

▶ **FILE #:** 6-C-18-UR

AGENDA ITEM #: 54

AGENDA DATE: 6/14/2018

▶ **APPLICANT:** PROFESSIONAL RESOURCE DEVELOPMENT, INC.

OWNER(S): Crossroads General Partnership

TAX ID NUMBER: 38 083

[View map on KGIS](#)

JURISDICTION: County Commission District 7

STREET ADDRESS: 4103 E Emory Rd

▶ **LOCATION:** North side of E. Emory Rd., east side of Norris Frwy.

▶ **APPX. SIZE OF TRACT:** 1.44 acres

SECTOR PLAN: North County

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via E. Emory Rd., a major arterial street with a three lane section at the access driveway, and Norris Freeway, a minor arterial street with a four lane section at the access driveway.

UTILITIES: Water Source: Hallsdale-Powell Utility District

Sewer Source: Hallsdale-Powell Utility District

WATERSHED: Beaver Creek

▶ **ZONING:** SC (Shopping Center)

▶ **EXISTING LAND USE:** Vacant land

▶ **PROPOSED USE:** Retail and dental office

HISTORY OF ZONING: None noted

SURROUNDING LAND USE AND ZONING: North: Beaver Creek and vacant lots - F (Floodway), A (Agricultural) & SC (Shopping Center)

South: Shopping center - SC (Shopping Center)

East: Aldi store - SC (Shopping Center)

West: Residences and businesses - RA (Low Density Residential) & OB (Office, Medical, and Related Services)

NEIGHBORHOOD CONTEXT: This site is located at the intersection of E. Emory Rd. and Norris Freeway in an area with a mix of retail commercial, office and residential development.

STAFF RECOMMENDATION:

▶ **APPROVE** the development plan for a dental office with approximately 4,280 square feet and a retail building with approximately 5,000 square feet within the SC zoning district, subject to 10 conditions.

1. Connection to sanitary sewer and meeting any other relevant requirements of the Knox County Health Department.
2. The Traffic Impact Study prepared by Fulghum MacIndoe & Associates, Inc., as revised on May 29, 2018, showed that a left turn lane is warranted with the current lane configuration at the intersection of Norris Frwy and the access road that serves this development. The Tennessee Department of Transportation (TDOT)

believes the need for the left turn lane could be mitigated by other improvements. Therefore, TDOT will determine what the applicant will be required to do to make the traffic flow work at this intersection.

3. Shifting the retail building 5' closer to the dental office in order to improve visibility for the truck access to the rear side of the building.
4. Amending the access easement agreement, if needed, for the change in location of the access driveway between this site and the Aldi site.
5. Recording a shared parking agreement between the owners of Tax Parcels 038-083 and 038-085 for the relocation of 5 required parking spaces for the Aldi site to the development site currently under review. This parking space relocation was a result of the access connection between the two lots.
6. Installing all sidewalks as shown on the development plan. All sidewalk construction must comply with the requirements of the Americans With Disabilities Act and the Knox County Department of Engineering and Public Works.
7. Installing landscaping as shown on the landscape plan within six months of the issuance of occupancy permits for this project, or posting a bond in an amount acceptable to the Knox County Department of Engineering and Public Works to guarantee such installation.
8. Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
9. Proposed signage is subject to review and approval by Planning Commission staff and the Knox County Building Codes staff.
10. Meeting all applicable requirements of the Knox County Zoning Ordinance.

With the conditions noted, this plan meets the requirements for approval of a use on review in the SC zoning district.

COMMENTS:

The applicant is proposing to develop this 1.44 acre site with a dental office with approximately 4,280 square feet and a retail building with approximately 5,000 square feet. The site which is located at the northeast corner of the intersection of E. Emory Rd. and Norris Freeway has access out to both E. Emory Rd. and Norris Freeway through driveway connections that were established with the development of the Aldi site. The proposed driveway connection to the Aldi site will impact 5 parking spaces. Those 5 spaces will be added to this site and a shared parking agreement will be established.

A Traffic Impact Study was prepared by Fulghum MacIndoe & Associates, Inc., for the proposed development. Recommended condition #2 identifies street improvements to Norris Freeway that would be required. A sidewalk extension along E. Emory Rd. with a connection to the interior sidewalks is also being provided.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTIES AND THE COMMUNITY AS A WHOLE

1. Public water and sewer utilities are available in the area to serve this site.
2. With the proposed turn lane improvements identified in the traffic impact analysis there will be sufficient capacity on E. Emory Rd. and Norris Freeway to handle the additional traffic which will be generated by this development.
3. The proposed development is compatible with the scale and intensity of the surrounding development and zoning pattern.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

1. The proposal meets all requirements of the SC zoning district as well as the general criteria for approval of a use on review.
2. The proposed development is consistent with the following general standards for uses permitted on review: The proposal is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw traffic through residential areas since the site has access out to two arterial streets.

CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

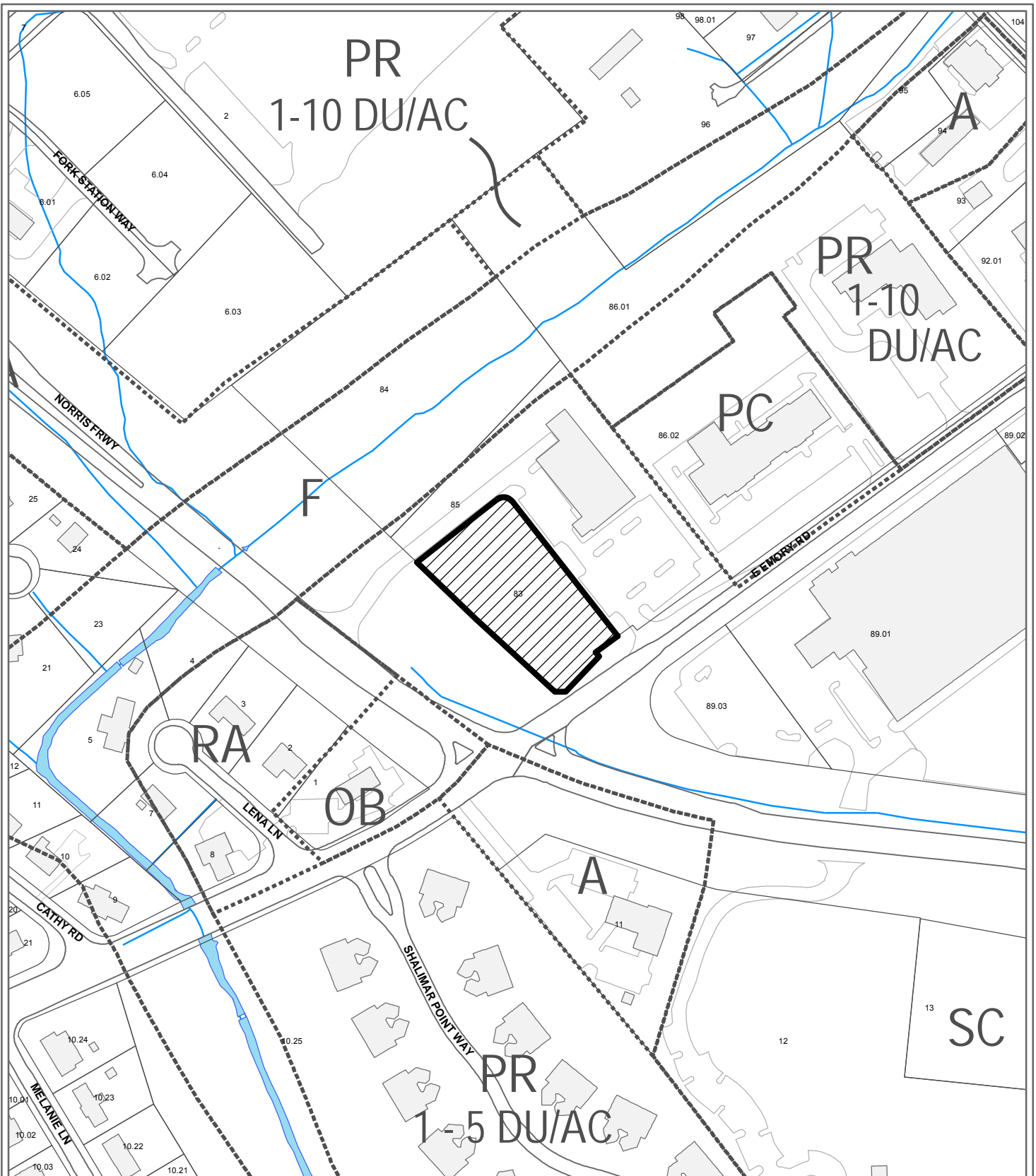
1. The North County Sector Plan proposes commercial use for this site. SC (Shopping Center) is listed as a permitted zone under the commercial designation.

