

**KNOXVILLE/KNOX COUNTY METROPOLITAN PLANNING COMMISSION
 USE ON REVIEW REPORT**

▶ **FILE #:** 8-F-18-UR

AGENDA ITEM #: 43

AGENDA DATE: 8/9/2018

▶ **APPLICANT:** CHEROKEE COUNTRY CLUB

OWNER(S): Cherokee Country Club

TAX ID NUMBER: 121 B D PART OF 001

[View map on KGIS](#)

JURISDICTION: City Council District 2

STREET ADDRESS: 5323 Lyons View Pike

▶ **LOCATION:** Northwest side of Lyons View Pike, northeast side of Harley Dr.

▶ **APPX. SIZE OF TRACT:** 109.11 acres

SECTOR PLAN: West City

GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)

ACCESSIBILITY: Access is via Lyons View Pike, minor arterial street with 24' of pavement within a 50'-60' right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Fourth Creek

▶ **ZONING:** R-1 (Low Density Residential) and OS-1 (Open Space Preservation)

▶ **EXISTING LAND USE:** Pool and pool house

▶ **PROPOSED USE:** Country Club pool replacement

HISTORY OF ZONING: The parking lot to the east was rezoned OS-1 in 2005.

SURROUNDING LAND USE AND ZONING: North: Private golf course & tennis facility / R-1 (Low Density Residential) & OS-1 (Open Space Preservation)

South: Lyons View Pike, houses / R-1 (Low Density Residential) & H-1 (Historic Overlay)

East: Private golf course / OS-1 (Open Space Preservation)

West: Private tennis facility, houses / R-1 (Low Density Residential)

NEIGHBORHOOD CONTEXT: This vacant site is part of a residential area that includes both residences and a private country club developed under R-1 and OS-1 zoning. There are two properties on the south side of Lyons View Pike that are within an H-1 (historic overlay) district.

STAFF RECOMMENDATION:

▶ **APPROVE the request for a private club swimming pool and pool house facility, as shown in the development plan, subject to 4 conditions.**

1. Meeting all applicable requirements of the City of Knoxville Zoning Ordinance.
2. Meeting all applicable requirements of the City of Knoxville Department of Engineering.
3. Meeting all requirements of the Knox County Health Department.
4. Obtaining all necessary variances from the Board of Zoning Appeals.

With the conditions noted above, this request meets all requirements for approval in the R-1 zone, as well as other criteria for use on review approval.

COMMENTS:

This proposal is for a replacement of the existing pool and pool house with new, larger facilities. The existing pool facilities never received a Use on Review approval, which is the reason this application. The new facility will bring a lap pool closer to Lyons View Pike than the current pool and will require a retaining wall facing the street. The pool deck will have a 36' setback from the front property line and will have a landscaped yard. The pool and deck will also be at a higher elevation than the road, so it will not be very visible from the public street. Community and private club pools are required to have a setback of 50' from all property lines and this proposal is approximately 14' too close to the Lyons View Pike right-of-way. A variance must be approved from the Board of Zoning Appeals to allow the 36' setback. Staff does not have concerns with the proposal since the pool will be at a higher elevation than the road and will have a landscaped front yard.

The parking for the facility will also be reoriented as part of this proposal. There is currently two rows of parking on the west side of the pool, and these will be moved to the east side of the pool with an few additional spaces added near the golf clubhouse.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTIES AND THE COMMUNITY AS A WHOLE

1. The proposal will have no impact on public schools.
2. All utilities are in place to serve this site.
3. The access and number of parking spaces for the pool facility will not change.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE CITY OF KNOXVILLE ZONING ORDINANCE

1. The proposed pool facilities are consistent with the general standards for uses permitted on review: The proposed development is consistent with the adopted plans and policies of the General Plan and One Year Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas.
2. The proposal meets all relevant requirements of the R-1 zoning district, as well as other criteria for approval of a use-on-review.

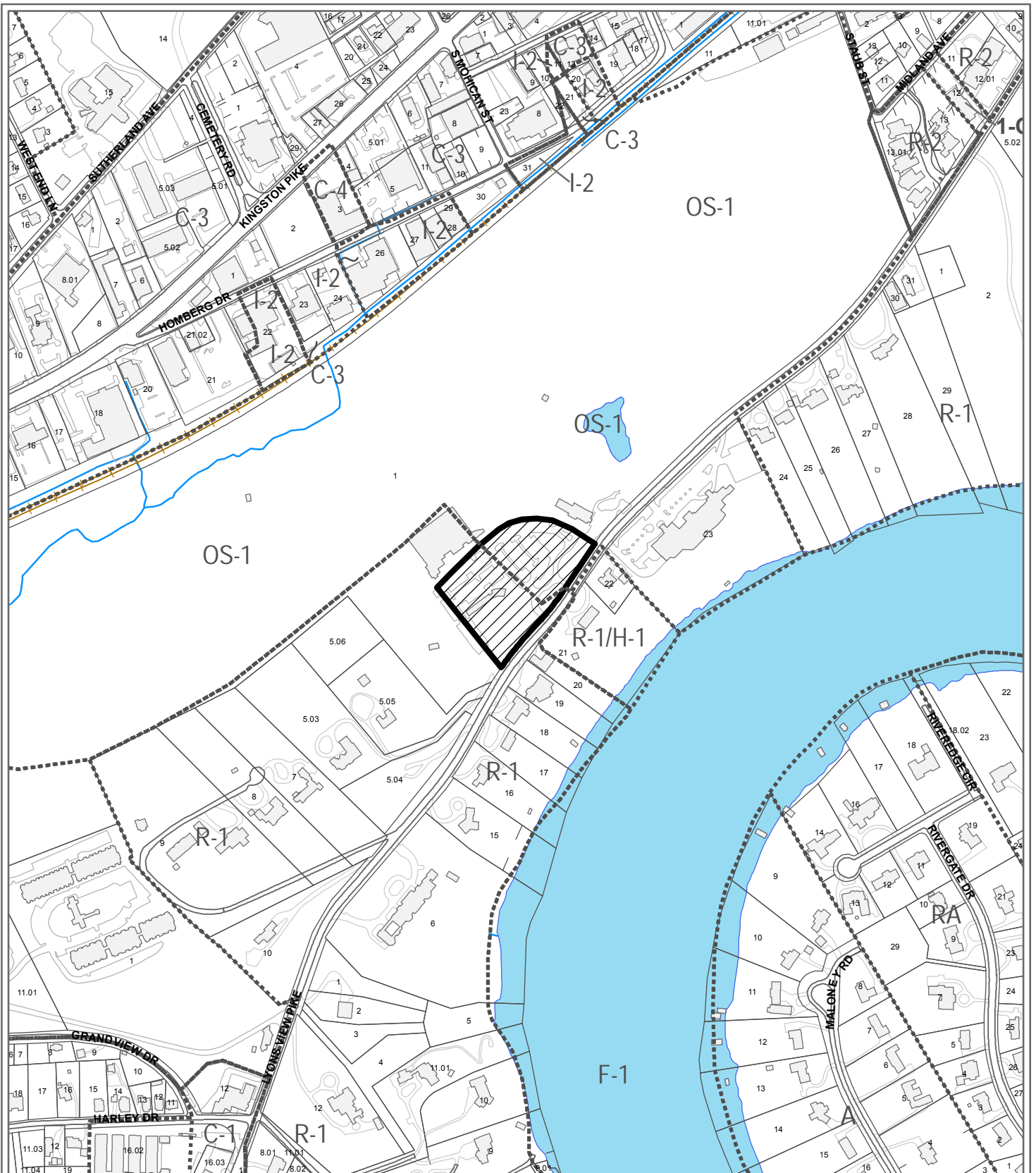
CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

1. The use is in conformity with the One Year Plan and the West City Sector Plan, which propose OS (Other Open Space) uses for the site. Private clubs and associated uses are a use permitted on review in the R-1 zone.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal an MPC decision in the City.



