

**KNOXVILLE/KNOX COUNTY METROPOLITAN PLANNING COMMISSION
 USE ON REVIEW REPORT**

▶ **FILE #:** 6-D-18-UR

AGENDA ITEM #: 55

AGENDA DATE: 6/14/2018

▶ **APPLICANT:** CHICK-FIL-A, INC.

OWNER(S): Chick-fil-A

TAX ID NUMBER: 154 098.05

[View map on KGIS](#)

JURISDICTION: City Council District 2

STREET ADDRESS: 2082 Town Center Blvd

▶ **LOCATION:** East side of Town Center Blvd., north side S. Northshore Dr.

▶ **APPX. SIZE OF TRACT:** 2.05 acres

SECTOR PLAN: Southwest County

GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)

ACCESSIBILITY: Access is via Town Center Blvd., a 4 lane local street within 115'-130' wide right-of-way. Access to the Northshore Town Center development is via S. Northshore Dr., a major arterial street with 4 lanes that reduces to 2 lanes, 70'-310' of right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Tennessee River

▶ **ZONING:** PC-1(k) (Retail and Office Park)

▶ **EXISTING LAND USE:** Vacant land

▶ **PROPOSED USE:** Fast food restaurant with drive thru (4,869 sqft)

HISTORY OF ZONING: Property zoned PC-1(k) in 2010 (10-G-10-RZ)

SURROUNDING LAND USE AND ZONING: North: Mixed use commercial / PC-1(k) (Planned Commercial)

South: S. Northshore Dr., self storage, residences, vacant land / OB & O-1 (Office, Medical, and Related Services) and A & A-1 (Agricultural)

East: I-140 (Pellissippi Pkwy) / OS-1 (Open Space Preservation)

West: Bank, Town Center Blvd., mixed use commercial / PC-1(k) (Planned Commercial) & TC-1 (Town Center)

NEIGHBORHOOD CONTEXT: The surrounding area to the north and west of the site is being developed into a mix of uses under the PC-1 and TC-1 zoning districts. The Target and Publix retail stores are located to the north of this site. To the south is vacant land, indoor storage, and residential zoned A, O-1, OB, and PR. To the east is I-140 right-of-way, which includes the interchange with S. Northshore Dr.

STAFF RECOMMENDATION:

▶ **APPROVE** the request for a restaurant with drive thru containing approximately 5,000 square feet of floor area and 576 square feet of patio, and the proposed sign plan, subject to 8 conditions.

1. Connection to sanitary sewer and meeting any other relevant requirements of the Knox County Health

Department.

2. Installation of all sidewalks as shown on the approved development plan subject to approval by the Knoxville Department of Engineering and meeting all applicable Americans with Disabilities Act (ADA) requirements.
3. Implementation of any recommended improvements identified in the Chick-fil-A Traffic Impact Study prepared by Palmer Engineering, dated May 2018, and as revised and approved by the Knoxville Department of Engineering and Planning Commission staff, specifically related to the proposed development.
4. Meeting all applicable requirements of the Knoxville Department of Engineering.
5. Installation of all landscaping shown on the development plan within six months of the issuance of occupancy permits for this project.
6. Meeting all applicable requirements of the Knoxville Urban Forester.
7. Signage shall be in conformance with the Northshore Town Center Unified Development Master Sign Plan (3-C-11-UR) and Article 8 of the City of Knoxville Zoning Ordinance (Signs, billboards, and other advertising structures), and is subject to final approval by Planning Commission staff and the Knoxville Plans Review and Inspections Division.
8. Meeting all applicable requirements of the Knoxville Zoning Ordinance.

With the conditions noted, this plan meets the requirements for approval in the PC-1 District, and the other criteria for approval of a use on review.

COMMENTS:

The applicant has submitted a development plan for an out parcel in the Northshore Town Center development containing 2.05 acres. The plan proposes the development of a Chick-fil-A that will contain approximately 5,000 square feet of floor area with a 576 square-foot patio and a dual lane drive-thru. A sidewalk will be extended to this site from the terminus of the existing in front of the adjacent First Tennessee bank.

