

**KNOXVILLE/KNOX COUNTY METROPOLITAN PLANNING COMMISSION
 USE ON REVIEW REPORT**

▶ **FILE #:** 7-A-18-UR

AGENDA ITEM #: 48

AGENDA DATE: 7/12/2018

▶ **APPLICANT:** LAND DEVELOPMENT SOLUTIONS

OWNER(S): Fort Sanders Regional Medical Center and Foundation

TAX ID NUMBER: 94 N K 01901 & MAP 094NL PARCELS 005, 006, [View map on KGIS](#)
 025-028

JURISDICTION: City Council District 1

STREET ADDRESS: 1819 Clinch Ave

▶ **LOCATION:** Northwest side Clinch Ave., southeast and northwest side Laurel Ave., northeast side Nineteenth St., southeast side Highland Ave.

▶ **APPX. SIZE OF TRACT:** 4.3 acres

SECTOR PLAN: Central City

GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)

ACCESSIBILITY: Access is via Laurel Ave., a local street with 25' of pavement width within 50' of right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Third Creek

▶ **ZONING:** O-1 (Office, Medical, and Related Services), O-2 (Civic and Institutional) and O-2 / NC-1 (Neighborhood Conservation Overlay) pending

▶ **EXISTING LAND USE:** Medical center, parking garage and residences.

▶ **PROPOSED USE:** Medical center and parking garage expansions

HISTORY OF ZONING: See staff comments

SURROUNDING LAND USE AND ZONING: North: Apartments and residences - R-3 (High Density Residential) and R-2 (General Residential)

South: Hospital, parking lot and residences / O-1 (Office, Medical, and Related Services) and R-2 (General Residential)

East: Residences - R-2 (General Residential) / NC-1 (Neighborhood Conservation Overlay)

West: Existing parking garage and hospital - O-2 (Civic and Institutional) and O-1 (Office, Medical, and Related Services)

NEIGHBORHOOD CONTEXT: This site is located in the Fort Sanders area near several hospital facilities and residential uses that have developed under a mix of O-1, O-2 and R-2 zoning.

STAFF RECOMMENDATION:

▶ **APPROVE** the request for the renovation and two story addition to the Center for Advance Medicine building, addition of a new pedestrian crossover and the parking garage expansion as shown on the

development plan subject to 8 conditions

1. Approval of the rezoning request (6-K-18-RZ) for Tax Parcels 094NL005 and 094NL006 to O-2 (Civic and Institutional) / NC-1 (Neighborhood Conservation Overlay) by Knoxville City Council.
2. Meeting all applicable requirements of the Knoxville Zoning Ordinance.
3. Connection to sanitary sewer and meeting any other relevant requirements of the Knox County Health Department.
4. Meeting all applicable requirements of the Knoxville Department of Engineering.
5. Approval of a permissive use agreement by the Knoxville City Council to permit the pedestrian crossover to traverse the public right-of-way.
6. Installation of landscaping as shown on the development plan within six months of the issuance of occupancy permit for this project. Landscaping shall not interfere with required sight distances at the existing street intersections.
7. Meeting all applicable requirements of the Knoxville Urban Forester.
8. Meeting the conditions of the approval by the Knoxville Historic Zoning Commission of the Certificate of Appropriateness for the parking garage addition (6-I-18-HZ).

With the conditions noted, this plan meets the requirements for approval in the O-2 District and the other criteria for approval of a use on review.

COMMENTS:

The Fort Sanders Regional Medical Center is proposing an expansion to the Center for Advance Medicine (CAM) building that is located on the southeast side of Laurel Ave. just west of Eighteenth St. The proposed expansion includes a renovation of the ground floor of the building for the emergency room and the addition of a fourth and fifth floor that will include a total of 96 beds. The new addition with 96 beds will include 50 beds that are being relocated from the existing hospital building located just west of the CAM building. This results in only 46 new beds for the hospital. The area of the existing hospital where the beds are being moved from will be used for other clinical services. Any new in-patient beds would require approval from the City (See attached narrative letter from Fort Sanders Regional Medical Center dated May 29, 2018.). A new pedestrian crossover is proposed between the CAM building and the hospital located at the northwest corner of the intersection of Laurel Ave. and Nineteenth St.. The Knoxville Board of Zoning Appeals (BZA) has granted variances regarding height, lot coverage and setbacks.

To meet the parking demand for the hospital expansion, an addition is also proposed to the existing parking garage that is located on the north side of Laurel Ave. across from the CAM building. The proposed garage addition will add 353 parking spaces for a total of 949 spaces.

The Planning Commission recommended approval of the rezoning of the garage expansion site to O-2 (Civic and Institutional) on April 12, 2018 (4-R-18-RZ) and June 14, 2018 (6-K-18-RZ). Knoxville City Council approved the rezoning of the southern half of the site (4-R-18-RZ) on May 22, 2018. The northern half of the site (6-K-18-RZ) will be considered by City Council on July 17, 2018.

The garage addition was reviewed and approved with conditions by the Knoxville Historic Zoning Commission.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE

1. The proposed hospital expansion will have minimal impact on local services since all utilities are in place to serve this development.
2. The proposed plans for expansion of the hospital will have minimal impact on the adjoining uses considering that the site is in an area of existing medical related facilities.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOXVILLE ZONING ORDINANCE

1. The proposed addition, with the approved variances, will meet the standards for development within the O-1 and O-2 zoning districts and all other relevant requirements of the Zoning Ordinance.
2. The proposed hospital expansion plan is consistent with the general standards for uses permitted on review: The proposed development is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas since the site has

direct access to both minor collector and major arterial streets.

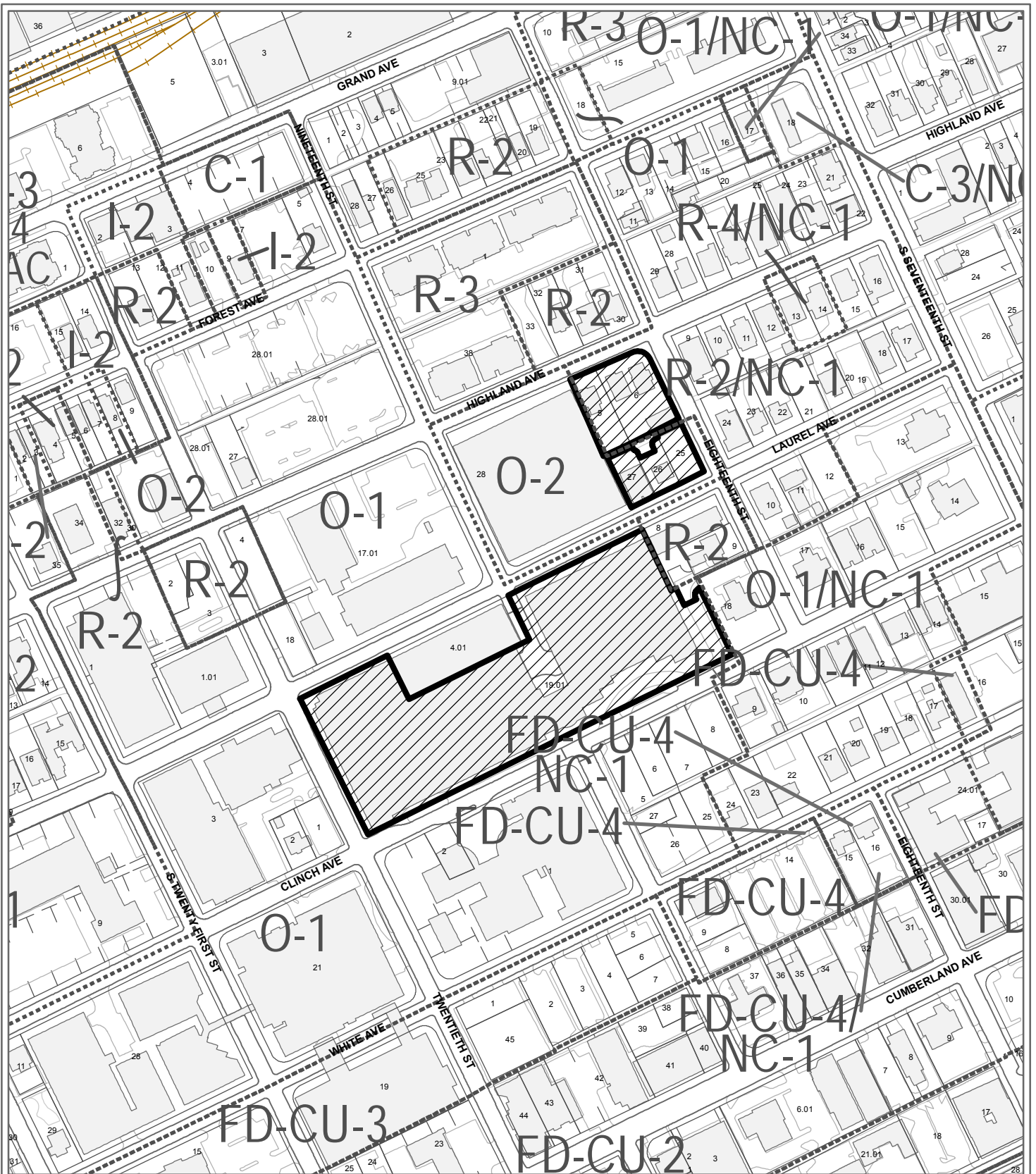
CONFORMITY OF THE PROPOSAL TO ADOPTED PLANS

1. The Central City Sector Plan and Knoxville One year Plan identifies this property as being within an area designated for office and related uses. The proposed plans for expansion of the hospital are consistent with the Sector and One Year Plans.
2. The site is located within the Urban Growth Area of the City of Knoxville on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: A traffic impact study was prepared by the applicant. The findings of that study were used in formulating the recommendations of this staff report.

ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal an MPC decision in the City.



**7-A-18-UR
USE ON REVIEW**



Medical center and parking garage in O-1 (Office, Medical, and Related Services) & O-2 (Civic and Institutional)

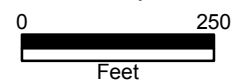
Original Print Date: 6/20/2018
Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

Revised:
Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

Petitioner: Land Development Solutions

Map No: 94

Jurisdiction: City





May 29, 2018

7-A-18-UR

Craig Holloway, AIA, EDAC
Earl Swenson and Associates
1033 Demonbreun Street, Suite 800
Nashville, TN 37203

Dear Craig:

The following narrative will indicate the adaptive reuse of the vacated hospital bed space as indicated.

The scope of this project encompasses the first phase of a multi-phase masterplan. The intent of the masterplan is to relocate existing departments to new square footage. The proposed fourth and fifth floor additions to the Center for Advanced Medicine (CAM) building will comprise ninety-six (96) beds; fifty (50) of these beds will be relocated from the existing hospital structure. The existing fifty-bed ICU unit will be vacated as a part of the proposed relocation. At this time, there are no plans to back-fill this area for any clinical service containing beds or other clinical services. This area will remain conditioned with all fire/life-safety features in operation. Although the area may have the potential to support other clinical services in the future, no new in-patient beds would be proposed unless approved through the City of Knoxville Building/Planning Department.