**8-F-18-UR
USE ON REVIEW**



Country Club pool replacement in R-1 (Low Density Residential) and OS-1 (Open Space Preservation)

Original Print Date: 7/19/2018

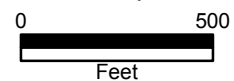
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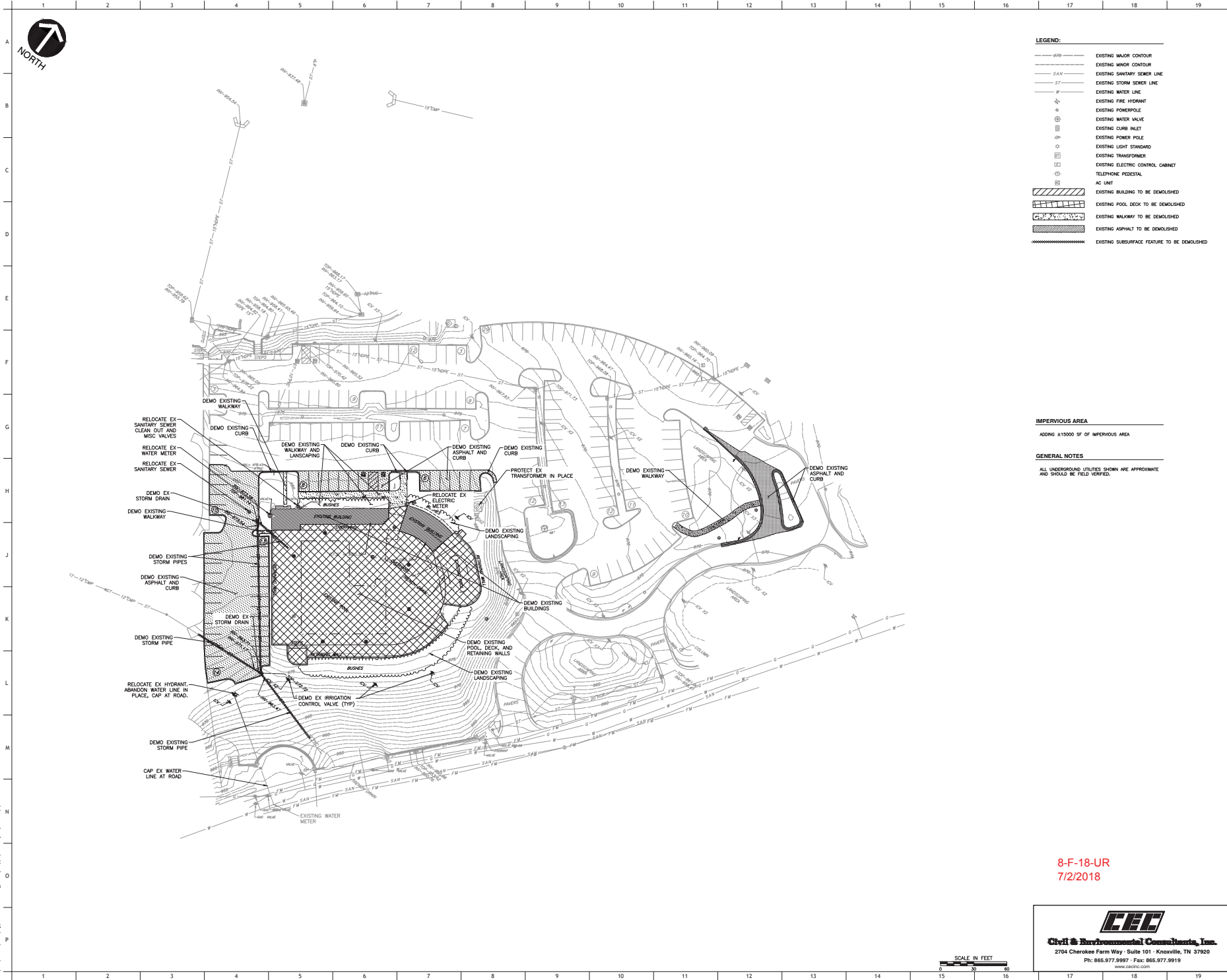
Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

Petitioner: Cherokee Country Club

Map No: 121

Jurisdiction: City





LEGEND:

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING SANITARY SEWER LINE
- EXISTING STORM SEWER LINE
- EXISTING WATER LINE
- EXISTING FIRE HYDRANT
- EXISTING POWERPOLE
- EXISTING WATER VALVE
- EXISTING CURB INLET
- EXISTING POWER POLE
- EXISTING LIGHT STANDARD
- EXISTING TRANSFORMER
- EXISTING ELECTRIC CONTROL CABINET
- TELEPHONE PEDISTAL
- AC UNIT
- EXISTING BUILDING TO BE DEMOLISHED
- EXISTING POOL DECK TO BE DEMOLISHED
- EXISTING WALKWAY TO BE DEMOLISHED
- EXISTING ASPHALT TO BE DEMOLISHED
- EXISTING SUBSURFACE FEATURE TO BE DEMOLISHED

IMPERVIOUS AREA
 ADDING 815000 SF OF IMPERVIOUS AREA

GENERAL NOTES
 ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED.

bma

BARBER McMURRY
architects since 1915

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 bma1915.com

6/05/18

PROJECT NUMBER
177400

PROJECT NAME
CHEROKEE COUNTRY CLUB
POOL

OWNER
CHEROKEE COUNTRY CLUB

PROJECT ADDRESS
5323 LYONS VIEW PIKE
KNOXVILLE, TN 37919

CONSULTANTS

CEC
Civil & Environmental Consultants, Inc.
2704 Cherokee Farm Way, Suite 101
Knoxville, TN 37920
865-977-9997

PROJECT MANAGER	GNP
DRAWN BY	CRJ
REVIEWED BY	GNP
ISSUE DATE	6/05/18
REVISIONS	

C100

EXISTING CONDITIONS
AND DEMO PLAN

8-F-18-UR
7/2/2018

CEC
Civil & Environmental Consultants, Inc.
2704 Cherokee Farm Way - Suite 101 - Knoxville, TN 37920
Ph: 865.977.9997 - Fax: 865.977.9919
www.cecinc.com