A traffic impact study was completed for this proposal which at the time the development plan for the Target and Publix was being considered. Street improvements within the development and to S. Northshore Dr. have been completed. The approval of this project will not necessitate any further road improvements. However, in order to foster the goal of pedestrian connectivity within the larger development, staff will require that this applicant construct a sidewalk long the northern boundary of this site. The proposed sidewalk will need to tie into the existing sidewalk along Town Center Blvd.

A master sign plan that calls for three development directory signs and a series of way-finding signs was approved in 2011. This signage plan also states how wall signs and monument signs are to be located on individual sites. On this site, there is an existing development directory sign along the S. Northshore Dr. frontage and the master sign plan allows one additional monument sign along the northern portion of the property. The monument sign is currently proposed in the southeast corner of the property and it will need to be moved.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE

1. All public utilities are available to serve the site.
2. Any recommended road improvements by the traffic impact study that are the result of increased traffic by this proposal may be required if deemed necessary by the City of Knoxville Department of Engineering.
3. The proposed development will be compatible with the scale and intensity of the surrounding development and zoning pattern.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOXVILLE ZONING ORDINANCE

1. With the recommended conditions, the proposal meets all requirements of the PC-1 zoning district, as well as all other criteria for approval of a use on review.
2. The proposed restaurant is consistent with the general standards for uses permitted on review: The proposed development is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas.

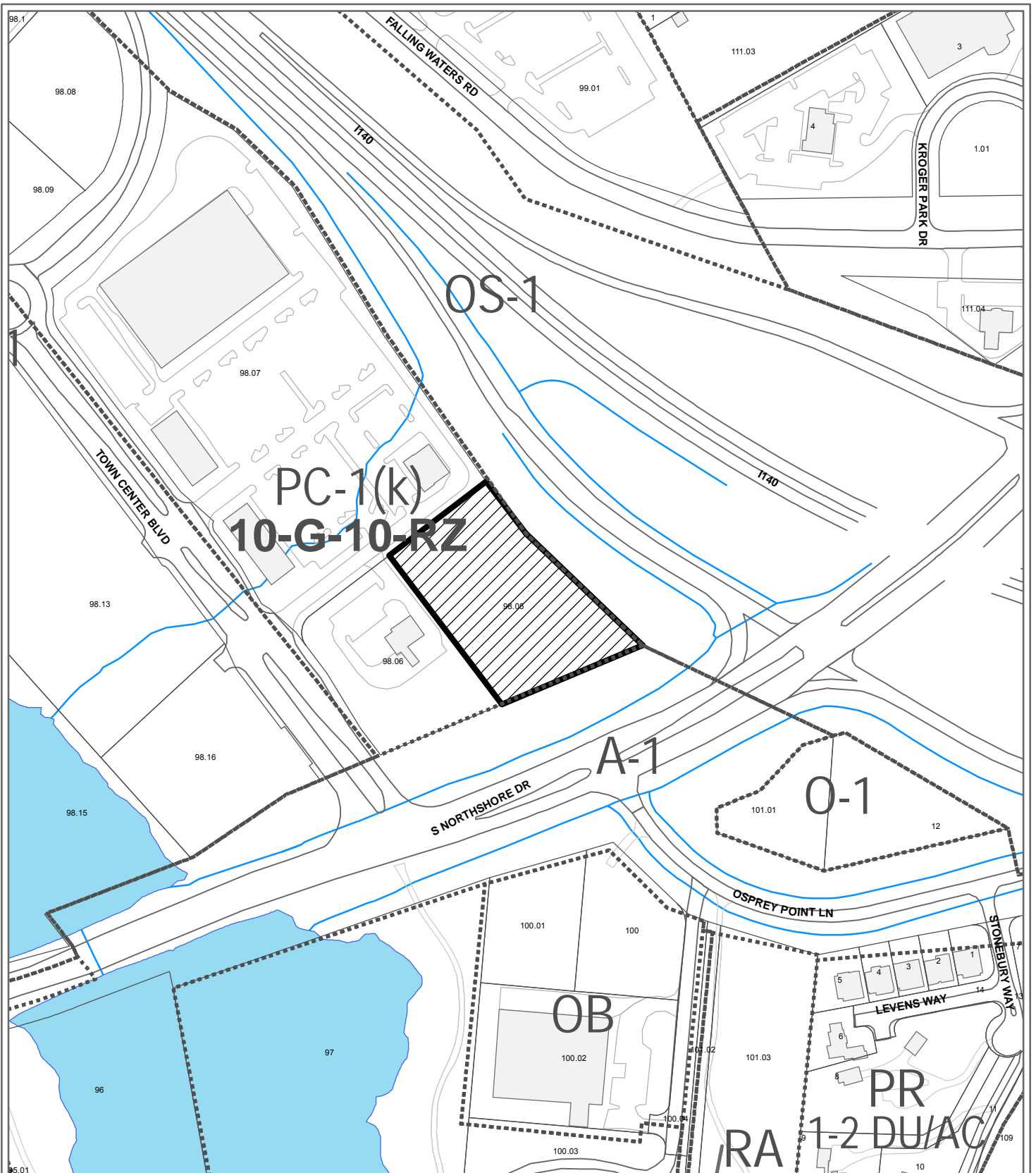
CONFORMITY OF THE PROPOSAL TO ADOPTED PLANS

