

**KNOXVILLE/KNOX COUNTY METROPOLITAN PLANNING COMMISSION
 USE ON REVIEW REPORT**

▶ **FILE #:** 6-J-17-UR

AGENDA ITEM #: 54

AGENDA DATE: 6/8/2017

▶ **APPLICANT:** TEDS PROPERTIES 2, LLC

OWNER(S): TEDS Properties 2, LLC

TAX ID NUMBER: 59 E A 002 & 003

[View map on KGIS](#)

JURISDICTION: City Council District 4

STREET ADDRESS: 2936 Miller Place Way

▶ **LOCATION:** Southwest and southeast side of Miller Place Way, northeast side of Kinzel Way.

▶ **APPX. SIZE OF TRACT:** 1.35 acres

SECTOR PLAN: North City

GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)

ACCESSIBILITY: Access is via Miller Place Way, a private Joint Permanent Easement with 26' pavement width within a 40' right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Love Creek

▶ **ZONING:** SC-3 (Regional Shopping Center)

▶ **EXISTING LAND USE:** Vacant land

▶ **PROPOSED USE:** Zaxby's Restaurant

HISTORY OF ZONING: None noted

SURROUNDING LAND USE AND ZONING: North: Car wash - SC-3 (Regional Shopping Center)

South: Sam's Club - SC-3 (Regional Shopping Center)

East: Eye care and dentist - SC-3 (Regional Shopping Center)

West: Mall - SC-3 (Regional Shopping Center)

NEIGHBORHOOD CONTEXT: Property in the area is zoned SC-3 shopping center and C-3 and C-6 commercial. Development in the area consists of Knoxville Center Mall, Wal Mart / Sam's and other commercial uses.

STAFF RECOMMENDATION:

▶ **APPROVE** the development plan for a drive-thru restaurant that is approximately 3,847 square feet, subject to the 7 conditions.

1. Connection to sanitary sewer and meeting any other relevant requirements of the Knox County Health Department.
2. Meeting all applicable requirements of the Knoxville Department of Engineering.
3. Installation of landscaping as shown on the landscape plan within six months of the issuance of an occupancy permit for this project.
4. Meeting all applicable requirements of the Knoxville Urban Forester.

5. All signage is subject to compliance with the Knoxville Zoning Ordinance Sign Regulations and approval by the Knoxville Plans Review and Inspections Division and the Planning Commission Staff.
6. Obtaining approval and recording a final plat for the combination of Tax parcels 059EA002 and 059EA003 into a single lot.
7. Meeting all applicable requirements of the Knoxville Zoning Ordinance.

With the conditions noted, this plan meets the requirements for approval of a use on review in the SC-3 District.

COMMENTS:

The applicant is proposing to build a drive-thru restaurant in the Millertown Commerce Park subdivision with approximately 3,847 square feet of floor area. The 1.35 acre site is located on the southwest and southeast side of Miller Place Way and the northeast side of Kinzel Way. The development site includes two lots within the subdivision that will have to be replatted into a single lot.

Access to the site includes a driveway onto Miller Place Way and a driveway connection to the Aspen Dental and Visionworks development site located to the southeast. A total of 51 parking spaces are being provided for this site.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE

1. All public utilities are available to serve the site.
2. The proposed restaurant should have minimal impact on traffic in the area since it has access out to the traffic signal at the intersection of Millertown Pike and Kinzel Way.
3. The proposed development is compatible with the scale and intensity of the surrounding development.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOXVILLE ZONING ORDINANCE

1. With the recommended conditions, the proposed restaurant meets all requirements of the SC-3 zoning as well as the general criteria for approval of a use on review.
2. The proposed commercial development is consistent with the following general standards for uses permitted on review: The proposal is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas since the development is located off of a minor arterial street. No surrounding land uses will pose a hazard or create and unsuitable environment for the proposed use.

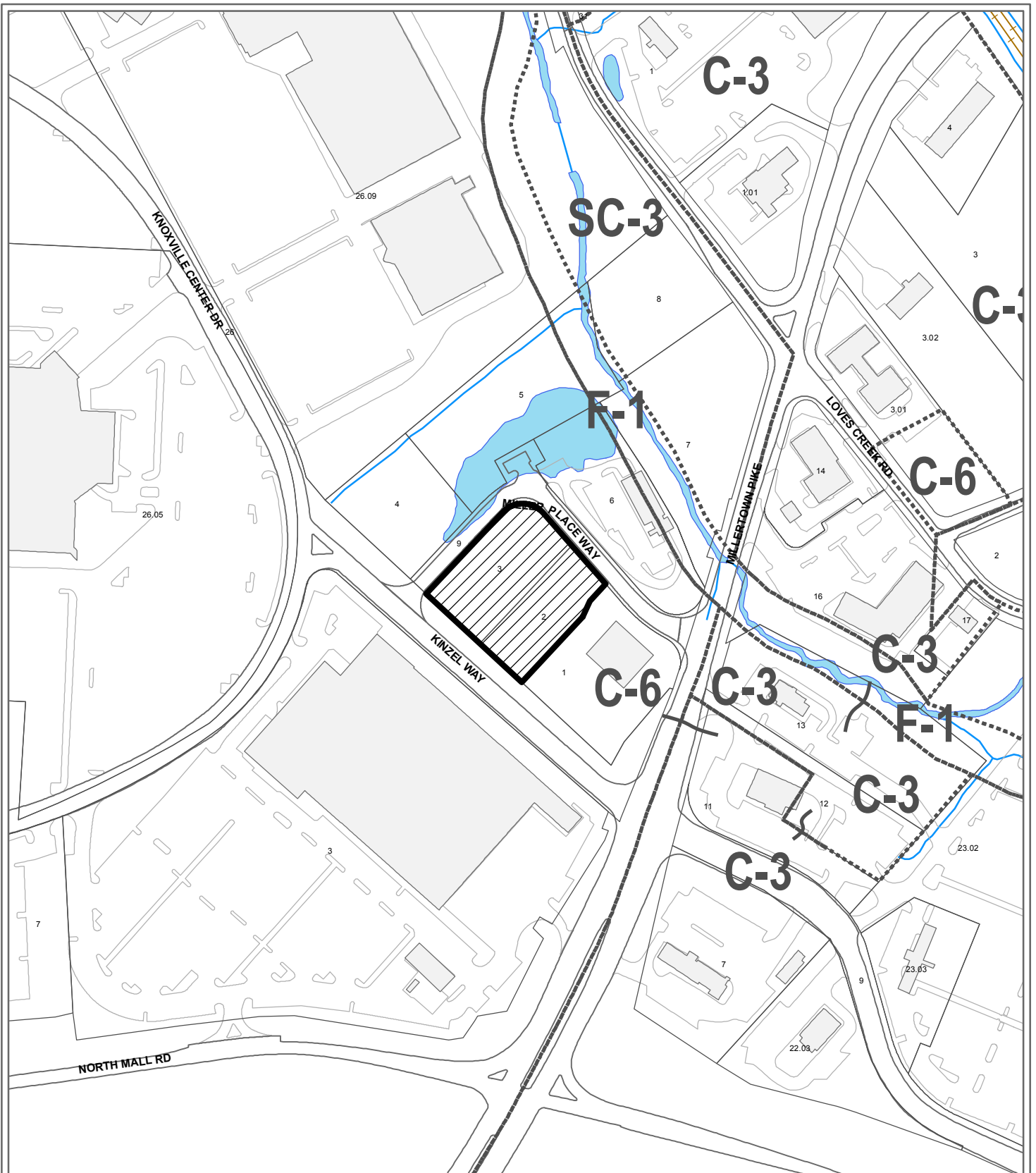
CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

1. The proposal is consistent with the Knoxville One Year Plan and the North City Sector Plan which propose regional commercial uses for this site.
2. The site is located within the Urban Growth Area (inside City limits) on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: A traffic impact study was prepared by the applicant. The findings of that study were used in formulating the recommendations of this staff report.

ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal an MPC decision in the City.



**6-J-17-UR
USE ON REVIEW**

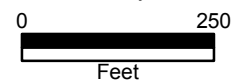


Zaxby's Restaurant in SC-3 (Regional Shopping Center)

Original Print Date: 5/17/2017 Revised:
Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

Petitioner: TEDS Properties 2, LLC

Map No: 59
Jurisdiction: City



SITE DEVELOPMENT PLANS

ZAXBY'S

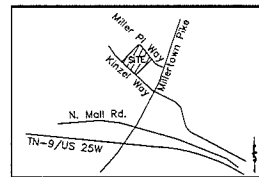


FOR

TEDS PROPERTIES 2, LLC

2936 MILLER PLACE WAY, KINZEL WAY,
KNOXVILLE, TN

CITY OF KNOXVILLE
PARCEL No.: 059EA002 & 059EA003
CITY CLOCK: 33970
CITY WARD: 33
DECEMBER 22, 2016



LOCATION MAP
SCALE: N.T.S.

| | |
|--|--|
| PROJECT INFO: Owner: DEVELOPER TEDS Properties 2, LLC 2533 Pine Park Circle Pk3 Knoxville, TN 37918 Contact: Dennis Strange Tel: (706) 499-6131 | ENGINEER: Carter Engineering Consultants, Inc. 3651 Mars Hill Road Suite 2000 Knoxville, TN 37919 Contact: Mark Combs, P.E. Tel: (706) 725-1200 email: mark@cartereengineering.net |
|--|--|

EXISTING SITE CONDITIONS:

- 1.1. CLEARING AND GRUBBING SHALL CONSIST OF CLEARING THE SURFACE OF THE GRASS AND THE DISPERSED AREAS OF THE SITE. LOGS, SNAGS, BRUSH, UNDESIRABLE HEAVY GROWTH OF GRASSES, WEEDS, FENCE STRUCTURES, DEBRIS AND RUBBER TIRE TRACKS SHALL BE REMOVED. MATERIALS SUCH AS EXISTING FOUNDATIONAL SOIL MATERIAL UNSUITABLE FOR FOUNDATIONS, IT SHALL ALSO CONSIST OF GRUBBING OF STUMPS, ROOTS, FOUNDATIONS AND DISPOSAL OF ALL SUCH MATERIAL. ALL HOUSES REMAINING AFTER THE GRUBBING OPERATION AND EMPOWERMENT AREAS AND EXCAVATION AREAS LESS THAN TWO (2) FEET IN DEPTH SHALL HAVE BEEN BUILT UP TO THE FINISHED GRADE. IT IS NECESSARY TO FLATTEN OUT SLOPES, REVEALED WITH ACCEPTABLE MATERIAL THAT IS PROPERLY COMPACTED IN LAYERS BY TAMPER, ROLLERS OR CONSTRUCTION EQUIPMENT.
- 1.2. TURNING ON SITE IS NOT PERMITTED WITHOUT WRITTEN APPROVAL OF THE LOCAL GOVERNING AUTHORITY HAVING JURISDICTION.
- 1.3. EXISTING TREES AND AREAS OUTSIDE OF GRADING LIMITS LINE.
- 1.4. TREES AND VEGETATION TO BE SAVED SHALL BE PROTECTED FROM DAMAGE BY A FENCE BARRIERS, PRIOR TO, OR DURING, CLEARING OPERATIONS. TREES TO BE SAVED SHALL BE DESIGNATED BY THE OWNER. NO TREES ARE TO BE REMOVED FROM THE AREA OUTSIDE THE LIMITS OF GRUBBING OR FROM SPECIFICALLY DESIGNATED AREAS WITHIN THE CONSTRUCTION AREAS. IF, IN THE OPINION OF THE ENGINEER, A CONTRACTOR DETERMINES THAT A TREE NOT TO BE REMOVED, THE CONTRACTOR SHALL PROVIDE A PREDETERMINED AMOUNT FOR EACH DAMAGED TREE. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ALL COSTS ASSOCIATED IN REPAIRING THE DAMAGED TREES FROM THE SITE.
- 1.5. FILL.
- 1.6. ALL EXCAVATION SHALL BE TO THE FINISHED GRADE. TOPSOIL, ALL DECAYED ORGANIC MATERIAL, RUBBER, AND OTHER UNSUITABLE MATERIAL WITHIN THE AREA UPON WHICH FILL IS TO BE PLACED SHALL BE STRIPPED OR RE-STRIPPED PRIOR TO PLACING THE FILL. EXISTING MATERIAL IN NO CASE SHALL UNDESIRABLE MATERIAL REMAIN IN OR UNDER THE FILL AREA. SLOPED EXCAVATION SURFACE STEEPER THAN ONE VERTICAL TO FOUR HORIZONTAL, ON WHICH FILL IS TO BE PLACED, SHALL BE PLACED, STRIPPED OR RESTRIPPED IN SUCH A MANNER THAT THE FILL TO BE PLACED SHALL BE AT LEAST 10% OF THE MAXIMUM ALLOWABLE BENTILITY. EXISTING STABILIZED SAND OR SAND AND SILT (SANDS, SILTS AND SILTY SANDS) SHALL BE WITHIN 3 PERCENT OF THE OPTIMUM MOISTURE CONTENT. PROOF FILL TO BE PLACED SHALL BE COMPACTED AS MINIMUM STRUCTURES ARE TO BE PLACED. A LOADS DUMP TRUCK OR OTHER RUBBER TIRE EQUIPMENT SHALL BE USED TO COMPACT THE FILL. THE FILL SHOULD BE PLACED AND COMPACTED IN ONE DIRECTION AND THEN PERPENDICULAR TO THE OTHER DIRECTION OF ROLLING.
- 1.7. ANY FILLING, FILLING OF SOFT AREAS SHALL BE CLASSIFIED AS ACCORDANCE WITH ASTM D2924 AS DM, GC, SW, SM, SC, SL AND CL-SOL CLASSIFIED AS PT, OH, OL, CH AND MH ARE NOT SATISFACTORY AS COMPACTED FILL.
- 1.8. FILL AND REPAIRMENTS SHALL BE CONSTRUCTED AT THE LOCATIONS AND TO THE LINES AND GRADES INDICATED ON CONSTRUCTION PLANS. THE SLOPE SHALL NOT EXCEED 3 FOOT HORIZONTAL TO 1 FOOT VERTICAL. EXCEPT WHERE INDICATED OTHERWISE, THE FILL SHALL BE PLACED IN THE PUBLIC RIGHT OF WAY THE COMPLETE FILL SHALL BE COMPACTED TO THE GRADE OF THE TYPICAL SECTION INDICATED ON THE CONSTRUCTION PLANS. MATERIAL PLACED ON THE GRADE SHALL BE USED IN ORDERING THE FILL. FILL MATERIAL SHALL BE REASONABLY FREE FROM FORTS, OTHER ORGANIC MATERIALS, AND OTHERS. THE MAXIMUM SIZE OF THE DIMENSIONS GREATER THAN 6 INCHES IN DIMENSIONS FOR UTILITIES NO FILLER MATERIAL WILL BE PERMITTED IN THE FILL. STEPS HAVING A MAXIMUM DIMENSION OF 4 INCHES WILL NOT BE PERMITTED IN THE FILL. SIX INCHES OF FILL OR FURNISHMENT OR UTILITY THROUGH THE MATERIAL SHALL BE PLACED IN EXCESSIVE HORIZONTAL AREAS MORE THAN 6 INCHES THICK, UNLESS OTHERWISE NOTED, IN LOOSE DEPTH FOR THE WIDTH OF THE EXCAVATION AND SHALL BE COMPACTED TO AT LEAST 90 PERCENT OF THE MAXIMUM ALLOWABLE DRY TIGHT DENSITY ACCORDING TO STANDARD PROCTOR (ASTM D998) TO 4 INCHES DEPTH. MOISTURE SHALL BE WITHIN 3 PERCENT OF THE OPTIMUM MOISTURE CONTENT TO 10 INCHES OF THE FINISH FINISH AND/OR FINISH SURFACE SHALL BE COMPACTED TO 95 PERCENT OF THE MAXIMUM DRY OPTIMUM STANDARD PROCTOR. FILL SHALL BE ROLLED WITH A VIBRATORY ROLLER, A SHEEPFOOT ROLLER, OR A LEADER RUBBER TIRE DUMP TRUCK, SCAPERS OR LOADERS. IF THE SOIL IS TOO DRY, A WATER TRUCK WITH SPRAYERS OR A WATER TRUCK SHALL BE USED TO BRING THE SOIL TO THE MOISTURE RANGE. THE WATER SHALL BE THOROUGHLY AND PROPERLY MIXED WITH THE SOIL PRIOR TO COMPACTION.
- 1.9. STEEL CHAIN PILES SHALL BE PLACED ON THE BOTTOM AND HAND TAMPED TO SAFE OF THE PIPE. A COLUMN OF SOIL SHALL BE TAMPED ABOVE THE CROWN OF THE PIPE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS SO THAT THE HEAVY RIG EQUIPMENT CAN BE USED TO BRING THE SOIL TO A DENSITY AS SPECIFIED ABOVE FOR ALL AREAS.
- 1.10. IF SOIL INVESTIGATION REPORT IS PROVIDED, THEN FOLLOW THE RECOMMENDATIONS OF THE REPORT IF THEY EXCEED THE RECOMMENDATIONS OF THESE SPECIFICATIONS.
- 1.11. TOPSOIL.
- 1.12. UNLESS OTHERWISE SPECIFIED, AREAS DESIGNATED ON GRADING OPERATIONS THAT CONTAIN A BLANKET OF TOPSOIL SHALL BE STRIPPED AND PLACED IN CONVENTION STOCKPILES FOR LATER USE AS A TOPSOIL BLANKET ON THE NEW GRADING AREAS. STRIPPED AREAS OR EXCAVATIONS, TOPSOIL SHALL BE STRIPPED FROM ALL AREAS DESIGNATED TO RECEIVE FILL. THE STRIPPING OF MATERIAL FOR TOPSOIL SHALL BE CAREFULLY CONTROLLED AND ONLY THE QUANTITY REQUIRED SHALL BE STOCKPILED. MATERIAL STOCKPILED SHALL BE STORED IN A SATISFACTORY MANNER TO AVOID TREE DAMAGE. WHEN GRADING OPERATIONS FINISH, MATERIAL STOCKPILED, TOPSOIL SHALL BE HAULED AND SPREAD DIRECTLY ON THE AREAS DESIGNATED TO RECEIVE TOPSOIL.
- 1.13. ROCK EXCAVATION.
- 1.14. IF ROCK IS ENCOUNTERED, CLEAR AWAY EXHAUST TO EXPOSE MATERIAL. NOTIFY OWNER AND RECEIVE WRITTEN INSTRUCTIONS PRIOR TO EXCAVATION. REMOVE ROCK TO A DEPTH OF 6 INCHES BELOW AND 6 INCHES ON EACH SIDE OF TIES IN TRENCHES. MEASUREMENT OF DEPTH OF ROCK TO BE REMOVED SHALL BE MADE. ROCK EXCAVATION SHALL BE MADE IN ACCORDANCE WITH AGREEMENT WITH THE OWNER.

NOTE:

A PRE-CONSTRUCTION CONFERENCE WILL BE REQUIRED PRIOR TO ISSUANCE OF A PERMIT. PLEASE CONTACT THE DEPARTMENT OF ENGINEERING (215-2148) TO SCHEDULE THE PRE-CONSTRUCTION CONFERENCE ONCE THE INSTALLATION OF THE EROSION AND SEDIMENT CONTROLS HAS BEEN CERTIFIED.

CONSTRUCTION NOTES:

1. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO COVER A COMPLETE PROJECT. READY TO USE, AND ALL THE NECESSARY FOR A COMPLETE AND WORKABLE JOB SHALL BE UNDERSTOOD AND NOTED. ANY DISCREPANCY SHALL BE IMMEDIATELY REPORTED TO THE OWNER OR HIS REPRESENTATIVE. NOTIFY THE ENGINEER OF THE LOCAL GOVERNING AUTHORITY AT WHICH BEFORE EVERY PHASE OF CONSTRUCTION.
2. ALL WORK SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL CODES. ALL NECESSARY PERMITS AND FEES SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE, UNLESS ALREADY OBTAINED BY THE OWNER. THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO UNMASK, DETERMINE, EXPOSE, MARK, AND ALL OTHER UTILITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE DRAWINGS. THE UTILITIES SHOWN ARE THOSE LOCATED BY THE SURVEYOR OR RECORDS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF THE UTILITIES SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES WITHIN THE LIMITS OF WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. EXCAVATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR CONSENT OF THE ENGINEER AND THE MUNICIPALITY MAY CAUSE FOR THE WORK TO BE UNACCEPTABLE.
4. ALL MATERIALS SHALL BE NEW UNLESS USED ON SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER.
5. THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRIERS AROUND THE WORK AND SHALL PROVIDE PROTECTION AGAINST WATER DAMAGE AND SOIL EROSION.
6. ALL WORK SHALL BE PERFORMED IN A FINISHED AND WORKMANLIKE MANNER TO THE EXACT SATISFACTION OF THE OWNER AND IN ACCORDANCE WITH THE BEST RECOMMENDED TRADE PRACTICES.
7. THE CONTRACTOR SHALL PROVIDE SHEETING AND SHORING FOR ALL TRENCH CONSTRUCTION IN ACCORDANCE WITH EXISTING PRACTICES.
8. ALL PIPE 12 INCH AND SMALLER SHALL BE Laid ON SMOOTH, CONTINUOUS GRADES WITH NO VIBES OR SETTLES.
9. PIPE EXPOSURE SHALL BE PROTECTED AS NECESSARY TO BE CONSIDERED AS MINIMUM REQUIRING FOR RELATIVELY DRY STABLE EARTH CONDITIONS. ADDITIONAL SLOTTING SHALL BE REQUIRED FOR ROCK TRENCHES TO PROVIDE SUDS ADDITIONAL BEDDING AS REQUIRED TO PROTECT CONSTRUCTION WORK.
10. ALL STORM DRAINAGE INLET STRUCTURES SHALL HAVE METAL RIMS AND COVER FOR ACCESS.
11. ALL ANGLES SHOWN ARE 90 DEGREE UNLESS OTHERWISE SPECIFIED.
12. ALL GRADES SHOWN ARE FINISHED GRADES. CONTRACTOR SHALL VERIFY DIMENSIONS, GRADES, AND EXISTING ELEVATIONS PRIOR TO CONSTRUCTION.
13. CONCRETE CURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS GIVEN ON PLANS. MATERIALS, EQUIPMENT, METHODS OF CONSTRUCTION AND WORKMANSHIP SHALL COMPLY TO STATE D.O.T. STANDARD SPECIFICATIONS. ALL CONCRETE SHALL HAVE 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS, WITH A MAXIMUM SLUMP OF FOUR (4) INCHES, UNLESS SPECIFIED OTHERWISE.
14. ALL EXPOSED CONCRETE SHALL HAVE A FINE SAND FINISH.
15. FINISHES AND IMPROVEMENTS COURSE AND FINISHING CONCRETE SURFACE AND FORM MATERIALS, EQUIPMENT, METHODS FOR CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO STATE D.O.T. STANDARD SPECIFICATIONS. CONTRACTOR TO FILL VERIFY ALL STORM, SANITARY, WATER AND OTHER UTILITIES LOCATIONS AND INVERTS PRIOR TO INSTALLATION OF ALL UTILITIES. VERIFY EXPOSURE PRIOR TO PROCEEDING WITH ANY WORK IF DISCREPANCY FOUND.
16. CONTRACTOR SHALL USE CONCRETE THROTTLE FOR INSTALLATION OF WATER MAINS.
17. ALL DIMENSIONS ARE MEASURED TO THE BACK OF CURBS UNLESS OTHERWISE NOTED.
18. A PRE-CONSTRUCTION CONFERENCE WILL BE REQUIRED PRIOR TO ISSUANCE OF A PERMIT. PLEASE CONTACT THE DEPARTMENT OF ENGINEERING (215-2148) TO SCHEDULE THE PRE-CONSTRUCTION CONFERENCE ONCE THE INSTALLATION OF THE EROSION AND SEDIMENT CONTROLS HAS BEEN CERTIFIED BY THE ENGINEER. LOCALITIES REQUIRED TO SIGN OFF ON THE DESIGN PLANS TO ISSUANCE OF A SITE DEVELOPMENT PERMIT. PLEASE CONTACT:
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE DRAWINGS. THE UTILITIES SHOWN ARE THOSE LOCATED BY THE SURVEYOR OR RECORDS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATION OF THE UTILITIES SHOWN. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES WITHIN THE LIMITS OF WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. EXCAVATIONS FROM THESE PLANS AND SPECIFICATIONS WITHOUT PRIOR CONSENT OF THE ENGINEER AND THE MUNICIPALITY MAY CAUSE FOR THE WORK TO BE UNACCEPTABLE.

