS & SURVEYORS
 10215 Technology Drive, Suite 304
 Knoxville, TN 37932
 Phone: (615) 774-1400
 Fax: (615) 774-4100



Tree Inventory Survey
Lot 1 of First Baptist Church Concord
 Westland Drive and Emory Church Road
 District 6 of Knox County, Tennessee - 5 1st Ward, City of Knoxville

NO.	DATE	REVISIONS

ENCLOSURE: MD, DATE: 01/14/17
 CHECKED BY: JLD, FILE: 1127099
BNDY



PARKING DATA:

NUMBER OF BEDS:	80 BEDS
ASSISTED LIVING FACILITY (73 UNITS)	65 BEDS
LANTERN MEMORY CARE (60 UNITS)	145 BEDS
TOTAL BEDS:	
NUMBER OF EMPLOYEES ON LARGEST SHIFT:	
ASSISTED LIVING FACILITY	17
LANTERN MEMORY CARE	18
TOTAL NUMBER OF EMPLOYEES ON LARGEST SHIFT	35
TOTAL NUMBER OF EMPLOYEES:	
ASSISTED LIVING FACILITY:	35
LANTERN MEMORY CARE:	30
TOTAL NUMBER OF EMPLOYEES	65
PARKING SPACES PROVIDED:	
STANDARD SPACES	115 SPACES
HANDICAP ACCESSIBLE	11 SPACES
TOTAL SPACES PROVIDED	126 SPACES
PARKING REQUIRED BY LOCAL CODE:	
1 SPACE PER 4 BEDS (145 BEDS) PLUS	36 SPACES
1 SPACE PER EMPLOYEE ON THE LARGEST SHFT (35 EMPLOYEES)	35 SPACES
TOTAL	71 SPACES

PROPERTY DATA:

LOT AREA:	16.29 ACRES
ZONING:	RR-1
BUILDING SETBACKS:	
FRONT:	25'
SIDE:	5'
REAR:	15'

- LEGEND:**
- ① LANDSCAPE AREAS/LAND
 - ② CONCRETE SIDEWALK WITH INTEGRAL CURB (SEE DETAIL SHEET)
 - ③ CONCRETE SIDEWALK (SEE DETAIL SHEET)
 - ④ CONCRETE PAVEMENT CROSSING (SEE DETAIL SHEET)
 - ⑤ EXTRUDED CONCRETE CURB (SEE DETAIL SHEET)
 - ⑥ ACCESSIBLE RAMP (SEE DETAIL SHEET)
 - ⑦ HANDICAP SPACE WITH PAINTED ACCESSIBLE SYMBOL (SEE DETAIL SHEET)
 - ⑧ CROSS WALK - 24" WIDE WHITE PAINT STRIPES AT 48" O.C. (SEE DETAIL SHEET)
 - ⑨ 4" WIDE WHITE PAINTED PARKING STRIPES
 - ⑩ FLAG POLE
 - ⑪ DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS)
 - ⑫ TRANSFORMER AND GENERATOR ENCLOSURE (SEE ARCHITECTURAL PLANS)
 - ⑬ 4" WIDE DIAGONAL PAINT STRIPES AT 24" O.C.
 - ⑭ ACCESSIBLE PARKING SIGN (SEE DETAIL SHEET)
 - ⑮ ACCESSIBLE PARKING SIGN WITH VAN ACCESSIBLE PLAQUE (SEE DETAIL SHEET)
 - ⑯ CONCRETE WHEEL STOP (SEE DETAIL SHEET)

4-J-17-UR
Revised: 3/30/2017

Tennessee 611
Know what's broken. Call before you dig.

GRAPHIC SCALE
1 inch = 50 ft.

REVISIONS

NO.	DATE	COMMENTS
1	03/30/17	Revised per MPC Comments

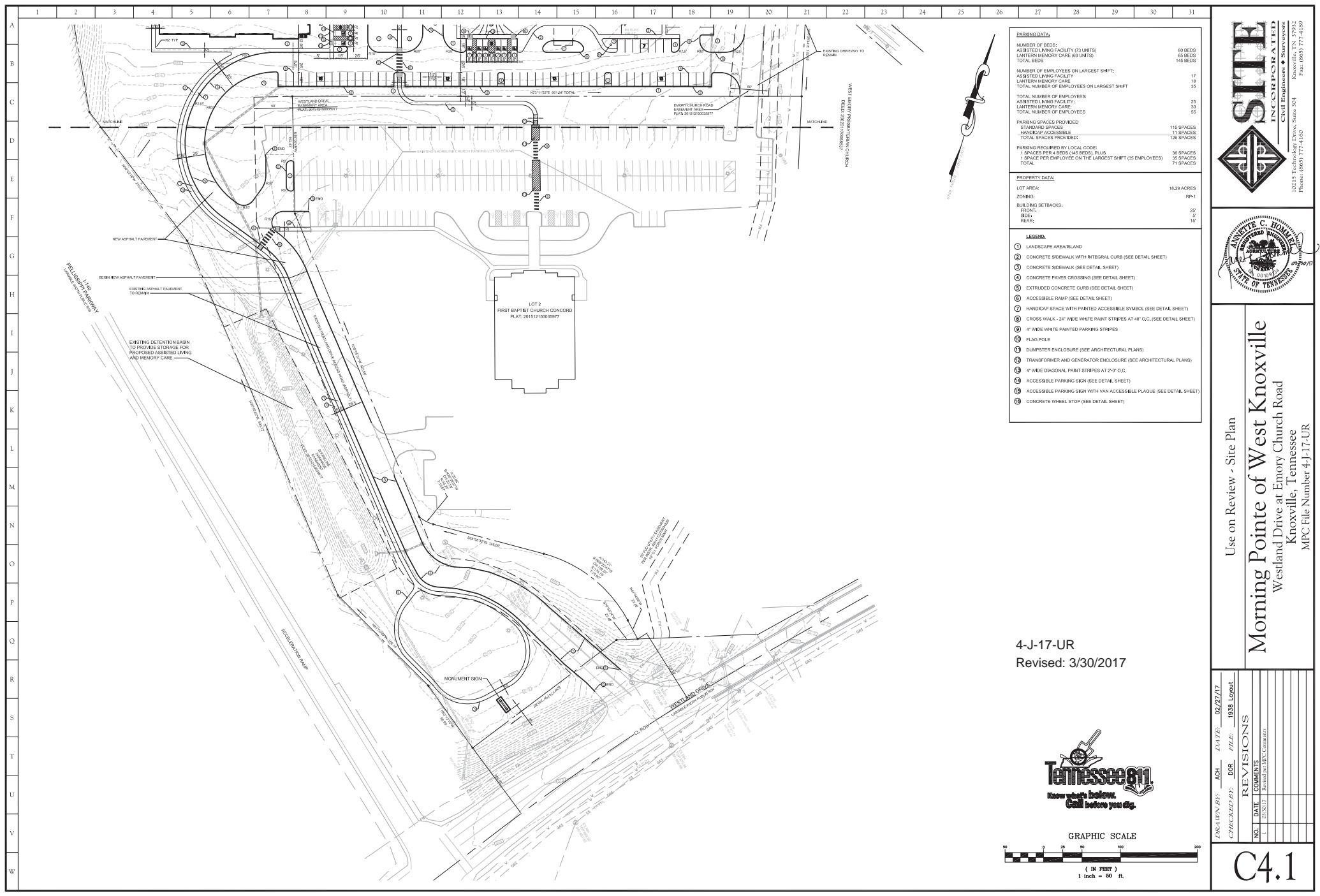
SITE INCORPORATED
Civil Engineers & Surveyors
Knoxville, Tennessee, State 34
Office: (865) 777-1166
Fax: (865) 777-4189