2. The site is located within the Planned Growth Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

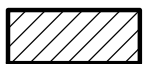
ESTIMATED TRAFFIC IMPACT: A traffic impact study was prepared by the applicant. The findings of that study were used in formulating the recommendations of this staff report.

ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal an MPC decision in the County.



**6-C-18-UR
USE ON REVIEW**

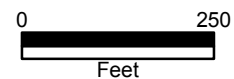


Retail and dental office in SC (Shopping Center)

Petitioner: Professional Resource Development, Inc.

Map No: 38

Jurisdiction: County



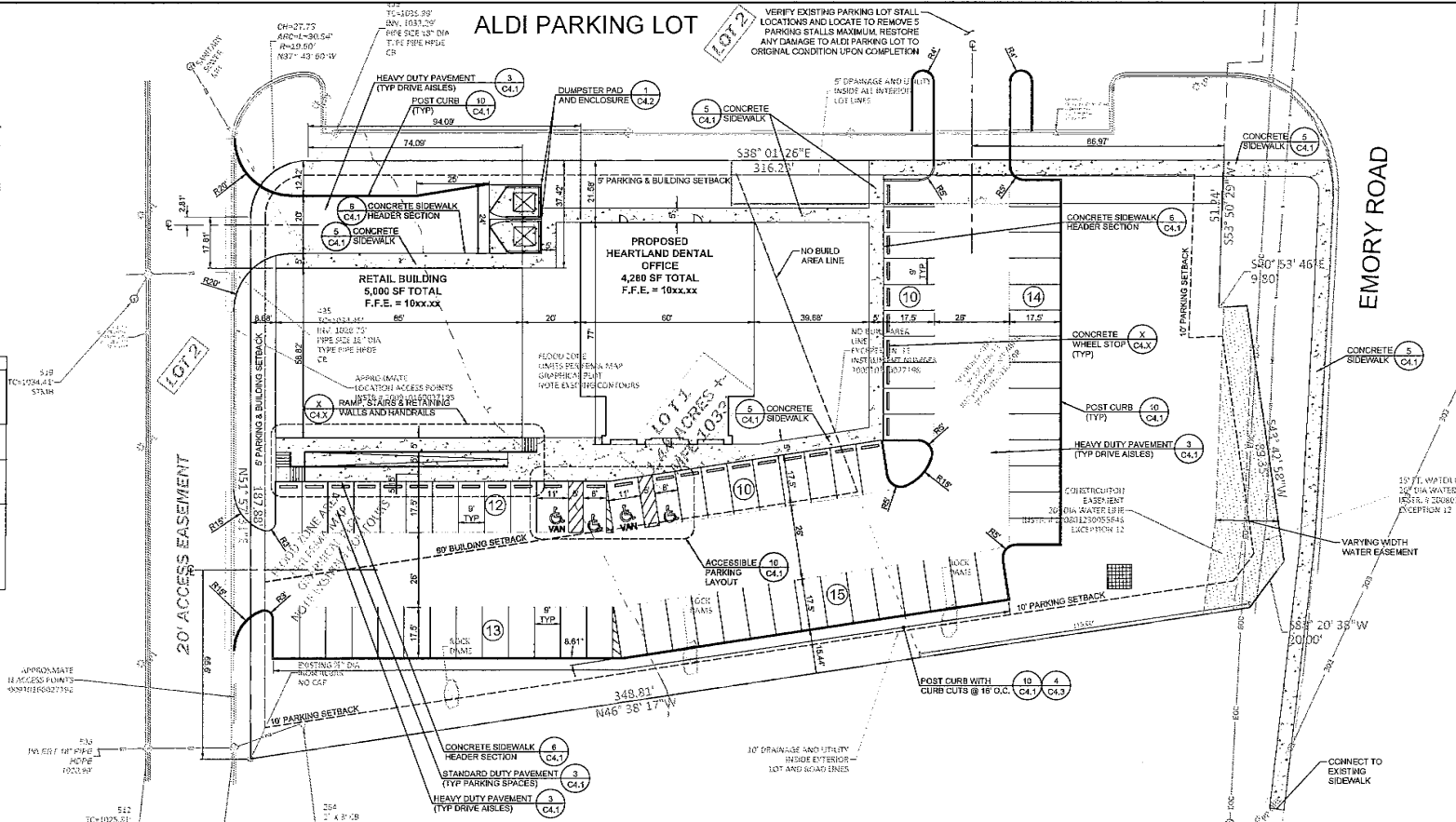
Original Print Date: 5/14/2018 Revised:
Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

SITE DATA TABLE

- PROPERTY ZONED: SC (SHOPPING CENTER)
SETBACKS: FRONT = 50'
LEFT SIDE = 20'
RIGHT SIDE = 5'
REAR = 10'
- SITE AREA 62,544 S.F. = 1.44 ACRES
- BUILDING AREA:
DENTAL OFFICE = 4,280 S.F. GROSS AREA
ONE-STORY, MAX HEIGHT = 24'-0"
RETAIL BUILDING = 5,000 S.F. GROSS AREA
ONE-STORY, MAX HEIGHT = 23'-0"
- PARKING REQUIREMENTS:
1 SPACE PER 100 SF RETAIL SPACE
1 SPACE PER 250 SF PROFESSIONAL OFFICE SPACE
RETAIL PARKING PROVIDED: 50 SPACES
OFFICE PARKING PROVIDED: 17,12 SPACES
ADDITIONAL PARKING PROVIDED: 5 SPACES
TOTAL PARKING PROVIDED: 73 SPACES
- EXISTING IMPERVIOUS AREA: 0.00 ACRES = 0%
EXISTING PERVIOUS AREA: 1.44 ACRES = 100%
PROPOSED IMPERVIOUS AREA: 0.88 ACRES = 61%
PROPOSED PERVIOUS AREA: 0.56 ACRES = 39%

STRIPING LEGEND

YELLOW CURBING AND BOLLARDS - PARKING LOT:	SURFACES SHOULD BE CLEAN, DRY AND METAL SURFACES FREE OF RUST. TWO COATS SHERWIN WILLIAMS - RES-3000 ACRYLIC ALKYL ENAMEL SAFETY YELLOW B551-000
STRIPING - PARKING LOT:	SURFACES SHOULD BE CLEAN, DRY, TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT YELLOW TMS495
HANDICAP STRIPING - PARKING LOT:	SURFACES SHOULD BE CLEAN, DRY, TOP COAT SHERWIN WILLIAMS - PRO MAR TRAFFIC MARKING PAINT "H.C." BLUE AND WHITE
FIRE LANE STRIPING - PARKING LOT:	SURFACES SHOULD BE CLEAN, DRY, STRIPING TO BE PAINTED RED, AND "FIRE LANE NO PARKING" TO BE PAINTED RED OR WHITE. COORDINATE AND CONFIRM SPACING AND PAINT COLOR WITH CITY FIRE MARSHAL, INSPECTOR. CALL KNOX COUNTY FIRE PREVENTION BUREAU AT 865-215-4660.