SHEET INDEX

| SHEET No. | DESCRIPTION |
|-----------|---------------------------------|
| 1 | COVER |
| 2 | EXISTING CONDITIONS & DEMO PLAN |
| 3 | SITE PLAN |
| 4 | UTILITY PLAN |
| 5 | GRADING AND DRAINAGE PLAN |
| 6 | SWPPP PHASE I |
| 7 | SWPPP PHASE II |
| 8 | SWPPP PHASE III |
| 9 | SWPPP DETAILS |
| 10 | STANDARD DETAILS |
| 11 | PIPE PROFILES |
| 12 | WATER QUALITY UNIT DETAILS |
| 13 | MENU BOARD DETAILS |
| 14 | CANOPY DETAILS |
| 15 | ADA ACCESS PLAN |
| 16 | ADA DETAILS |
| 17 | LANDSCAPE PLAN |
| 18 | OUTDOOR LIGHTING PLAN |
| 19 | TRUCK TURNING PLAN |

REVISION BLOCK

| REV. NO. | DATE | DESCRIPTION |
|----------|----------|------------------------------|
| C | 03/09/17 | ADD W.Q. PER CITY |
| D | 04/10/17 | ADDRESS CITY COMMENTS |
| E | 04/11/17 | BID SET |
| F | 04/26/17 | ADDRESS ENGINEERING COMMENTS |
| G | 05/19/17 | ADDRESS MPC COMMENTS |



Carter Engineering Consultants, Inc.
3651 Mars Hill Road
Suite 2000
Watkinsville, GA 30677
P: 770.725.1200
F: 706.559.7435
www.cartereengineering.net



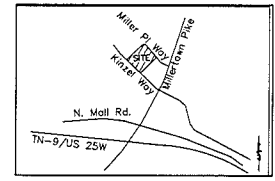
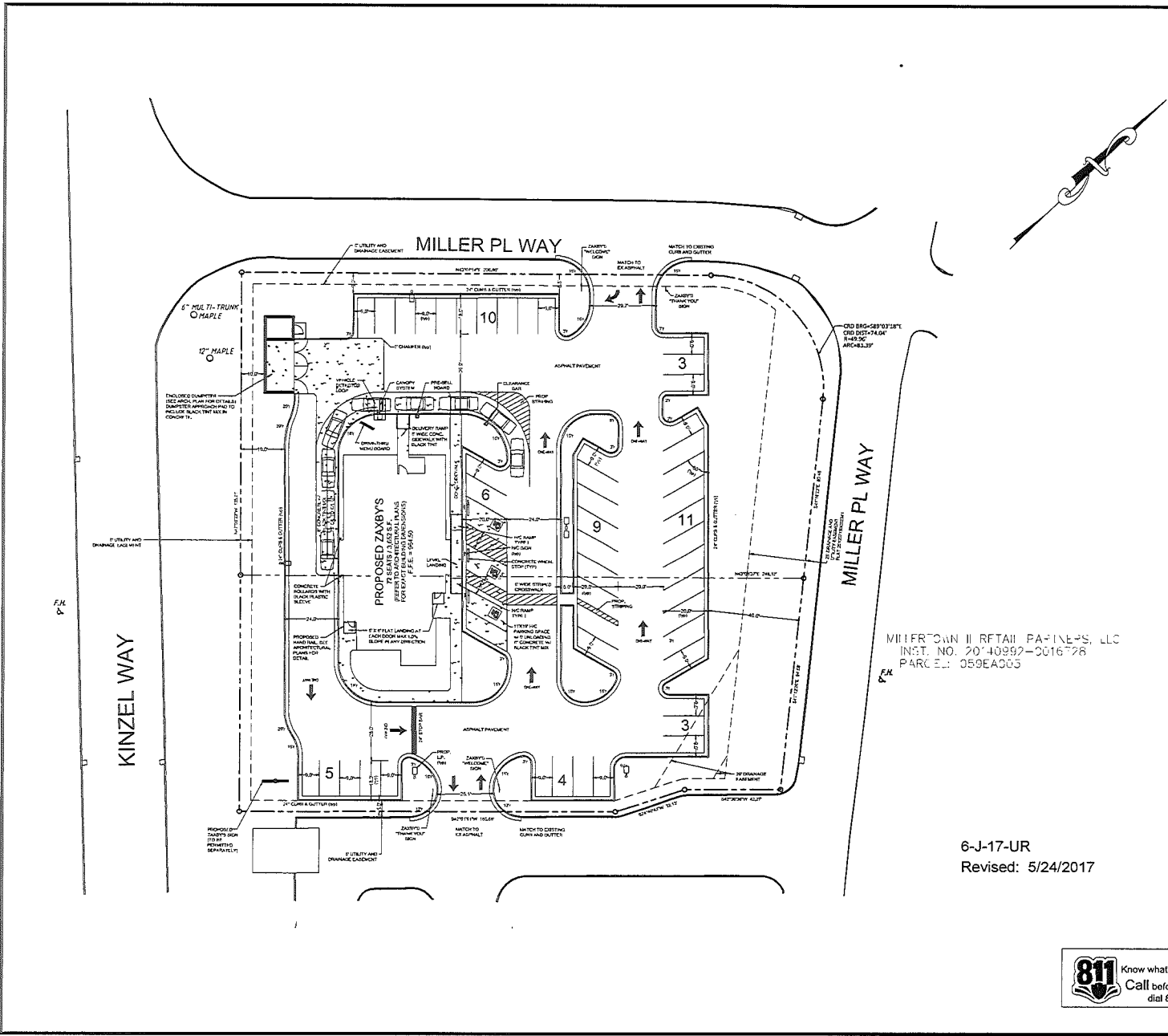
05/19/17

24-HOUR CONTACT: Dennis Strange (706) 499-5131

SITE DEVELOPMENT PLANS



FOR
TEDS PROPERTIES 2, LLC
ZONED: SCS
TOTAL SITE AREA: 1.25 ACRES
DISTURBED AREA: 1.26 ACRES



LOCATION MAP
SCALE: N.T.S.

PROJECT NOTES:
 OWNER: DEVELOPER: TEDS PROPERTIES 2, LLC
 807 Main Street
 Knoxville, TN 37918
 Contact: Dennis Gierke
 Tel: (615) 948-5111

ENGINEER:
 Carter Engineering Consultants, Inc.
 2811 West Main Street, Suite 2000
 Murfreesboro, TN 37137
 Contact: Bob Carter, P.E.
 Tel: (615) 722-1200
 Fax: (615) 722-1204
 www.carterengineering.net

Property located at Miller Way, City Of Knoxville, East County TN
 Current zoning: R6C3
 Subsection: Parcel 22 Parcel # 046-07
 Proposed use: 2-family detached
 Proposed building height: 8' 0"

Boundary and lot dimensions of improvements obtained from deed for survey by Young's & Babler dated November 11, 2014. Parcel # 0715-042-276

Project includes: 1.26 acres, undivided area = 1.26 acres
 Current parcel is 1.26 acres (R6C3)

The property shown herein does not include a 100 year flood plain according to Flood Insurance Risk Map # F40000110, dated August 3, 2013.

The engineer and architect have been given access to all existing and proposed utility lines and structures. The engineer and architect assume no responsibility for the accuracy of the information or data obtained from utility companies or other sources. The engineer and architect assume no responsibility for the accuracy of the information or data obtained from utility companies or other sources. The engineer and architect assume no responsibility for the accuracy of the information or data obtained from utility companies or other sources.

It is the responsibility of the contractor to locate all utilities prior to commencing work and notify engineer if a discrepancy is found.

The engineer shall verify the exact locations of all existing and proposed utility lines and structures. The engineer shall verify the exact locations of all existing and proposed utility lines and structures. The engineer shall verify the exact locations of all existing and proposed utility lines and structures.

UNDERGROUND UTILITIES DISCLAIMER
 Information regarding the location, depth, size, character and location of existing underground utility lines and structures is obtained from utility companies or other sources. The engineer and architect assume no responsibility for the accuracy of the information or data obtained from utility companies or other sources. The engineer and architect assume no responsibility for the accuracy of the information or data obtained from utility companies or other sources.

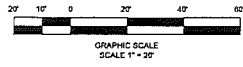
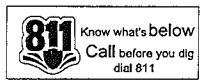
SITE DATA:
 TOTAL SITE AREA = 1.26 ACRES
 BUILDING AREA = 2,847 S.F.
 PROPOSED IMPERVIOUS AREA = 4,043 ACRES
 PROPOSED IMPERVIOUS COVERAGE = 61.2 %
 DISTURBED AREA = 1.26 ACRES

PARKING DATA:
 PARKING SPACE REQUIRE:
 - TEN (10) PARKING SPACES PER EACH ONE THOUSAND (1,000) S.F. OF GROSS FLOOR AREA
 2,847 S.F. / 1000 = 10 + 36.47 = 36 SPACES REQUIRED

PARKING SPACES PROVIDED:
 51 SPACES
 (48 required spaces provided)
 (3 handicap spaces provided)

MILLERTOWN II RETAIL PARTNERS, LLC
 INST. NO. 2014-09897-0016728
 PARCEL: 059EA005

6-J-17-UR
 Revised: 5/24/2017



| | | |
|----------------|----------|-------------------|
| REVISION BLOCK | DATE | DESCRIPTION |
| 1 | 05/19/17 | ISSUE FOR PERMITS |
| 2 | 05/24/17 | ISSUE FOR PERMITS |
| 3 | 05/24/17 | ISSUE FOR PERMITS |
| 4 | 05/24/17 | ISSUE FOR PERMITS |
| 5 | 05/24/17 | ISSUE FOR PERMITS |
| 6 | 05/24/17 | ISSUE FOR PERMITS |
| 7 | 05/24/17 | ISSUE FOR PERMITS |
| 8 | 05/24/17 | ISSUE FOR PERMITS |
| 9 | 05/24/17 | ISSUE FOR PERMITS |
| 10 | 05/24/17 | ISSUE FOR PERMITS |

05/19/17

CARTER ENGINEERING CONSULTANTS

Carter Engineering Consultants, Inc.
 2811 West Main Street, Suite 2000
 Murfreesboro, TN 37137
 Tel: (615) 722-1200
 Fax: (615) 722-1204
 www.carterengineering.net

SITE DEVELOPMENT PLANS
 for
TEDS PROPERTIES 2, LLC
 MILLER WAY, CITY OF KNOXVILLE, INDOX COUNTY TN

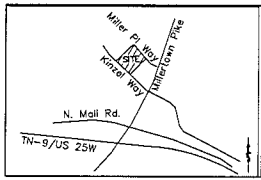
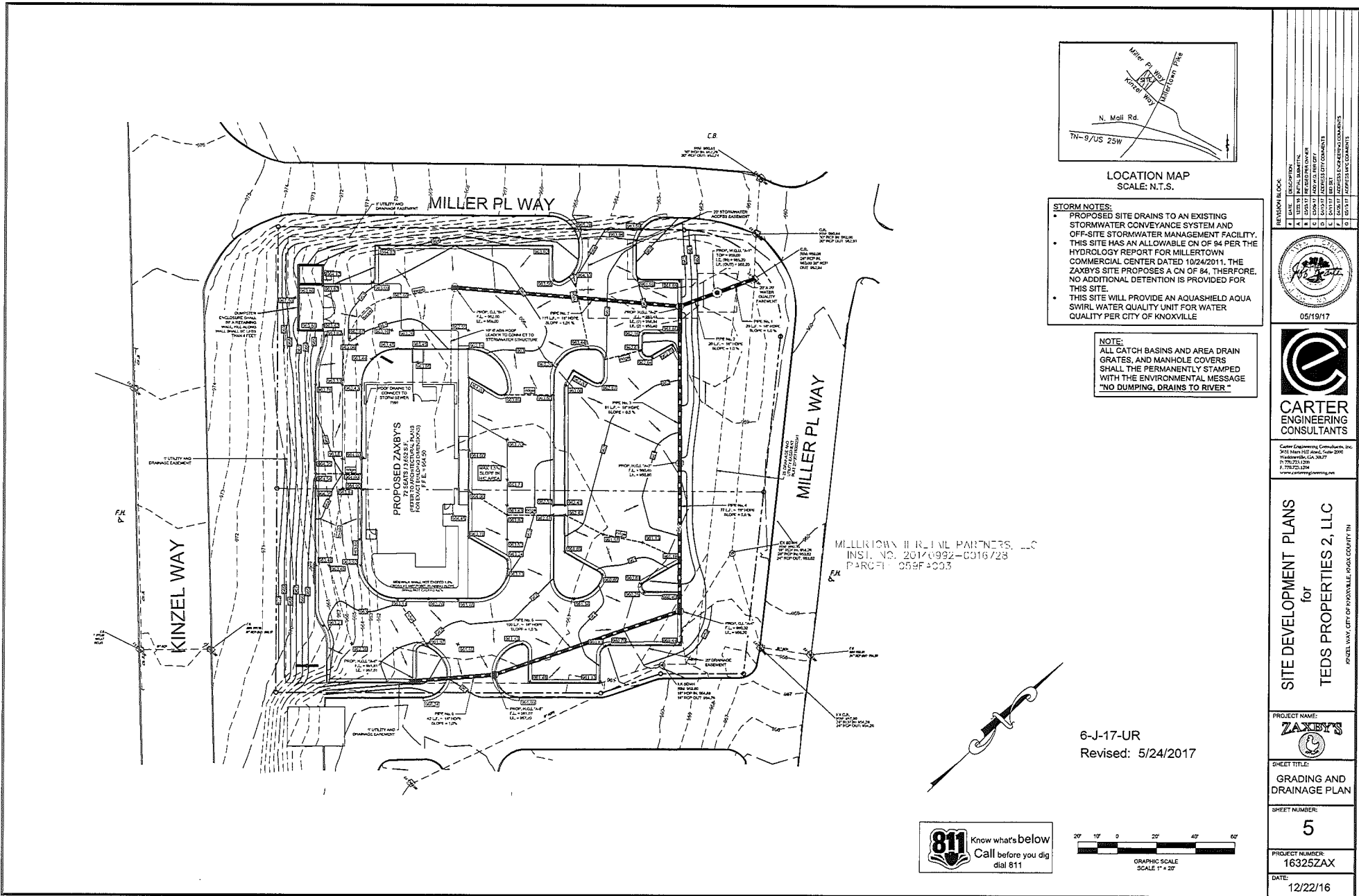
PROJECT NAME:
ZAXBY'S