Use on Review - Site Plan
Morning Pointe of West Knoxville
Westland Drive at Emory Church Road
Knoxville, Tennessee
MPC File Number 4-J-17-UR

DATE: 02/27/17
CHECKED BY: ASH
FILE: 1938 Layout

C4.0



PARKING DATA:

NUMBER OF BEDS:	80 BEDS
ASSISTED LIVING FACILITY (73 UNITS)	65 BEDS
LANTERN MEMORY CARE (60 UNITS)	145 BEDS
TOTAL BEDS:	
NUMBER OF EMPLOYEES ON LARGEST SHIFT:	17
ASSISTED LIVING FACILITY	18
LANTERN MEMORY CARE	30
TOTAL NUMBER OF EMPLOYEES ON LARGEST SHIFT	55
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PROPERTY DATA:

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FRONT:	25'
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- LEGEND:**
- ① LANDSCAPE AREAS/LAND
 - ② CONCRETE SIDEWALK WITH INTEGRAL CURB (SEE DETAIL SHEET)
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 - ⑨ 4" WIDE WHITE PAINTED PARKING STRIPES
 - ⑩ FLAG POLE
 - ⑪ DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS)
 - ⑫ TRANSFORMER AND GENERATOR ENCLOSURE (SEE ARCHITECTURAL PLANS)
 - ⑬ 4" WIDE DIAGONAL PAINT STRIPES AT 2'-0" O.C.
 - ⑭ ACCESSIBLE PARKING SIGN (SEE DETAIL SHEET)
 - ⑮ ACCESSIBLE PARKING SIGN WITH VAN ACCESSIBLE FLAG (SEE DETAIL SHEET)
 - ⑯ CONCRETE WHEEL STOP (SEE DETAIL SHEET)

4-J-17-UR
Revised: 3/30/2017

GRAPHIC SCALE
(IN FEET)
1 inch = 50 ft.

SITE
INCORPORATED
Civil Engineers & Surveyors
Knoxville, Tennessee, State 384
1515 E. 6th Street
Phone: (865) 777-1166 Fax: (865) 777-4189