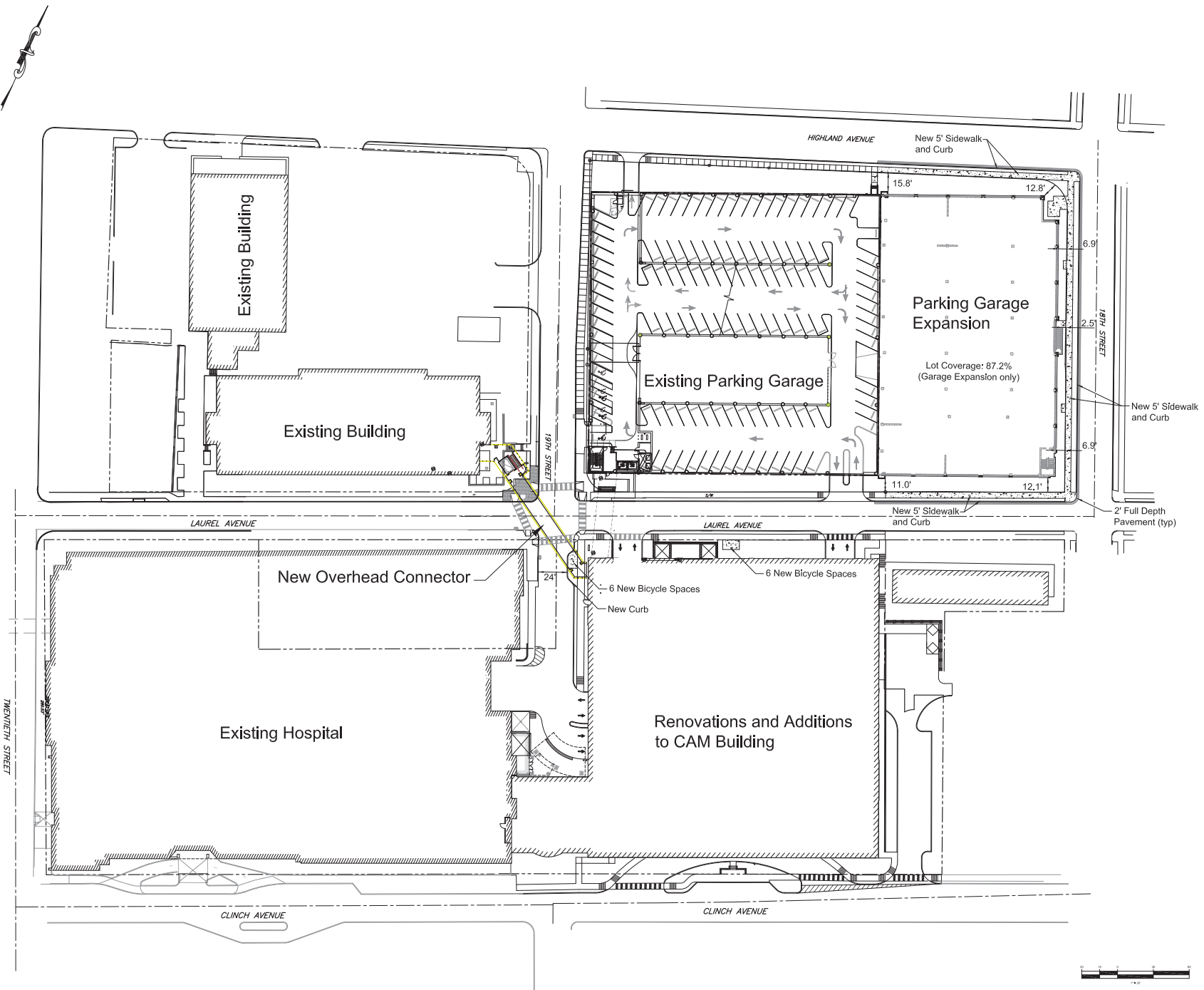
If you have any questions or need any additional information please do not hesitate to call me at (865)331-1301.

Regards,

Chris Hall
Vice President, Chief Support Officer

No.	Date	Revision
1	5-28-18	Revisions per MPC comments
2	6-28-18	Revisions per MPC comments

Drawn By	
Checked	
Approved	
Job No.	218030
1"=30' Scale	5-7-18 Date
C101	
Sheet No.	



X:\char\Fort Sanders Regional 2018\Map\FT SANDERS NEW PARKING 2018.dwg Jun 28, 2018 - 11:16am cbrown - LDS Copyright 2018

Additions to Existing Campus



Additions to Existing Campus



GRAPHIC SCALE: 1/32" = 1'-0"
 GRAPHIC SCALE: 1/16" = 1'-0"
 GRAPHIC SCALE: 3/32" = 1'-0"
 GRAPHIC SCALE: 1/8" = 1'-0"
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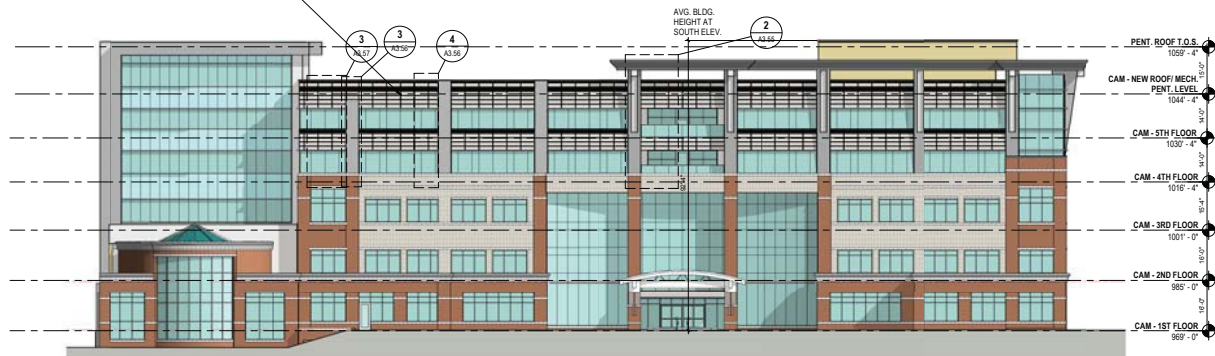
OPTIONAL
TERRA COTTA RAINSCREEN



- MANY COLORS AVAILABLE
- LIGHTWEIGHT (COMPARED TO MASONRY)
- QUICK INSTALL
- CONTRAST TO EXISTING MASONRY



3 ED Entry
SCALE:



1 SOUTH ELEVATION
SCALE: 1/16" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/16" = 1'-0"

BUILDING HEIGHT SUMMARY

NORTH ELEV.	113'-8"
SOUTH ELEV.	92'-4"
EAST ELEV.	92'-4"
WEST ELEV.	105'-0"
AVG. BLDG. HEIGHT	101'

ESa
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 richard L. miller, architect
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 Nashville, Tennessee 37203
 615-329-8445
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ED & ICU ADDITIONS & RENOVATIONS TO
FORT SANDERS REGIONAL MEDICAL CENTER
 KNOXVILLE, TENNESSEE



DOCUMENT CHANGES

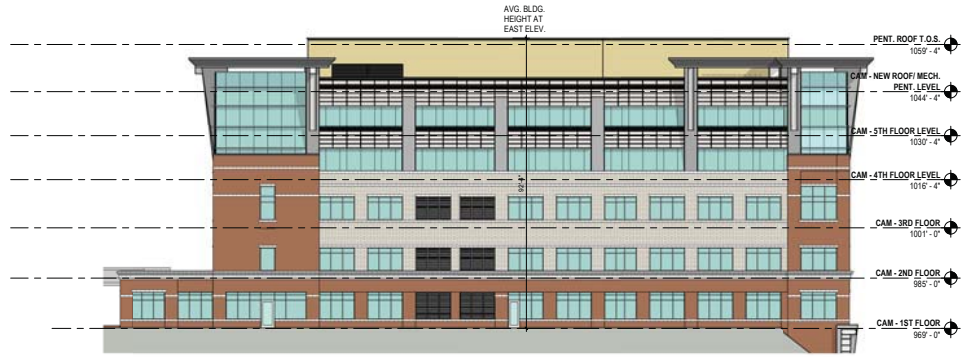
Number	Date

Issue Description DD
 Original Issue Date 06/29/18
 Project No. 16083.00
 Drawn By KL Checked By WCH
 Drawing Title

EXTERIOR ELEVATIONS

Sheet Number
A2.01

GRAPHIC SCALE 1/32" = 1'-0"
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1 EAST ELEVATION
 SCALE: 1/16" = 1'-0"



2 WEST ELEVATION
 SCALE: 1/16" = 1'-0"

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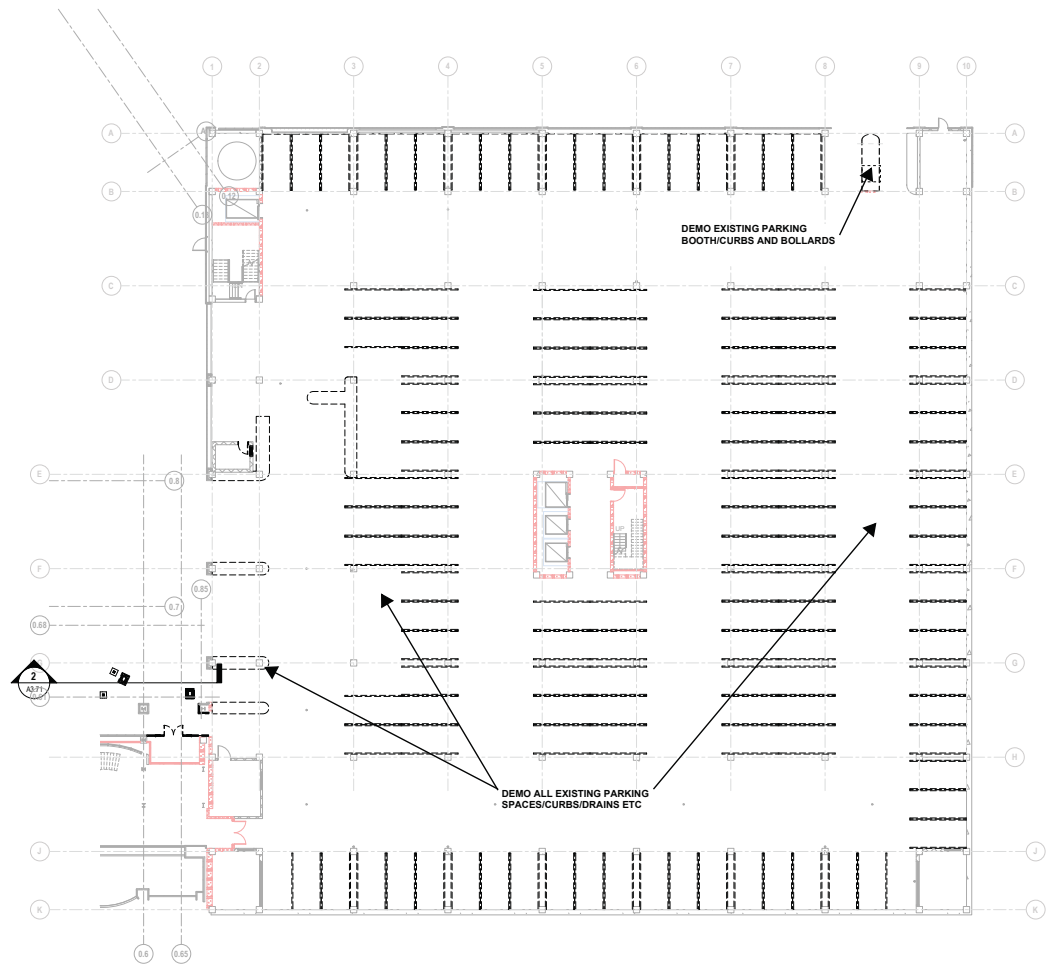
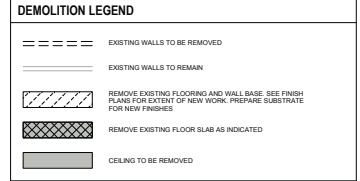
Revision	Date

Issue Description: DD
 Original Issue Date: 06/29/18
 Project No: 16083.00
 Drawn By: KL Checked By: WCH
 Drawing Title:

EXTERIOR ELEVATIONS
 Sheet Number
A2.02

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- GENERAL DEMOLITION NOTES**
- DEMOLITION WORK WILL BE GOVERNED BY THE EXTENT OF NEW CONSTRUCTION INVOLVED. CONTRACTOR WILL VERIFY AND COORDINATE DEMOLITION WORK WITH RESPECT TO THE NEW CONSTRUCTION. CONTRACTOR TO VERIFY EXISTING CONDITIONS BEFORE START OF WORK.
 - REMOVAL OF EXISTING EQUIPMENT, PIPING, DUCTS, ETC. SHALL INCLUDE ALL HANGERS, HANGERS, ETC. AFTER REMOVAL, FLOORS, WALLS AND CEILINGS SHALL BE FINISHED TO MATCH ADJOINING SURFACES OR SHALL BE PREPARED TO RECEIVE NEW FINISHES AS INDICATED IN THE NEW FINISH SCHEDULE. MAINTAIN EXISTING FINISHES AS NOTED ON THE NEW FINISH SCHEDULE.
 - PATCH AND REPAIR TO MATCH EXISTING CEILINGS, FLOORS, OR WALL FINISHES AFFECTED BY DEMOLITION WORK. FINISHES OTHER THAN THOSE SHOWN ON THIS PLAN, NEW WORK TO HAVE SMOOTH AND LEVEL TRANSITION WITH THE EXISTING CONSTRUCTION.
 - SPACE NAMES SHOWN ON NEW FLOOR PLANS WITH SPACE NUMBERS NEXT TO THEM ARE TO HAVE NEW WORK DONE IN THEM. COORDINATE WITH THE NEW FINISH SCHEDULE.
 - MATCH THICKNESS OF EXISTING WALL AND CEILING FINISH MATERIAL WHERE PATCHING AND REPAIRING IS REQUIRED.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT AND APPOINTED INSPECTORS (IF REQUIRED) BY STATE AGENCIES AND MEET ANY APPLICABLE CODE FOR REUSE OF EXISTING PLUMBING FIXTURES, DR FUSERS AND DUCTWORK.
 - RETURN ALL EQUIPMENT, CASEWORK, CABINETS, HARDWARE, ELECTRICAL ITEMS, PLUMBING FIXTURES, ETC. NOT SHOWN AS RELOCATED, TO HOSPITAL MAINTENANCE.
 - COORDINATE DEMOLITION PLANS WITH PLANS FOR NEW CONSTRUCTION FOR EXTENT OF REMOVAL. REMOVE ONLY THOSE PORTIONS OF WALLS AND FLOORS NECESSARY TO ACCOMMODATE NEW CONSTRUCTION. TAKE REASONABLE CARE IN REMOVAL OF ITEMS TO BE RELOCATED AND REUSED.
 - ALL ABANDONED FLOOR PENETRATIONS SHALL BE PATCHED WITH CONCRETE AND REPAIRED TO MATCH EXISTING CONSTRUCTION AND TO MAINTAIN FLOOR INTEGRITY.
 - CONTRACTOR SHALL CHECK ALL EXISTING CORRIDOR WALLS IN THOSE AREAS OF RENOVATION FOR OPENINGS. ANY OPENINGS SHALL BE CLOSED TIGHT AS REQUIRED TO MATCH EXISTING CONSTRUCTION AND TO MAINTAIN NEW OR EXISTING WALL RATING. THIS IS TYPICAL FOR ALL WORK DONE IN AREAS WHERE RENOVATION IS BEING DONE.
 - OPENINGS TO BE CLOSED IN EXISTING FIRE OR SMOKE WALLS SHALL BE PATCHED TO MATCH EXISTING CONSTRUCTION AND TO MAINTAIN THE INTEGRITY OF THE WALL. THIS IS TYPICAL FOR ALL WORK DONE IN AREAS WHERE NEW CONSTRUCTION AND RENOVATION IS BEING DONE.
 - ALL WALLS SHOWN BY DASHED LINES ARE TO BE REMOVED COMPLETELY, ALONG WITH DOORS AND FRAMES, ELECTRICAL ITEMS, PLUMBING FIXTURES, CASEWORK, ETC. SEE DEMOLITION PLANS OF SPACE DISCIPLINES AND FINISH PLANS.
 - AFTER REMOVAL OF PLUMBING FIXTURES, CAP WASTE LINES BELOW FLOOR SLAB AND SUPPLY LINES ABOVE CEILING.
 - ALL WORK SHALL BE SCHEDULED IN A MANNER TO MAINTAIN THE OWNERS CONTINUOUS USE OF THE BUILDING.
 - ANY ITEMS REMOVED BY CONTRACTOR FROM WALLS TO HAVE THE REMAINING HOLE PATCHED TO MATCH THE EXISTING CONSTRUCTION.
 - CARE SHALL BE TAKEN IN REMOVAL OF REUSED ITEMS THAT CAN BE RELOCATED. RETURN TO OWNER ALL OTHER ITEMS.
 - LOCATE TEMPORARY WALLS WITH EXIT SIGNS WHERE REQUIRED. DO NOT BLOCK EXISTING FIRE EXITS. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE BEFORE ERECTING TEMPORARY PARTITIONS. FOR COORDINATION OF THESE WALLS - REFER TO THE PLANS FOR LOCATIONS OF TEMPORARY WALLS.
 - CONCRETE FLOORS SHALL BE REMOVED FOR INSTALLATION AND CONNECTION OF NEW PLUMBING AND PATCH WITH 3,000 PSI CONCRETE.
 - SEE LIMITS OF CONSTRUCTION ON NEW FLOOR PLANS. GENERALLY, ROOMS OUTSIDE OF LIMITS OF CONSTRUCTION ARE NOT TO HAVE ANY WORK DONE IN THEM WITH THE EXCEPTION OF FLOOR OR CEILING TO BE PATCHED OR REPAIRED FOR INSTALLATION OF NEW WORK. CONTRACTOR SHALL USE EXISTING FLOOR OR CEILING MATERIAL FOR REPAIR. SALVAGED FROM AREAS WHERE EXISTING MATERIALS ARE REMOVED OR ALL NEW MATERIAL, IN A ROOM IF NECESSARY THAT MATCH EXISTING FINISHES.
 - REMOVE OLD WALL VINYL BEFORE INSTALLING NEW WALL VINYL OR PAINTING AN EXISTING WALL. PROVIDE A 5MM COAT OF GYPSUM PLASTER TO SMOOTH OUT WALL.
 - ALL ITEMS WHICH ARE FOUND ON WALLS TO BE DEMOLISHED (BULLETS IN BOARDS, ILLUMINATORS, FIRE EXTINGUISHERS, ETC.) SHALL BE OFFERED TO THE HOSPITAL ENGINEERING DEPARTMENT. ITEMS NOT DESIRED BY THE OWNER SHALL BE REMOVED FROM THE SITE BY THE GENERAL CONTRACTOR.
 - REPLACE DAMAGED CEILING TILE AND CEILING GRIDS WITH NEW TILE AND GRID TO MATCH EXISTING. PATCH AND REPAIR GYP. SD. CEILINGS AS REQUIRED FOR NEW WORK.



LOWER LEVEL DEMOLITION PLAN
 SCALE: 1/16" = 1'-0"

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 Seals

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ED & ICU ADDITIONS & RENOVATIONS TO
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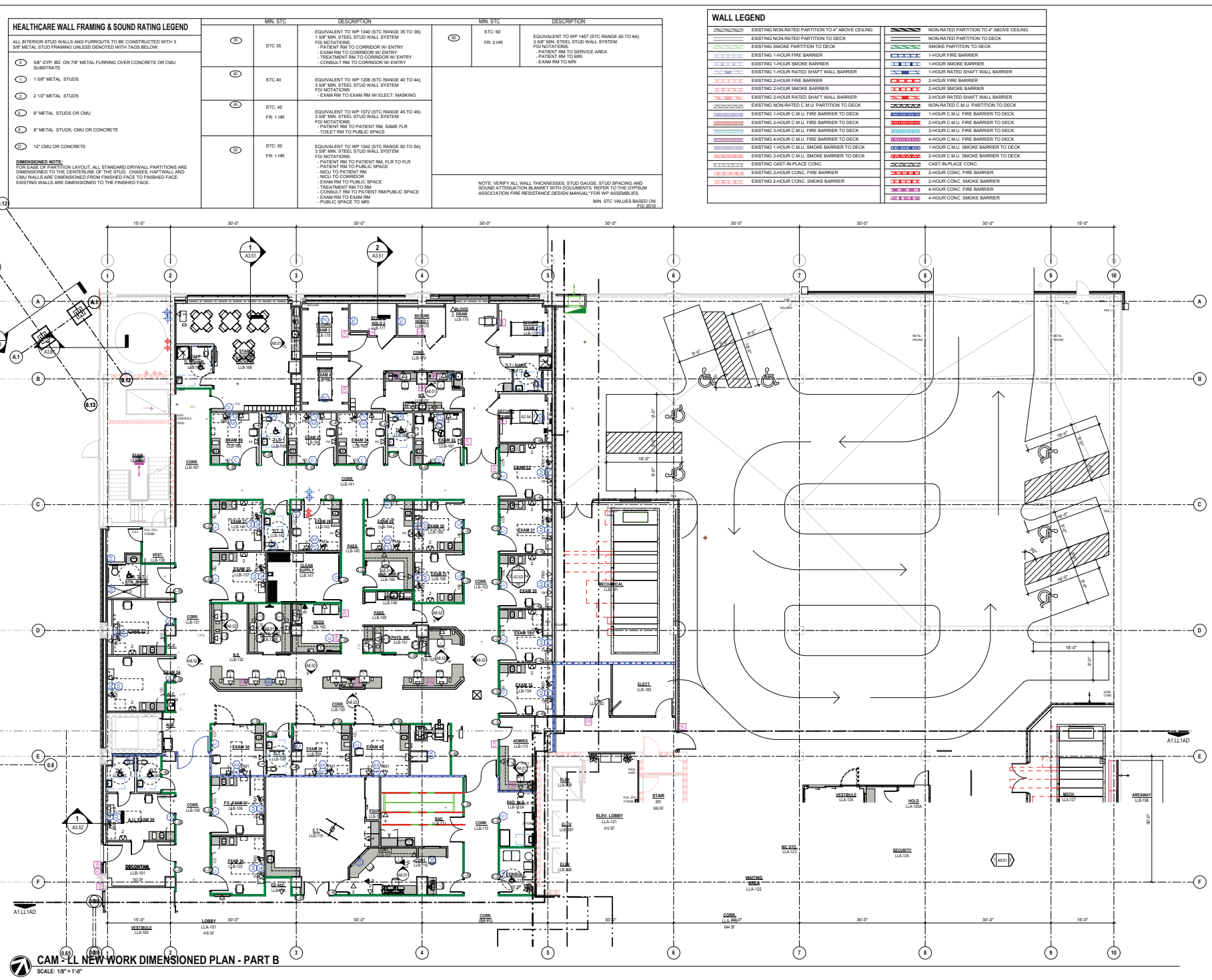
DOCUMENT CHANGES

Revision	Date

Issue Description DD
 Original Issue Date 06/29/18
 Project No. 16083.00
 Drawn By Author Checked By Checker
 Drawing Title

LOWER LEVEL DEMOLITION PLAN
 Sheet Number
A0.LL1

SHEET HAS BEEN OPTIMIZED FOR COLOR PRINTING



HEALTHCARE WALL FRAMING & SOUND RATING LEGEND

ALL INTERIOR STUD WALLS AND FURRED/OUTS TO BE CONSTRUCTED WITH 3 5/8" METAL STUD FRAMING UNLESS DENOTED WITH TAGS BELOW.

(1) 5/8" GYP. BD. ON 7/8" METAL FURRING OVER CONCRETE OR CMU SUBSTRATE	(2) 1 5/8" METAL STUDS	(3) 2 1/2" METAL STUDS	(4) 6" METAL STUDS OR CMU	(5) 8" METAL STUDS, CMU OR CONCRETE	(6) 12" CMU OR CONCRETE
--	------------------------	------------------------	---------------------------	-------------------------------------	-------------------------

DIMENSIONED NOTE:
FOR EASE OF PARTITION LAYOUT, ALL STANDARD DRYWALL PARTITIONS ARE DIMENSIONED TO THE CENTERLINE OF THE STUD. CHASES, PARTIAL AND CMU WALLS ARE DIMENSIONED FROM FINISHED FACE TO FINISHED FACE. EXISTING WALLS ARE DIMENSIONED TO THE FINISHED FACE.