SCALE IN FEET
0 15 30 60

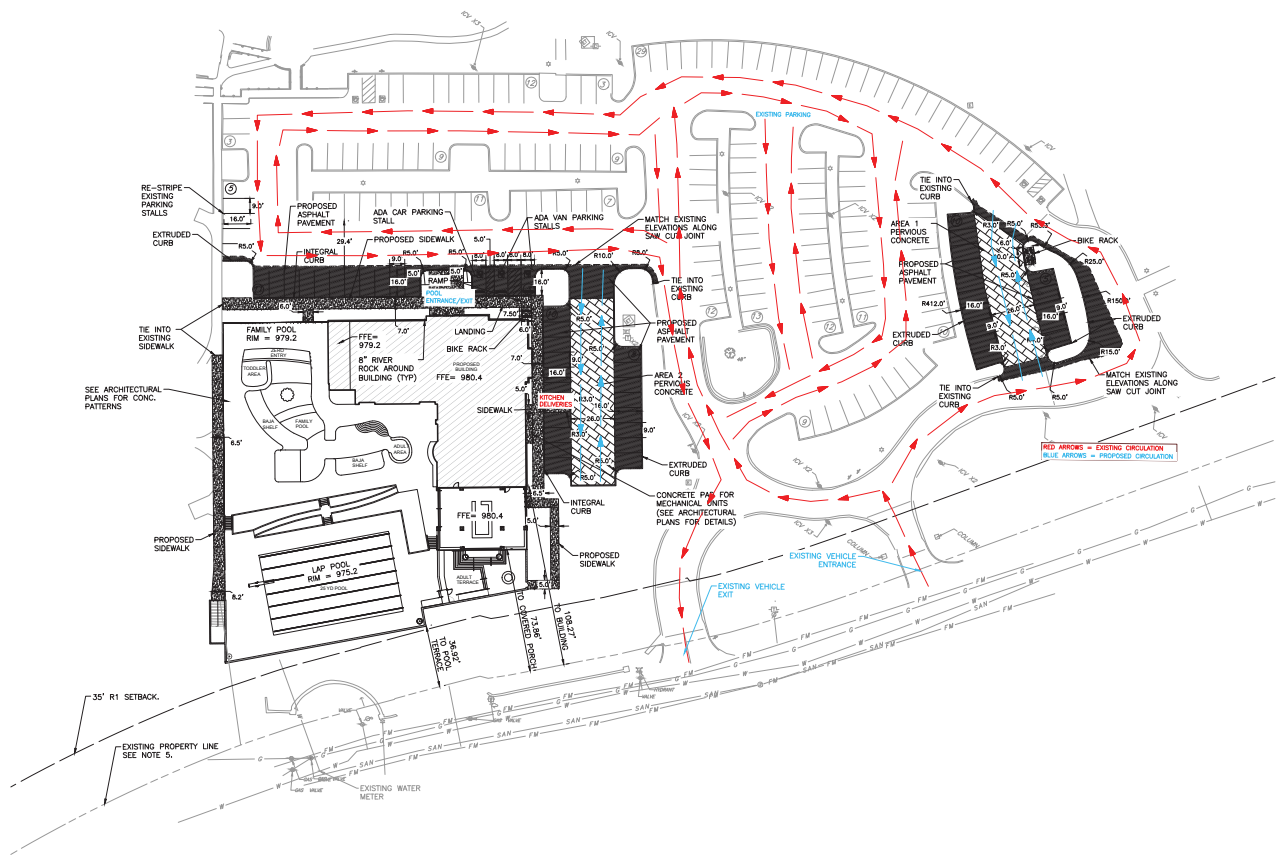


- LEGEND:**
- MAJOR --- EXISTING MAJOR CONTOUR
 - MINOR --- EXISTING MINOR CONTOUR
 - SAN --- EXISTING SANITARY SEWER LINE
 - ST --- EXISTING STORM SEWER LINE
 - W --- EXISTING WATER LINE
 - F --- EXISTING FIRE HYDRANT
 - P --- EXISTING POWERPOLE
 - V --- EXISTING WATER VALVE
 - I --- EXISTING CURB INLET
 - T --- EXISTING TRANSFORMER
 - L --- EXISTING LIGHT POLE
 - E --- EXISTING ELECTRIC CONTROL CABINET
 - P --- TELEPHONE PEDISTAL
 - L --- AC LIGHT
 - C --- PROPOSED CURB
 - B --- PROPOSED BUILDING
 - W --- PROPOSED WALL (BY OTHERS)
 - S --- PROPOSED STALL
 - D --- PROPOSED DRAINAGE INLET
 - A --- PROPOSED ASPHALT
 - C --- PROPOSED CONCRETE
 - P --- PROPOSED PERVIOUS PAVING
 - C --- PARKING COUNT

PARKING COUNT
 EXISTING: 201 STALLS INCLUDING 6 ACCESSIBLE STALLS
 PROPOSED: 232 STALLS INCLUDING 7 ACCESSIBLE STALLS

IMPERVIOUS AREA
 ADDING 410000 SF OF IMPERVIOUS AREA

- GENERAL NOTES**
- ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED.
 - CITY BLOCK # 49400
 - AREA 1 PERVIOUS CONCRETE: 2,140 SF
 - AREA 2 PERVIOUS CONCRETE: 2,300 SF
 - EXISTING ASSIGNED PROPERTY LINE TAKEN FROM INSTRUMENT NUMBER: 200810100031465.



8-F-18-UR
 7/2/2018

SCALE IN FEET
 0 10 20 30 40 50 60 70 80

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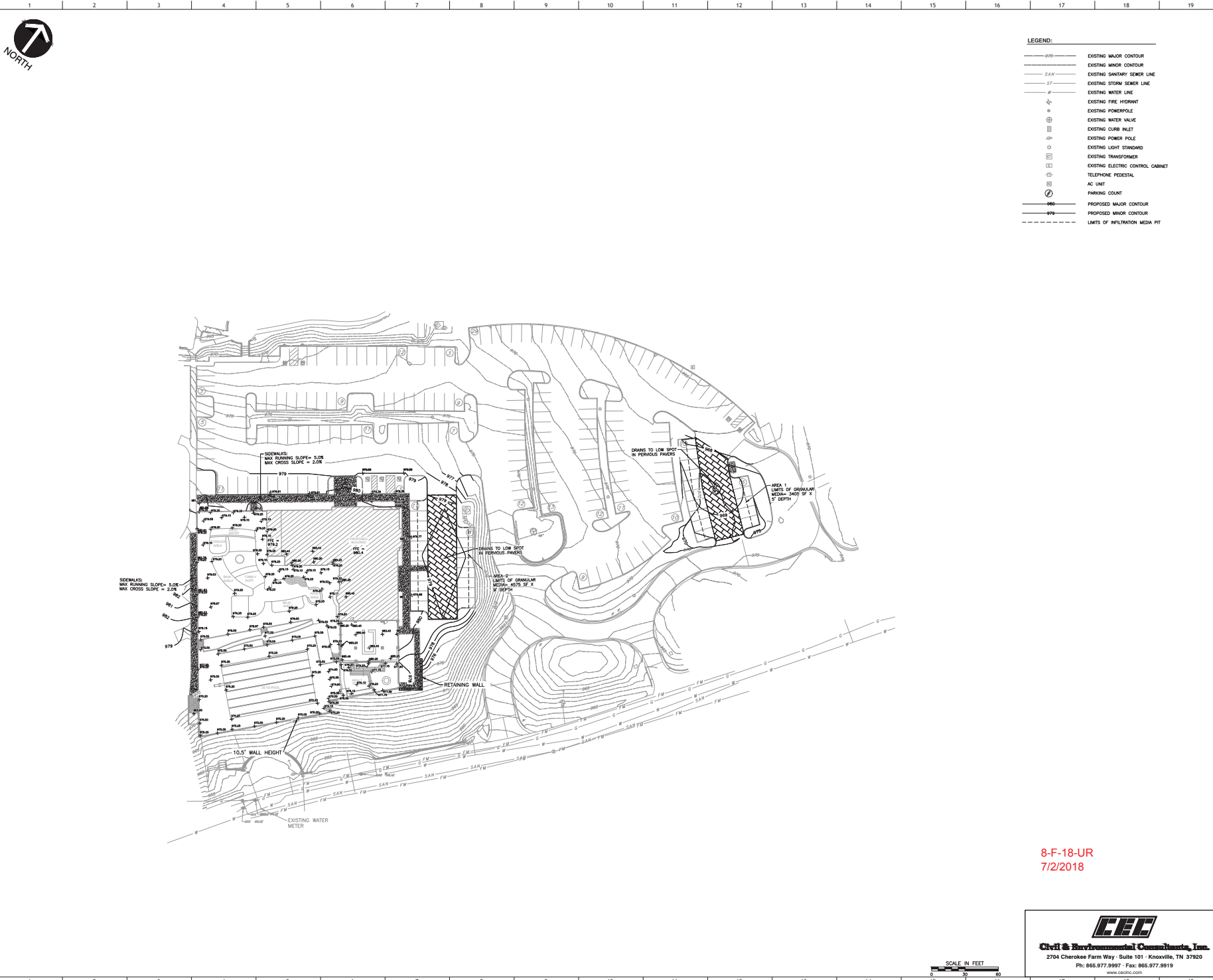
PROJECT NUMBER: 177400
 PROJECT NAME: CHEROKEE COUNTRY CLUB POOL
 OWNER: CHEROKEE COUNTRY CLUB
 PROJECT ADDRESS: 5323 LYONS VIEW PIKE KNOXVILLE, TN 37919

CONSULTANTS
CEC
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 2704 Cherokee Farm Way - Suite 101 - Knoxville, TN 37920
 Ph: 865.977.9997

PROJECT MANAGER	GPB
DRAWN BY	CRJ
REVIEWED BY	GPB
ISSUE DATE	4/05/18
REVISIONS	

C200
 SITE LAYOUT PLAN

P:\2017\177400\177400.dwg (177400) - 10/26/2017 10:00:00 AM - 10/26/2017 10:00:00 AM - 10/26/2017 10:00:00 AM - 10/26/2017 10:00:00 AM