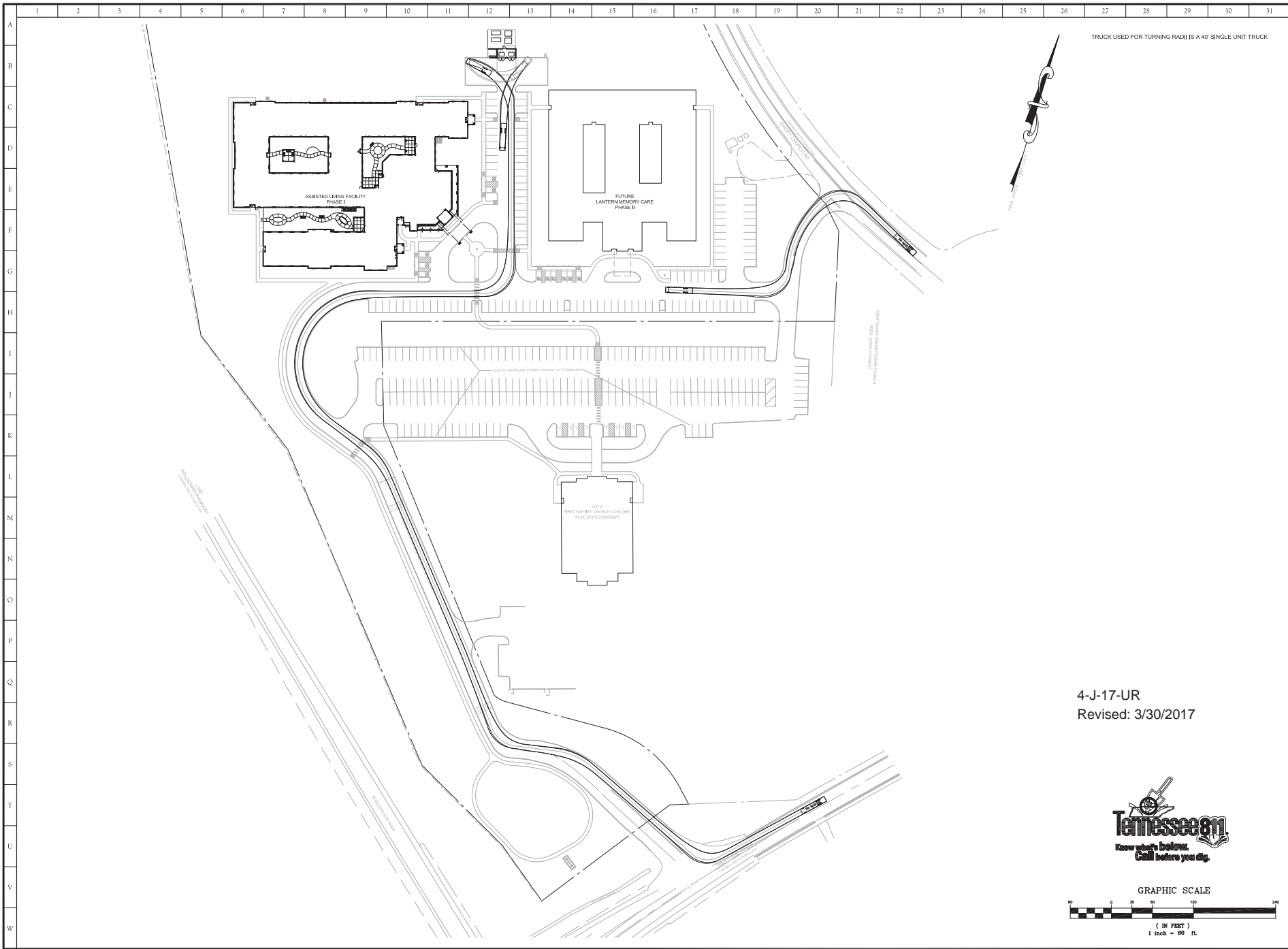


Use on Review - Site Plan
Morning Pointe of West Knoxville
Westland Drive at Emory Church Road
Knoxville, Tennessee
MPC File Number 4-J-17-UR

DATE: 02/27/17
FILE: 1938 Layout

NO.	DATE	COMMENTS
1	03/07/17	Revised per MPC Comments

C4.1



TRUCK USED FOR TURNING RADII IS A 40' SINGLE UNIT TRUCK

SITE
INCORPORATED
 Registered Professional Engineer & Surveyor
 Knoxville, Tennessee
 15115 E. Glendale Avenue, Suite 104
 Phone: (865) 777-1166
 Fax: (865) 777-4189



Use on Review - Site Plan - Truck Turns
Morning Pointe of West Knoxville
 Westland Drive at Emory Church Road
 Knoxville, Tennessee
 MPC File Number 4-J-17-UR

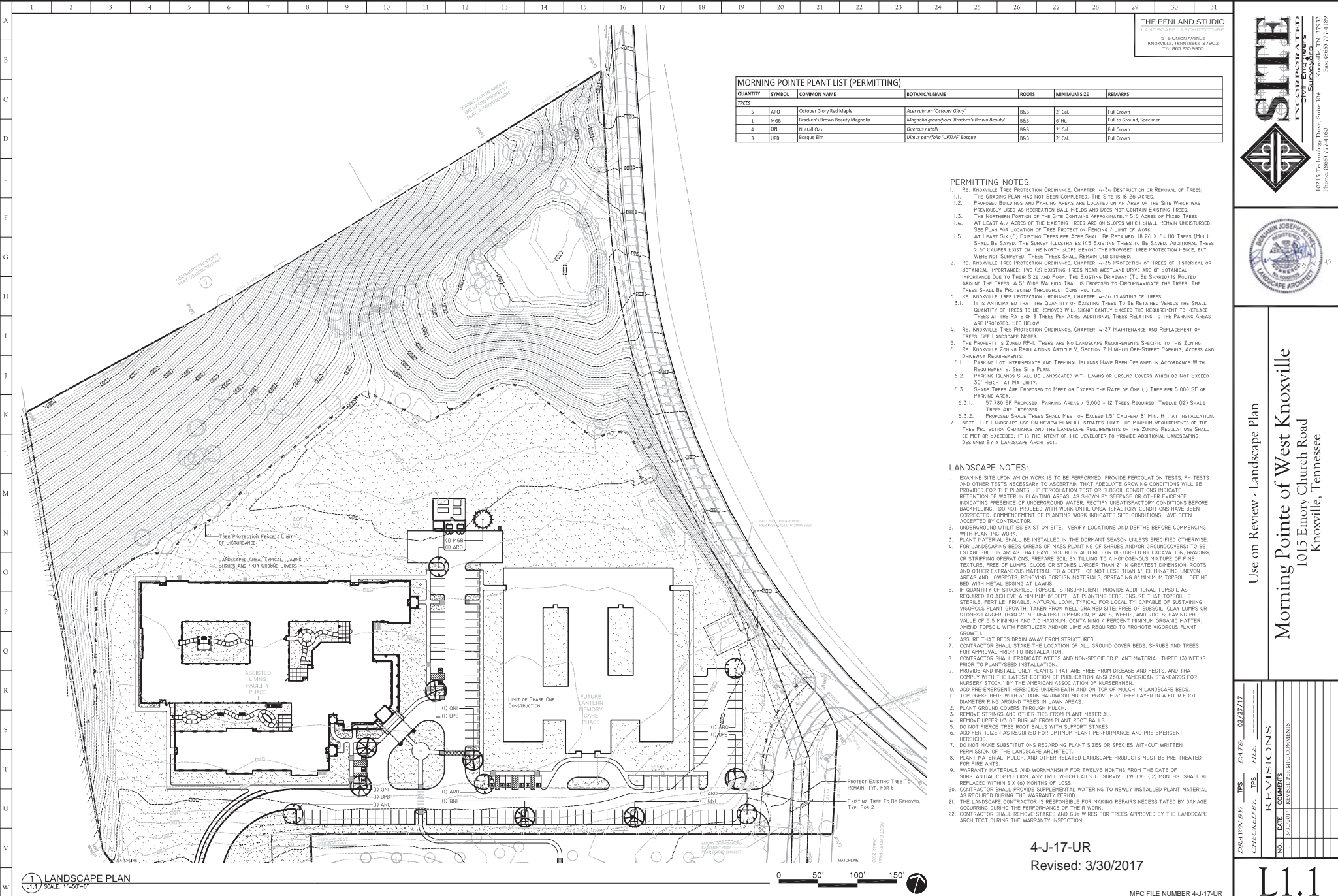
4-J-17-UR
 Revised: 3/30/2017

Tennessee 811
 Know what's below. Call before you dig.

GRAPHIC SCALE
 (IN FEET)
 1 inch = 60 ft.