MIN. STC	DESCRIPTION	MIN. STC	DESCRIPTION
STC 35	EQUIVALENT TO WP 1340 (STC RANGE 35 TO 39); 1 5/8" MIN. STEEL STUD WALL SYSTEM FGI NOTATIONS: - PATIENT RM TO CORRIDOR W/ ENTRY - EXAM RM TO CORRIDOR W/ ENTRY - TREATMENT RM TO CORRIDOR W/ ENTRY - CONSULT RM TO CORRIDOR W/ ENTRY	STC 60 FR: 2 HR	EQUIVALENT TO WP 1457 (STC RANGE 60 TO 64); 3 5/8" MIN. STEEL STUD WALL SYSTEM FGI NOTATIONS: - PATIENT RM TO SERVICE AREA - PATIENT RM TO MRI - EXAM RM TO MRI
STC 40	EQUIVALENT TO WP 1028 (STC RANGE 40 TO 44); 3 5/8" MIN. STEEL STUD WALL SYSTEM FGI NOTATIONS: - EXAM RM TO EXAM RM W/ ELECT. MASKING		
STC 45 FR: 1 HR	EQUIVALENT TO WP 1072 (STC RANGE 45 TO 49); 3 5/8" MIN. STEEL STUD WALL SYSTEM FGI NOTATIONS: - PATIENT RM TO PATIENT RM, SAME FLR - TOILET RM TO PUBLIC SPACE		
STC 50 FR: 1 HR	EQUIVALENT TO WP 1042 (STC RANGE 50 TO 54); 3 5/8" MIN. STEEL STUD WALL SYSTEM FGI NOTATIONS: - PATIENT RM TO PATIENT RM, FLR TO FLR - PATIENT RM TO PUBLIC SPACE - NURS TO PATIENT RM - EXAM RM TO PUBLIC SPACE - TREATMENT RM TO RM - CONSULT RM TO PATIENT RM/PUBLIC SPACE - EXAM RM TO EXAM RM - PUBLIC SPACE TO MRI		

NOTE: VERIFY ALL WALL THICKNESSES, STUD GAUGE, STUD SPACING AND SOUND ATTENUATION RATING WITH DOCUMENTS. REFER TO THE CYPRUS ASSOCIATION FIRE RESISTANCE DESIGN MANUAL FOR WF ASSEMBLIES.
MIN. STC VALUES BASED ON ESD-2010.

WALL LEGEND

	EXISTING NON-RATED PARTITION TO 4' ABOVE CEILING		NON-RATED PARTITION TO 4' ABOVE CEILING
	EXISTING NON-RATED PARTITION TO DECK		NON-RATED PARTITION TO DECK
	EXISTING SMOKE PARTITION TO DECK		SMOKE PARTITION TO DECK
	EXISTING 1-HOUR FIRE BARRIER		1-HOUR FIRE BARRIER
	EXISTING 1-HOUR SMOKE BARRIER		1-HOUR SMOKE BARRIER
	EXISTING 1-HOUR RATED SHAFT WALL BARRIER		1-HOUR RATED SHAFT WALL BARRIER
	EXISTING 2-HOUR FIRE BARRIER		2-HOUR FIRE BARRIER
	EXISTING 2-HOUR SMOKE BARRIER		2-HOUR SMOKE BARRIER
	EXISTING 2-HOUR RATED SHAFT WALL BARRIER		2-HOUR RATED SHAFT WALL BARRIER
	EXISTING NON-RATED C.M.U. PARTITION TO DECK		NON-RATED C.M.U. PARTITION TO DECK
	EXISTING 1-HOUR C.M.U. FIRE BARRIER TO DECK		1-HOUR C.M.U. FIRE BARRIER TO DECK
	EXISTING 2-HOUR C.M.U. FIRE BARRIER TO DECK		2-HOUR C.M.U. FIRE BARRIER TO DECK
	EXISTING 3-HOUR C.M.U. FIRE BARRIER TO DECK		3-HOUR C.M.U. FIRE BARRIER TO DECK
	EXISTING 4-HOUR C.M.U. FIRE BARRIER TO DECK		4-HOUR C.M.U. FIRE BARRIER TO DECK
	EXISTING 1-HOUR C.M.U. SMOKE BARRIER TO DECK		1-HOUR C.M.U. SMOKE BARRIER TO DECK
	EXISTING 2-HOUR C.M.U. SMOKE BARRIER TO DECK		2-HOUR C.M.U. SMOKE BARRIER TO DECK
	EXISTING 2-HOUR CONC. FIRE BARRIER		2-HOUR CONC. FIRE BARRIER
	EXISTING 2-HOUR CONC. SMOKE BARRIER		2-HOUR CONC. SMOKE BARRIER
	EXISTING 4-HOUR CONC. FIRE BARRIER		4-HOUR CONC. FIRE BARRIER
	EXISTING 4-HOUR CONC. SMOKE BARRIER		4-HOUR CONC. SMOKE BARRIER



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NOT VALID FOR REGULATORY APPROVAL. PERMITTING OR CONSTRUCTION OF ARCHITECT'S SEAL IS NOT PRESENT.

ED & ICU ADDITIONS & RENOVATIONS TO FORT SANDERS REGIONAL MEDICAL CENTER
KNOXVILLE, TENNESSEE



DOCUMENT CHANGES

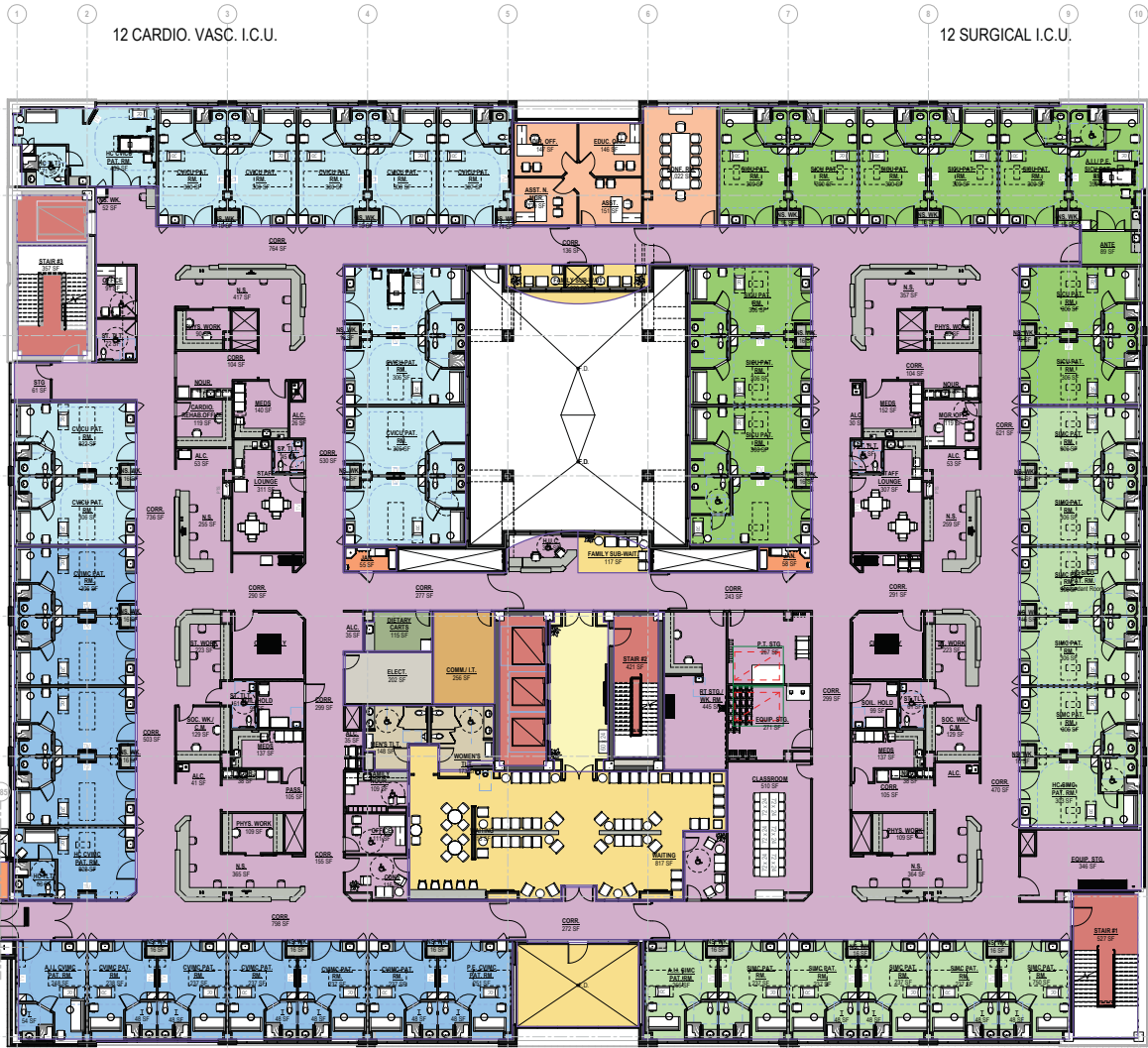
Number	Description	Date

Issue Description DD
Original Issue Date 06/29/18
Project No. 16083.00
Drawn By Author | Checked By Checker
Drawing Title

LOWER LEVEL NEW WORK DIMENSIONED PLAN - PART B
Sheet Number
A1.LL1BD

GRAPHIC SCALE 1/32" = 1'-0"
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 GRAPHIC SCALE 1" = 1'-0"

Area Schedule (Departments by Floor)	
Department Name	Area
CAM - LOWER LEVEL	
C.T. READ	1,919 SF
Circulation - Horizontal	7,004 SF
Circulation - Vertical	4,937 SF
Major Treatment	1,568 SF
Mechanical	2,825 SF
POA	19,323 SF
Public Toilets / Restrooms	480 SF
Security	289 SF
Support / Staff Areas	162 SF
Urgent Care	9,954 SF
CAM - 4TH FLOOR	
Administration	1,177 SF
Cardio ICU	1,022 SF
Cardio Vasc. Intern. Care	4,733 SF
Circulation - Horizontal	4,189 SF
Circulation - Vertical	414 SF
Education - Vertical	1,884 SF
Dietary / Food Prep	115 SF
Electrical	579 SF
Environmental Services / Linen	86 SF
Information Technology	296 SF
Intermediate Care	28,134 SF
Public Toilets / Restrooms	321 SF
Surg. Intern. Care	4,269 SF
Waiting Area	2,421 SF
CAM - 5TH FLOOR	
Administration	1,008 SF
Circulation - Horizontal	19,176 SF
Circulation - Vertical	1,884 SF
Dietary / Food Prep	115 SF
Electrical	202 SF
Environmental Services / Linen	86 SF
Information Technology	250 SF
Major Intern. Care	3,369 SF
NCIU	6,257 SF
Open Intern. Care	1,881 SF
NCIU	5,681 SF
Public Toilets / Restrooms	132 SF
Respiratory Care	1,791 SF
Waiting Area	2,332 SF
Grand Total	
	137,144 SF



- Departments - New
- Administration
 - Cardio ICU
 - Cardio Vasc. Intern. Care
 - Circulation - Horizontal
 - Circulation - Vertical
 - Dietary / Food Prep
 - Electrical
 - Environmental Services / Linen
 - Information Technology
 - Intermediate Care
 - Public Toilets / Restrooms
 - Surg. ICU
 - Surg. Intern. Care
 - Waiting Area

12 CARDIO. VASC. INTERMEDIATE CARE

12 SURGICAL INTERMEDIATE CARE

4TH FLOOR AREA PLAN
 SCALE: 3/32" = 1'-0"

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 615-329-8445

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ED & ICU ADDITIONS & RENOVATIONS TO
FORT SANDERS REGIONAL MEDICAL CENTER
 KNOXVILLE, TENNESSEE