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
3

PROJECT NUMBER:
16325ZAX

DATE:
12/22/16



LOCATION MAP
SCALE: N.T.S.

STORM NOTES:

- PROPOSED SITE DRAINS TO AN EXISTING STORMWATER CONVEYANCE SYSTEM AND OFF-SITE STORMWATER MANAGEMENT FACILITY.
- THIS SITE HAS AN ALLOWABLE CN OF 94 PER THE HYDROLOGY REPORT FOR MILLERTOWN COMMERCIAL CENTER DATED 10/24/2011. THE ZAXBY'S SITE PROPOSES A CN OF 94. THEREFORE, NO ADDITIONAL DETENTION IS PROVIDED FOR THIS SITE.
- THIS SITE WILL PROVIDE AN AQUASHIELD AQUA SWIRL WATER QUALITY UNIT FOR WATER QUALITY PER CITY OF KNOXVILLE

NOTE:
ALL CATCH BASINS AND AREA DRAIN GRATES, AND MANHOLE COVERS SHALL BE PERMANENTLY STAMPED WITH THE ENVIRONMENTAL MESSAGE "NO DUMPING, DRAINS TO RIVER"

MILLERTOWN II REJAL PARTNERS, LLC
INST. NO. 2017-0992-C016/28
PARCEL: 059F4003

| REVISION BLOCK | NO. | DESCRIPTION |
|----------------|-----|--------------------|
| 1 | 1 | ISSUED FOR PERMITS |
| 2 | 1 | ISSUED FOR PERMITS |
| 3 | 1 | ISSUED FOR PERMITS |
| 4 | 1 | ISSUED FOR PERMITS |
| 5 | 1 | ISSUED FOR PERMITS |
| 6 | 1 | ISSUED FOR PERMITS |
| 7 | 1 | ISSUED FOR PERMITS |
| 8 | 1 | ISSUED FOR PERMITS |
| 9 | 1 | ISSUED FOR PERMITS |
| 10 | 1 | ISSUED FOR PERMITS |



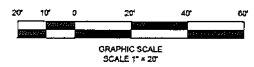
05/19/17

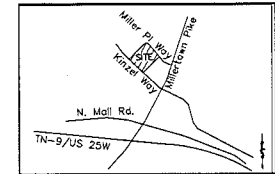
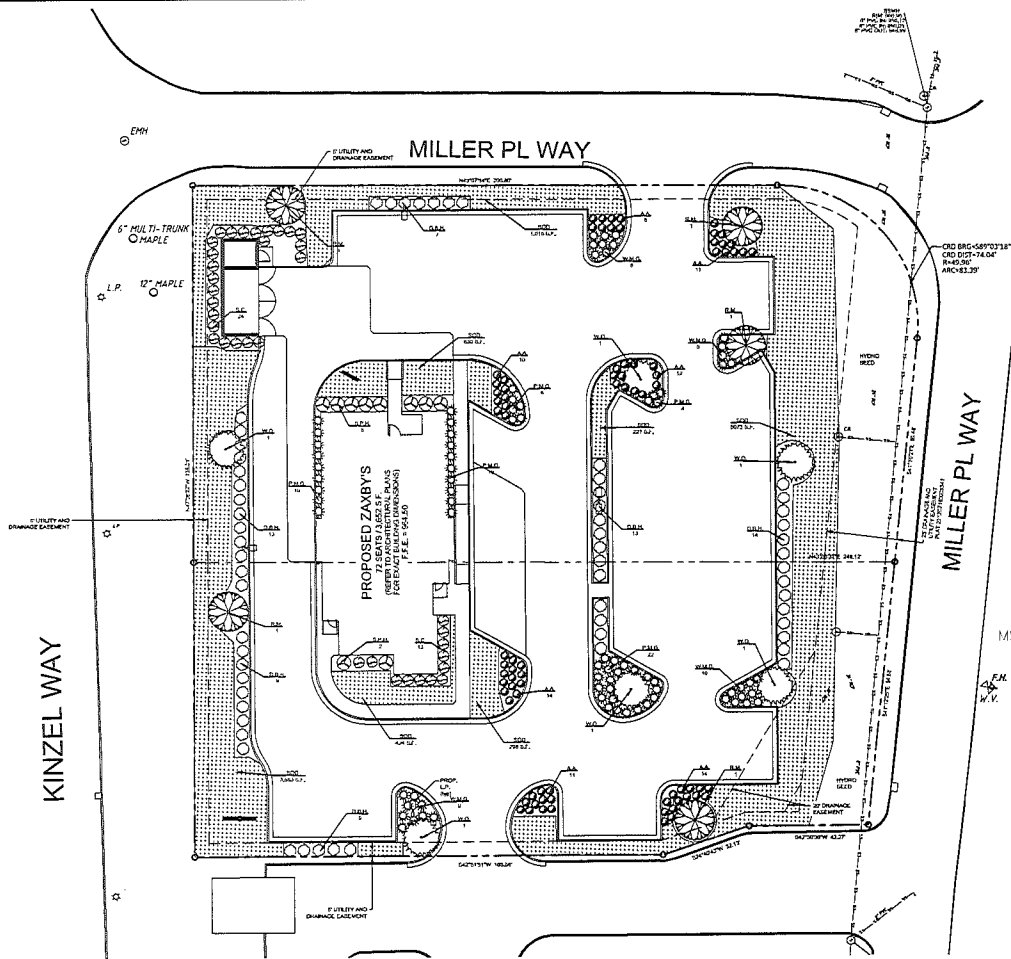
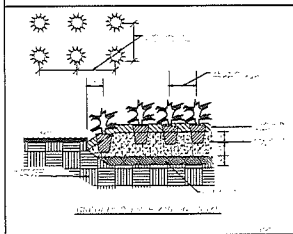
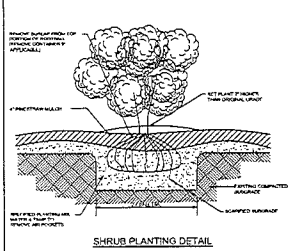
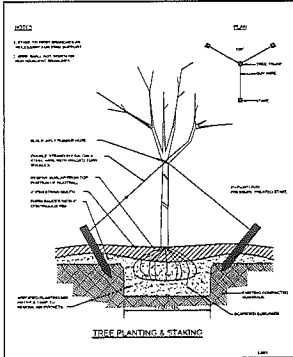
CARTER ENGINEERING CONSULTANTS

Carter Engineering Consultants, Inc.
3018 Main Hill Road, Suite 2000
Millersville, TN 38077
P: 731.721.1200
F: 731.721.1204
www.carterengineering.com

SITE DEVELOPMENT PLANS
for
TEDS PROPERTIES 2, LLC
KINZEL WAY, CITY OF KNOXVILLE, MOORE COUNTY, TN

| | |
|----------------|---------------------------|
| PROJECT NAME | ZAXBY'S |
| SHEET TITLE | GRADING AND DRAINAGE PLAN |
| SHEET NUMBER | 5 |
| PROJECT NUMBER | 16325ZAX |
| DATE | 12/22/16 |



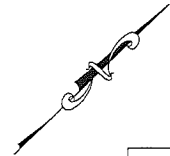


- NOTES:**
1. LANDSCAPING SHOWN ON THIS PLAN SHALL BE MAINTAINED IN COMPLIANCE WITH CITY LANDSCAPING ORDINANCE.
 2. TREES SOLICITED FOR PLANTING MUST BE FREE FROM INJURY, PESTS, DISEASE, NUTRITIONAL DEFICIENCIES OR ROOT DEFECTS AND MUST BE OF GOOD VIGOR, SO AS TO ASSURE A REASONABLE EXPECTATION OF SURVIVABILITY.
 3. ALL TREES TO BE BALLED AND BURLAPPED WHEN SHIPPED TO THE SITE FOR PLANTING.
 4. TREES TO BE A MINIMUM OF 12" IN HEIGHT AT TIME OF PLANTING.
 5. ALL DISTURBED GROUND SHALL HAVE GROUND COVER OF MULCH AND/OR GRASSING.
 6. SOD SHALL BE SPECIFIED BY OWNER.
 7. IRRIGATION SHALL BE PROVIDED.

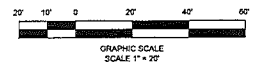
LANDSCAPE CALCULATIONS
 BASED ON CITY REQUIREMENTS:
 CANOPY TREE PER 5,000 S.F. OF PARKING AREA
 1 TREE 18" DBH S.F. X 12,561 S.F. OF PARKING AREA = 647 TREES = 7 TREES REQUIRED
 11 TREES PROPOSED (5 18" AND 6 12")

6-J-17-UR
 Revised: 5/24/2017

| Plant List: | | | | | |
|--|------------------------|--------|--------------|-------------|----------|
| Botanical Name | Common Name | Key | Size - Units | Quantity | Spacing |
| Groundcover | | | | | |
| Sod | AS DIRECTED BY OWNER | SOD | | 10,697 S.F. | |
| Shrubs | | | | | |
| <i>Ilex cornuta</i> 'Dwarf Burford' | Dwarf Burford Holly | D.B.H. | 18" High | 57 | 3' o.c. |
| <i>Muhlenbergia capillaris</i> 'White Cloud' | White Muhly Grass | W.M.G. | 18" High | 43 | 3' o.c. |
| <i>Muhlenbergia capillaris</i> | Pink Muhly Grass | P.M.G. | 18" High | 22 | 3' o.c. |
| <i>Ilex crenata</i> 'Sky Pencil' | Sky Pencil Holly | S.P.H. | 30" High | 19 | 4' o.c. |
| <i>Camelia Sasangua</i> 'Yukioko' | Sasanqua Camellia | S.C. | 36" High | 37 | 3' o.c. |
| <i>Azalea</i> 'Conilee' | Azalea Autumn Amethyst | A.A. | 24" High | 82 | 3' o.c. |
| Trees | | | | | |
| <i>Acer rubrum drummondii</i> | Red Maple | R.M. | 3" Caliper | 5 | SEE PLAN |
| <i>Quercus phellos</i> | Willow Oak | W.O. | 3" Caliper | 6 | SEE PLAN |