NO.	DATE	COMMENTS

C4.2



MORNING POINTE PLANT LIST (PERMITTING)

TREES	QUANTITY	SYMBOL	COMMON NAME	BOTANICAL NAME	ROOTS	MINIMUM SIZE	REMARKS
	5	ARO	October Glory Red Maple	<i>Acer rubrum</i> 'October Glory'	BBB	2" Cal.	Full Crown
	1	MGB	Bracken's Brown Beauty Magnolia	<i>Magnolia grandiflora</i> 'Bracken's Brown Beauty'	BBB	2" W.	Full Ground, Specimen
	4	QNI	Nuttall Oak	<i>Quercus nuttallii</i>	BBB	2" Cal.	Full Crown
	3	UPB	Rosque Elm	<i>Ulmus parvifolia</i> 'UPPMF' Rosque	BBB	2" Cal.	Full Crown

PERMITTING NOTES:

- RE: KNOXVILLE TREE PROTECTION ORDINANCE, CHAPTER 14-34 DESTRUCTION OR REMOVAL OF TREES.
- THE GRADING PLAN HAS NOT BEEN COMPLETED. THE SITE IS 18.26 ACRES.
- PROPOSED BUILDINGS AND PARKING AREAS ARE LOCATED IN AN AREA OF THE SITE WHICH WAS PREVIOUSLY USED AS RECREATION BALL FIELDS AND DOES NOT CONTAIN EXISTING TREES.
- THE NORTHERN PORTION OF THE SITE CONTAINS APPROXIMATELY 5.6 ACRES OF MIXED TREES. AT LEAST 4.7 ACRES OF THE EXISTING TREES ARE ON SLOPES WHICH SHALL REMAIN UNDISTURBED. SEE PLAN FOR LOCATION OF TREE PROTECTION FENCING / LIMIT OF WORK.
- AT LEAST SIX (6) EXISTING TREES PER ACRE SHALL BE RETAINED. 18.26 X 10 THOUS (MIN.) SHALL BE SAVED. THE SURVEY ILLUSTRATES HIS EXISTING TREES TO BE SAVED. ADDITIONAL TREES > 6" CALIPER EXIST ON THE NORTH SLOPE BEYOND THE PROPOSED TREE PROTECTION FENCE, BUT WERE NOT SURVEYED. THESE TREES SHALL REMAIN UNDISTURBED.
- RE: KNOXVILLE TREE PROTECTION ORDINANCE, CHAPTER 14-35 PROTECTION OF TREES OF HISTORICAL OR BOTANICAL IMPORTANCE TWO (2) EXISTING TREES NEAR WESTLAND DRIVE ARE OF BOTANICAL IMPORTANCE DUE TO THEIR SIZE AND FORM. THE EXISTING DRIVEWAY (TO BE SHARDED) IS ROUTED AROUND THE TREES. A 5' WIDE WALKING TRAIL IS PROPOSED TO CIRCUMNAVIGATE THE TREES. THE TREES SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
- RE: KNOXVILLE TREE PROTECTION ORDINANCE, CHAPTER 14-36 PLANTING OF TREES:
 - IT IS ANTICIPATED THAT THE QUANTITY OF EXISTING TREES TO BE RETAINED VERSUS THE SMALL QUANTITY OF TREES TO BE REMOVED WILL SIGNIFICANTLY EXCEED THE REQUIREMENT TO REPLACE TREES AT THE RATE OF 8 TREES PER ACRE. ADDITIONAL TREES RELATING TO THE PARKING AREAS ARE PROPOSED. SEE BELOW.
 - RE: KNOXVILLE TREE PROTECTION ORDINANCE, CHAPTER 14-37 MAINTENANCE AND REPLACEMENT OF TREES; SEE LANDSCAPE NOTES.
- THE PROPERTY IS ZONED RP-1. THERE ARE NO LANDSCAPE REQUIREMENTS SPECIFIC TO THIS ZONING.
- RE: KNOXVILLE ZONING REGULATIONS ARTICLE V, SECTION 7 MINIMUM OFF-STREET PARKING, ACCESS AND DRIVEWAY REQUIREMENTS:
 - PARKING LOT INTERMEDIATE AND TERMINAL ISLANDS HAVE BEEN DESIGNED IN ACCORDANCE WITH REQUIREMENTS. SEE SITE PLAN.
 - PARKING ISLANDS SHALL BE LANDSCAPED WITH LAWNS OR GROUND COVERS WHICH DO NOT EXCEED 30" HEIGHT AT MATURITY.
 - SHADE TREES ARE PROPOSED TO MEET OR EXCEED THE RATE OF ONE (1) TREE PER 5,000 SF OF PARKING AREA.
 - 57,780 SF PROPOSED PARKING AREAS / 5,000 = 12 TREES REQUIRED. TWELVE (12) SHADE TREES ARE PROPOSED.
 - PROPOSED SHADE TREES SHALL MEET OR EXCEED 15" CALIPER/ 8" MIN. HT. AT INSTALLATION.
- NOTE: THE LANDSCAPE USE ON REVIEW PLAN ILLUSTRATES THAT THE MAJOR REQUIREMENTS OF THE TREE PROTECTION ORDINANCE AND THE LANDSCAPE REQUIREMENTS OF THE ZONING REGULATIONS SHALL BE MET OR EXCEEDED. IT IS THE INTENT OF THE DEVELOPER TO PROVIDE ADDITIONAL LANDSCAPING DESIGNED BY A LANDSCAPE ARCHITECT.

LANDSCAPE NOTES:

- EXAMINE SITE UPON WHICH WORK IS TO BE PERFORMED. PROVIDE PERCOLATION TESTS, PH TESTS AND OTHER TESTS NECESSARY TO ASCERTAIN THAT ADEQUATE GROWING CONDITIONS WILL BE PROVIDED FOR THE PLANTS. IF PERCOLATION TEST OR SUBSOIL CONDITIONS INDICATE RETENTION OF WATER IN PLANTING AREAS, AS SHOWN BY SEEPAGE OR OTHER EVIDENCE INDICATING PRESENCE OF UNDERGROUND WATER, RECTIFY UNSATISFACTORY CONDITIONS BEFORE BACKFILLING. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. COMMENCEMENT OF PLANTING WORK INDICATES SITE CONDITIONS HAVE BEEN ACCEPTED BY CONTRACTOR.
- UNDERGROUND UTILITIES EXIST ON SITE. VERIFY LOCATIONS AND DEPTHS BEFORE COMMENCING WITH PLANTING WORK.
- PLANT MATERIAL SHALL BE INSTALLED IN THE DORMANT SEASON UNLESS SPECIFIED OTHERWISE. FOR LANDSCAPING BEDS AREAS OF MASS PLANTING OR SHRUBS AND/OR GROUNDCOVERS TO BE ESTABLISHED IN AREAS THAT HAVE NOT BEEN ALTERED OR DISTURBED BY EXCAVATION, GRADING, OR STRIPPING OPERATIONS, PREPARE SOIL BY TILLING TO A HOMOGENEOUS MIXTURE OF FINE TEXTURE, FREE OF LUMPS, CLODS OR STONES LARGER THAN 2" IN GREATEST DIMENSION, ROOTS AND OTHER EXTRANEOUS MATERIAL TO A DEPTH OF NOT LESS THAN 6", ELIMINATING UNEVEN AREAS AND LOW SPOTS; REMOVING FOREIGN MATERIALS; SPREADING 8" MINIMUM TOPSOIL, DEFINE BED WITH METAL EDGING AT LAWNS.
- IF QUANTITY OF STOOPED TOPSOIL IS INSUFFICIENT, PROVIDE ADDITIONAL TOPSOIL AS REQUIRED TO ACHIEVE A MINIMUM 8" DEPTH AT PLANTING BEDS. ENSURE THAT TOPSOIL IS STERILE, FERTILE, FRABLE, NATURAL LOAM, TYPICAL FOR LOCALITY; CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH. TAKEN FROM WELL-DRAINAGE SITE; FREE OF SUBSOIL, CLAY LUMPS OR STONES LARGER THAN 2" IN GREATEST DIMENSION; PLANTS, WEEDS, AND ROOTS; HAVING PH VALUE OF 5.5 MINIMUM AND 7.0 MAXIMUM; CONTAINING 4% MINIMUM ORGANIC MATTER; AMEND TOPSOIL WITH FERTILIZER AND/OR LIME AS REQUIRED TO PROMOTE VIGOROUS PLANT GROWTH.
- ASSURE THAT BEDS DRAIN AWAY FROM STRUCTURES.
- CONTRACTOR SHALL STAKE THE LOCATION OF ALL GROUND COVER BEDS, SHRUBS AND TREES FOR APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR SHALL ERADICATE WEEDS AND NON-SPECIFIED PLANT MATERIAL THREE (3) WEEKS PRIOR TO PLANT/SEED INSTALLATION.
- PROVIDE AND INSTALL ONLY PLANTS THAT ARE FREE FROM DISEASE AND PESTS, AND THAT COMPLY WITH THE LATEST EDITION OF PUBLICATION AND 2601, "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERMEN.
- ADD PRE-EMERGENT HERBICIDE UNDERNEATH AND ON TOP OF MULCH IN LANDSCAPE BEDS.
- TOP DRESS BEDS WITH 3" DARK HARDWOOD MULCH. PROVIDE 3" DEEP LAYER IN A FOUR FOOT DIAMETER RING AROUND TREES IN LAWN AREAS.
- PLANT GROUND COVERS THROUGH MULCH.
- REMOVE STRINGS AND OTHER TIES FROM PLANT MATERIAL.
- REMOVE UPPER 1/3 OF BURLAP FROM PLANT ROOT BALLS.
- DO NOT PERCEE FREE ROOT BALLS WITH SUPPORT STAKES.
- ADD FERTILIZER AS REQUIRED FOR OPTIMUM PLANT PERFORMANCE AND PRE-EMERGENT HERBICIDE.
- DO NOT MAKE SUBSTITUTIONS REGARDING PLANT SIZES OR SPECIES WITHOUT WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.
- PLANT MATERIAL, MULCH, AND OTHER RELATED LANDSCAPE PRODUCTS MUST BE PRE-TREATED FOR FIRE ANTS.
- WARRANTY MATERIALS AND WORKMANSHIP FOR TWELVE MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION. ANY TREE WHICH FAILS TO SURVIVE TWELVE (12) MONTHS, SHALL BE REPLACED WITHIN SIX (6) MONTHS OF LOSS.
- CONTRACTOR SHALL PROVIDE SUPPLEMENTAL WATERING TO NEWLY INSTALLED PLANT MATERIAL AS REQUIRED DURING THE WARRANTY PERIOD.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAKING REPAIRS NECESSITATED BY DAMAGE OCCURRING DURING THE PERFORMANCE OF THE WORK.
- CONTRACTOR SHALL REMOVE STAKES AND GUY WIRES FOR TREES APPROVED BY THE LANDSCAPE ARCHITECT DURING THE WARRANTY INSPECTION.

4-J-17-UR
Revised: 3/30/2017

MPC FILE NUMBER 4-J-17-UR

THE PENLAND STUDIO
LANDSCAPE ARCHITECTURE
516 UNION AVENUE
KNOXVILLE, TENNESSEE 37902
TEL: 865.230.9955

SITE
INTEGRATED SITE DESIGN
CONCEPTS
SURVEYING

18514 Pk. ...
Knoxville, TN 37921
Phone: (865) 772-4466
Fax: (865) 772-4189



Use on Review - Landscape Plan
Morning Pointe of West Knoxville
1015 Emory Church Road
Knoxville, Tennessee