1. The Southwest County Sector Plan and the City of Knoxville One Year Plan propose MU-CC (Community Mixed Use Commercial) uses for the site. The proposed facility is consistent with both plans.

ESTIMATED TRAFFIC IMPACT: A traffic impact study was prepared by the applicant. The findings of that study were used in formulating the recommendations of this staff report.

ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal an MPC decision in the City.



**6-D-18-UR
USE ON REVIEW**



Fast food restaurant with drive thru (4,869 sqft) in PC-1(k) (Retail and Office Park)

Original Print Date: 5/14/2018

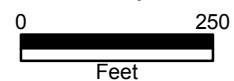
Revised:

Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

Petitioner: Chick-fil-A, Inc.

Map No: 154

Jurisdiction: City



SITE PLAN DESIGN NOTES & KEY PLAN

- 1 PAINTED DIRECTIONAL ARROW
- 2 PAINTED DRIVE-THRU GRAPHICS
- 3 PAINTED STOP LINE GRAPHIC
- 4 PAINTED ACCESSIBILITY PARKING SYMBOL
- 5 ACCESSIBILITY PARKING STALL
- 6 60' PARKING STRIP
- 7 90' PARKING STALL
- 8 DIRECTIONAL SIGNAGE (SEE SIGNAGE PACKAGE)
- 9 "STOP" SIGN (SEE SIGNAGE PACKAGE)
- 10 "ACCESSIBILITY PARKING" SIGN (SEE SIGNAGE PACKAGE)
- 11 "CURBSIDE DELIVERY" (SEE SIGNAGE PACKAGE)
- 12 "RIGHT-TURN-ONLY" SIGN (SEE SIGNAGE PACKAGE)
- 13 "ONE-WAY" SIGN (USE APPLICABLE DIRECTION) (SEE SIGNAGE PACKAGE)
- 14 "LEFT-TURN-ONLY" SIGN (SEE SIGNAGE PACKAGE)
- 15 "PEDESTRIAN CROSSWALK" SIGN (SEE SIGNAGE PACKAGE)
- 16 "DO NOT ENTER" SIGN (SEE SIGNAGE PACKAGE)
- 17 "NO-PARKING" SIGN (SEE SIGNAGE PACKAGE)
- 18 "TWO-ORDER-LANES" SIGN (SEE SIGNAGE PACKAGE)
- 19 "LANES-MERGE" SIGN (SEE SIGNAGE PACKAGE)
- 20 SIDEWALK ACCESSIBLE RAMP
- 21 CURB RAMP WITH FLARED SIDES
- 22 CURB RAMP WITH SHORT FLARED SIDES
- 23 RETURNED CURB ACCESSIBLE RAMP
- 24 TRUNCATED DOMES - CAST-IN PLACE
- 25 TYPICAL CONCRETE SIDEWALK
- 26 SIDEWALK WITH CURB & GUTTER SECTION
- 27 DRIVE-THRU PLAN
- 28 DRIVE-THRU ISOMETRIC
- 29 SOLID PLASTIC WHEEL STOP
- 30 LANDSCAPE & IRRIGATION PROTECTOR