DOCUMENT CHANGES

Revision	Date

Issue Description
 Original Issue Date: 05/24/18
 Project No: 16083.00
 Drawn By: JH | Checked By: WCH
 Drawing Title

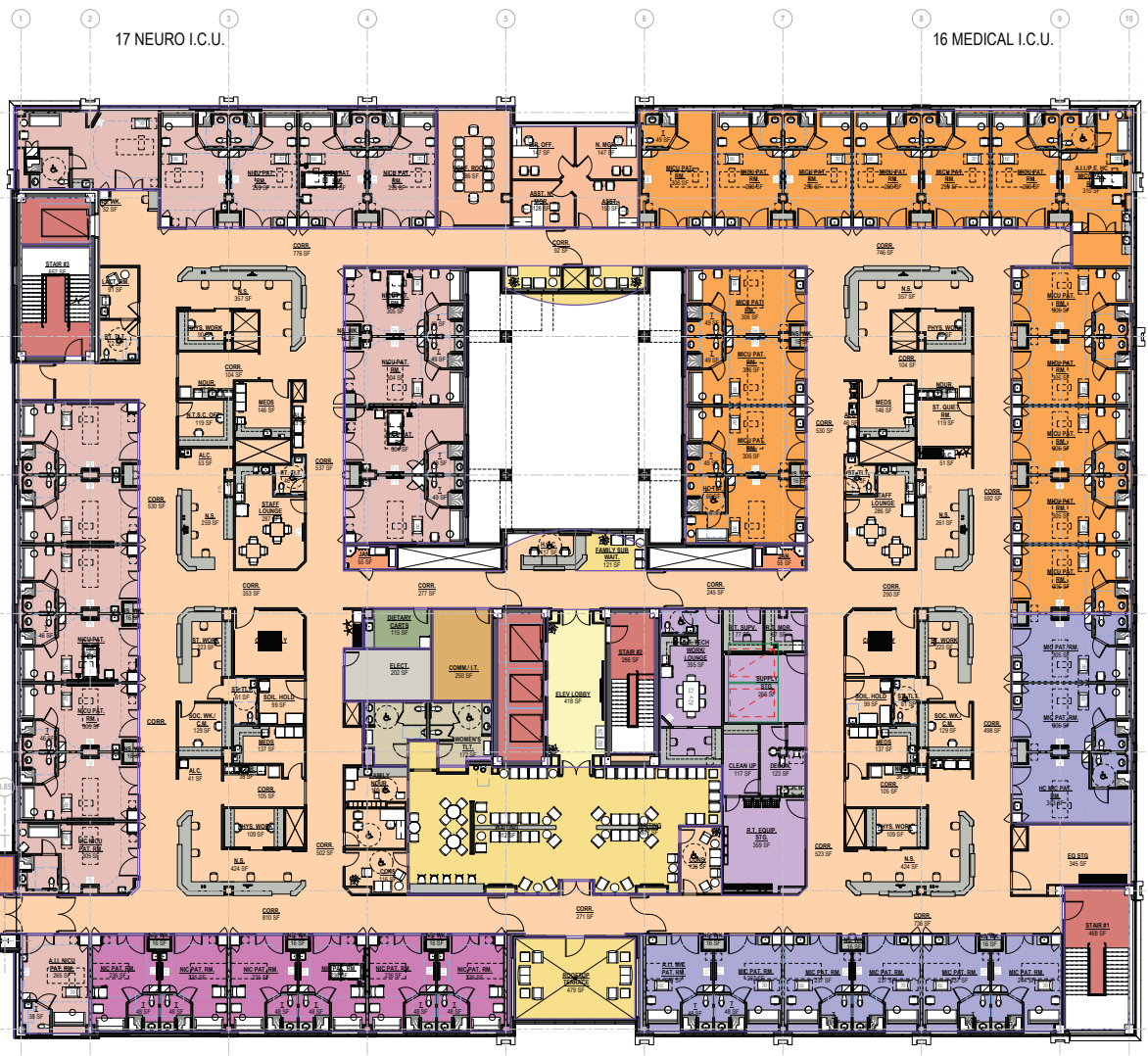
FOURTH FLOOR AREA PLAN

Sheet Number
AP.4



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Area Schedule (Departments by Floor)	
Department Name	Area
CAM - LOWER LEVEL	
CT / X-RAY	1,318.50
Circulation - Horizontal	7,894.50
Circulation - Vertical	1,977.50
Major Treatment	1,558.50
Minor	2,420.50
Phyio	15,315.50
Public Toilets / Restrooms	1,664.50
Security	487.50
Support / Staff Areas	289.50
Urgent Care	6,992.50
Waiting Area	9,464.50
CAM - 4TH FLOOR	
Administration	46,929.50
Cardio ICU	1,117.50
Cardio Vase Intern Care	4,733.50
Circulation - Horizontal	4,392.50
Circulation - Vertical	414.50
Dietary / Food Prep	1,494.50
Electrical	579.50
Environmental Services / Linen	4,364.50
Information Technology	258.50
Intensivists Care	20,134.50
Public Toilets / Restrooms	321.50
Surg. Intern Care	4,259.50
Waiting Area	2,421.50
Waiting Area	4,611.50
CAM - 5TH FLOOR	
Administration	1,009.50
Circulation - Horizontal	19,779.50
Circulation - Vertical	1,284.50
Dietary / Food Prep	119.50
Electrical	424.50
Environmental Services / Linen	394.50
Information Technology	250.50
Med. Intern Care	3,309.50
MCU	6,257.50
Neuro Intern Care	1,891.50
NCU	6,881.50
Public Toilets / Restrooms	122.50
Respiratory Care	1,791.50
Waiting Area	2,625.50
Waiting Area	4,514.50
Grand total	137,144.50



- Departments - New
- Administration
 - Circulation - Horizontal
 - Circulation - Vertical
 - Dietary / Food Prep
 - Electrical
 - Environmental Services / Linen
 - ICU/CCU/PCCU
 - Information Technology
 - Med. Intern. Care
 - MCU
 - Neuro Intern. Care
 - NCU
 - Public Toilets / Restrooms
 - Respiratory Care
 - Waiting Area

5TH FLOOR AREA PLAN
SCALE: 3/32" = 1'-0"

6 NEURO INTERM. CARE

9 MEDICAL INTERMEDIATE CARE

ED & ICU ADDITIONS & RENOVATIONS TO
FORT SANDERS REGIONAL MEDICAL CENTER
KNOXVILLE, TENNESSEE



DOCUMENT CHANGES

Revision	Date

Issue Description
Original Issue Date: 05/24/18
Project No: 16083.00
Drawn By: [] Author: [] Checked By: []
Drawing Title

FIFTH FLOOR AREA PLAN

Sheet Number
AP.5

NOT VALID FOR REGULATORY APPROVAL PERMITTING OR CONSTRUCTION OF ARCHITECT'S SEAL IS NOT PRESENT

ED & ICU ADDITIONS & RENOVATIONS TO
FORT SANDERS REGIONAL MEDICAL CENTER
KNOXVILLE, TENNESSEE



DOCUMENT CHANGES

Revision	Date

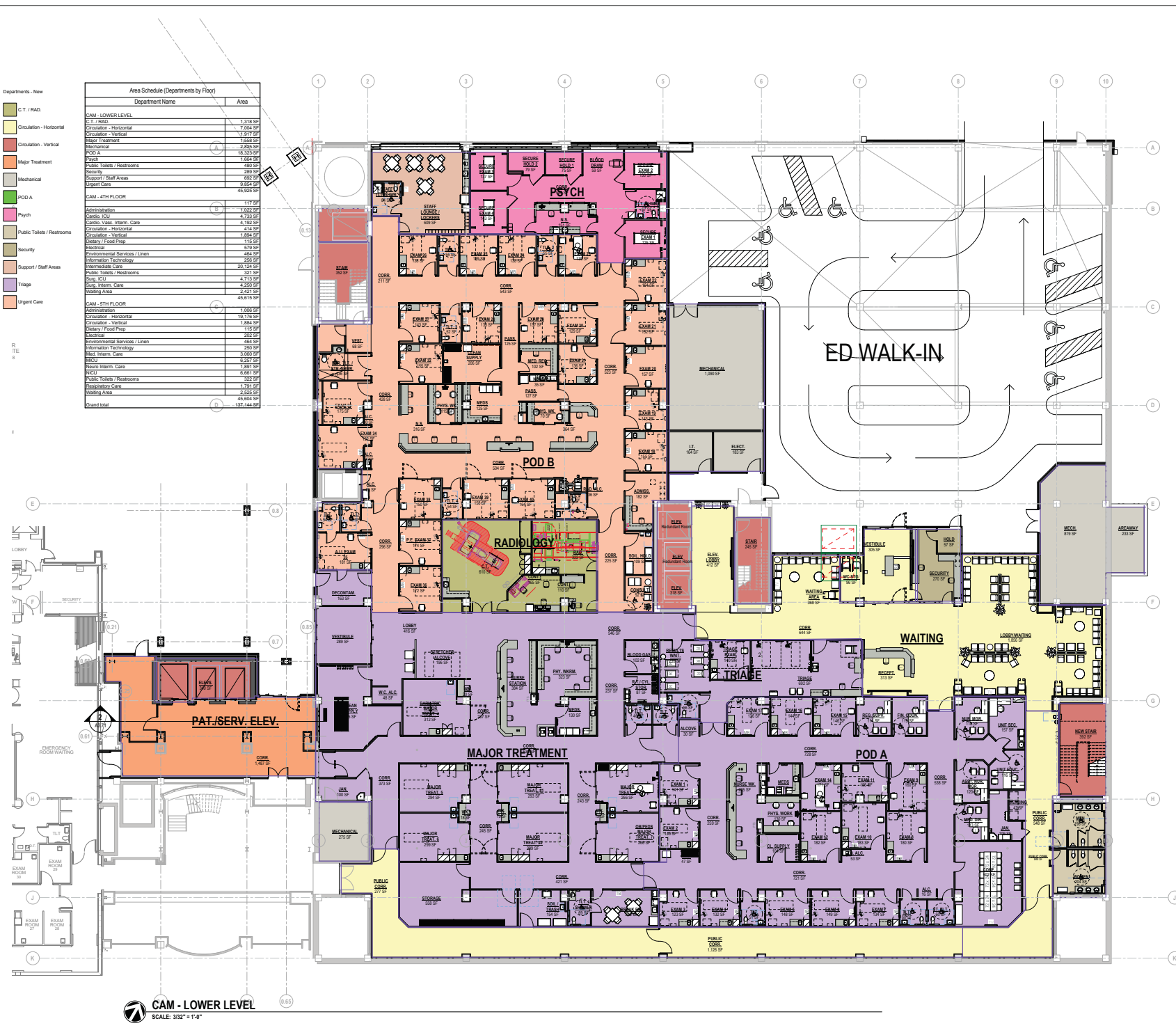
Issue Description
Original Issue Date: 04/24/18
Project No: 16083.00
Drawn By: Author | Checked By: Checker
Drawing Title

LOWER LEVEL AREA PLAN
Sheet Number
AP.LL

Departments - New

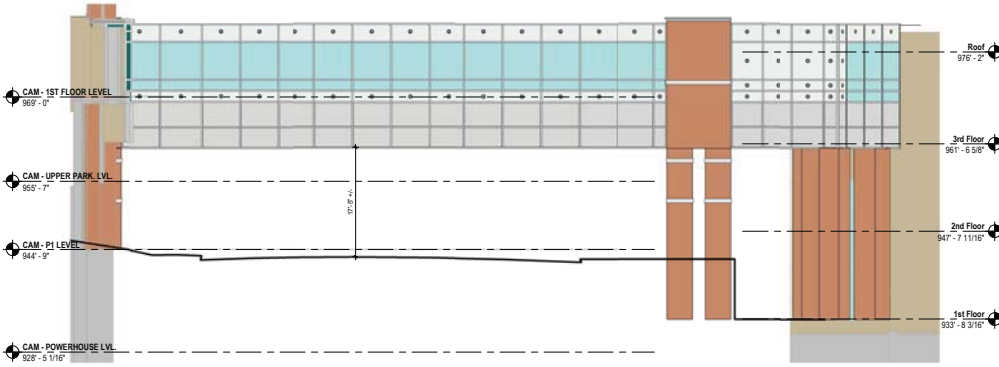
- C.T./RAD
- Circulation - Horizontal
- Circulation - Vertical
- Major Treatment
- Mechanical
- POD A
- Psych
- Public Toilets / Restrooms
- Security
- Support / Staff Areas
- Thriage
- Urgent Care