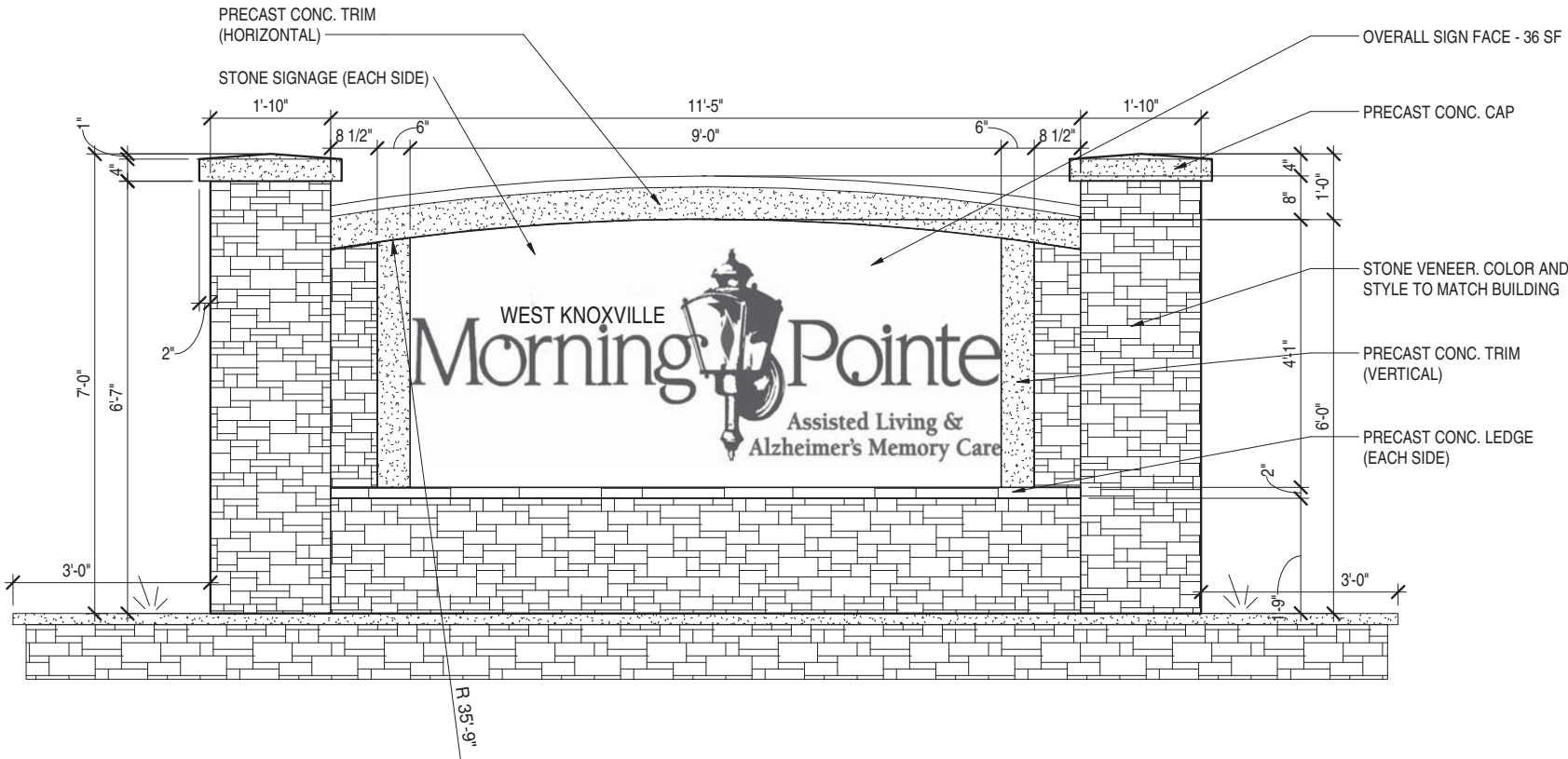
NO.	DATE	COMMENTS

DESIGNED BY: TPS DATE: 02/27/17
CHECKED BY: TPS FILE: L1.1

REVISIONS

L1.1

NO.	DATE	DESCRIPTION



MORNING POINTE OF WEST KNOXVILLE
INDEPENDENT HEALTHCARE PROPERTIES
WESTLAND DRIVE KNOXVILLE, TN

HFR PROJECT NO.:	2016176
DATE:	
PM REVIEWER:	
QC REVIEWER:	
SIGNAGE	

FINAL
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1 ELEVATION - WEST



2 ELEVATION - EAST



3 ELEVATION - NORTH



4 ELEVATION - SOUTH



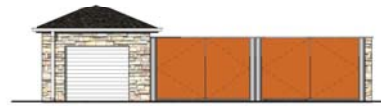
5 SOUTH ELEVATION



6 EAST ELEVATION



7 NORTH ELEVATION



8 WEST ELEVATION



East Elevation		
	Surface Area	Percent of Net*
Gross of Wall	4232	NA
Net* of Wall	2428	NA
Net* of Simulated Stone	1404	58%
Net* of Cement Siding Below Gable (or below Roof Form)	1024	42%
Net* of Wall		

*Excludes roof forms, windows, openings, and other features.

South Elevation		
	Surface Area	Percent of Net*
Gross of Wall	3050	NA
Net* of Wall	1768	NA
Net* of Simulated Stone	1295	73%
Net* of Cement Siding Below Gable (or below Roof Form)	473	27%
Net* of Wall		

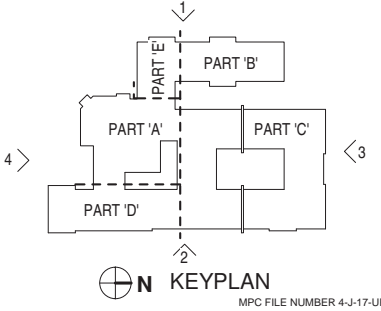
*Excludes roof forms, windows, openings, and other features.

West Elevation		
	Surface Area	Percent of Net*
Gross of Wall	4006	NA
Net* of Wall	2512	NA
Net* of Simulated Stone	901	36%
Net* of Cement Siding Below Gable (or below Roof Form)	1611	64%
Net* of Wall		

*Excludes roof forms, windows, openings, and other features.

North Elevation		
	Surface Area	Percent of Net*
Gross of Wall	4055	NA
Net* of Wall	1684	NA
Net* of Simulated Stone	516	31%
Net* of Cement Siding Below Gable (or below Roof Form)	1168	69%
Net* of Wall		

*Excludes roof forms, windows, openings, and other features.