- LEGEND:**
- EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - SAN EXISTING SANITARY SEWER LINE
 - ST EXISTING STORM SEWER LINE
 - W EXISTING WATER LINE
 - ⊕ EXISTING FIRE HYDRANT
 - ⊕ EXISTING POWERPOLE
 - ⊕ EXISTING WATER VALVE
 - ⊕ EXISTING CURB INLET
 - ⊕ EXISTING POWER POLE
 - ⊕ EXISTING LIGHT STANDARD
 - ⊕ EXISTING TRANSFORMER
 - ⊕ EXISTING ELECTRIC CONTROL CABINET
 - ⊕ TELEPHONE PEDESTAL
 - ⊕ AC LAMP
 - ⊕ PARKING COUNT
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - - - LIMITS OF INFILTRATION MEDIA PIT

8-F-18-UR
7/2/2018

SCALE IN FEET
0 30 60

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6/06/18

PROJECT NUMBER
177400

PROJECT NAME
CHEROKEE COUNTRY CLUB POOL

OWNER
CHEROKEE COUNTRY CLUB

PROJECT ADDRESS
5323 LYONS VIEW PIKE
KNOXVILLE, TN 37919

CONSULTANTS

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PROJECT MANAGER	GHP
DRAWN BY	CEJ
REVIEWED BY	GHP
ISSUE DATE	4/05/18
REVISIONS	

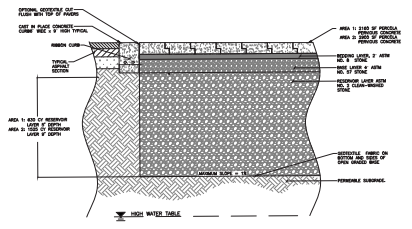
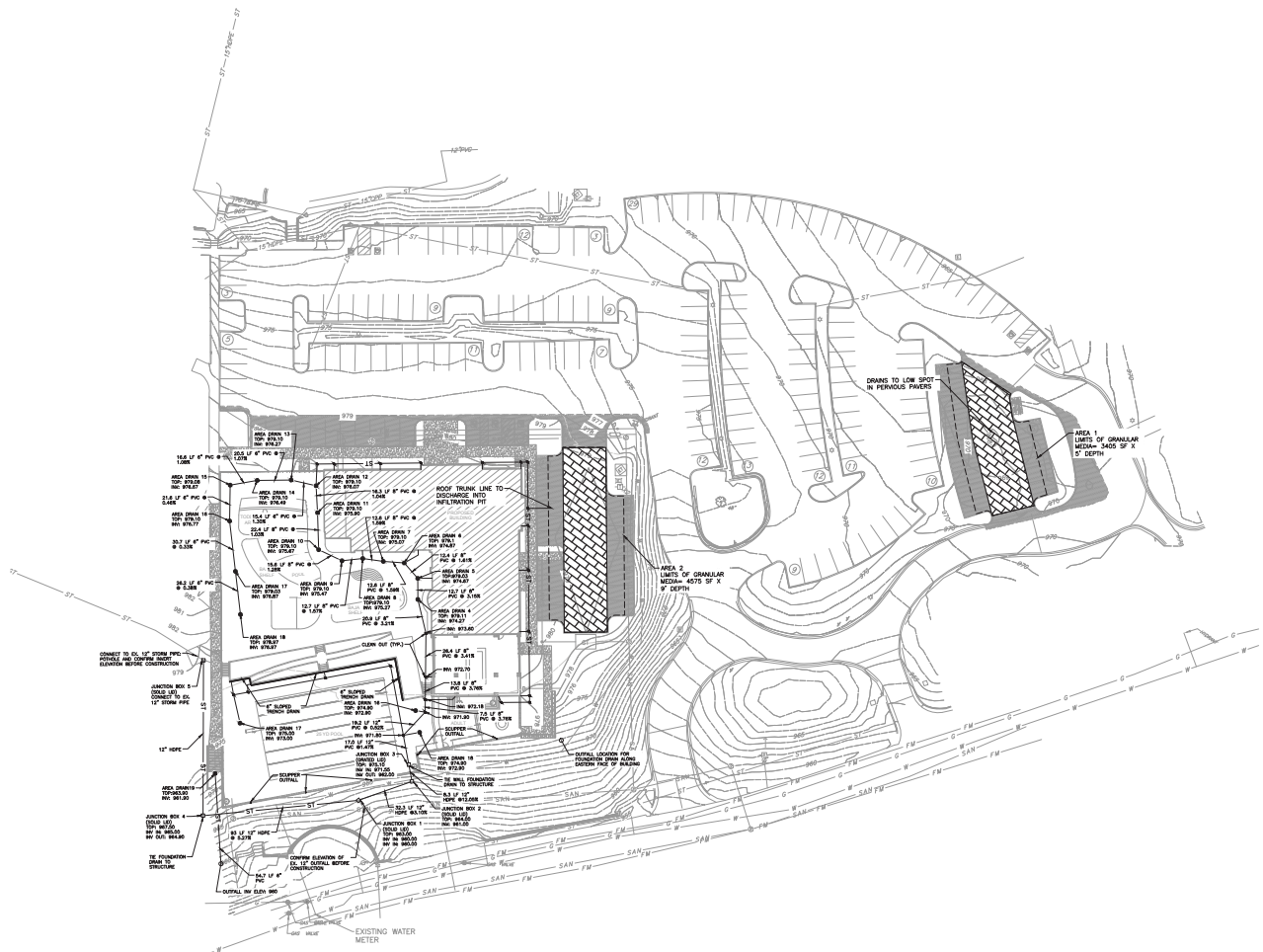
C300
GRADING PLAN



- LEGEND:**
- EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - SAN EXISTING SANITARY SEWER LINE
 - ST EXISTING STORM SEWER LINE
 - W EXISTING WATER LINE
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 - ⊕ EXISTING LIGHT STANDARD
 - ⊕ EXISTING TRANSFORMER
 - ⊕ EXISTING ELECTRIC CONTROL CABINET
 - ⊕ TELEPHONE PEDESTAL
 - ⊕ AC LIGHT
 - ⊕ PARKING COUNT
 - 980 PROPOSED MAJOR CONTOUR
 - 979 PROPOSED MINOR CONTOUR
 - PROPOSED JUNCTION BOX
 - PROPOSED STORM CLEAN OUT
 - PROPOSED TRENCH DRAIN
 - PROPOSED YARD DRAIN
 - LIMITS OF INFILTRATION MEDIA PIT

GENERAL NOTES

- ALL UTILITIES TO BE OUTSIDE OF INFILTRATION MEDIA PIT.



Supplied by:
Superior Drainage Products, Inc.
888-267-8888

8-F-18-UR
7/2/2018

SCALE IN FEET
0 30 60

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KNOXVILLE, TN 37919

CONSULTANTS



PROJECT MANAGER	GNP
DRAWN BY	CEJ
REVIEWED BY	GNP
ISSUE DATE	4/05/18
REVISIONS	

C400
DRAINAGE PLAN

P:\2017\177400\177400.dwg (177400.dwg) - 10/20/2018 10:00 AM
 PLOT DATE: 10/20/2018 10:00 AM
 PLOT SCALE: 1/8" = 1'-0"
 PLOT SHEET: 1 OF 1

GENERAL PLANTING NOTES:

1. THE LOCATION OF ALL SURFACE AND UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR AT GROUND BREAK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES FROM DAMAGE AS REQUIRED DURING CONSTRUCTION AND TO REPAIR ANY DAMAGE WHICH SHOULD OCCUR TO THE SATISFACTION OF THE OWNER.
2. AT START OF CONSTRUCTION OPERATIONS IDENTIFY AREAS OF GRASS TO BE KILLED. COMPLETELY EXPOSED ALL GRASS AREAS SHOWN TO BE WITHIN A MARGED AREA.
3. PROTECT EXISTING GRASS AREAS TO REMAIN. SOG AS REQUIRED ALL AREAS DISTURBED BY WORK.
4. ALL PLANTS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. THE LOCATION OF ALL TREES SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE THE BEGINS OF SITE. PLANTING SHALL BE LOCATED WHERE SHOWN ON THE DRAWING OR WHERE TILLS LOCATED BY LANDSCAPE ARCHITECT.
6. ESTABLISH SMOOTH CURVILINEAR MOUNDING/LINES WHICH LAMINATE BUILT-UP SWIRL OR SHARP COVER MASS - RED LINE LOCATIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT BEFORE BEGINNING BED PREPARATION.
7. PROVIDE APPROVED TOPSOIL TO PERFORM NECESSARY SOIL WORK.
8. THAT THE MAINTENANCE OF EXISTING CONDITIONS IS REQUIRED FOR REFERENCE.
9. ALL AREAS OF MASS PLANTING SHALL RECEIVE 8" OF APPROVED TOPSOIL/MULCH/MIX.
10. MATCH ALL AREAS OF TREE, SHRUB AND GROUND COVER MASS PLANTING WITH 3" OF SHREDED HARDWOOD BARK MULCH AS SPECIFIED.
11. MATCH ALL COLOR AND TEXTURE PLANTER AREAS WITH 1/2" OF FINELY SHREDED PINE BARK.
12. CONTRACTOR SHALL REPAIR AND MODIFY ANY EXISTING IRRIGATION AS NEEDED.
13. PLEASE PROVIDE PROPER DOCUMENTATION WITH SUPPORTING DOCUMENTS DEMONSTRATING THAT BODIES HAVE BEEN OBTAINED FROM A CERTIFIED NURSERY AND THE TREE IS QUANTIFIED.
14. PLEASE SUBMIT IMAGES OF ALL SPECIMEN PLANT MATERIAL FOR APPROVAL PRIOR TO INSTALLATION AND ACQUISITION.

IRRIGATION NOTE:

Project shall be fully irrigated with 100% coverage of lawn areas and planted beds. Irrigation zone control shall be automatic operation with controller and automatic control valves. Shop drawings and irrigation plan shall be provided to Landscape Architect for review and approval.

Knoxville, TN Code of Ordinances

Sec. 14-34 b. Where application for a building permit for new construction or subdivision approval is required, a minimum of six (6) trees per acre shall be retained on the site unless cut & fill work such trees cannot be saved.

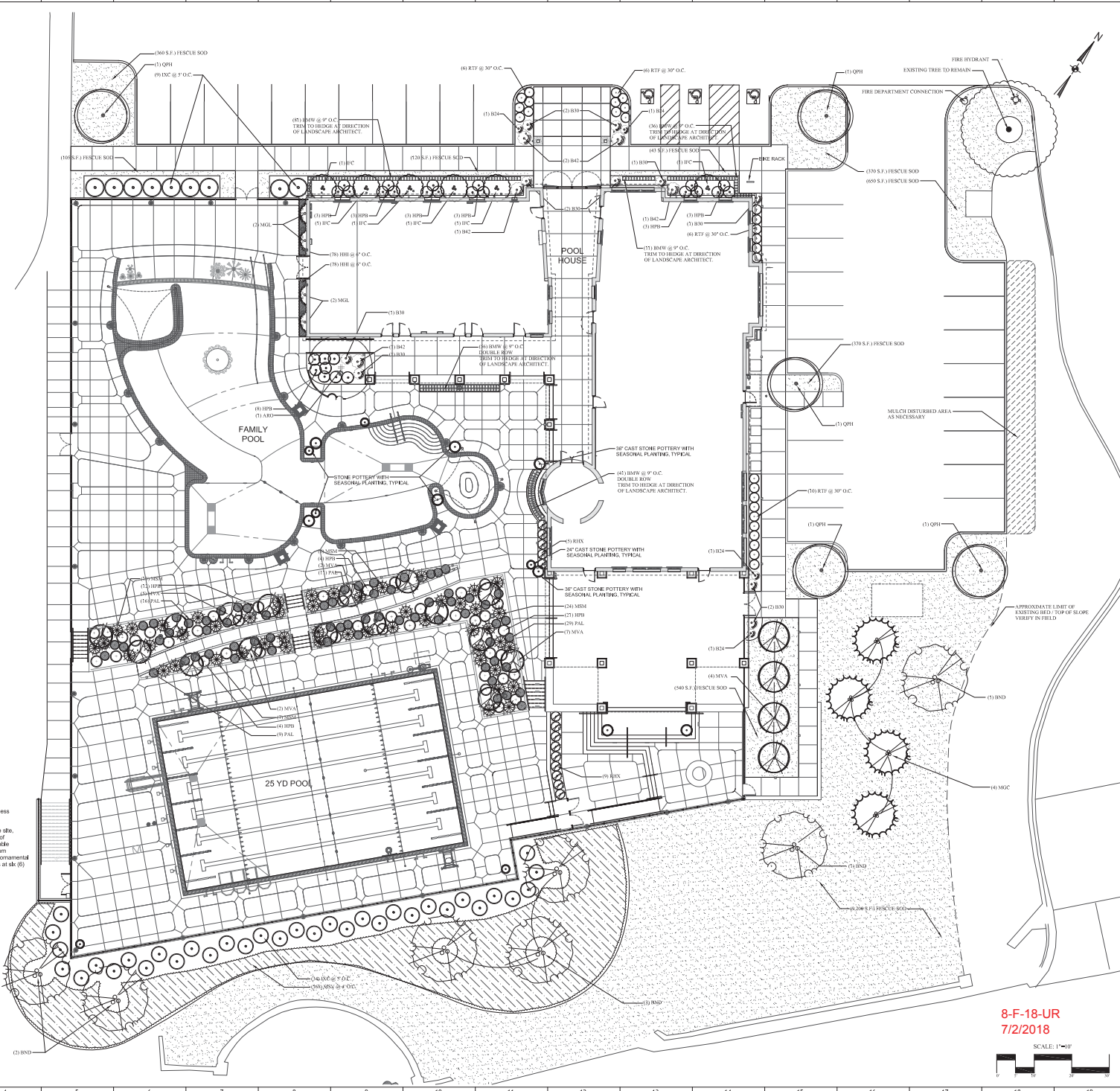
Sec. 14-35 Where trees cannot be retained pursuant to this article, or do not exist on the site, they shall be provided, within twelve (12) months of construction completion, at the rate of eight (8) trees per acre, with at least one-half of the required number being species capable of attaining a height of fifty (50) feet or more at maturity. Such trees shall have a minimum trunk diameter of two (2) inches at six (6) inches above ground at planting, unless an ornamental variety, which shall have a minimum trunk diameter of one and one-half (1-1/2) inches at six (6) inches above the ground.

Trees required: 1.76ac x 8 trees/ac = 14 trees

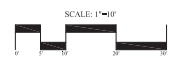
Trees provided: 74

Required Trees capable of reaching 50 feet at maturity: 7

Provided Trees capable of reaching 50 feet at maturity: 16



8-F-18-UR
7/2/2018



100 Market St Suite 300 Knoxville, TN 37902
1-800-504-1915
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PROJECT NUMBER
177400