Area Schedule (Departments by Floor)		
Department Name	Area	
CAM - LOWER LEVEL		
C.T./RAD	1,318 SF	
Circulation - Horizontal	7,004 SF	
Circulation - Vertical	1,917 SF	
Major Treatment	1,558 SF	
POD A	2,252 SF	
POD B	18,323 SF	
Psych	1,664 SF	
Public Toilets / Restrooms	480 SF	
Security	209 SF	
Support / Staff Areas	692 SF	
Urgent Care	45,956 SF	
CAM - 4TH FLOOR		
Administration	117 SF	
Cardio ICU	1,022 SF	
Cardio Vasc. Intern. Care	4,132 SF	
Circulation - Horizontal	814 SF	
Circulation - Vertical	1,684 SF	
Clinical	115 SF	
Electrical	279 SF	
Environmental Services / Linen	484 SF	
Information Technology	295 SF	
Intermediate Care	20,124 SF	
Public Toilets / Restrooms	381 SF	
Supp. ICU	4,713 SF	
Supp. Intern. Care	4,250 SF	
Waiting Area	2,421 SF	
Urgent Care	45,615 SF	
CAM - 5TH FLOOR		
Administration	1,006 SF	
Circulation - Horizontal	19,176 SF	
Circulation - Vertical	1,884 SF	
Clinical	115 SF	
Electrical	202 SF	
Environmental Services / Linen	484 SF	
Information Technology	295 SF	
Med. Intern. Care	3,060 SF	
MECH	6,597 SF	
Neuro Intern. Care	1,891 SF	
POD A	6,959 SF	
Public Toilets / Restrooms	327 SF	
Respiratory Care	1,791 SF	
Waiting Area	2,525 SF	
Urgent Care	45,804 SF	
Grand Total	137,144 SF	

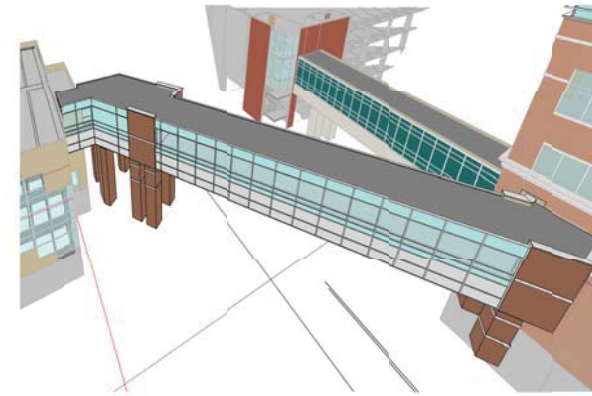


CAM - LOWER LEVEL
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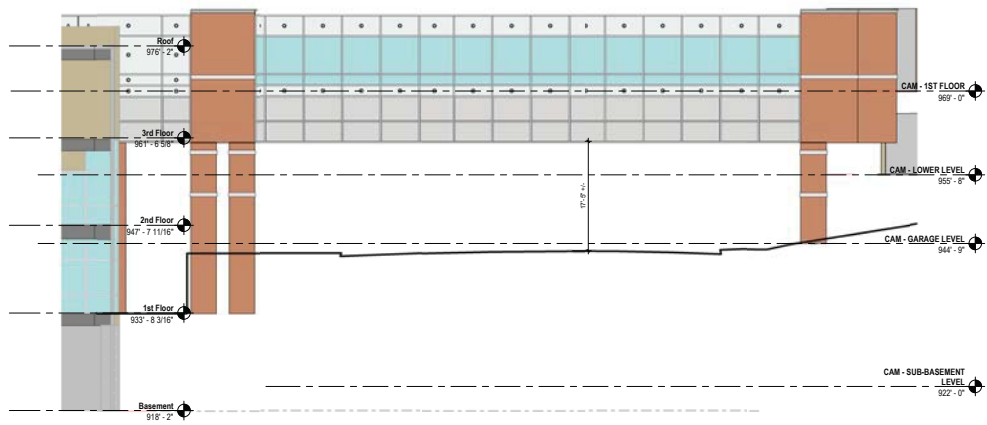
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1 **NORTHEAST ELEVATION - LAUREL PLAZA CONNECTOR**
 SCALE: 1/8" = 1'-0"



3 **3D VIEW OF LAUREL PLAZA CONNECTOR**
 SCALE:



2 **SOTHWEST ELEVATION - LAUREL PLAZA CONNECTOR**
 SCALE: 1/8" = 1'-0"

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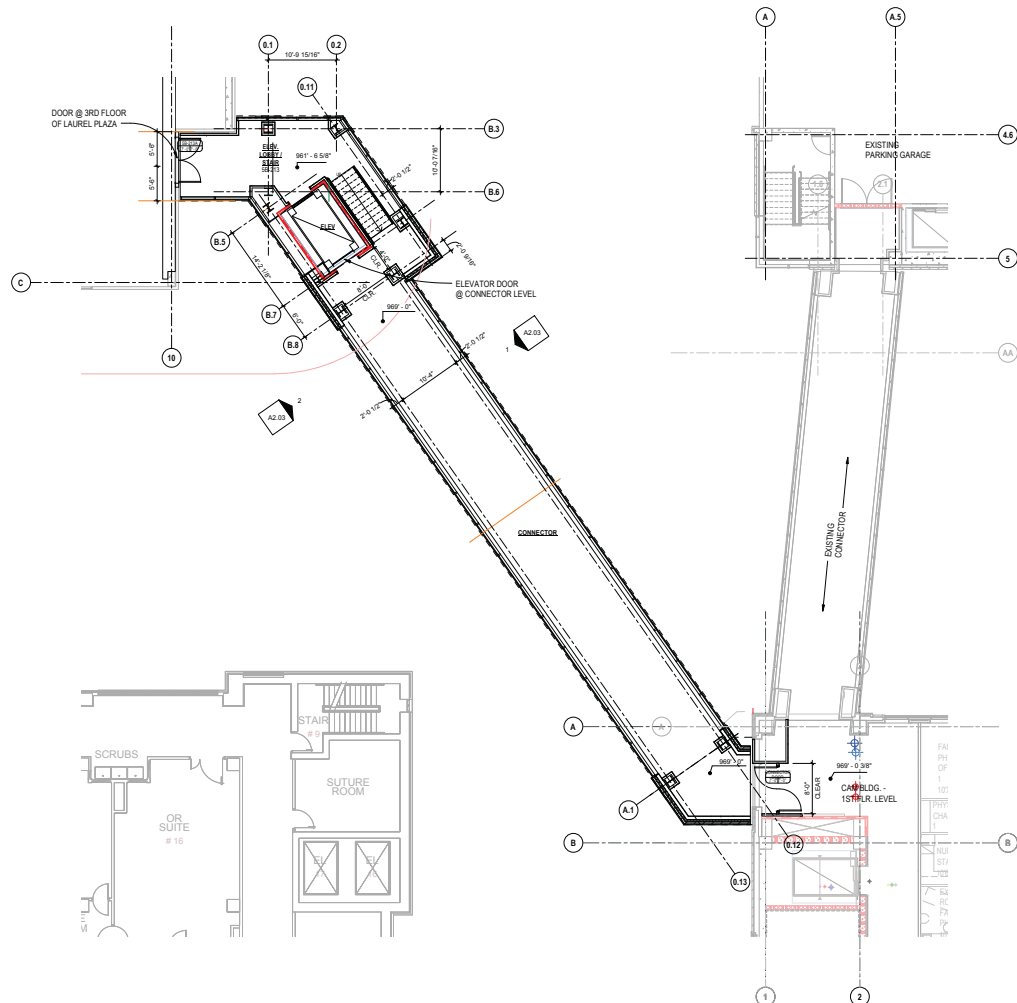
DOCUMENT CHANGES

Revision	Date

Issue Description: DD
 Original Issue Date: 06/29/18
 Project No: 16083.00
 Drawn By: KL Checked By: WCH
 Drawing Title:

EXTERIOR ELEVATIONS
 Sheet Number
A2.03

GRAPHIC SCALE 1/32" = 1'-0"
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1ST FLOOR - NOTED & DIMENSIONED PLAN
SCALE: 1/8" = 1'-0"

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ED & ICU ADDITIONS & RENOVATIONS TO
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DOCUMENT CHANGES

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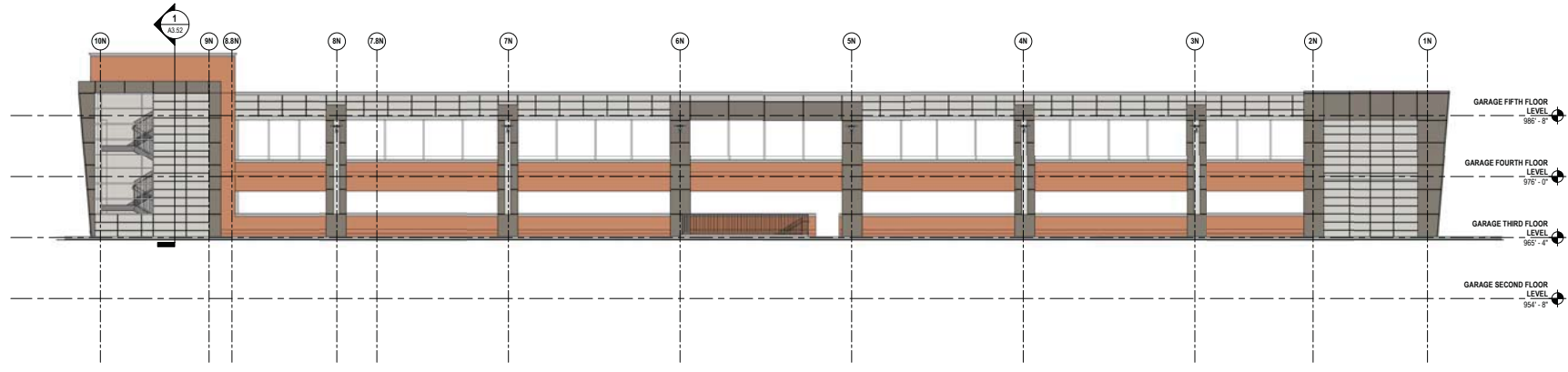
LAUREL PLAZA
CONNECTOR FIRST
FLOOR LEVEL

Sheet Number
A1.LPC-2





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1 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

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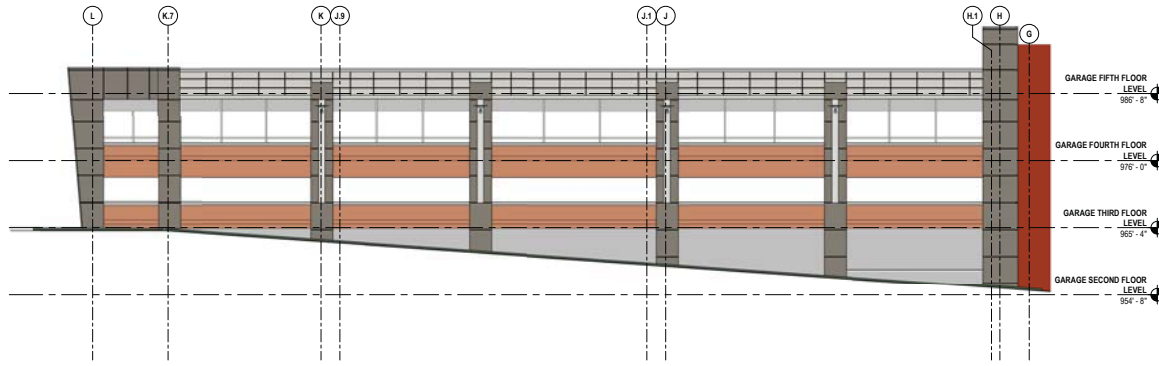
**ADDITION TO
 LAUREL AVE. PARKING GARAGE**
 KNOXVILLE, TN