811 Know what's below
 Call before you dig
 dial 811



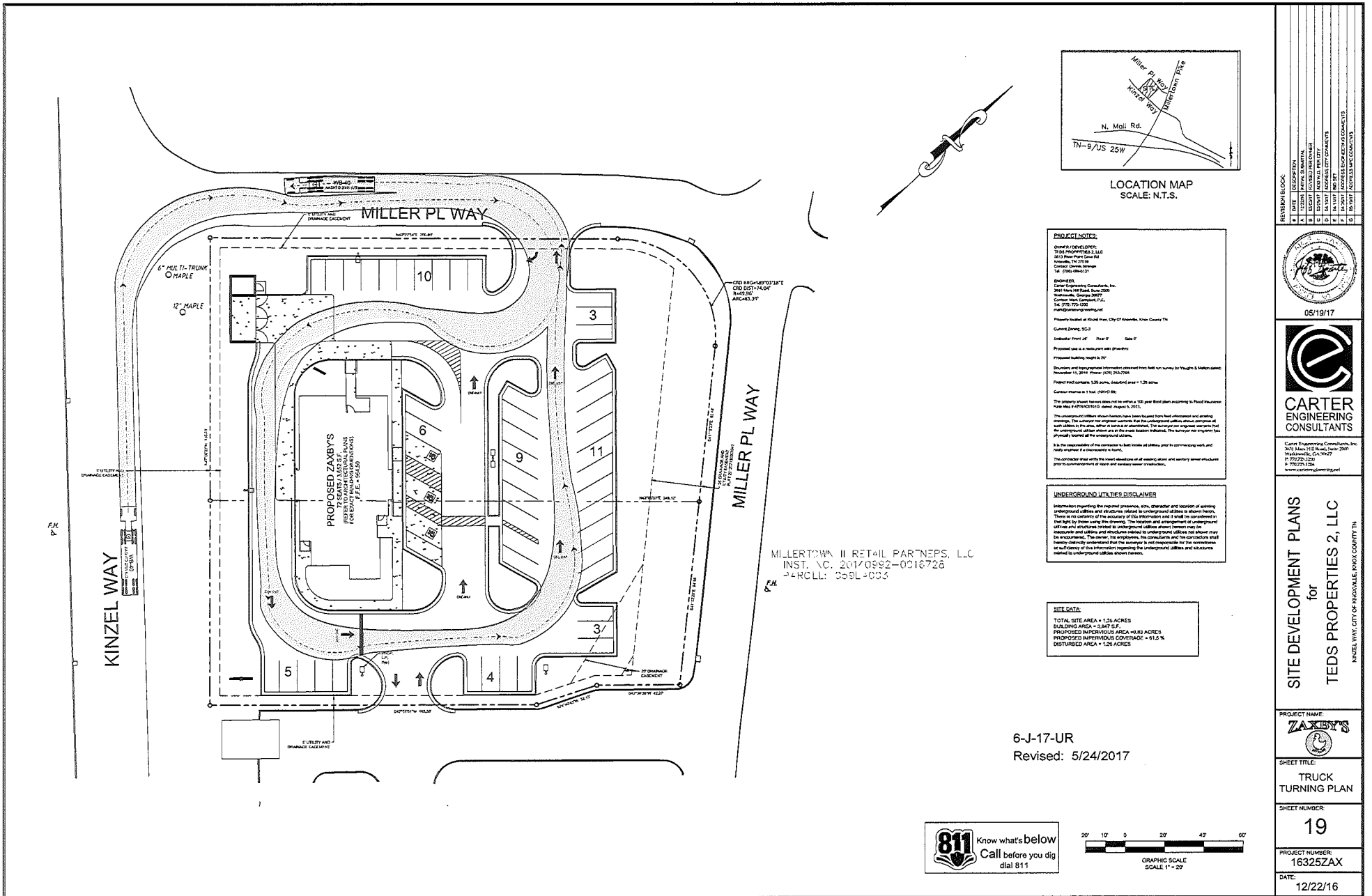
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|----------------|----------|-------------------|
| 1 | 05/19/17 | FINAL SUBMITTAL |
| 2 | | REVISED PER OWNER |
| 3 | | REVISED PER OWNER |
| 4 | | REVISED PER OWNER |
| 5 | | REVISED PER OWNER |
| 6 | | REVISED PER OWNER |
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| 10 | | REVISED PER OWNER |

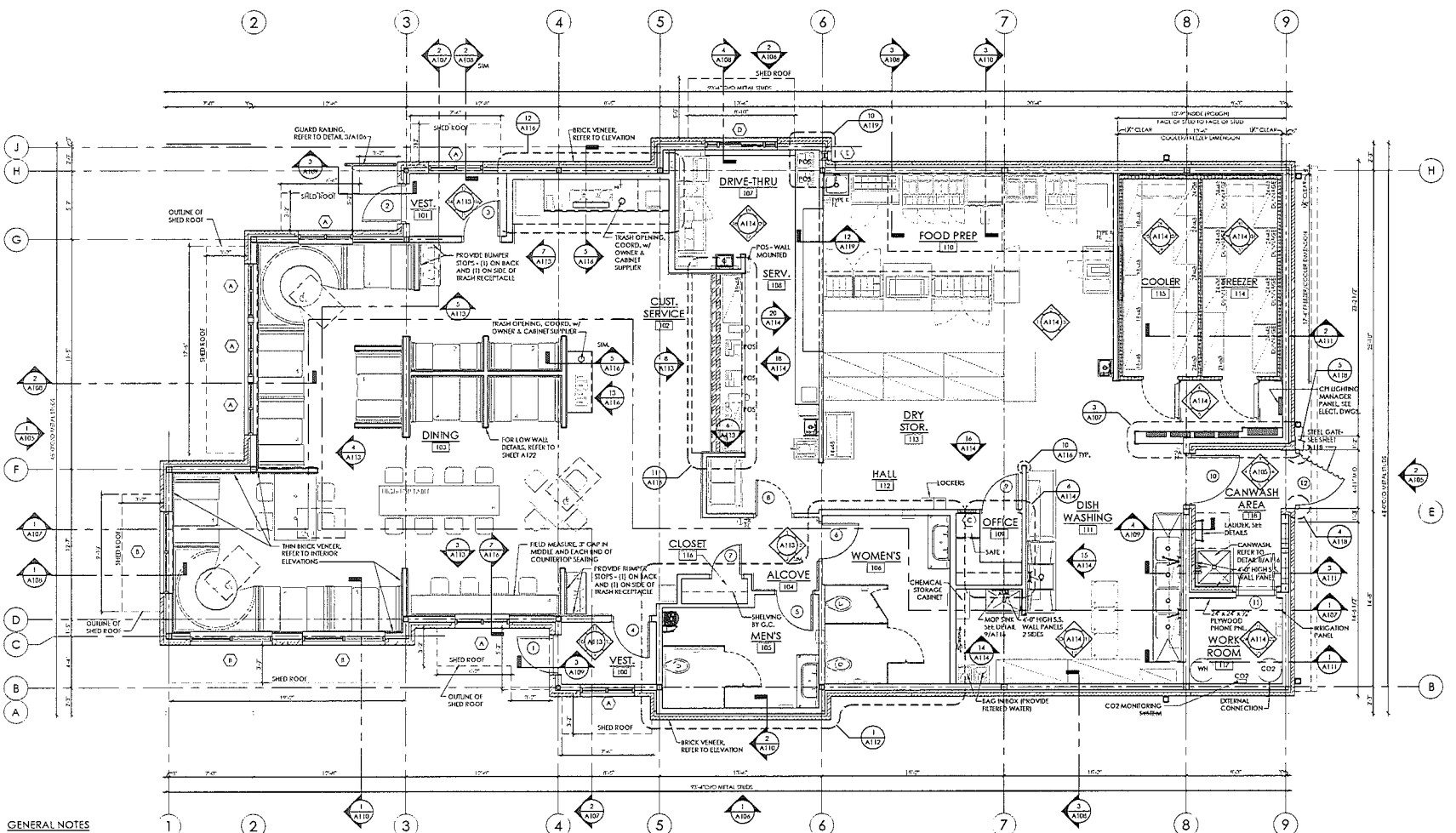


CARTER ENGINEERING CONSULTANTS
 Carter Engineering Consultants, Inc.
 3043 Main Street, Suite 200
 Westborough, MA 01581
 P: 508.752.1300
 F: 508.752.1304
 www.carterengineering.com

SITE DEVELOPMENT PLANS
 for
TEDS PROPERTIES 2, LLC
 KINZEL WAY, CITY OF INDIANVILLE, INDIAN COUNTY, TN

PROJECT NAME:
ZABY'S
 SHEET TITLE:
LANDSCAPE PLAN
 SHEET NUMBER:
17
 PROJECT NUMBER:
16325ZAX
 DATE:
12/22/16





GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO BUILD PER ALL APPLICABLE CODES AND REGULATIONS, FEDERAL, STATE, AND LOCAL.
- ALL SUBCONTRACTORS INCLUDING MECHANICAL, PLUMBING, AND ELECTRICAL SHALL BE RESPONSIBLE FOR SECURING PERMITS FOR THEIR WORK & TRADE UTILITY. FURTHER DRAWINGS (IF REQUIRED) FOR PERMITS AND UTILITY HOOK-UPS SHALL ALSO BE BY THE SUBCONTRACTOR. THIS STATEMENT SHALL NOT GOVERN OVER MANUFACTURER'S WARRANTIES. THE GENERAL CONTRACTOR SHALL WARRANT THE WORKMANSHIP FOR A MINIMUM PERIOD OF ONE YEAR FROM THE DATE OF OCCUPANCY & ACCEPTANCE OF WORK BY THE OWNER. DEFECTIVE OR INFERIOR MATERIALS OR WORKMANSHIP FOUND AT ANY TIME PRIOR TO FINAL ACCEPTANCE OF THE WORK BY THE OWNER AND ALSO DURING THE WARRANTY PERIOD MAY BE REJECTED, REGARDLESS OF PREVIOUS INSPECTION. CORRECTIVE MEASURES WHEN REQUIRED SHALL BE EXECUTED AT NO ADDITIONAL COST TO THE OWNER.
- ALL MATERIALS RELATED TO THE WORK SHALL BE SHIPPED, STORED AND INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- THE G.C. WILL LEAVE THE SITE FREE AND CLEAR OF DEBRIS UPON COMPLETION OF THE WORK.
- WHERE THESE DOCUMENTS INDICATE TRADE OR MANUFACTURER NAMES, THE CONTRACTOR MAY SUBSTITUTE A PRODUCT OR METHOD OF BETTER OR EQUAL QUALITY UPON APPROVAL BY THE OWNER AND ZAXBY'S FRANCHISING.
- UPON COMPLETION OF BUILDING & ACCEPTANCE BY THE OWNER THE CONTRACTOR SHALL PROVIDE, PREPARE, ASSEMBLE, AND TRANSMIT TO THE OWNER THE FOLLOWING: MAINTENANCE MANUALS FOR MECHANICAL EQUIPMENT, WARRANTIES FOR ALL EQUIPMENT FOR A MINIMUM OF ONE YEAR FROM THE ACCEPTANCE DATE, KEYS WITH SCHEDULE AND DEMONSTRATE THE EQUIPMENT.
- TERMINATE PROTECTION SHALL BE PROVIDED UNDER THE FLOOR SLABS. INSTALLATION AND WARRANTY SHALL BE PER THE INTERNATIONAL BUILDING CODE.

MUNICIPAL REQUIREMENTS

- PLANS AND DESIGN CRITERIA FROM THE ROOF TRUSS MANUFACTURER FOR ANY TRUSSES USED IN THE PROJECT SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT. THE DATA PROVIDED SHOULD BE SEALED AND SIGNED BY A PROFESSIONAL ENGINEER. THE PLANS SHOULD INCLUDE DEAD LOAD, LIVE LOAD, WIND LOAD, AND COLLATERAL LOADING FOR ALL COMPONENT SECTIONS.
- EXHAUST HOODS AND FIRE SUPPRESSION SYSTEMS ARE TO BE APPROVED BY THE APPROPRIATE AUTHORITIES (FIRE MARSHAL, ETC.) IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN APPROVALS.

FLOOR PLAN
1/16" = 1'-0"
6-J-17-UR
Revised: 5/24/2017

EXHAUST HOOD NOTES:
THE HOOD SHOWN HEREIN IS STRICTLY FOR GRAPHIC REPRESENTATION SHALL NOT BE SCALED. IT SHALL BE THE RESPONSIBILITY OF THE HOOD PROVIDER & INSTALLER TO VERIFY THE EXTENTS OF THE COOKING LINE-UP AS PURCHASED, PRIOR TO FABRICATION TO INSURE PROPER COVERAGE.
SEE CONTINUED NOTES ON Q100.