PROJECT NAME
CHEROKEE COUNTRY CLUB
POOL

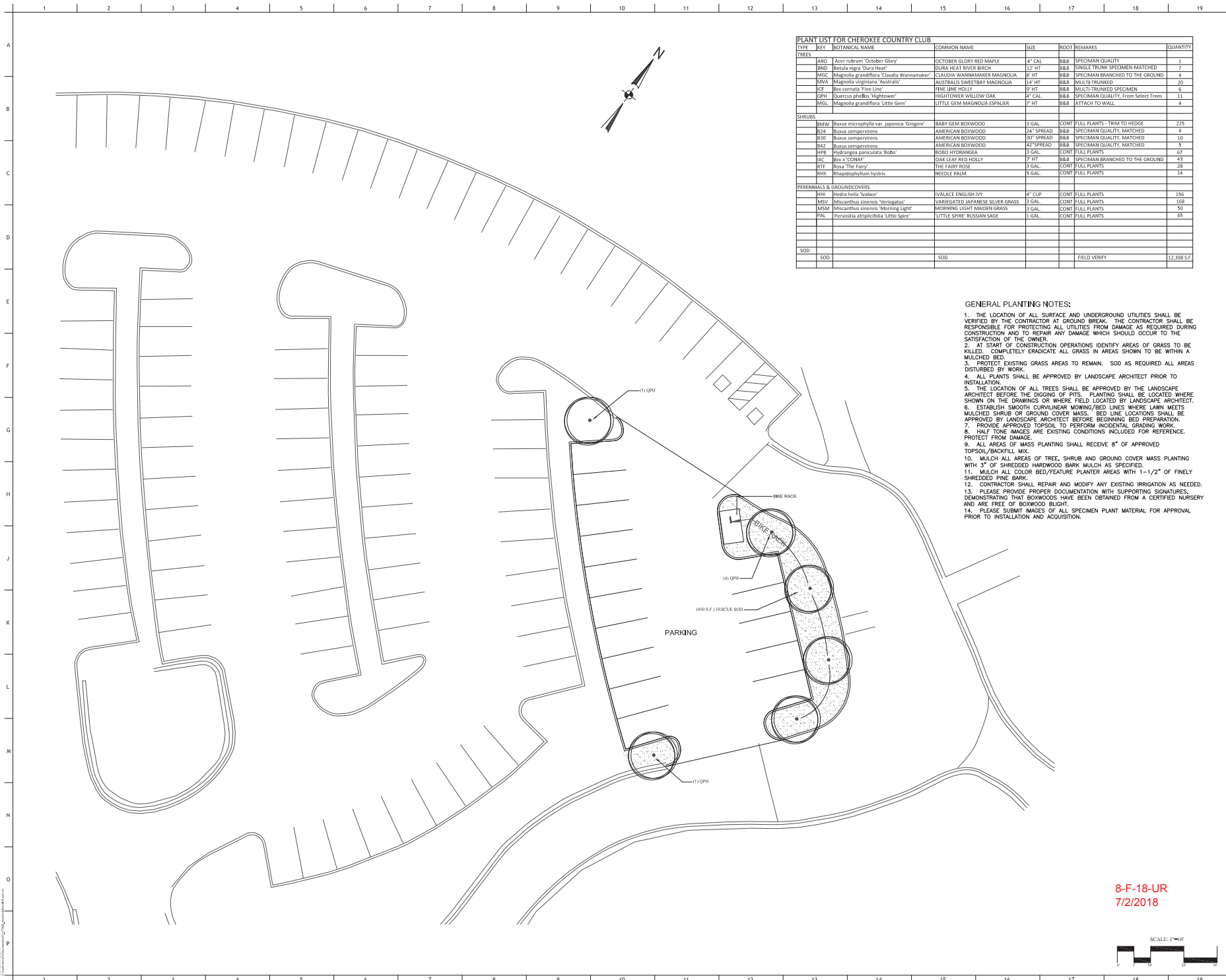
OWNER
CHEROKEE COUNTRY CLUB

PROJECT ADDRESS
5323 LYONS MEW PIKE
KNOXVILLE, TN 37919

CONSULTANTS
STEPHEN W. HACKNEY
LANDSCAPE ARCHITECT
1649 MYSTIC STREET
KNOXVILLE, TN 37922
T. 865.257.9494

PARTNER-IN-CHARGE KJH
PROJECT MANAGER AMC
DRAWN BY SWH
REVIEWED BY SWH
DATE 06.04.2018
REVISIONS

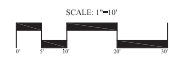
L001
Landscape Plan



PLAN LIST FOR CHEROKEE COUNTRY CLUB							
TYPE	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS	QUANTITY
TREES	ARD	Acer rubrum 'October Glory'	OCTOBER GLORY RED MAPLE	4" CAL	B&B	SPECIMAN QUALITY	1
	BND	Betula nigra 'Dura Heat'	DURA HEAT RIVER BIRCH	12" HT	B&B	SINGLE TRUNK SPECIMEN MATCHED	7
	MGG	Magnolia grandiflora 'Claudia Wannamaker'	CLAUDIA WANNAMAKER MAGNOLIA	8" HT	B&B	SPECIMAN BRANCHED TO THE GROUND	4
	MVA	Magnolia virginiana 'Austrii'	AUSTRIAN SWEETBARK MAGNOLIA	8" HT	B&B	MULTI TRUNKED	10
	ICF	Ilex cornuta 'Fine Line'	FINE LINE HOLLY	2" HT	B&B	MULTI TRUNKED SPECIMEN	6
	QPH1	Quercus phellos 'Hightower'	HIGHTOWER WILLOW OAK	4" CAL	B&B	SPECIMAN QUALITY, From Select Trees	11
	MGG	Magnolia grandiflora 'Little Gem'	LITTLE GEM MAGNOLIA SPALIER	7" HT	B&B	ATTACH TO WALL	4
SHRUBS	BMW	Buxus microphylla var. 'japonica 'Gregson''	BABY GEM BOXWOOD	3 GAL	CONT	FULL PLANTS - TRIM TO HEDGE	225
	B24	Buxus sempervirens	AMERICAN BOXWOOD	24" SPREAD	B&B	SPECIMAN QUALITY, MATCHED	4
	B30	Buxus sempervirens	AMERICAN BOXWOOD	30" SPREAD	B&B	SPECIMAN QUALITY, MATCHED	10
	B42	Buxus sempervirens	AMERICAN BOXWOOD	42" SPREAD	B&B	SPECIMAN QUALITY, MATCHED	3
	HPB	Hydrangea paniculata 'Bobo'	BOBO HYDRANGEA	3 GAL	CONT	FULL PLANTS	67
	IXC	Ilex 'CORA'	OAK LEAF RED HOLLY	2" HT	B&B	SPECIMAN BRANCHED TO THE GROUND	43
	RTE	Rosa 'The Fairy'	THE FAIRY ROSE	3 GAL	CONT	FULL PLANTS	28
	RHK	Rhaphidophyllum hystrix	NEEDLE PALM	3 GAL	CONT	FULL PLANTS	14
PERENNIALS & GROUNDCOVERS							
	HHI	Hedera helix 'Varace'	VARACE ENGLISH IVY	4" CLIP	CONT	FULL PLANTS	136
	M5V	Miscanthus sinensis 'Venigatui'	VANEGATED JAPANESE SILVER GRASS	3 GAL	CONT	FULL PLANTS	168
	M5M	Miscanthus sinensis 'Morning Light'	MORNING LIGHT MAJESTY GRASS	3 GAL	CONT	FULL PLANTS	50
	PAL	Perovoskia atriplicifolia 'Little Spire'	LITTLE SPIRE RUSSIAN SAGE	3 GAL	CONT	FULL PLANTS	65
SOD							
	SOD		SOD			FIELD VERIFY	12,398 S.F.

- GENERAL PLANTING NOTES:**
- THE LOCATION OF ALL SURFACE AND UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR AT GROUND BREAK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES FROM DAMAGE AS REQUIRED DURING CONSTRUCTION AND TO REPAIR ANY DAMAGE WHICH SHOULD OCCUR TO THE SATISFACTION OF THE OWNER.
 - AT START OF CONSTRUCTION OPERATIONS IDENTIFY AREAS OF GRASS TO BE KILLED. COMPLETELY ERADICATE ALL GRASS IN AREAS SHOWN TO BE WITHIN A MULCHED BED.
 - PROTECT EXISTING GRASS AREAS TO REMAIN. SOD AS REQUIRED ALL AREAS DISTURBED BY WORK.
 - ALL PLANTS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - THE LOCATION OF ALL TREES SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE THE DIGGING OF PITS. PLANTING SHALL BE LOCATED WHERE SHOWN ON THE DRAWINGS OR WHERE FIELD LOCATED BY LANDSCAPE ARCHITECT.
 - ESTABLISH SMOOTH CURVILINEAR MOWING/BED LINES WHERE LAWN MEETS MULCHED SHRUB OR GROUND COVER MASS. BED LINE LOCATIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT BEFORE BEGINNING BED PREPARATION.
 - PROVIDE APPROVED TOPSOIL TO PERFORM INCIDENTAL GRADING WORK.
 - HALF TONE IMAGES ARE EXISTING CONDITIONS INCLUDED FOR REFERENCE. PROTECT FROM DAMAGE.
 - ALL AREAS OF MASS PLANTING SHALL RECEIVE 8" OF APPROVED TOPSOIL/BACKFILL MIX.
 - MULCH ALL AREAS OF TREE, SHRUB AND GROUND COVER MASS PLANTING WITH 3" OF SHREDDED HARDWOOD BARK MULCH AS SPECIFIED.
 - MULCH ALL COLOR BED FEATURE PLANTER AREAS WITH 1-1/2" OF FINELY SHREDDED PINE BARK.
 - CONTRACTOR SHALL REPAIR AND MODIFY ANY EXISTING IRRIGATION AS NEEDED.
 - PLEASE PROVIDE PROPER DOCUMENTATION WITH SUPPORTING SIGNATURES, DEMONSTRATING THAT BOXWOODS HAVE BEEN OBTAINED FROM A CERTIFIED NURSERY AND ARE FREE OF BOXWOOD BLOOM.
 - PLEASE SUBMIT IMAGES OF ALL SPECIMEN PLANT MATERIAL FOR APPROVAL PRIOR TO INSTALLATION AND ACQUISITION.