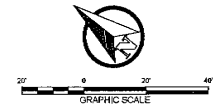
LAYOUT AND PAVING NOTES

- ALL EXISTING STRUCTURES, CONCRETE PAD/SIDWALKS/DRIVES AND UTILITY SERVICES ON THE SITE SHALL BE REMOVED TO FULL DEPTH PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL CHECK EXISTING GRADES, DIMENSIONS, AND INVERTS IN THE FIELD AND REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, OBTAIN ALL PERMITS AND PAY ALL FEES PRIOR TO BEGINNING WORK.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT, FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES AND IRRIGATION SLEEVES PRIOR TO INSTALLATION OF PAVEMENT.
- THE CONTRACTOR SHALL PROTECT ALL TREES TO REMAIN, IN ACCORDANCE WITH THE SPECIFICATIONS. DO NOT OPERATE OR STORE HEAVY EQUIPMENT OR STORE MATERIALS WITHIN THE CRIPPLES OF TREES OR OUTSIDE THE LIMIT OF GRADING.
- CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH WITH NO EXPOSED AGGREGATE ON ANY FACE. ALL CONCRETE TO BE MINIMUM 4,000 PSI COMPRESSIVE STRENGTH WITH (5%+1%) AIR ENTRAINMENT. MIXTURES WITH WATER/REDUCED WATER/RECOMMENDED. CURB RAMP, SIDEWALK SLOPES, AND DRIVEWAY RAMP SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL CURRENT LOCAL REQUIREMENTS. IF APPLICABLE, THE CONTRACTOR SHALL REQUEST INSPECTION OF SIDEWALK AND RAMP FORMS PRIOR TO PLACEMENT OF CONCRETE, NO FLY ASH PERMITTED.
- CONSTRUCTION OF REINFORCED CONCRETE PAVEMENT SHALL BE IN ACCORDANCE WITH ALL 200 STANDARD SPECIFICATIONS. CURING COMPOUND SHALL BE APPLIED TO ALL CONCRETE SURFACES IMMEDIATELY AFTER BROOM CONTRACTOR SHALL REJECT CONCRETE IF IT CANNOT BE PLACED WITHIN 90 MINUTES OF BATCH TIME OR WITHIN 75 MINUTES DURING SUMMER HIGH TEMPERATURE CONDITIONS.
- ALL DAMAGE TO EXISTING ASPHALT PAVEMENT TO REMAIN RESULTING FROM NEW CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE.
- DIMENSIONS ARE TO THE FACE OF CURB, EXPOSED FACE OF WALL, EDGE OF CONCRETE OR TO THE FACE OF BUILDING, UNLESS OTHERWISE NOTED.
- SCREENED ITEMS INDICATE A PRE-CONSTRUCTION TOPOGRAPHIC SURVEY PROVIDED BY TTL USA, DATED 3/25/2018.
- CONCRETE PAVEMENT CONTRACTION JOINTS SHALL BE CONSTRUCTED TO A DEPTH OF AT LEAST 1/4 THE CONCRETE THICKNESS, AND SHALL DIVIDE CONCRETE ROUGHLY INTO SQUARES WITH MAXIMUM 10' SEGMENTS. JOINTS CAN BE SAWCUT, FORMED, OR TOOLED.
- MAINTAIN ONE SET OF MARKED-UP AS-BUILT DRAWINGS ON THE JOB SITE FOR DISTRIBUTION TO THE ENGINEER UPON COMPLETION.
- CONTRACTOR SHALL PROVIDE AS-BUILT SURVEY FOR COMPLETED SITE. CONSULT ENGINEER FOR SPECIFIC REQUIREMENTS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING POSTAL DELIVERY METHOD WITH THE LOCAL JURISDICTION. IF A PHYSICAL MAILBOX IS REQUIRED, THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE PURCHASE, LOCATION PLACEMENT, AND INSTALLATION.

LEGEND

	CONCRETE SIDEWALK / DUMPSTER PAD
	HEAVY DUTY ASPHALT PAVING
	LIGHT DUTY ASPHALT PAVING
	HANDRAIL

6-C-18-UR
Revised: 5/31/2018



TARR
ENGINEERS
ARCHITECTS
PLANNERS

EMAIL: DYLAN@TARR-GROUP.COM
PHONE: 317-572-9277

HEARTLAND DENTAL DEVELOPMENT PROGRAM
PROFESSIONAL RESOURCE DEVELOPMENT, INC.
4103 EAST EMORY ROAD
KNOX COUNTY, TN
KNOX COUNTY FILE #: 6-C-18-UR

REVISONS:

PERMIT SET	05/19/2018
SITE PLAN REV.	05/20/2018

PROJ. NO.: 18006

SITE LAYOUT PLAN
C2.1

LANDSCAPE NOTES

1. WHEN APPLICABLE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING TREES TO REMAIN. NO HEAVY EQUIPMENT SHOULD BE PERMITTED TO OPERATE OR BE STORED, NOR ANY MATERIALS TO BE HANDLED OR STORED, WITHIN THE DRUPLINES OF TREES OUTSIDE THE LIMIT OF GRADING.
2. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TO PROTECT UTILITIES THAT ARE TO REMAIN. THE CONTRACTOR SHALL REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
3. ALL AREAS DISTURBED BY UTILITY TRENCHING, SITE AND BUILDING CONSTRUCTION SHALL BE STABILIZED WITH SOEDING AND SEEDING AS SHOWN BY THE PLAN.
4. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO CONFIRM MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT LIST.
5. THE LANDSCAPE INSTALLATION SHALL BE COORDINATED WITH THE IRRIGATION INSTALLATION WHEN APPLICABLE.
6. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES AND TAKE SPECIAL CARE TO INSURE THAT BED PREPARATION DOES NOT INHIBIT DRAINAGE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING BEHIND THE CURB SO GRADE IS LEVEL WITH TOP OF CURB.
8. ALL LAWN AREAS SHALL BE CULTIVATED TO A DEPTH OF 4" PRIOR TO SOEDING AND SEEDING. PREPARED SOD AND SEED BEDS SHALL BE FREE FROM STONES OVER 2" DIAMETER AND OTHER DELETERIOUS MATERIAL.
9. THE LANDSCAPE CONTRACTOR SHALL RAKE SMOOTH ALL SEED OR SOD AREAS PRIOR TO INSTALLATION.
10. SOEDD AREAS SHALL HAVE NO BARE AREAS. SEEDD AREAS SHALL BE CONSIDERED ACCEPTABLE WHEN FULL COVERAGE OF THE PERMANENT TURFGRASS SPECIES IS ESTABLISHED.
11. THE QUANTITIES INDICATED ON THE PLANT LIST AND PLAN ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS AND THE LIABILITY WHICH PERTAINS TO THOSE QUANTITIES AND TO ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS. QUESTIONS SHOULD BE DIRECTED TO THE LANDSCAPE ARCHITECT.
12. ALL PLANT MATERIALS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED AND SHALL COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1, LATEST EDITION, FOR SIZE AND QUALITY.
13. NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
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15. SOIL USED FOR PLANTING SHALL CONSIST OF 5 PARTS TOPSOIL, 1 PART SAND AND 2 PARTS ORGANIC MATTER, MIXED WITH 1 POUND OF FERTILIZER PER CUBIC YARD.
 - A. SAND SHALL BE CLEAN MASONRY SAND.
 - B. ORGANIC MATTER SHALL BE PEAT MOSS, OR WELL COMPOSTED PINE BARK, OR APPROVED EQUAL AND SHALL BE FINELY GROUND AND FREE OF WEEDS.
 - C. ALL FERTILIZER SHALL BE 10-10-10 WITH MINOR ELEMENTS. FERTILIZER SHALL HAVE 40-50% OF ITS TOTAL NITROGEN IN A WATER INSOLUBLE FORM.
16. PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AND SOD AREAS PRIOR TO INSTALLATION. TREELAN OR AN APPROVED EQUAL SHALL BE USED.
17. ALL PLANT BEDS SHALL HAVE A MINIMUM OF 2" DEEP MULCH. MULCH SHALL BE INORGANIC MINERAL MULCH. MULCH TO BE 1/2" LOCAL ANGULAR RIVER ROCK, COLOR: MIX OF BEIGE, GREY, BROWN. SOIL SEPARATOR FABRIC REQUIRED.
18. CUT AWAY ROPES OR WIRES FROM BAB PLANTS. PULL BACK BURLAP FROM TOP OF ROOT BALL. DO NOT ALLOW BURLAP TO BE EXPOSED AT SURFACE. TOTALLY REMOVE BURLAP IF IT IS SYNTHETIC.
19. IF CONTAINER GROWN PLANTS SHOW SIGNS OF BEING ROOT BOUND, SCORE ROOTS VERTICALLY.
20. THE LANDSCAPE CONTRACTOR WILL NOT BE RESPONSIBLE FOR PLANT MATERIAL THAT HAS BEEN DAMAGED BY VANDALISM, FIRE, RELOCATION, WILDLIFE, THEFT, SEVERE WEATHER OR OTHER ACTIVITIES BEYOND THE LANDSCAPE CONTRACTOR'S CONTROL.
21. PRIOR TO FINAL PAYMENT, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH COMPLETE WRITTEN INSTRUCTIONS ON PROPER CARE OF ALL SPECIFIED PLANT MATERIALS.
22. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
23. ALL REPLACEMENTS SHALL BE OF THE SAME TYPE, SIZE, AND QUALITY AS SPECIFIED ON THE PLANT LIST, UNLESS APPROVED OTHERWISE IN WRITING BY THE LANDSCAPE ARCHITECT AND CITY OF SEAGRAM.
24. ANY MATERIAL THAT IS DEEMED TO BE 25% DEAD OR MORE SHALL BE CONSIDERED DEAD, AND MUST BE REPLACED AT NO CHARGE. A TREE IS CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR MORE THAN 25% OF THE CROWN IS DEAD.
25. REPLACEMENTS SHALL BE MADE DURING THE NEXT PLANTING SEASON UNLESS THE LANDSCAPE CONTRACTOR AGREES TO AN EARLIER DATE. FINAL CERTIFICATE OF OCCUPANCY MAY BE WITHHELD UNTIL PLANTING IS COMPLETE.

PLANTING DATES

SPRING: FEBRUARY 15 - APRIL 15
 FALL: OCTOBER 1 - NOVEMBER 30
 WINTER: DECEMBER 1 - FEBRUARY 14

IRRIGATION NOTES

1. IRRIGATION SYSTEM TO BE DESIGN BUILD BY CONTRACTOR.
2. ALL LATERAL AND SUPPLY LINES SHALL BE CLASS 200 PVC, SIZED FOR FLOW VELOCITIES OF 5 FT./SEC. OR LESS.
3. PROVIDE TWO "Q" QUICK COUPLING VALVES ON SUPPLY LINE.
4. PROVIDE AUTOMATIC DRAIN VALVES AT ALL LOW POINTS ON SUPPLY AND LATERAL LINES.
5. PROVIDE TWO PLASTIC SUPPLY LINE MANUAL DRAIN VALVES.
6. ACCEPTABLE SYSTEM COMPONENTS:
 - A. SYSTEM CONTROLLER: HUNTER X-CORE SERIES, TORO TMC-212 SERIES, RAIN BIRD RZX SERIES. CONTROLLER SHALL BE LOCATED IN THE RECEIVING AREA NEXT TO THE ELECTRICAL PANEL.
 - B. ZONE CONTROL VALVES: HUNTER PGV SERIES, TORO 2X/250 SERIES, RAIN BIRD DVM/F SERIES.
 - C. SPRINKLER HEADS: HUNTER SPH AND PRO SPRAY SERIES, TORO 570X AND 300 SERIES, RAIN BIRD 1800 AND 3000 SERIES.
 - D. RAINFREEZE SENSORS: HUNTER RAIN CLK PLUS HUNTER FREEZE CLK, TORO TWRFS RAINFREEZE SENSOR OR RAIN BIRD WRZ WIRELESS RAINFREEZE SENSOR.

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6. ACCEPTABLE SYSTEM COMPONENTS:
 - A. SYSTEM CONTROLLER: HUNTER X-CORE SERIES, TORO TMC-212 SERIES, RAIN BIRD RZX SERIES. CONTROLLER SHALL BE LOCATED IN THE RECEIVING AREA NEXT TO THE ELECTRICAL PANEL.
 - B. ZONE CONTROL VALVES: HUNTER PGV SERIES, TORO 2X/250 SERIES, RAIN BIRD DVM/F SERIES.
 - C. SPRINKLER HEADS: HUNTER SPH AND PRO SPRAY SERIES, TORO 570X AND 300 SERIES, RAIN BIRD 1800 AND 3000 SERIES.
 - D. RAINFREEZE SENSORS: HUNTER RAIN CLK PLUS HUNTER FREEZE CLK, TORO TWRFS RAINFREEZE SENSOR OR RAIN BIRD WRZ WIRELESS RAINFREEZE SENSOR.