LEGEND:

- FULL HEIGHT WALL
- COOKTOP WALL
- WIND VENEER
- CMU WALL
- DOOR NUMBER
- GLAZING NUMBER
- 1/2" PRE CONCRETE
- 5/8" CMU

KITCHEN EQUIPMENT IS FOR REFERENCE ONLY.
GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING KITCHEN EQUIPMENT, DESIGN AND INSTALLATION WITH A KITCHEN EQUIPMENT SUPPLIER.
FINAL DESIGN MUST BE REVIEWED BY OWNER AND GENERAL CONTRACTOR AND ANY CHANGES OR DISCREPANCIES MUST BE DISCUSSED WITH ARCHITECT FOR ELECTRICAL/MECHANICAL COORDINATION AND CONSTRUCTION DOCUMENTS UPDATES.

NOTES
IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE FOR THE PLACEMENT OF THE HOOD ROOF THE BUILDING. THE G.C. SHALL COORDINATE WITH THE HOOD PROVIDER & SCHEDULING/PHASING OF ALL CONSTRUCTION TRADES TO INSURE THAT HOOD CAN BE MOVED INSIDE THE BUILDING WITHOUT CONFLICT WITH WALLS, OR OTHER ARCHITECTURAL ELEMENTS ONCE CONSTRUCTED.

NOTE:
REFER TO CIVIL PLANS & SIDEWALK PLANS FOR SIDEWALKS, PLANTERS, ABAS, ETC.
NOTE:
DIMENSIONS ARE TO THE CENTERLINE OF METAL STUDS UNLESS NOTED OTHERWISE.
NOTE:
FLOOR PLAN CUT IS TAKEN AT 4'-0" A.F.F.; HOWEVER, WINDOWS ARE SHOWN CUT HIGHER FOR CLARITY.

EXTERIOR FINISH SCHEDULE

ALL MATERIALS & INSTALLATION SHALL CONFORM TO APPLICABLE ASTM STANDARDS UNLESS GOVERNING AUTHORITY HAS DIFFERENT REQUIREMENTS.
STANDARD BRICK UNIT 3-5/8" x 2-1/4" x 7-5/8" RUNNING BOND

- 1 COLOR: BRICK - COMMONWEALTH (GENERAL SHALE)
APPROVED ALTERNATE - MSX CHEROKEE MATCHET (CHEROKEE BRICK)
APPROVED ALTERNATE - HEBRAL BRICK (OLDE COLUMBIA)
MORTAR - "COOGA ANTIQUE BUFF"

3/8" THICK MORTAR JOINTS - ASTM C-270, TYPE N.

15# ROOFING FELT OVER ALL SUBSTRATES OR SEALED GLASS. GOLD SHEATHING GROUT VOID SOLID @ FENCE AND BELOW F.E. PROVIDE VAPOR BARRIER AS INDICATED.

CONTINUOUS THROUGH WALL FLASHING, EPDM BY W.A. GRACE OR EQUAL AT BOTTOM OF WALLS & ABOVE OPENINGS. CUT FLASHING FLUSH WITH EXT. FACE. PROVIDE GULL VENT TYPE WEEPS, ABOVE FLASHING @ 32" O.C. MAX.

HOMMANN & BARNARD, INC., NORTH RENO, ON CMU FENCE
HOMMANN & BARNARD, INC., DOW-10 PC TRIANGULAR MIL WALL TIES (OR EQUAL) @ 18" O.C. VERT. & AT HORIZ. STUD SPACING, 14 GA. SEE SECTIONS & SPECS. ATTACH TO STUDS WITH (2) 10-16x 1-1/2" SCREWS.

- 2 STO TO HAVE MEDIUM TEXTURE FINISH ON FIELD EPS. * STO TO HAVE FINE SAND TEXTURE @ ACCENTS (ICC EVALUATION REPORT NO. ESR-1720)
- 3# FIELD COLOR: STO STOLF 1.5 DARK STO NA13-0033 / SW 2839 "ROY CROFT COPPER RED" (NO SUBSTITUTIONS)
- 4# ACCENT COLOR: EPS CORNERS, CORNICE, FRIESE & TRIM, DECORATIVE BRACKETS, BEAKS OR PURLS, - STO FINE SAND #2310 - STO NA 1300M "BALANCED BEIGE" SW 7037
- 5 #HARDIE TRIM BOARDS, CORNICE, FRIESE & TRIM - PAINT SHERWIN WILLIAMS "BALANCED BEIGE" SW 7037
- 6 PREFINISHED, METAL COPING OR GRAVEL STOP & ROOFING COLOR: COPINGS MATCH SURROUNDING CORNICE COLOR (ROOFING @ REAR AWNING: GALVANIZED / GALVANALUME MATERIAL SHALL BE 24 GAUGE, HOT DIPPED GALVANIZED STEEL OR 0.020" THICK ALUMINUM FINISH SHALL BE ENRAC 500 FLUOROCARBON COATING. ACCEPTABLE MANUFACTURERS ARE AS FOLLOWS:
 - A. BERTRIDGE MANUF. CO. HOUSTON, TX.
 - B. MAM SYSTEMS, TUCKER, GA.
 - C. MCGI
 - D. MELROY METAL CO., PEACHTREE CITY, GA.
 - E. APPROVED EQUALS WILL BE ACCEPTED

PROVIDE ALL RELATED ACCESSORIES: FLASHING, END CLOSURES, GUTTERS, DOWNSPOUTS, ETC. IN MATCHING COLOR. INSTALL ALL MATERIALS PER MANUF.'S RECOMMENDATIONS.
A MANUFACTURER'S WARRANTY AGAINST DECOLORATION & WEATHERINGNESS WILL BE REQUIRED.
NOT ALL ROOF PENETRATIONS & ACCESSORIES ARE SHOWN ON THIS DRAWING. IT IS THE RESPONSIBILITY OF THE G.C. TO INSTALL THEM INDICATED ELSEWHERE.

- 7 STORFRONT, WINDOW & ENTRANCE DOORS (CLEAR ANODIZED)
ACCEPTABLE MANUFACTURER: KAWNEER, REFER TO SPECIFICATIONS. ALL GLAZING SHALL BE IN ACCORDANCE W/ THE FOLLOWING VALUES:

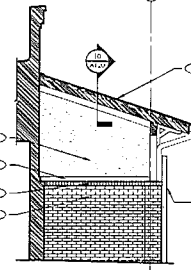
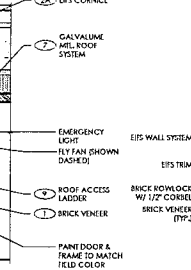
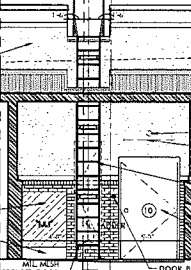
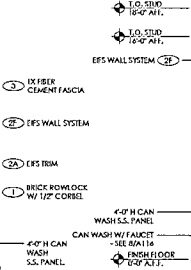
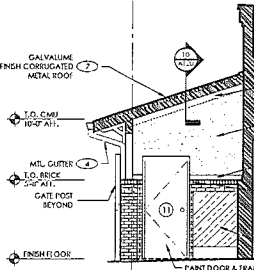
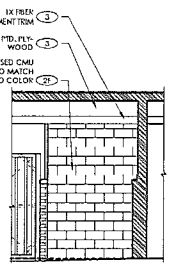
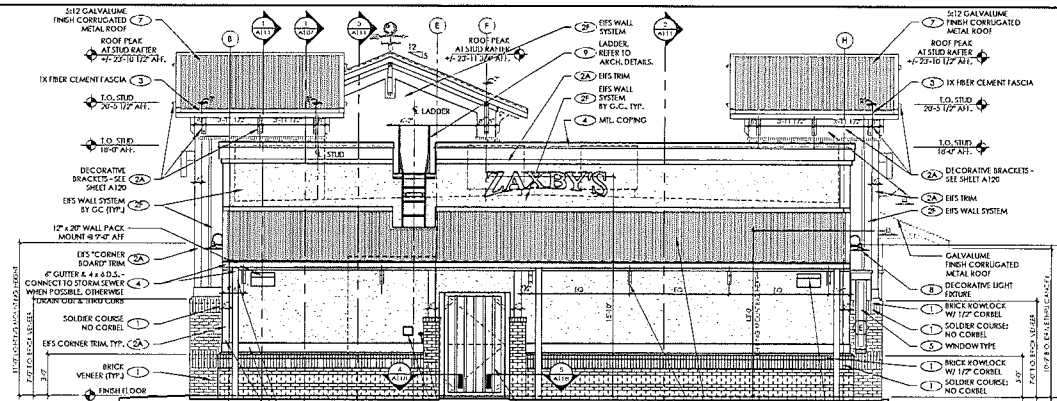
| GLAZING - UNCOATED TINTED GLASS | | | | | | | |
|---------------------------------|----------------|------------------|----------|------|-----|-----|--|
| APPEARANCE | LOCATION | TYPE & THICKNESS | U FACTOR | SHGC | VLT | VLR | |
| GRAY TINT | EXTENSION SIDE | 1/4" TEMPERED | .47 | .43 | 25A | 7.3 | |
| CLEAR-NO TINT | INTERIOR SIDE | 1/4" TEMPERED | .50 | .49 | 29 | 15 | |

CONTACT PERSON @ QUALITY GLASS: JOHNNY DOSTER @ 706-548-4481

- 8 SELF-CLOSING & TEMPERED GLASS DRIVE-THRU WINDOW: ROUGH OPENING = 6'-0" WIDE x 3'-0" HIGH. QUICKSERV MODEL 10-4030-SE1. CLOSING HORN: SLIDER WINDOW FIT INTO A "STOREFRONT" FRAME, MATCH STOREFRONT IN COLOR & GLAZING.
- 9 QUICKSERV-DIVISION OF MCE SYSTEMS CORP., P.O. BOX 42466, HOUSTON, TX 77240-0466. P. 800-898267, 1-713-641-1506. STOREFRONT & SLIDER ALSO BY: QUALITY GLASS P. 706-548-4481
- 10 GALVANALUME 22 GA. CORRUGATED FINISH METAL ROOF (MATCH PIC OR EQUIV.)
- 11 GALVANIZED METAL FINISH DOORSECK FIXTURES ARE TO BE INSTALLED BY THE G.C.
- 12 ALL SPECIFIED MATERIALS MUST BE INSTALLED PER MANUFACTURER'S REQUIREMENTS. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND THE MANUFACTURER'S REQUIREMENTS SHOULD BE IDENTIFIED BY THE CONTRACTOR PRIOR TO INSTALLATION AND DURING THE BID PHASE TO AVOID CHANGE ORDERS.
- 13 LADDER, PAINT FIELD COLOR
- 14 GLAZING, REFER TO SHEET A117
- 15 DOORS, REFER TO SHEET A115

F.I.E.S. NOTE:
FIELD DRAWINGS USE "STANDARD CMU S. SYSTEMS AS A BASE OF DESIGN."
"STANDARD" OUTSOURCING FILED AND SYSTEMS WILL BE ALLOWED AS AN ALTERNATE. ICC EVALUATION REPORT # ESR-1342.