8-F-18-UR
7/2/2018



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PROJECT NUMBER
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CHEROKEE COUNTRY CLUB
POOL

OWNER
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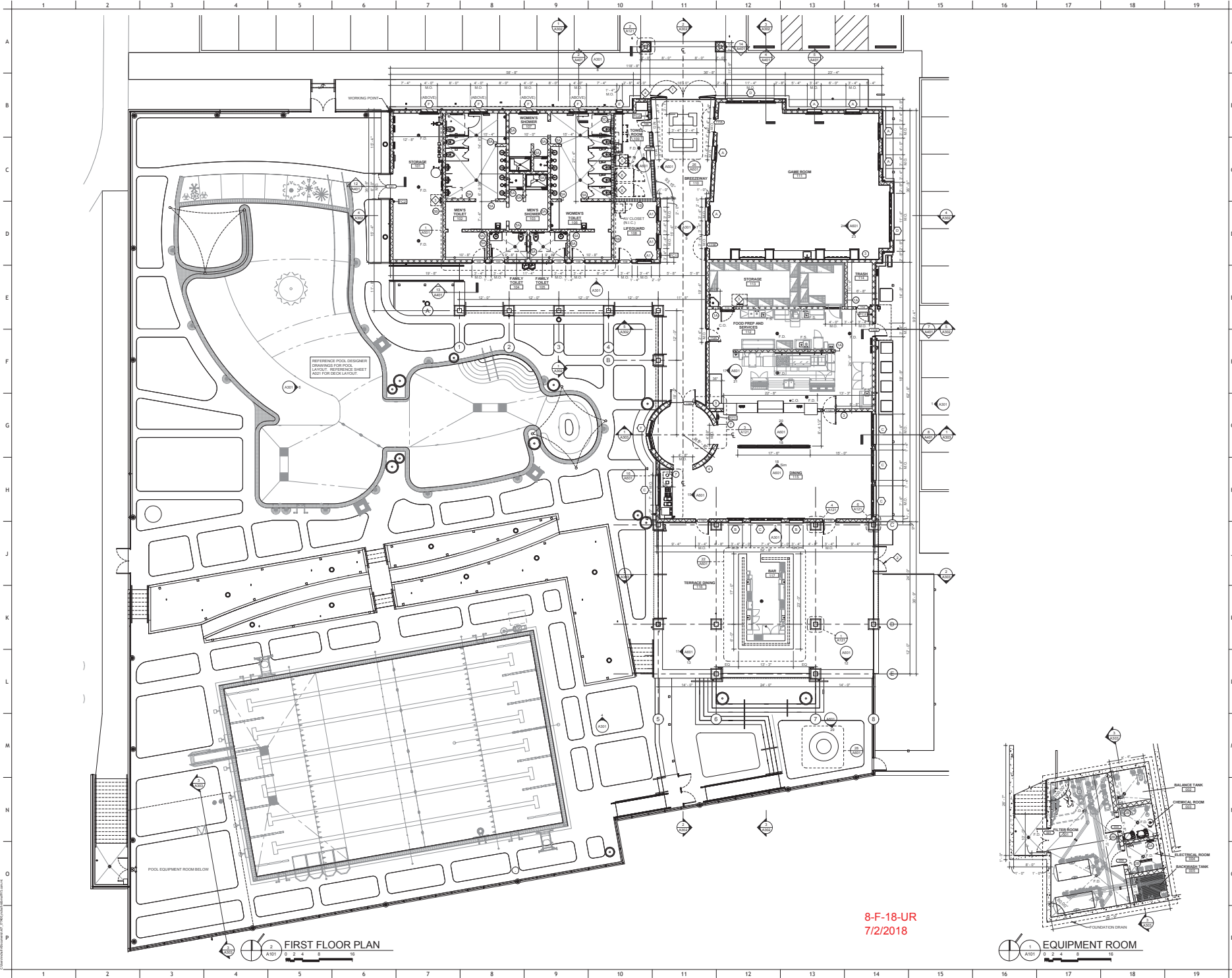
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KNOXVILLE, TN 37919

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KNOXVILLE, TN 37922
T. 865.257.9494

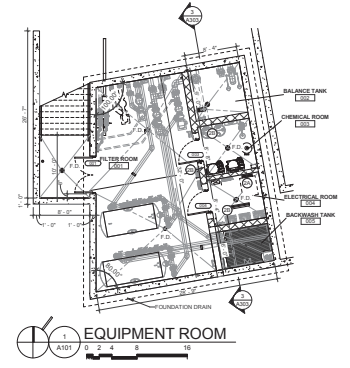
PARTNER-IN-CHARGE KLH
PROJECT MANAGER JMC
DRAWN BY SWH
REVIEWED BY SWH
ISSUE DATE 06.04.2018

REVISIONS

L002
Landscape Plan



8-F-18-UR
7/2/2018



oma
BARBERMcMURRY
architects since 1915

505 Market St Suite 300 Knoxville, TN 37902
1.800.334.1915
oma1915.com

PROJECT NUMBER
177400

PROJECT NAME
CHEROKEE COUNTRY CLUB
POOL

OWNER
CHEROKEE COUNTRY CLUB

PROJECT ADDRESS
5323 LYONS VIEW PIKE
KNOXVILLE, TN 37919

CONSULTANTS

GENERAL NOTES

- COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS.
- NOTES AND DETAILS ARE TYPICALLY APPLICABLE TO SIMILAR ITEMS ELSEWHERE ON THE SHEET.
- PROVIDE SLIDING, RUGGY HOME, ETC. AS REQUIRED TO MOUNT EQUIPMENT.
- BLOCKING AND BARRIERS MATERIALS IN WALLS AND ALL OTHER CONCEALED SPACES SHALL BE FIRE-RETARDANT TREATED WOOD OR OTHER NON-COMBUSTIBLE MATERIALS.
- SYMBOL INDICATES PARTITION TYPE. SEE SHEET 8-F-18-UR FOR PARTITION TYPES.
- SYMBOL INDICATES WINDOW TYPE. SEE SHEET 8-F-18-UR FOR INTERIOR WINDOW ELEVATIONS.
- SYMBOL INDICATES DOOR. SEE SHEET 8-F-18-UR FOR OPENING SCHEDULE.
- COORDINATE RECESSED SLAB LOCATIONS WITH FINISHES AND EQUIPMENT.
- SEE SHEET 8-F-18-UR FOR POOL DECK PLAN.