Issue Description	Design Development	Date

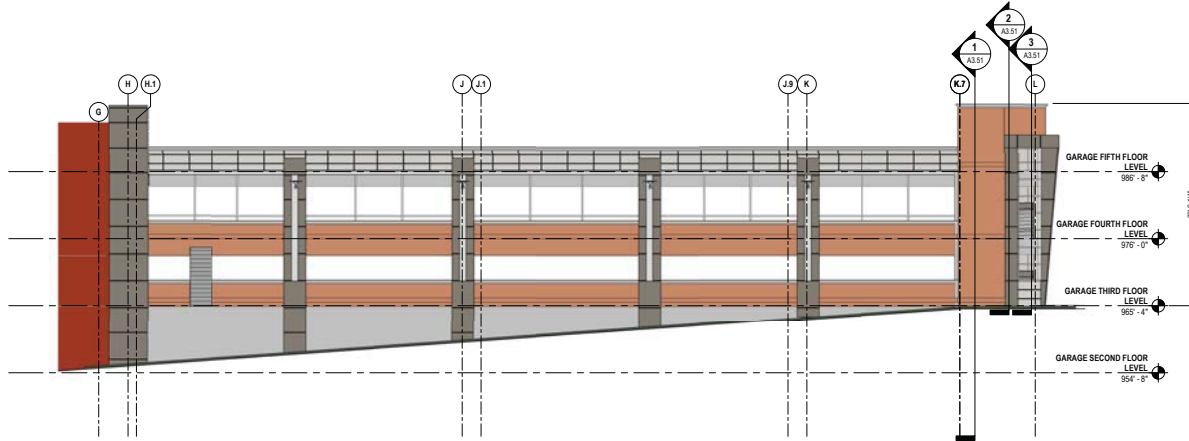
Issue Description: DESIGN DEVELOPMENT
 Original Issue Date: 05/29/18
 Project No: 16083.00
 Drawn By: [] Author: [] Checked By: CAH
 Drawing Title:

EXTERIOR ELEVATIONS
 Sheet Number
A2.01

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1 NORTH ELEVATION - CROPPED
 SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION - CROPPED
 SCALE: 1/8" = 1'-0"

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ADDITION TO
LAUREL AVE. PARKING GARAGE
 KNOXVILLE, TN

DOCUMENT CHANGES

Revision	Date

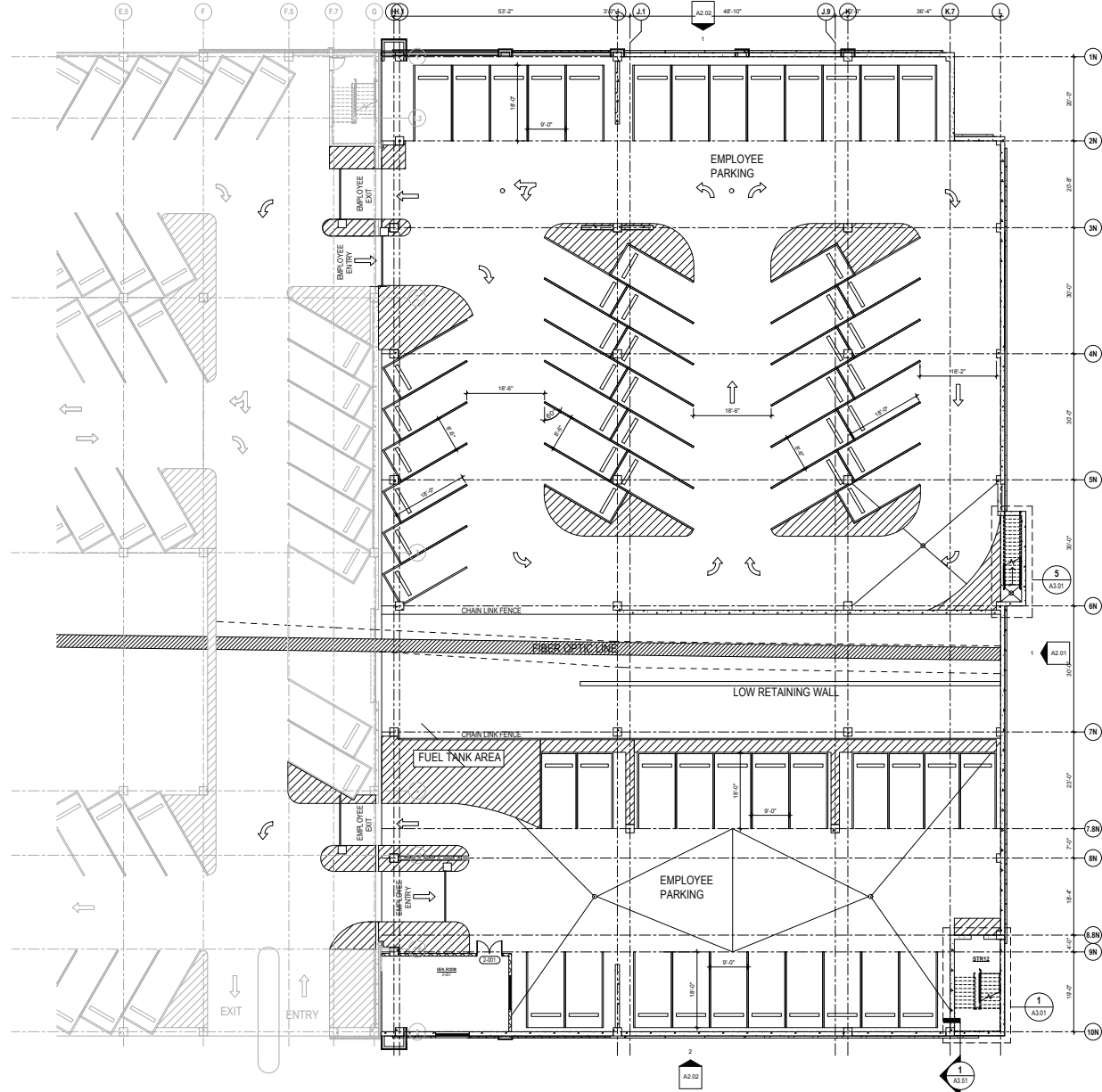
Issue Description DESIGN DEVELOPMENT
 Original Issue Date 05/29/18
 Project No. 16083.00
 Drawn By Author Checked By CAH
 Drawing Title

EXTERIOR ELEVATIONS
 Sheet Number
A2.02

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ADDITION TO
LAUREL AVE. PARKING GARAGE
KNOXVILLE, TN

PARKING SPACES					
	EXISTING SPACES	EXISTING ADA SPACES	DISPLACED SPACES	NEW SPACES	NEW ADA SPACES
EXISTING GARAGE					
1ST FLOOR	10	3	0	0	0
2ND FLOOR	151	0	5	0	0
3RD FLOOR	155	0	4	2	0
4TH FLOOR	138	0	4	2	0
5TH FLOOR	138	0	4	2	0
SUB TOTAL	584	23	17	6	0
POST PROJECT TOTAL	573 SPACES + 23 HC SPACES + 596 TOTAL SPACES				
NEW GARAGE					
2ND FLOOR				64	0
3RD FLOOR				96	0
4TH FLOOR				96	0
5TH FLOOR				97	0
SUB TOTAL				353	0
POST PROJECT TOTAL	596 SPACES + 353 SPACES + 949 TOTAL SPACES				



2ND FLOOR PLAN
SCALE: 3/32" = 1'-0"

DOCUMENT CHANGES

Revision	Date

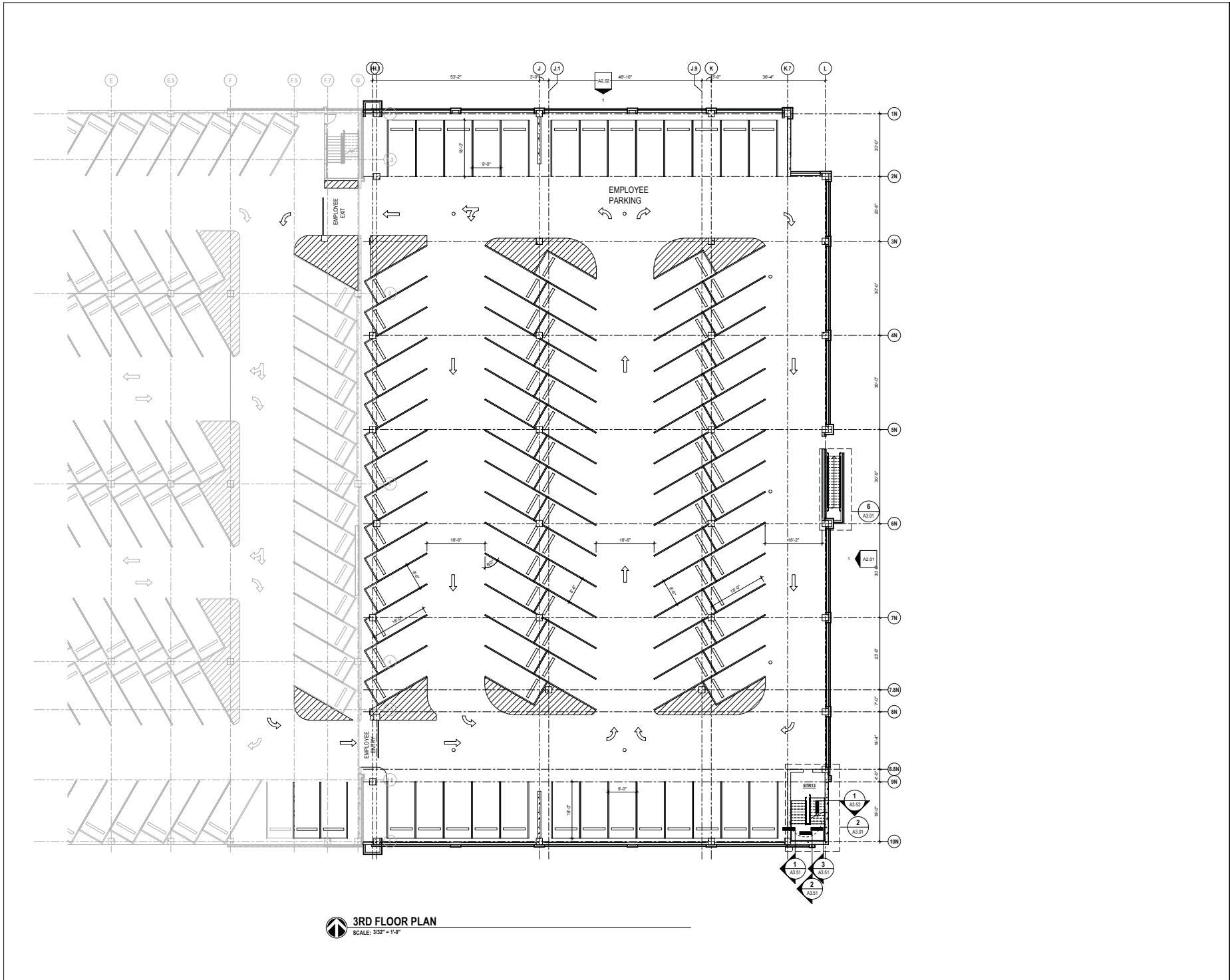
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Original Issue Date: 05/29/18
Project No: 16083.00
Drawn By: KL Checked By: CAH
Drawing Title:

Sheet Number
A1.02

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ADDITION TO
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KNOXVILLE, TN