6-J-17-UR
Revised: 5/24/2017



6 ELEVATION
A102 1/4" x 1'-0"

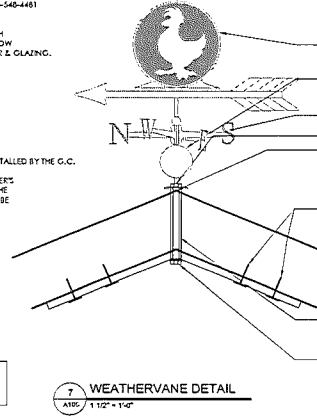
5 REAR ELEVATION @ CAN WASH
A105 1/4" x 1'-0"

4 REAR ELEVATION (HIDDEN)
A105 1/4" x 1'-0"

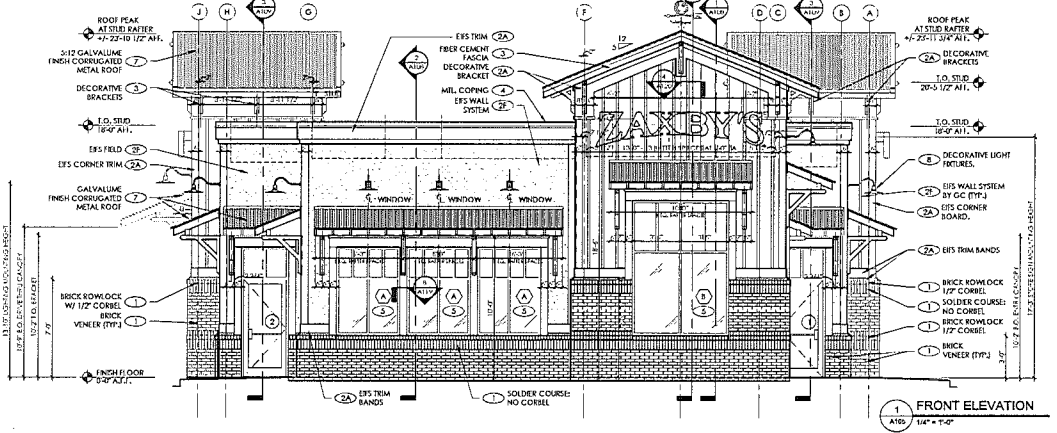
3 REAR ELEVATION @ CAN WASH
A105 1/4" x 1'-0"

2 REAR ELEVATION
A105 1/4" x 1'-0"

1 FRONT ELEVATION
A105 1/4" x 1'-0"



7 WEATHERVANE DETAIL
A105 1/12" x 1'-0"



HILL CROSS ASSOCIATES
ARCHITECTURE
ENGINEERING

3006 PINEHURST HILL ROAD
SUITE 104
DALLAS, GEORGIA 30084
978-244-1684
1774-211-1145
www.hillcross.com

ZAXBY'S
70 MILLER PLACE WALKWAY
FROYVILLE, TH 37924

ISSUED FOR CONSTRUCTION
ISSUE / REVISIONS:
DATE / BY / DESCRIPTION

SCALE

PROJECT NAME & ADDRESS

PROTOTYPE SERIES

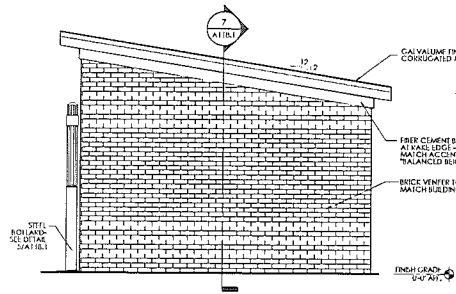
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SHEET TITLE:
FRONT & REAR EXTERIOR ELEVATIONS

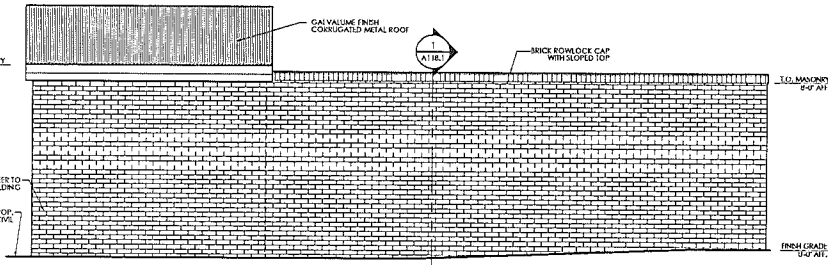
PROJECT #:
17-825-00

ZAXBY'S
70 MILLER PLACE WALKWAY
FROYVILLE, TH 37924

A105

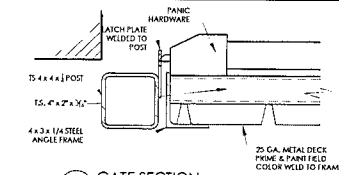


10 LEFT ELEVATION - DUMPSTER/STORAGE
A11B 3/8"=1'-0"

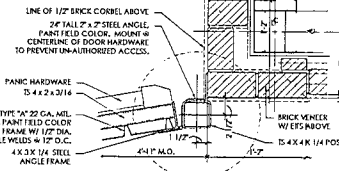


9 REAR ELEVATION - DUMPSTER
A11B 3/8"=1'-0"

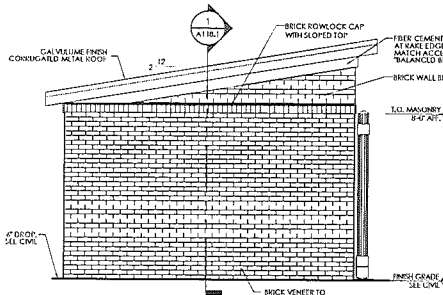
GENERAL NOTE:
PLEASE SEE CIVIL PLANS PER DUMPSTER ENCLOSURE COMPLETED DETAILS. STORAGE SLAB TO BE 6" HIGHER THAN DUMPSTER AREA.



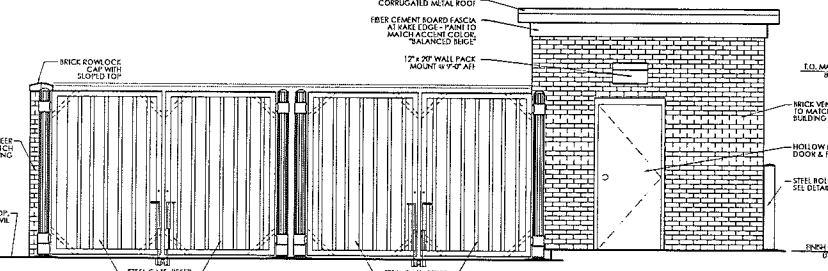
8 GATE SECTION
A11B 3/4"=1'-0"



5 GATE DETAIL - HINGE SIDE
A11B 1-1/2"=1'-0"



8 RIGHT ELEVATION - DUMPSTER
A11B 3/8"=1'-0"



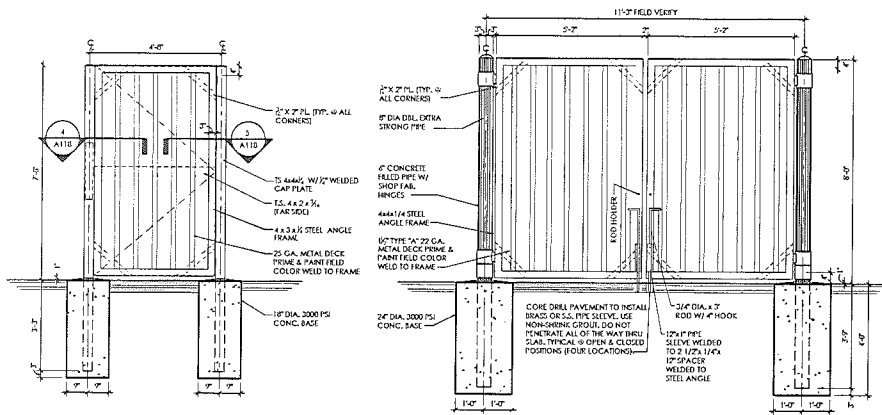
7 FRONT ELEVATION - DUMPSTER
A11B 3/8"=1'-0"

T.O. MAINTENANCE 8'-0" A11B
FINISH GRADE 0'-0" A11B
FINISH GRADE 0'-0" A11B
FINISH GRADE 0'-0" A11B

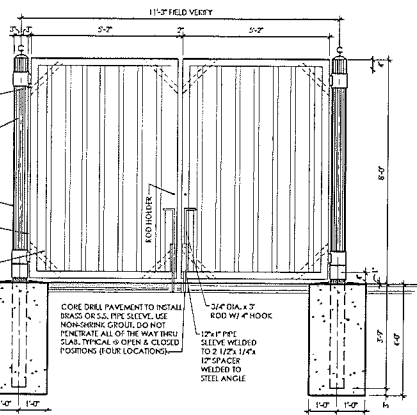
T.O. MAINTENANCE 8'-0" A11B
FINISH GRADE 0'-0" A11B
FINISH GRADE 0'-0" A11B
FINISH GRADE 0'-0" A11B

T.O. MAINTENANCE 8'-0" A11B
FINISH GRADE 0'-0" A11B
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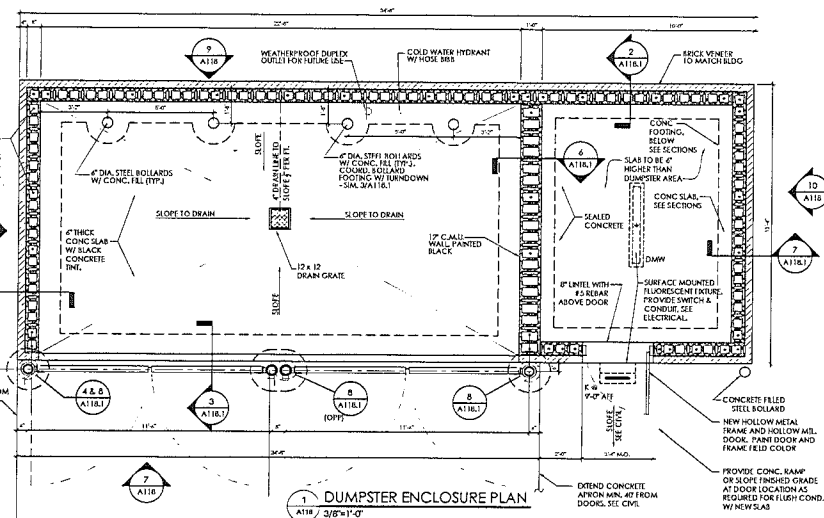
4 GATE DETAIL - LATCH SIDE
A11B 1-1/2"=1'-0"



3 STEEL GATE DETAIL
A11B 1/2"=1'-0"



2 DUMPSTER ENCLOSURE GATE DETAIL
A11B 1/2"=1'-0"



1 DUMPSTER ENCLOSURE PLAN
A11B 3/8"=1'-0"

6-J-17-UR
Revised: 5/24/2017

ZAXBY'S
ARCHITECTURE
ENGINEERING

2848 Pleasant Hill Road
Suite 100
Duluth, Georgia 30096
P 770.433.4334
F 770.433.4335
www.zaxbys.com

ZAXBY'S
ARCHITECTURE
ENGINEERING

ISSUED FOR CONSTRUCTION
DATE: 5/24/2017
DESIGN: [REDACTED]
CHECK: [REDACTED]

REVISIONS:

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
| | | |
| | | |

PROJECT NAME & ADDRESS:

ZAXBY'S
TO: MOBILE
293 AMBLER PLACEWAY
MOXVILLE, TN 37924

PROTOTYPE SERIES:
70 SL (2) - SDT

SHEET TITLE:
DUMP ENCLOSURE
DETAILS

PROJECT #1:
17-825.00

A118



PROJECT NAME & ADDRESS

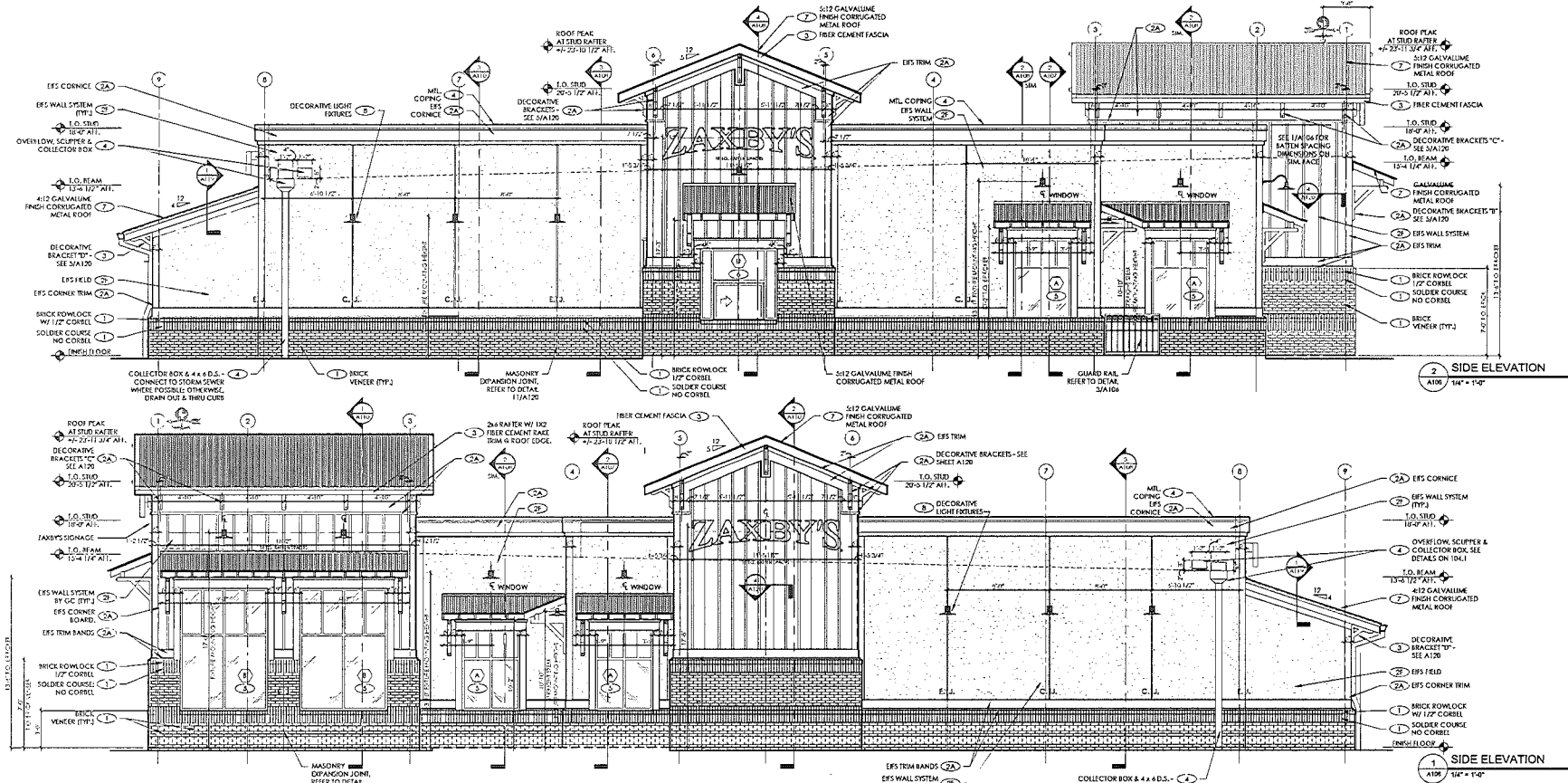
ZAXBY'S
70 MODEL
2930 MILLER PLACE WAY
EVANSVILLE, IN 47924