IRRIGATION NOTES

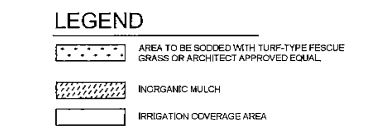
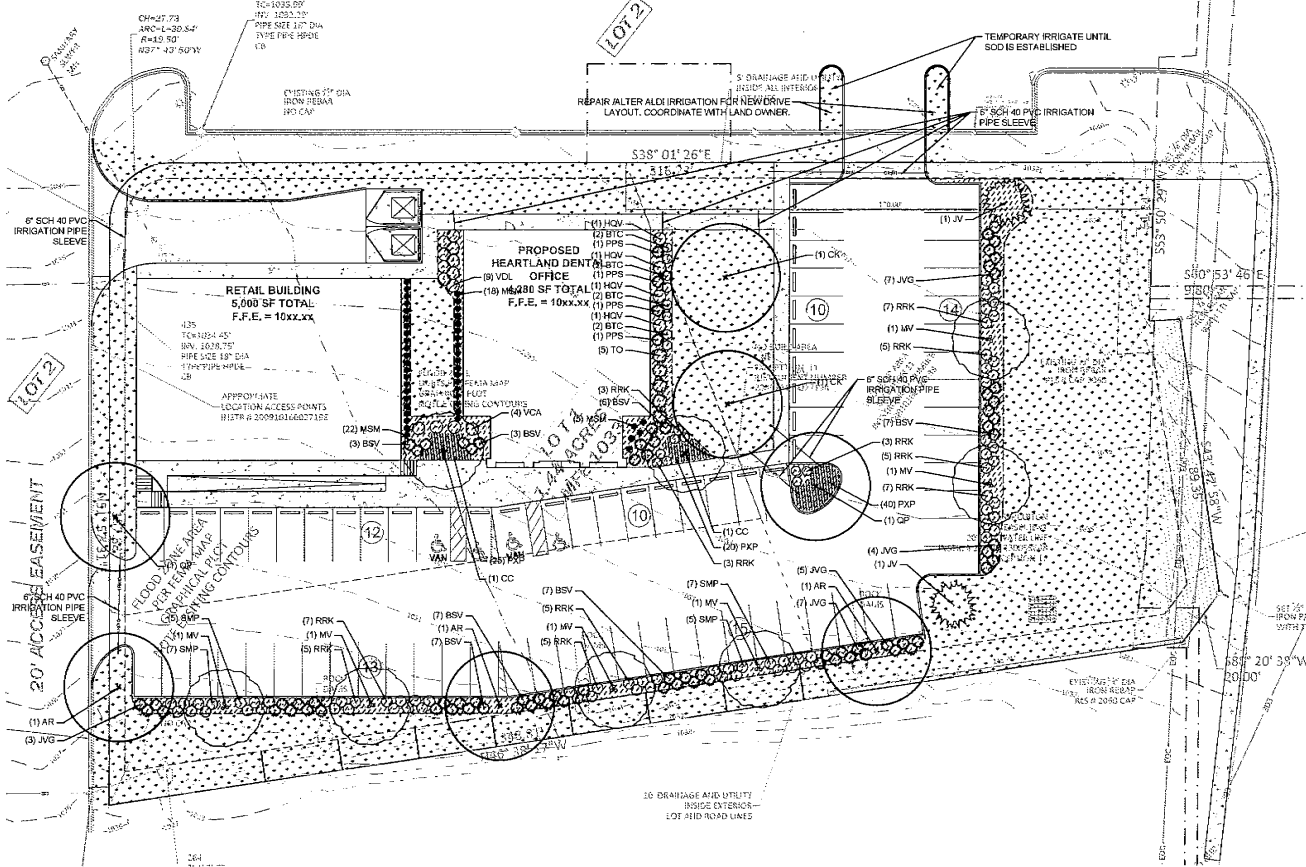
1. IRRIGATION SYSTEM TO BE DESIGN BUILD BY CONTRACTOR.
2. ALL LATERAL AND SUPPLY LINES SHALL BE CLASS 200 PVC, SIZED FOR FLOW VELOCITIES OF 5 FT./SEC. OR LESS.
3. PROVIDE TWO "Q" QUICK COUPLING VALVES ON SUPPLY LINE.
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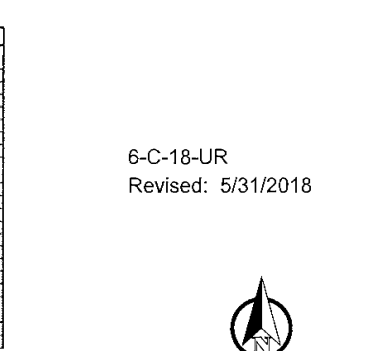
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PLANT LIST

SYM	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
TREES				
MM	<i>Acer rubrum</i>	Red Maple	1" CAL.	BBB
CC	<i>Cornus canadensis</i>	Eastern Red Dog	1" CAL.	BBB
CK	<i>Cladonia verticillata</i> "The Hair Pin"	Yellowwood	1" CAL.	BBB
JV	<i>Juniperus virginiana</i>	Eastern Red Cedar	8" @ 10' HGT.	BBB
MV	<i>Magnolia virginiana</i>	Sweetbay Magnolia	8" @ 10' HGT.	BBB, MULTIPLE
GP	<i>Quercus prinus</i>	Red Oak	1" CAL.	BBB
TD	<i>Thuja occidentalis</i> "Emerald"	Emerald Green Arborvitae	6" @ 6' HGT. H1.	BBB
SHRUBS				
BTC	<i>Betula pumila</i> "Grassland Pyram"	Swamp Birch	3 GAL.	24" H x 12" W DTH
BSV	<i>Buxus sempervirens</i> "Green Island"	Yew	3 GAL.	24" H x 12" W DTH
HYV	<i>Hydrangea coccinea</i> "Vase of Gold"	Hydrangea	3 GAL.	24" H x 12" W DTH
JVG	<i>Juniperus virginiana</i> "Virens Dwarf"	Blue Dwarf Juniper	3 GAL.	24" H x 12" W DTH
JZS	<i>Juniperus horizontalis</i> "Spartan Dwarf"	Ground Blue Juniper	3 GAL.	24" H x 12" W DTH
RRK	<i>Rosa rugosa</i>	Knockout Rose	3 GAL.	24" H x 12" W DTH
SMP	<i>Syringa emarginata</i> "Peppercorn"	Peppercorn Lilac	3 GAL.	24" H x 12" W DTH
VCA	<i>Viburnum cedricifolium</i> "Cedric"	Korean Spice Viburnum	3 GAL.	24" H x 12" W DTH
VOL	<i>Viburnum dentatum</i> "Little Joe"	Little Joe Viburnum	3 GAL.	24" H x 12" W DTH
GRASSES / GROUND COVERS				
M3M	<i>Moss</i>	Moss	3 GAL.	24" H x 12" W DTH
PPP	<i>Paspalum paspalodes</i>	Paspalum Paspalum	1 GAL.	12" H x 12" W DTH



TARR GROUP

EMAIL: DYLAN@TARR-GROUP.COM
 PHONE: 317-572-8277

HEARTLAND DENTAL DEVELOPMENT PROGRAM
 PROFESSIONAL RESOURCE DEVELOPMENT, INC.
 4103 EAST EMORY ROAD
 KNOX COUNTY, TN
 KNOX COUNTY FILE # 6-C-18-UR

REVISIONS:

PERMIT SET	05/18/2018
SITE PLAN REV.	05/29/2018

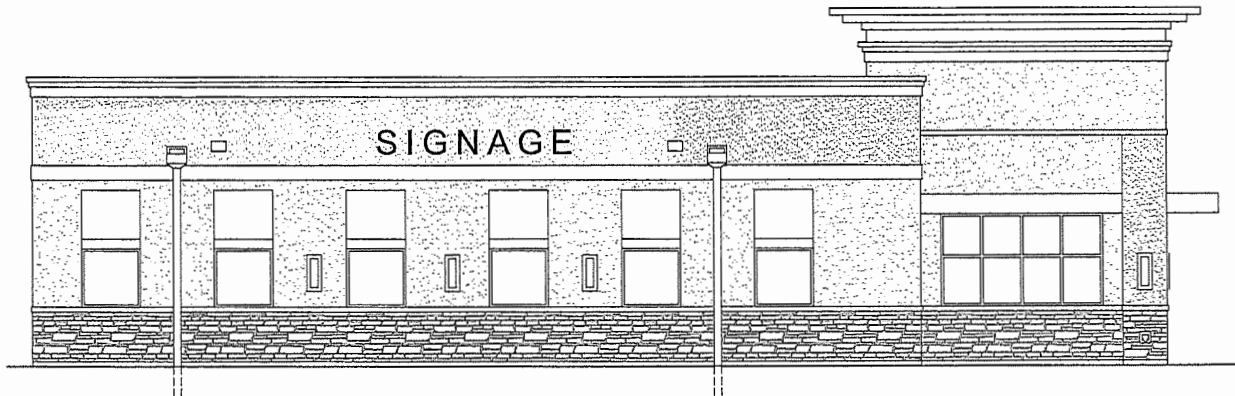
PROJ. NO.: 18005

LANDSCAPE PLAN

L2.1



1 PRELIMINARY FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 PRELIMINARY SIDE ELEVATION
SCALE: 1/4" = 1'-0"

INTERPLANE

ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT

404 COUNTRYLAND STREET
SUITE 100
ORLANDO, FLORIDA 32804
PH 407.444.5500
FX 407.429.9124

DETAIL:
THIS DOCUMENT IS NOT AN AGREEMENT
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DESIGN INTENT DRAWING
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NO DATE REVISIONS