A DEVELOPMENT OF
 INDEPENDENT HEALTHCARE PROPERTIES
 9128 LEE HIGHWAY
 COLLEWAH, TN 37383
 PH. # 423 238-5330
 FAX #423 339-2105

HFR DESIGN
 214 Commerce Drive, Suite 300
 Brentwood, TN 37027
 615-970-1800
 615-970-1800
 hfrdesign.com

NO.	DATE	DESCRIPTION
1	05/12/16	PROPOSED SITE CONCEPT FOR MORNING POINTE OF WEST KNOXVILLE

PROPOSED SITE CONCEPT FOR
 MORNING POINTE OF WEST
 KNOXVILLE
 WESTLAND DRIVE, KNOXVILLE TN

HFR PROJ. NO.: 2016176
 DATE: 5/12/16

COLOR ELEVATIONS

A
 4.00

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31

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V
W



FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

STITE
INCORPORATED
Civil Engineers & Surveyors
1515 S. ...
Knoxville, Tennessee 37922
Phone: (865) 777-1466
Fax: (865) 774-4189

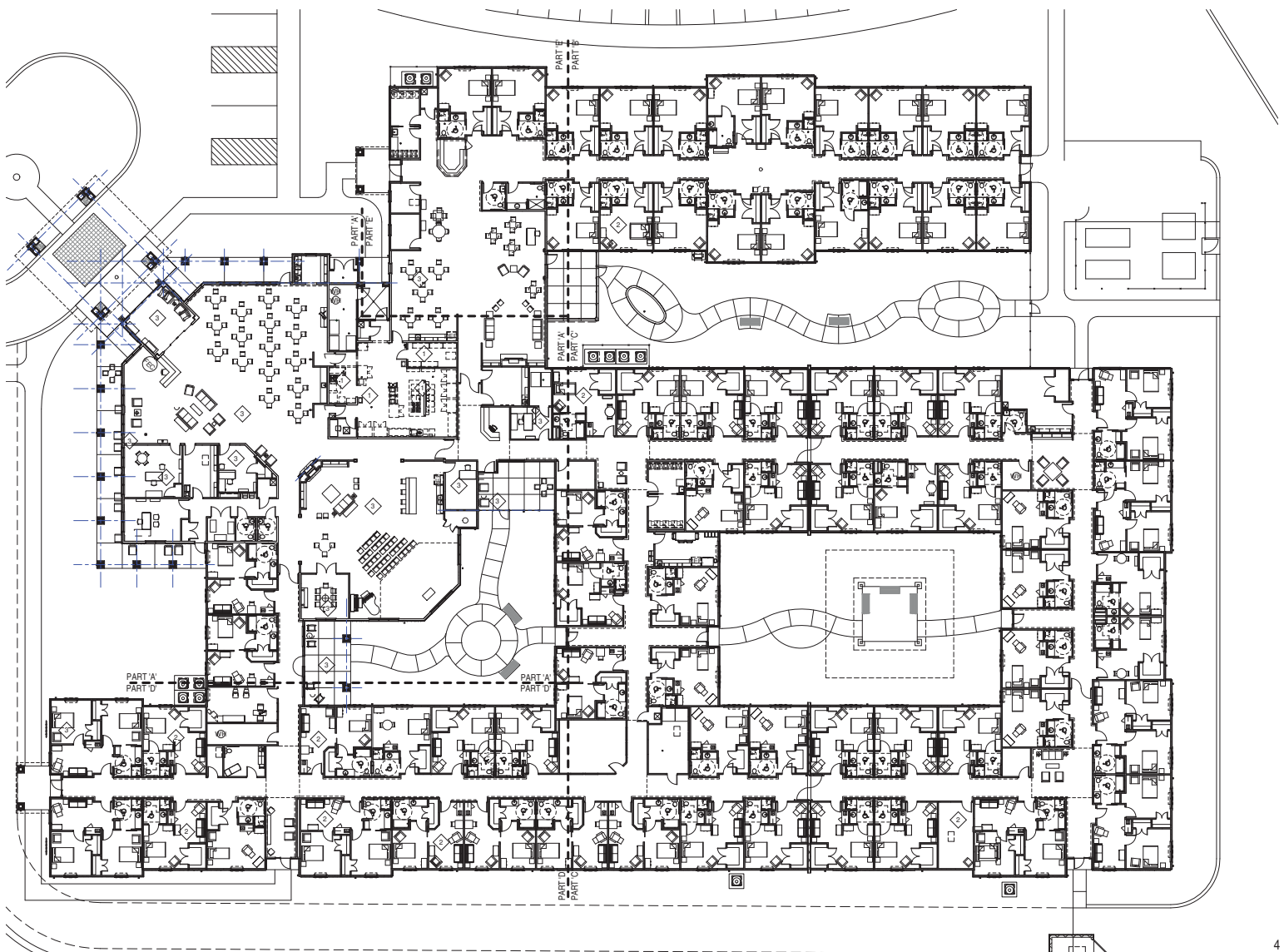
Use on Review - Building Elevation - Lantern Memory Care
Morning Pointe of West Knoxville
1015 Emory Church Road
Knoxville, Tennessee 37922

REVISIONS	
NO.	DATE COMMENTS

A 4.01

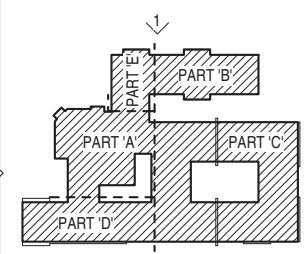
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 PLOT DATE: 28/2017 8:44:55 AM



EQUIPMENT PLAN
 0 4 8 16 32

NOTES: \diamond
 1. SEE 1142.02 FOR EQUIPMENT LIST
 2. FURNITURE SUPPLIED BY RESIDENT, TYP.
 3. FURNITURE SUPPLIED BY OWNER



KEYPLAN
 N

MPC FILE NUMBER 4-J-17-UR

HFR DESIGN 214 Cornerstone Drive Suite 300 Brentwood, TN 37027 615-370-1800 615-370-1800 hfrdesign.com		A DEVELOPMENT OF INDEPENDENT HEALTHCARE PROPERTIES 9129 LEE HIGHWAY COLLETAH, TN 37383 PH. # 423-238-5330 FAX #423-339-2105	
PROPOSED SITE CONCEPT FOR MORNING POINTE OF WEST KNOXVILLE WESTLAND DRIVE, KNOXVILLE, TN		HFR PROJ. NO.: 2016176 DATE: 5/12/16	
EQUIPMENT & FURNITURE PLAN		A 12.01	

Use on Review Development Plan

Name of Applicant: Morning Pointe of West Knoxville

Date Filed: 2/27/2017

Meeting Date: 4/13/2017

Application Accepted by: M. Payne

Fee Amount: — File Number: Development Plan —

Fee Amount: 1200.00 File Number: Use on Review 4-J-17-UR



PROPERTY INFORMATION

Address: 1015 EMORY CHURCH RD
 General Location: NE QUADRANT OF WESTLAND DR & I-140, WEST SIDE OF EMORY CHURCH RD
 Tract Size: 18.29 AC No. of Units: —
 Zoning District: RP-1 <5du/ac
 Existing Land Use: P-QP