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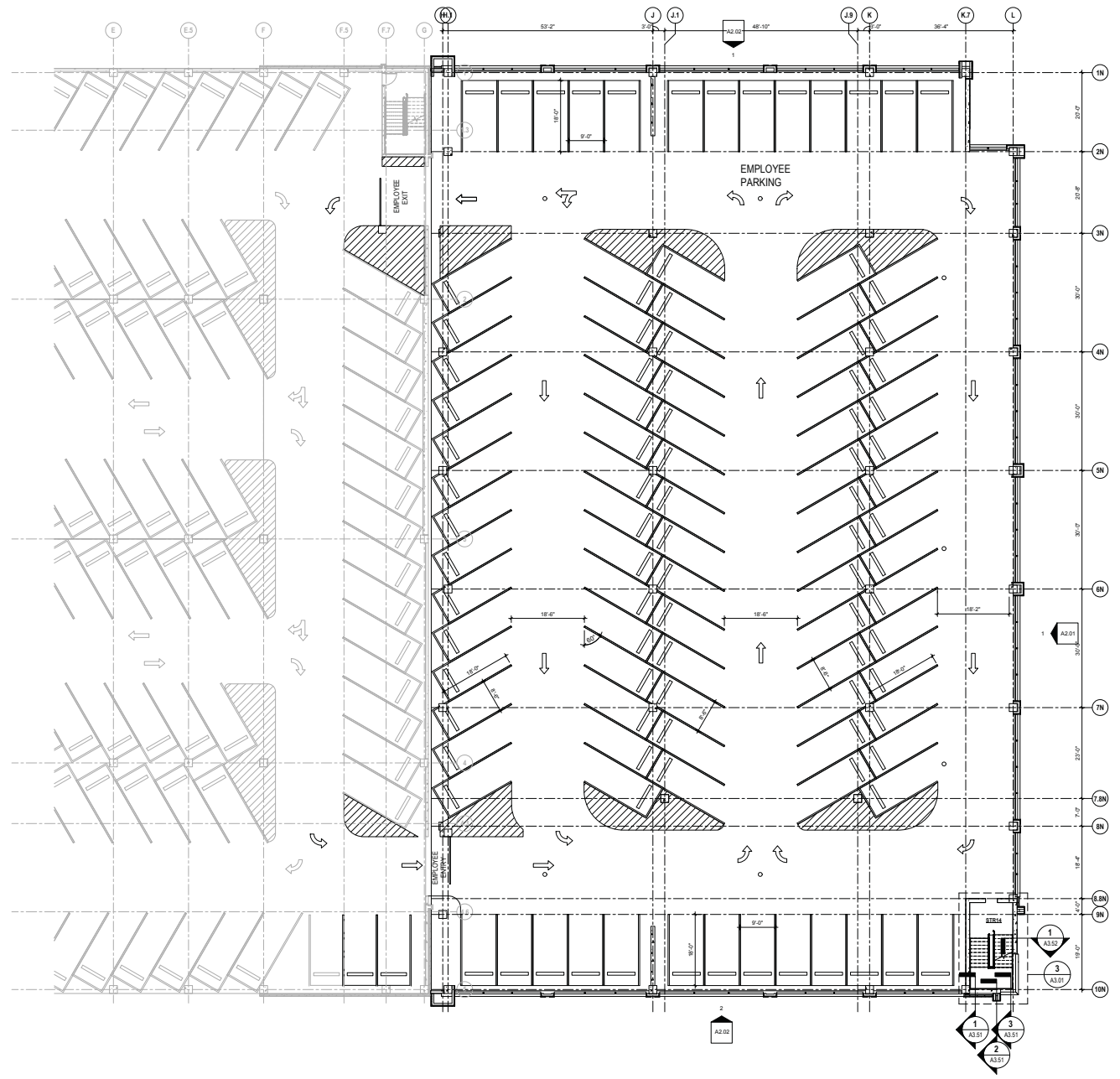
Description	Date

Issue Description: DESIGN DEVELOPMENT
Original Issue Date: 05/29/18
Project No: 16083.00
Drawn By: KL | Checked By: CAH
Drawing Title:

THIRD FLOOR PLAN
Sheet Number
A1.03

ADDITION TO
LAUREL AVE. PARKING GARAGE
KNOXVILLE, TN

GRAPHIC SCALE 1/32" = 1'-0"
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4TH FLOOR PLAN
SCALE: 3/32" = 1'-0"

DOCUMENT CHANGES

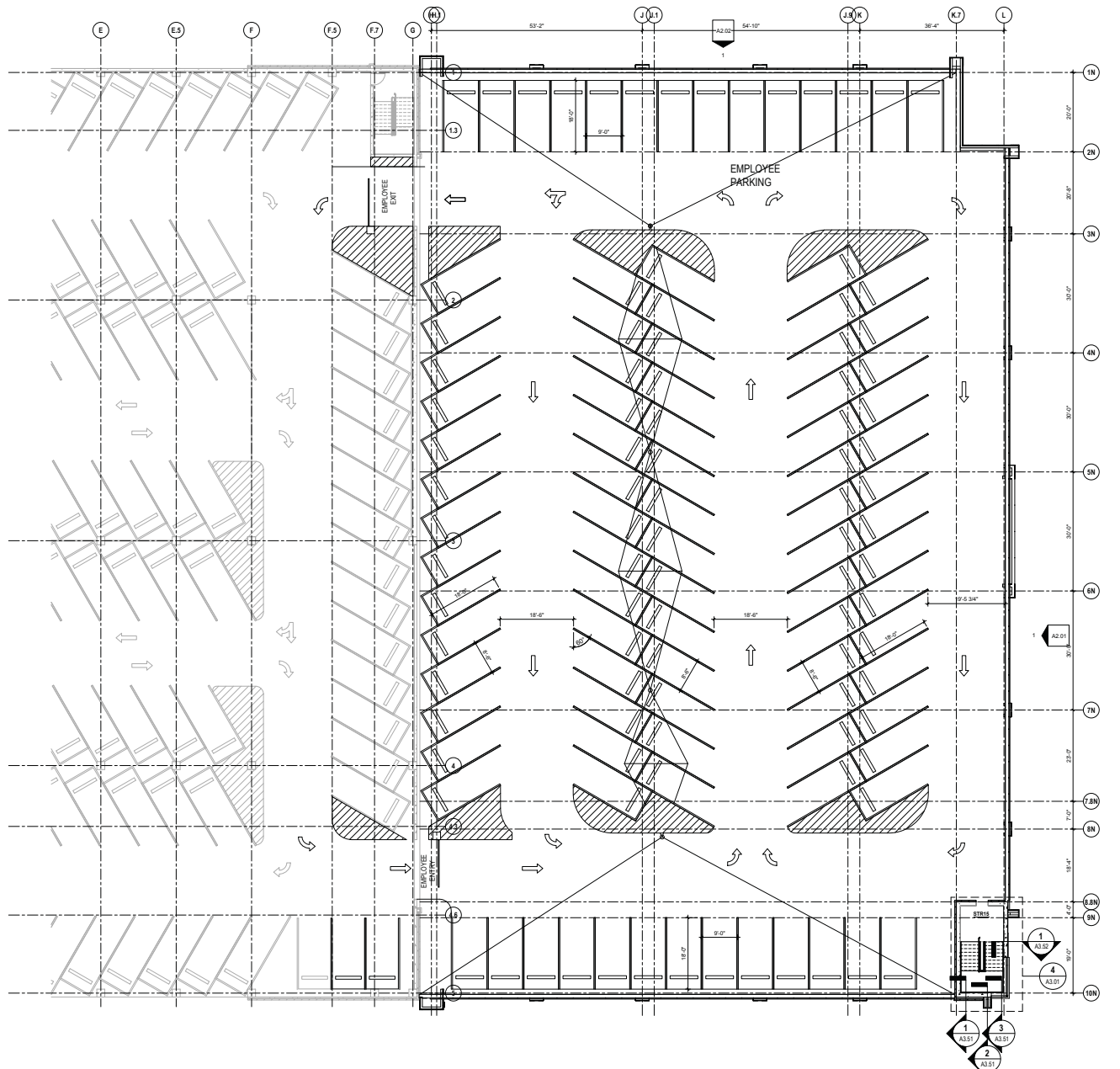
Revision	Date

Issue Description: DESIGN DEVELOPMENT
Original Issue Date: 05/29/18
Project No: 16083.00
Drawn By: KL Checked By: CAH
Drawing Title:

FOURTH FLOOR PLAN

Sheet Number
A1.04

GRAPHIC SCALE 1/32" = 1'-0"
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5TH FLOOR PLAN
 SCALE: 3/32" = 1'-0"

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Seals
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**ADDITION TO
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 KNOXVILLE, TN

DOCUMENT CHANGES

Revision	Date

Issue Description: DESIGN DEVELOPMENT
 Original Issue Date: 05/29/18
 Project No: 16083.00
 Drawn By: KL Checked By: CAH
 Drawing Title:

FIFTH FLOOR PLAN
 Sheet Number
A1.05

KNOXVILLE-KNOX COUNTY
MPC
 METROPOLITAN
 PLANNING
 COMMISSION
T E N N E S S E E
 Suite 403 • City County Building
 400 Main Street
 Knoxville, Tennessee 37902
 865 • 215 • 2500
 FAX • 215 • 2068
 www.knoxmpc.org

Use on Review **Development Plan**



Name of Applicant: Land Development Solutions
 Date Filed: 5/7/18 Meeting Date: 7/12/18
 Application Accepted by: Sherry Michienzi
 Fee Amount: _____ File Number: Development Plan
 Fee Amount: 1500⁰⁰ File Number: Use on Review 7-A-18-UR

PROPERTY INFORMATION

Address: 1819 Clinch Ave,
 General Location: Fort Sanders Medical Center
bounded by Clinch, 19th, Highland & 18th
 Tract Size: ~ 4 acres No. of Units: _____
 Zoning District: O-1
 Existing Land Use: Hospital & vacant houses
 Planning Sector: Central City
 Sector Plan Proposed Land Use Classification:
O
 Growth Policy Plan Designation: _____
 Census Tract: 69
 Traffic Zone: 60
 Parcel ID Number(s): 094NK01901 & (094NL027, 026, 025, 006, 005)
 Jurisdiction: City Council 1 District
 County Commission _____ District

PROPERTY OWNER/OPTION HOLDER

PLEASE PRINT
 Name: Keith Altshuler
 Company: Fort Sanders Regional Medical
 Address: 1901 Clinch Ave
 City: Knoxville State: TN Zip: 37916
 Telephone: 865-331-1111
 Fax: _____
 E-mail: kaltshuler@covhlth.com

APPLICATION CORRESPONDENCE

All correspondence relating to this application should be sent to:

PLEASE PRINT
 Name: E J Baksa, Jr
 Company: Land Development Solutions
 Address: 310-K Simmons Rd
 City: Knoxville State: TN Zip: 37922
 Telephone: 865-671-2281
 Fax: _____
 E-mail: rbaksa@ldstrn.com

APPROVAL REQUESTED

Development Plan: Residential Non-Residential
 Home Occupation (Specify Occupation)

 Other (Be Specific)
Approval of a hospital expansion in the O-1 zone

APPLICATION AUTHORIZATION

I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request or holders of option on same, whose signatures are included on the back of this form.

Signature: [Signature]
 PLEASE PRINT
 Name: E J Baksa, Jr
 Company: Land Development Solutions
 Address: 310-K Simmons
 City: Knoxville State: TN Zip: 37922
 Telephone: 865-671-2281
 E-mail: rbaksa@ldstrn.com

SIGNATURES OF ALL PROPERTY OWNERS INVOLVED OR HOLDERS OF OPTION ON SAME MUST BE LISTED BELOW:

Please Sign in Black Ink:

(If more space is required attach additional sheet.)

Name	Address	City	State	Zip	Owner	Option
------	---------	------	-------	-----	-------	--------

Keith N. Atchley

FSRMC 1901 Clinch Ave Knoxville TN 37916

X