REVISIONS

PRD
SHELL BUILDING

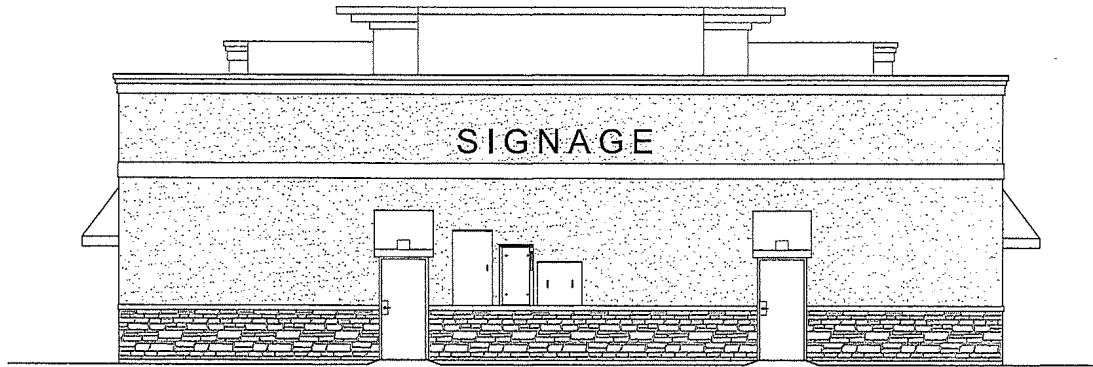
EAST EMORY RD & NORRIS FWY
KNOXVILLE, TN

PROJECT NO: 2018.0273
DATE: 04.25.2018

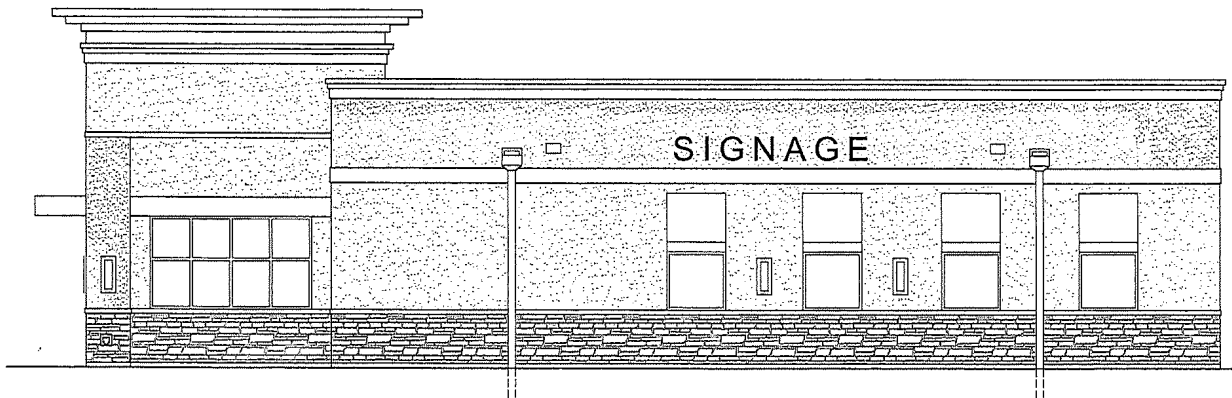
6-C-18-UR

ELEV1
PRELIMINARY ELEVATIONS

CHECKED: DRAWING:



3 PRELIMINARY REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 PRELIMINARY SIDE ELEVATION
SCALE: 1/4" = 1'-0"

6-C-18-UR

INTERPLANE
ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT

604 COURTLAND STREET
SUITE 100
ORLANDO, FLORIDA 32804
PH 407.246.5000
FX 407.259.9124

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NO DATE REMARKS
REVISIONS

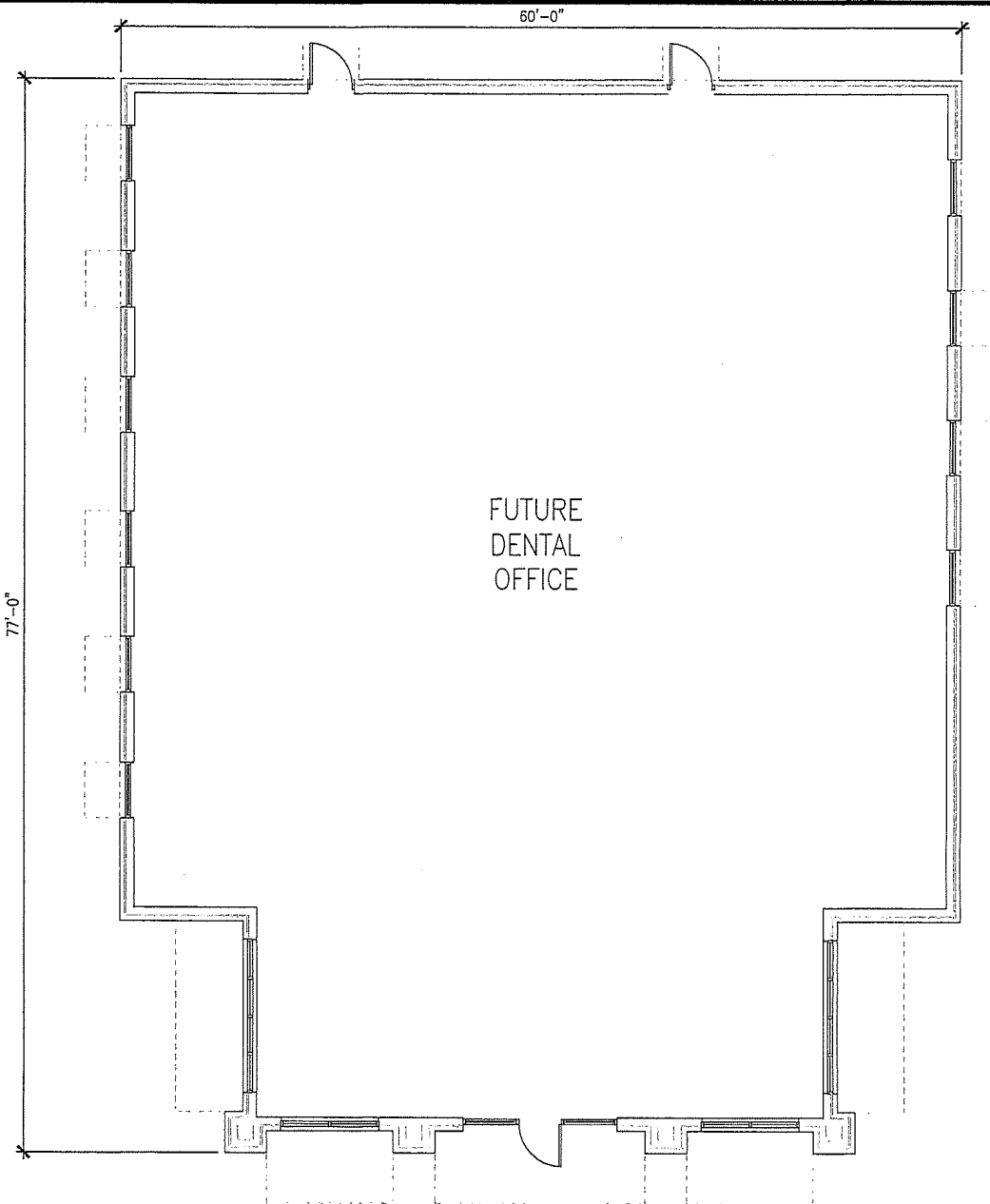
PRD
SHELL BUILDING

EAST EMORY RD & NORRIS FWY
KNOXVILLE, TN

PROJECT NO: 2018-0273
DATE: 04.25.2018

ELEV2
PRELIMINARY ELEVATIONS

CHECKED: DRAWING:



FUTURE
DENTAL
OFFICE

① SCHEMATIC BUILDING FOOTPRINT
SCALE: 1/4" = 1'-0"



6-C-18-UR

APPROX. GROSS SQ. FT. = 4,280
APPROX NET SQ. FT. = 3,993

INTERPLANS
ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT

664 COURTLAND STREET
SUITE 100
ORLANDO, FLORIDA 32804
PH 407.845.5008
FX 407.429.9124

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NO DATE REMARKS
REVISIONS

PRD
SHELL BUILDING
EAST EMORY RD & NORRIS Pkwy
KNOXVILLE, TN

PROJECT NO: 2018.0273
DATE: 04.25.2018

PLAN
PRELIMINARY PLAN

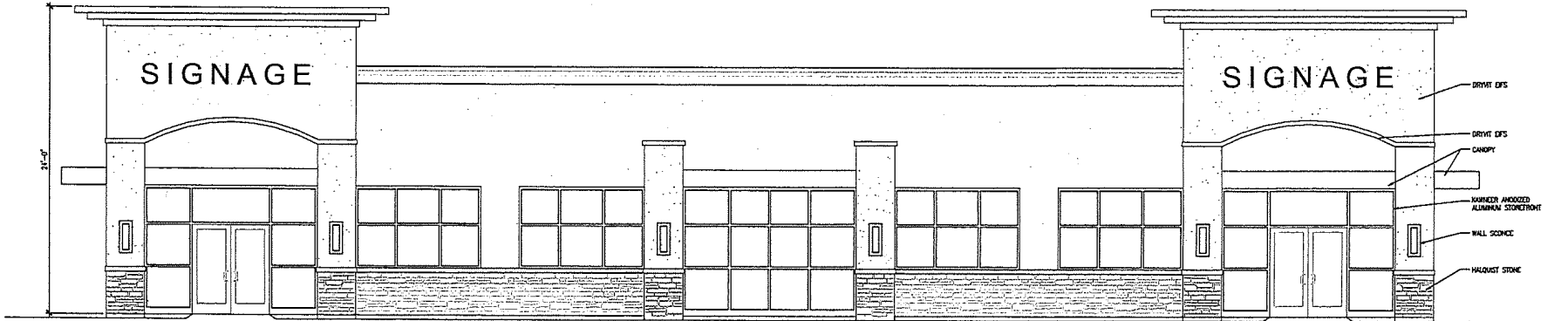
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INTERPLANS

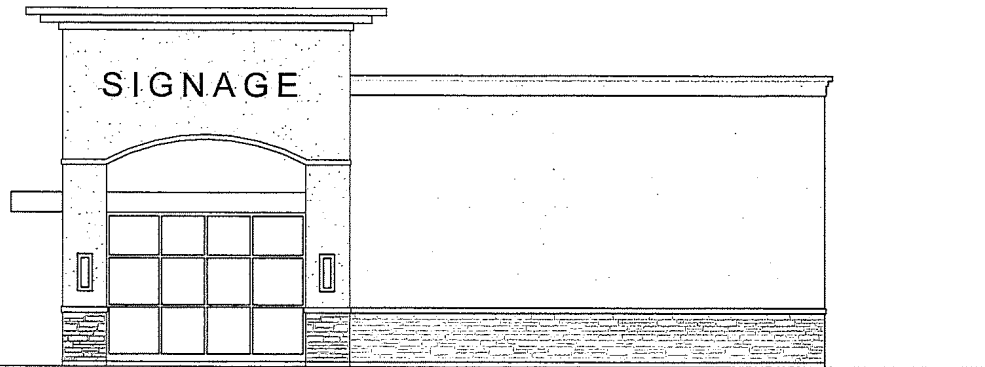
ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT

604 COUNTRYLAND STREET
SUITE 100
ORLANDO, FLORIDA 32804
PH 407.645.0000
FX 407.629.9124

SEAL
THIS DOCUMENT MUST BE ABBREVIATED
ON THE PROJECT FOR THE ARCHITECT'S
SIGNATURE AND SEAL APPEAR BELOW.



1 PRELIMINARY FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 PRELIMINARY SIDE ELEVATION (ALDI SIDE)
SCALE: 1/4" = 1'-0"

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REVISIONS

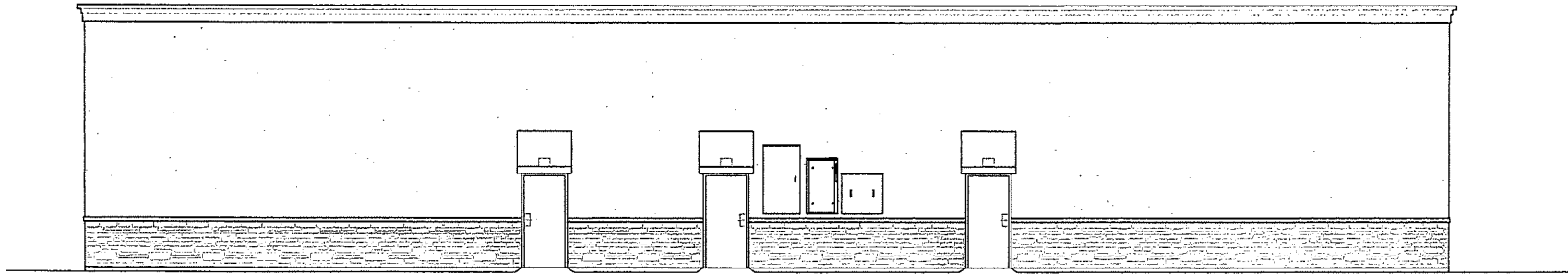
PRD
SHELL BUILDING
EAST EMORY RD & NORRIS FAY
KNOXVILLE, TN

PROJECT NO: 2016.0270
DATE: 04.25.2018

ADJ
ELEV1

PRELIMINARY ELEVATIONS
CHECKED: DRAWN:

6-C-18-UR



3 PRELIMINARY REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 PRELIMINARY SIDE ELEVATION (ROAD SIDE)
SCALE: 1/4" = 1'-0"

INTERPLANS

ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT

604 COURTLAND STREET
SUITE 100
ORLANDO, FLORIDA 32804
PH 407.645.5004
FX 407.629.9124

SEAL:
I AM A REGISTERED PROFESSIONAL ARCHITECT IN THE STATE OF FLORIDA
I HAVE REVIEWED THIS DRAWING AND I AM AWARE OF THE CONTENTS AND I AM NOT PROVIDING ANY ADVICE OR OPINION ON THE CONTENTS OF THIS DRAWING.

DESIGN INTENT DRAWING
THIS DESIGN INTENT DRAWING IS PROVIDED FOR INFORMATIONAL APPROVAL OF THE EXTERIOR APPEARANCE OF THE BUILDING. EVEN IF IT IS SIGNED AND SEALED BY THE ARCHITECT OF RECORD, IT IS NOT A CONSTRUCTION DOCUMENT. AFTER JURISDICTIONAL APPROVAL OF THIS DESIGN INTENT DRAWING, ARCHITECTURAL CONSTRUCTION DRAWINGS WILL BE SUBMITTED FOR PERMIT AND CONSTRUCTION, AND THOSE CONSTRUCTION DRAWINGS WILL INCORPORATE THE COLOR, MATERIAL, AND PROPORTIONAL SPECIFICATIONS DESCRIBED IN THIS DESIGN INTENT DRAWING.