Planning Sector: SOUTHWEST COUNTY
 Sector Plan Proposed Land Use Classification: C1
 Growth Policy Plan Designation: PLANNED
 Census Tract: 57.01
 Traffic Zone: 234
 Parcel ID Number(s): 144 03013
 Jurisdiction: City Council 2 District
 County Commission 65 District

PROPERTY OWNER/OPTION HOLDER

PLEASE PRINT
 Name: J. FRANKLIN FARROW
 Company: INDEPENDENT HEALTHCARE PROPERTIES, LLC
 Address: 6020 ARBURY WAY
 City: OLTEWAH State: TN Zip: 37363
 Telephone: 423-238-5330
 Fax: 423-238-3853
 E-mail: ffarrow@ihpllc.com

APPLICATION CORRESPONDENCE

All correspondence relating to this application should be sent to:

PLEASE PRINT
 Name: ANNETTE HOMMEL
 Company: SITE, INC.
 Address: 10215 TECHNOLOGY DR SUITE 304
 City: KNOXVILLE State: TN Zip: 37934
 Telephone: 865-777-4168
 Fax: 865-777-4189
 E-mail: ahommel@site-incorporated.com

APPROVAL REQUESTED

Development Plan: Residential Non-Residential
 Home Occupation (Specify Occupation)

 Other (Be Specific)

APPLICATION AUTHORIZATION

I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request or holders of option on same, whose signatures are included on the back of this form.

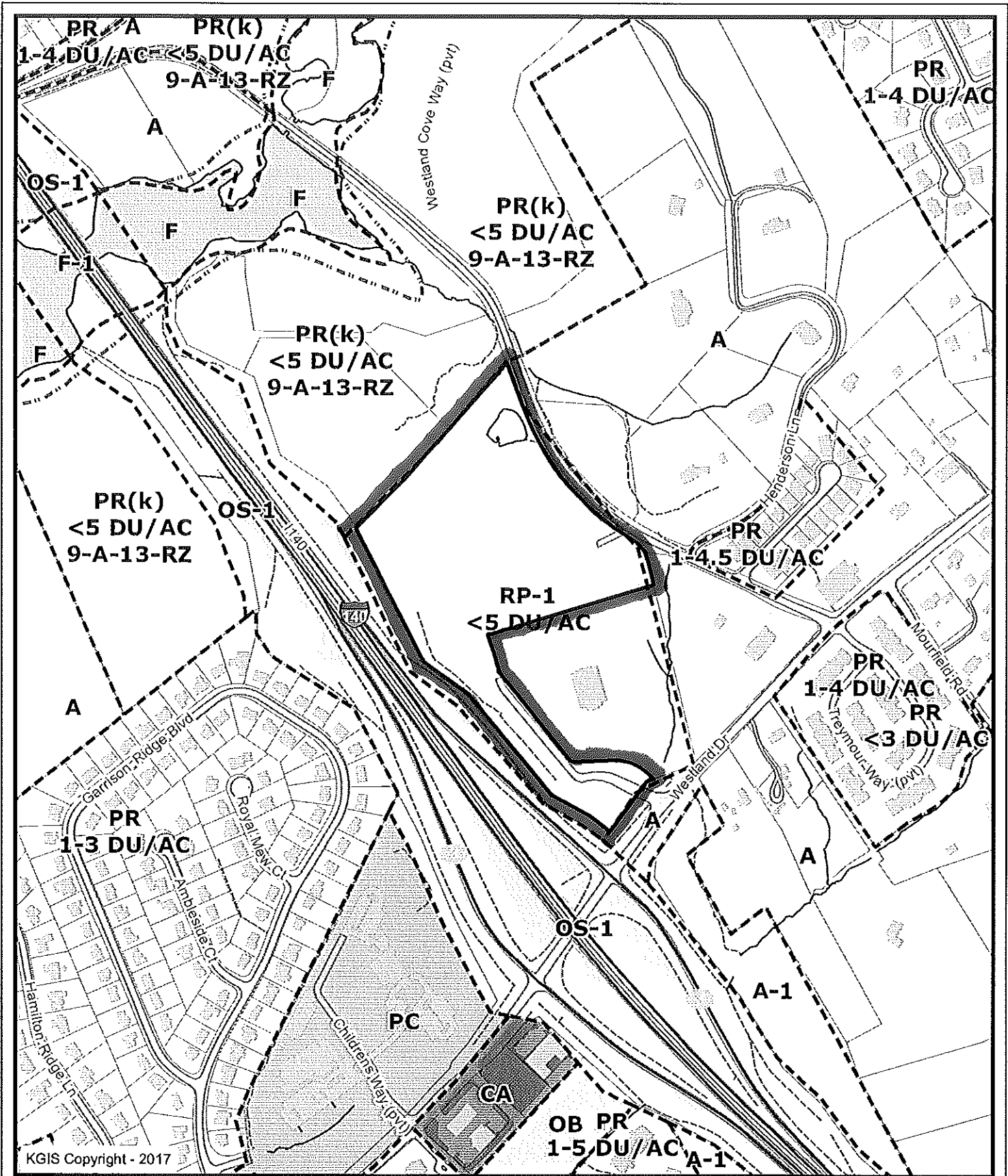
Signature: [Signature]
 PLEASE PRINT
 Name: J. Franklin Farrow
 Company: INDEPENDENT HEALTHCARE PROPERTIES, LLC
 Address: 6020 ARBURY WAY
 City: OLTEWA State: TN Zip: 37363
 Telephone: 423-238-5330
 E-mail: ffarrow@ihpllc.com

SIGNATURES OF ALL PROPERTY OWNERS INVOLVED OR HOLDERS OF OPTION ON SAME MUST BE LISTED BELOW:

Please Sign in Black Ink:

(If more space is required attach additional sheet.)

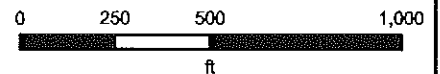
Name	Address	City	State	Zip	Owner	Option
Mark Kelly	11704 KENNESAW BLVD	KNOXVILLE, TN	TN	37922	✓	



Letter Portrait

Printed: 2/27/2017 at 4:26:50 PM

Knoxville - Knox County - KUB Geographic Information System



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