KEYNOTES/PLANS

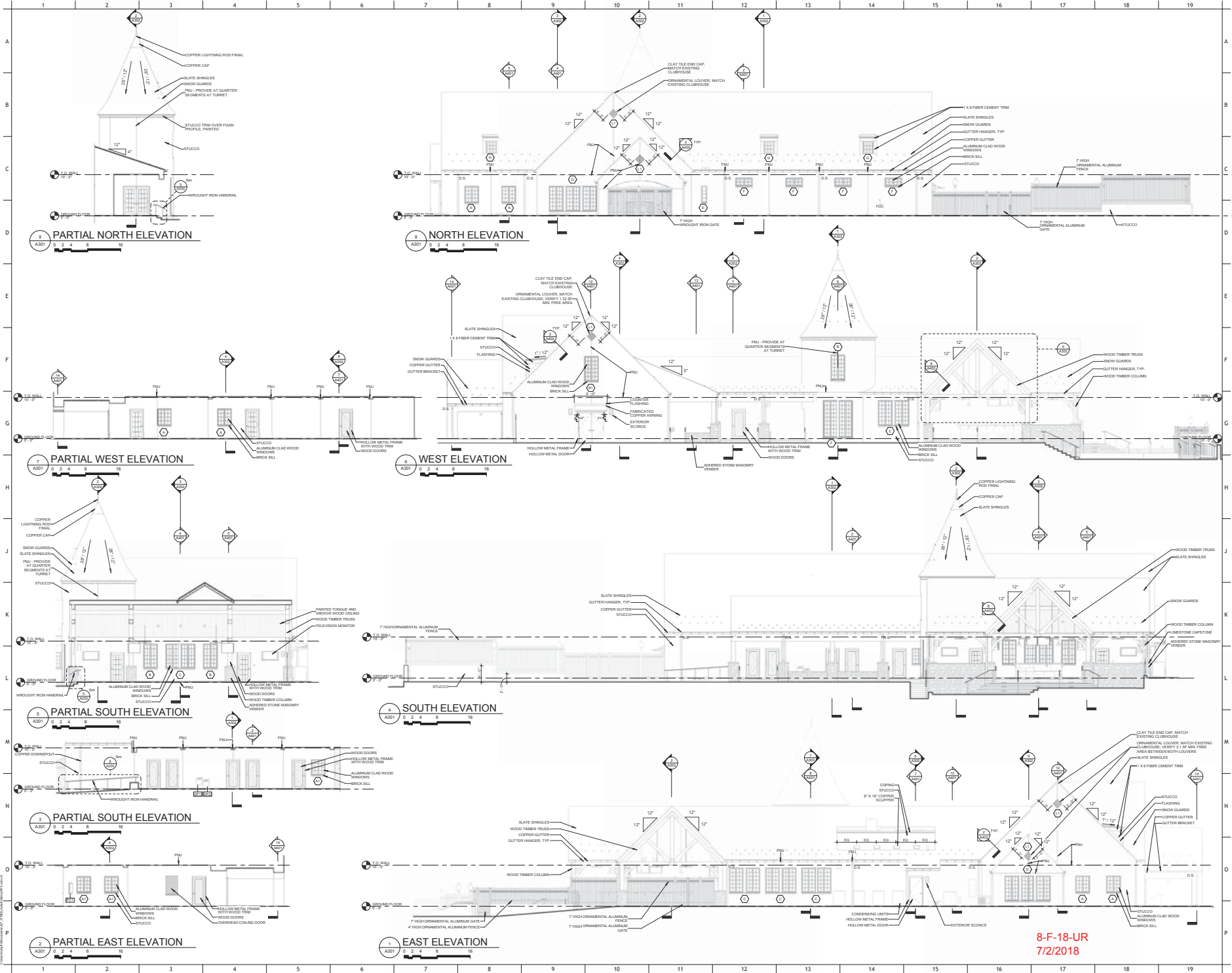
- 2" HIGH WROUGHT IRON GATE AND FENCE
- 2" HIGH ORNAMENTAL ALUMINUM GATE AND FENCE
- ATTIC ACCESS LADDER
- KITCHEN BOX
- WASHER, N.I.C.
- DRYER, N.I.C.

WALL LEGEND

- UNRATED PARTITION
- UNRATED MASONRY PARTITION
- UNRATED MASONRY PARTITION
- PARTITION

PARTNER-IN-CHARGE: KJH
PROJECT MANAGER: AMC
DRAWN BY: AMC
REVIEWED BY: TMM
ISSUE DATE: 08/04/2018
REVISIONS:

A101
FLOOR PLAN



bma
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 architects since 1915

505 Market St Suite 300 Knoxville, TN 37902
 1 865.544.1915 1 865.544.0242
 bma1915.com

PROJECT NUMBER
 177400

PROJECT NAME
 CHEROKEE COUNTRY CLUB

OWNER
 CHEROKEE COUNTRY CLUB

PROJECT ADDRESS
 5323 LYONS VIEW PIKE
 KNOXVILLE, TN 37919

CONSULTANTS

GENERAL NOTES

- COORDINATE WITH APPLICABLE DIMENSIONS AND DETAILS ON OTHER SHEETS.
- NOTES AND DETAILS ARE TYPICALLY APPLICABLE TO SIMILAR ITEMS DRAWN ELSEWHERE ON THE SHEET.
- DIMENSIONS ARE TO FACE OF MASONRY OR EDGE OF OPENING UNLESS OTHERWISE NOTED.
- SEE SHEET A71 FOR EXTERIOR WINDOW TYPES AND DETAIL REFERENCES.
- SEE SHEET A80 AND A81 FOR SITE STAR AND PAUL DETAILS.

PARTNER-IN-CHARGE: KJH
 PROJECT MANAGER: MMC
 DRAWN BY: MMC
 REVIEWED BY: TMM
 ISSUE DATE: 06.04.2018
 REVISIONS:

A301
 ELEVATIONS

8-F-18-UR
 7/2/2018

Use on Review **Development Plan**

Name of Applicant: Cherokee Country Club

Date Filed: July 2, 2018 Meeting Date: August 9th, 2018

Application Accepted by: *Thomas Brubaker*

Fee Amount: _____ File Number: Development Plan _____

Fee Amount: \$2,400 File Number: Use on Review **8-F-18-UR**



PROPERTY INFORMATION

Address: 5323 Lyons View Pike

General Location: Across the street from the main Cherokee Country Club Clubhouse

Tract Size: n/a **109.11** No. of Units: n/a

Zoning District: R-1 **and DS-1**

Existing Land Use: Cherokee Country Club Pool/pool house

Planning Sector: West City

Sector Plan Proposed Land Use Classification: OS - OTHER OPEN SPACE

Growth Policy Plan Designation: ^{Urban} none indicated

Census Tract: 71

Traffic Zone: Minor Arterial **114**

Parcel ID Number(s): **Part of** 121BD001

Jurisdiction: City Council ^{2nd} District County Commission ^{4th} District

PROPERTY OWNER/OPTION HOLDER

PLEASE PRINT Name: Shawn Wilkes

Company: Cherokee Country Club

Address: PO Box 10987

City: Knoxville State: TN Zip: 37939

Telephone: 865-862-6867

Fax: _____

E-mail: swilkes@cherokeecountryclub.com

APPLICATION CORRESPONDENCE

All correspondence relating to this application should be sent to:

PLEASE PRINT Name: Megan Chafin

Company: BarberMcMurry Architects

Address: 505 Market St, Suite 300

City: Knoxville State: TN Zip: 37902

Telephone: 865-934-1915

Fax: _____

E-mail: bma@bma1915.com

APPROVAL REQUESTED

Development Plan: Residential Non-Residential

Home Occupation (Specify Occupation)

Other (Be Specific)

Country Club pool replacement

APPLICATION AUTHORIZATION

I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request or holders of option on same, whose signature ~~is~~ **is** included on the back of this form.

Signature: *Megan Chafin*

PLEASE PRINT Name: Megan Chafin

Company: BarberMcMurry Architects

Address: 505 Market St, Suite 300

City: Knoxville State: TN Zip: 37902

Telephone: 865-934-1915


E-mail: bma@bma1915.com

SIGNATURES OF ALL PROPERTY OWNERS INVOLVED OR HOLDERS OF OPTION ON SAME MUST BE LISTED BELOW:

Please Sign in Black Ink:

(If more space is required attach additional sheet.)

Name	Address	City	State	Zip	Owner	Option
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D) Shawn Jilley	5138	Knoxville	TN	37919		X
	Lyons View Ave					