NO DATE SEWARD
REVISIONS

PRD
SHELL BUILDING

EAST EMORY RD & NORRIS FWY
KNOXVILLE, TN

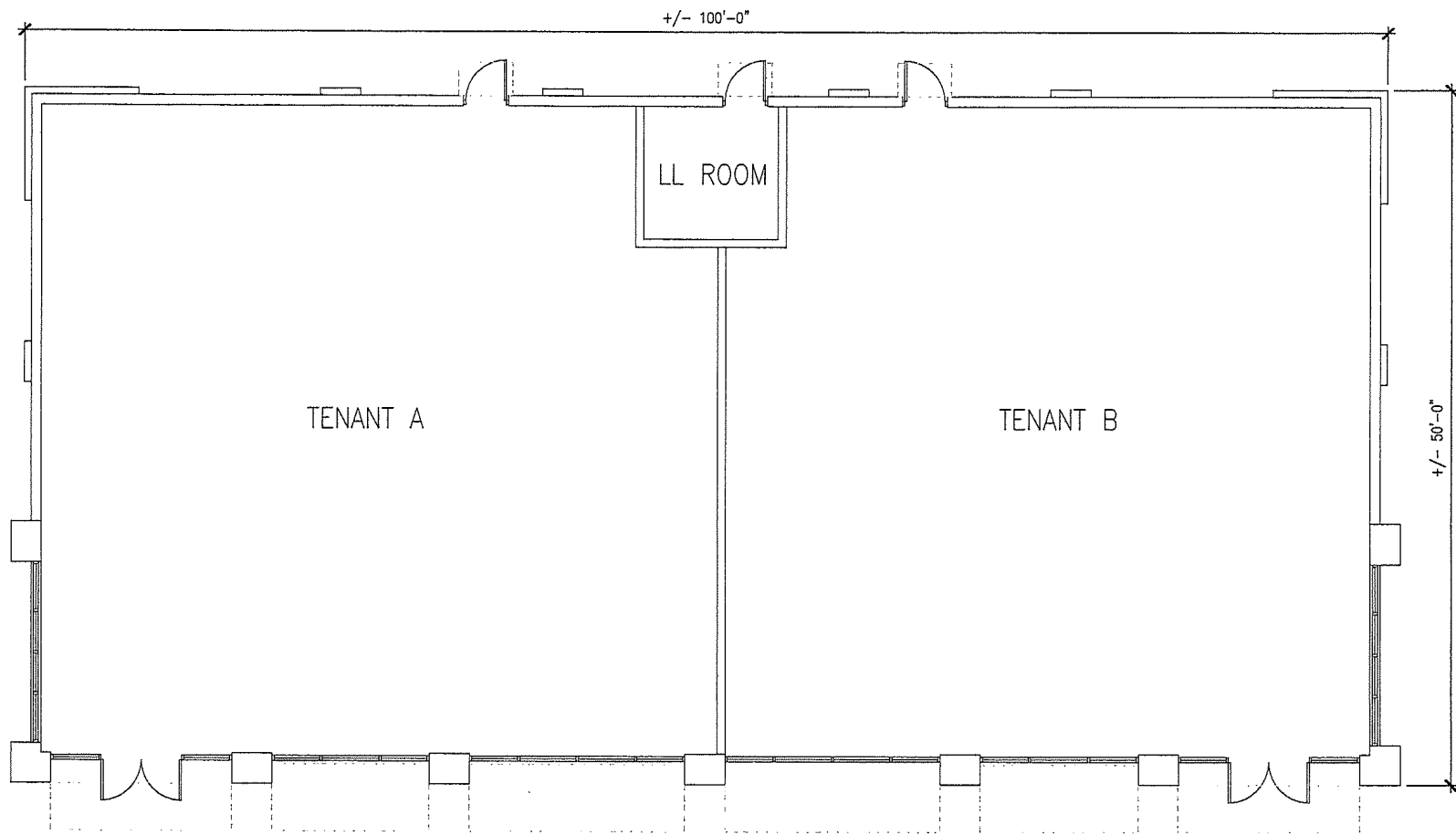
PROJECT NO: 2018.0273

DATE: 04/26/2018

6-C-18-UR

ADJ
ELEV2

PRELIMINARY ELEVATIONS
CHECKED: DRAWN:



① PRELIMINARY FLOOR PLAN - ADJACENT BUILDING
SCALE: 1/4" = 1'-0"

6-C-18-UR



INTERPLANE
ARCHITECTURE
ENGINEERING
INTERIOR DESIGN
PROJECT MANAGEMENT

604 COWLEND STREET
SUITE 100
ORLANDO, FLORIDA 32804
PH: 407.643.2000
FX: 407.629.9124

SEAL
I AM A REGISTERED PROFESSIONAL ARCHITECT
IN THE STATE OF FLORIDA
NO. 123456789
EXPIRES 12/31/2018

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NO.	DATE	REVISIONS

PRD
SHELL BUILDING
EAST EMORY RD & NORRIS FWY
KNOXVILLE, TN

PROJECT NO: 2018.0273
DATE: 04-23-2018

ADJ SHELL
PRELIMINARY FLOOR PLAN
CHECKED: DRAWN:

Use on Review **Development Plan**

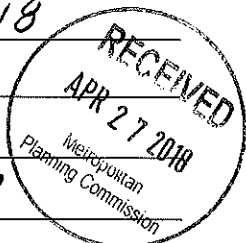
Name of Applicant: Professional Resource Development, Inc.

Date Filed: 4/27/2018 Meeting Date: 6/14/2018

Application Accepted by: Mike Reynolds

Fee Amount: _____ File Number: Development Plan _____

Fee Amount: \$1,500 File Number: Use on Review 6-C-18-OR



PROPERTY INFORMATION

Address: 4103 E Emory Road

General Location: Emory Road and Norris Freeway

Tract Size: 1.44 acres No. of Units: 2

Zoning District: SC

Existing Land Use: Vacant

Planning Sector: North County

Sector Plan Proposed Land Use Classification: 6C + 5P

Growth Policy Plan Designation: Planned Growth

Census Tract: 62.05

Traffic Zone: 193

Parcel ID Number(s): 038083

Jurisdiction: City Council _____ District
 County Commission 7 District

PROPERTY OWNER/OPTION HOLDER

PLEASE PRINT

Name: _____

Company: Crossroads General Partnership

Address: PO Box 23170

City: Nashville State: TN Zip: 37202

Telephone: 865-254-2468

Fax: _____

E-mail: mark@tarverproperties.com

APPLICATION CORRESPONDENCE

All correspondence relating to this application should be sent to:

PLEASE PRINT

Name: Jamie Linenberg

Company: Tarr Group, LLC

Address: 3229 Purple Ash Drive

City: Zionsville State: IN Zip: 46077

Telephone: 765-491-5066

Fax: _____

E-mail: jamie@tarr-group.com

APPROVAL REQUESTED

Development Plan: Residential Non-Residential

Home Occupation (Specify Occupation)

Other (Be Specific)
Retail + dental office

APPLICATION AUTHORIZATION

I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request or holders of option on same, whose signatures are included on the back of this form.

Signature: AS

PLEASE PRINT

Name: Aaron Stoll

Company: Professional Resource Development

Address: PO Box 768

City: Effingham State: IL Zip: 62401

Telephone: 346-242-1533

E-mail: astoll@heartland.com

SIGNATURES OF ALL PROPERTY OWNERS INVOLVED OR HOLDERS OF OPTION ON SAME MUST BE LISTED BELOW:



Please Sign in Black Ink:

(If more space is required attach additional sheet.)

Name

Address • City • State • Zip

Owner Option

6480 Kingston Pike Knoxville, TN 37919

✓

P.O. Box 23170 Nashville, TN 37202

✓