PROTOTYPE SERIES
70 SL (Z) - SDT

SHEET TITLE:
DRIVE THRU & RIGHT
EXTERIOR ELEVATIONS

PROJECT #:
17-025.00

A106



EXTERIOR FINISH SCHEDULE

ALL MATERIALS & INSTALLATION SHALL CONFORM TO APPLICABLE ASTM STANDARDS UNLESS GOVERNING AUTHORITIES HAVE DIFFERENT REQUIREMENTS.

STANDARD BRICK UNIT 3-5/8" x 2-1/4" x 7-5/8" RUNNING BOND

1 COLOR: BRICK - COMMANVILLE (GENERAL SHALE)
APPROVED ALTERNATE - M/S CHEROKEE MATCHES (CHEROKEE BRICK)
APPROVED ALTERNATE - REDIAL BRICK (OLDCOLUMBIA)
MORTAR - "COCCA ANTIQUE BUFF"

3/8" THICK MORTAR JOINT, ASTM C-270, TYPE N.

13# FLOORING FELT OVER ALL SUBSTRATES OR SEALED DENS GLASS GOLD SHEATHING GROUT VOID SOLE OF FENCE AND BELOW E.F., PROVIDE VAPOR BARRIER AS INDICATED.

CONTINUOUS THROUGH WALL FLASHING, EPDM BY W.R. GRACE OR EQUAL, AT BOTTOM OF WALL & ABOVE OPENINGS, CUT FLASHING FLUSH WITH EXT. FACE. PROVIDE CELL VENT TYPE WEPS, ABOVE FLASHING @ 32" O.C. MAX.

HOHMANN & BARNARD, INC. HORSE RENT. ON CHALK FENCE
HOHMANN & BARNARD, INC. DW-10 HS TRIANGULAR MTL WALL TRS (OR EQUAL) @ 1" O.C. VENE. & ABOVE STUD SPACING, 14 GA. SEE SECTIONS & SPECS. ATTACH TO STUDS WITH (2) 18-1 x 1/2" SCREWS.

2 SHADIE® TRIM BOARDS, CORNICE, FRIEZE & TRIM - PAINT SHEWAN WILLIAMS "BALANCED EDGE" SW 7027

3 PREFINISHED, METAL COPING OR GRAVEL STOP & ROOFING
COLOR: CORNICES MATCH SURROUNDING CORNICE COLOR
ROOFING @ REAR AWINGS GALVALUME® GALVALUME MATERIAL SHALL BE 24 GAUGE HOT DIPPED GALVANIZED STEEL OR 0.032" THICK ALUM. FINISH SHALL BE EXHAR 200 FLUOROCARBON COATING. ACCEPTABLE MANUFACTURERS ARE AS FOLLOWS:

A. SERENDEMO MANUF. CO., HOUSTON, TX
B. MM SYSTEMS, TUCKER, GA.
C. NRC
D. INGLEBURY METAL CO., PEACHTREE CITY, GA.
E. APPROVED EQUALS WILL BE ACCEPTED

PROVIDE ALL RELATED ACCESSORIES: FLASHING, END CLOSURES, GUTTERS, DOWNSPOUTS, ETC. IN MATCHING COLOR. INSTALL ALL MATERIALS PER MANUF.'S RECOMMENDATIONS.

A MANUFACTURER'S WARRANTY AGAINST DECOLORATION & WEATHER-TIGHTNESS WILL BE REQUIRED.

NOT ALL ROOF PENETRATIONS & ACCESSORIES ARE SHOWN ON THE DRAWING. IT IS THE RESPONSIBILITY OF THE G.C. TO INSTALL ITEMS INDICATED ELSEWHERE.

4. STAKEFRONT WINDOWS & ENTRANCE DOORS (CLEAR ANODIZED)

4 SELF-CLOSING & TEMPERED GLASS DRIVE-THRU WINDOW; ROUGH OPENING = 4'-0" WIDE x 5'-8" HIGH QUICKENTRY MODEL SC-4330 SELF-CLOSING HORNED SLIDER WINDOW, 17" ROTO-A STOREFRONT FRAME, MATCH STOREFRONT IN COLOR & GLAZING.

5 QUICKENTRY DIVISION OF MCE SYSTEMS CORP. P.O. BOX 40466, HOUSTON, TX 77240-0466 P. 800-368-8007 F. 713-462-1926 STOREFRONT & SLIDER ALSO BY: QUALITY GLASS P. 706-348-4481

6 GALVALUME 22 GA. CORRUGATED FINISH METAL ROOF (MBCI PSC OR EQUIV.)

8 GALVANIZED METAL FINCH GOOSENECK FIXTURES ARE TO BE INSTALLED BY THE G.C.

9 ALL SPECIFIED MATERIALS MUST BE INSTALLED PER MANUFACTURER'S REQUIREMENTS. ANY DISCREPANCIES OR CONFLICTS BETWEEN THE DRAWINGS AND THE MANUFACTURER'S REQUIREMENTS SHOULD BE IDENTIFIED BY THE CONTRACTOR PRIOR TO INSTALLATION AND DURING THE BID PHASE TO AVOID CHANGE ORDERS.

10 LADDER, PAINT FIELD COLOR

11 GLAZING, REFER TO SHEET A117

12 DOORS, REFER TO SHEET A115

COLLECTOR BOX & 4 x 4 D.S. - CONNECT TO STORM SEWER WHERE POSSIBLE OTHERWISE DRAIN OUT & THRU CURB

13 17" x 43" x CONE METAL CHANNEL LEGS UP W/ METAL RAIL CAP

14 17" x 43" x CONE METAL CHANNEL LEGS DOWN CLIP SQUARE HOLES AS REFER TO P&S BAILEYER THROUGH)

15 2" SQUARE METAL TUBE BAILEYER

16 1/2" SQUARE METAL TUBE POST

17 17" x 43" x CONE METAL CHANNEL LEGS DOWN

WELD END PLATE FOR TUBES TO CONCRETE. SET POSTS IN CONCRETE OF CORE DRILL CONC. AS SET IN NON-SINKING GROUT

20 STD TO HAVE MEDIUM TEXTURE FINISH ON FIELD EPS. *
STD TO HAVE FINE SAND TEXTURE @ ACCENTS
ICC EVALUATION REPORT NO. ESR-1720

21 * FIELD COLOR: STD ST01U 1.5 DARK ST0 NA13-0003 / SW 2839 "ROYCROFT COPPER RED" (NO SUBSTITUTIONS)

22 * ACCENT COLOR: EPS CORNICES, CORNICE, FRIEZE & TRIM DECORATIVE BRACKETS, BEAMS OF PURLING. - STD FINE SAND #00210 - STD NA 13-0034 "BALANCED BEIGE" SW 7027

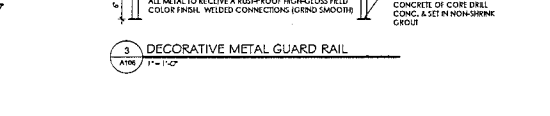
ACCEPTABLE MANUFACTURERS: SAWNER. REFER TO SPECIFICATIONS ALL GLAZING SHALL BE IN ACCORDANCE W/ THE FOLLOWING VALUES:

| GLAZING - UNCOATED TINTED GLASS | APPEARANCE | LOCATION | TYPE & THICKNESS | U FACTOR | SHGC | VLT | VLR |
|---------------------------------|---------------|--------------|------------------|----------|------|-----|-----|
| GRAY TINT | EXTERIOR SIDE | 1/4" TAMPKED | .47 | .45 | 29.6 | 7.3 | |
| CLEAR-NO TINT | INTERIOR SIDE | 1/4" TAMPKED | .26 | .27 | 79 | 15 | |

CONTACT PERSON @ QUALITY GLASS: JOHNNY DOSTER @ 706-348-4481

6-J-17-UR
Revised: 5/24/2017

1. I.E.S. NOTE:
THESE DRAWINGS USE "SIG" BRAND E.I.F.S. SYSTEMS AS A BASIS OF DESIGN. "DRYV" OUPULATION PLUS MD SYSTEMS WILL BE ALLOWED AS AN ALTERNATE. ICC EVALUATION REPORT # ESR-1545.



+ 80%

KNOXVILLE-KNOX COUNTY

MPC
METROPOLITAN
PLANNING
COMMISSION

TENNESSEE

Suite 403 • City County Building
400 Main Street
Knoxville, Tennessee 37902
865 • 215 • 2500
FAX • 215 • 2068
www.knoxmpc.org

Use on Review Development Plan

Name of Applicant: TEDS Pproperties 2, LLC

Date Filed: 4/28/17

Meeting Date: 6/8/17

Application Accepted by: M. Payne

Fee Amount: # File Number: Development Plan #

Fee Amount: \$2,725.00 File Number: Use on Review 6-J-17-UR



PROPERTY INFORMATION

Address: 2936 Miller Place Way

General Location: located at the intersection of
Miller Place Way and Kinzel Way

Tract Size: 1.35 acres No. of Units:

Zoning District: SC-3

Existing Land Use: Vacant

Planning Sector: North City

Sector Plan Proposed Land Use Classification:
MU-RC, SLPA

Growth Policy Plan Designation: Urban

Census Tract: 43

Traffic Zone: 136

Parcel ID Number(s): 059EA002 and 059EA003

Jurisdiction: City Council 4 District

County Commission 2 District

PROPERTY OWNER/OPTION HOLDER

PLEASE PRINT

Name: Toby Strange

Company: TEDS Properties 2, LLC

Address: 5513 River Pointe Cove Road

City: Knoxville State: TN Zip: 37919

Telephone: 706-968-2812

Fax:

E-mail: toby.strange@yahoo.com

APPLICATION CORRESPONDENCE

All correspondence relating to this application should be sent to:

PLEASE PRINT

Name: Mark Campbell, P.E.

Company: Carter Engineering Consultants, Inc.

Address: 3651 Mars Hill Road

City: Watkinnsville State: GA Zip: 30677

Telephone: 770-725-1200

Fax: 770-725-1204

E-mail: mark@carterengineering.net

APPROVAL REQUESTED

Development Plan: Residential Non-Residential

Home Occupation (Specify Occupation)

restaurant drive-thru

Other (Be Specific)

APPLICATION AUTHORIZATION

I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request or holders of option on same, whose signatures are included on the back of this form.

Signature: Toby Strange

PLEASE PRINT

Name: Toby Strange

Company: TEDS Properties 2, LLC

Address: 5513 River Point Cove Road

City: Knoxville State: TN Zip: 37919

Telephone: 706-968-2812

E-mail: toby.strange@yahoo.com