- 31 SPILLING 24" CONCRETE CURB & GUTTER
- 32 CATCHING 24" CONCRETE CURB & GUTTER
- 33 DEPRESSED SPILLING 24" CONCRETE CURB & GUTTER
- 34 DEPRESSED CATCHING 24" CONCRETE CURB & GUTTER
- 35 ROLL-OVER/MOUNTABLE CURB
- 36 SCREENED REFUSE ENCLOSURE
- 37 SCREENED REFUSE ENCLOSURE STAGGERED
- 38 SCREENED REFUSE ENCLOSURE ALTERNATE DRAINAGE
- 39 CONCRETE BOLLARD
- 40 TYPICAL PAVEMENT SECTION
- 41 TYPICAL PAVEMENT SECTION - HEAVY DUTY
- 42 TRANSVERSE & LONGITUDINAL CONSTRUCTION JOINT
- 43 TRANSVERSE & LONGITUDINAL DOWELED CONSTRUCTION JOINT
- 44 CONCRETE APRON @ TRASH ENCLOSURE
- 45 CONCRETE PAVING DRIVE-THRU LANE
- 46 CONCRETE PAVING GAR-PARKING
- 47 ALUMINUM HANDRAIL
- 48 TYPICAL ADA RAMP AND HANDRAIL
- 49 CONTRACTION JOINT
- 50 KEVED CONSTRUCTION JOINT
- 51 LONGITUDINAL BUTT JOINT
- 52 EXPANSION JOINT
- 53 MULTI-LANE DIRECTIONAL GRAPHICS
- 54 PAINTED CROSS WALK
- 55 MENU BOARD & CANOPY ORDERING STATION
- 56 MENU BOARD LOOP DETECTION SYSTEM
- 57 5'x5' LANDING AND ENTRY DOOR FROST SLAB
- 58 GREASE TRAP (SEE PLUMBING PLAN)
- 59 ROOF DOWNSPOUT (TO CONNECT TO SITE DRAINAGE SYSTEM)
- 60 LANDSCAPED AREA (SEE LANDSCAPE PLAN)
- 61 CLEARANCE BAR (SEE SIGNAGE PACKAGE)
- 62 PAVEMENT STRIPING AREA
- 63 THICKENED SLAB EDGE AT RAILING CORE-DRILLS
- 64 GONGRIE FLUME
- 65 EX ASPHALT / PROP. CONCRETE INTERFACE
- 66 EX / PROP. ASPHALT INTERFACE
- 67 EX / PROP. CONCRETE INTERFACE
- 68 SINGLE BIKE RACK
- 69 TRANSFORMER
- 70 CHICK-FIL-A PRIME SIGN (SEE SIGNAGE PACKAGE)
- 71 FLAGPOLE, 50' (SEE SIGNAGE PACKAGE)
- 72 RETAINING WALL WITH HANDRAIL ON TOP (HANDRAIL - CHALK TO DETAIL 201/106001460)
- 73 OUTDOOR PATIO SPACE. SEE ARCHITECTURAL PLANS SHEET A-101
- 74 4" THICK CONCRETE STRIP BETWEEN BUILDING AND BACK OF CURB
- 75 4" THICK CONCRETE STRIP BETWEEN CURBS
- 76 4" WIDE PAINT STRIPE
- 77 CURB & GUTTER AT ACCESSIBLE RAMP
- 78 CASH STATION LOCATION

CONTRACTOR RESPONSIBLE TO FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITY TIE-INS AS SHOWN ON SITE PLANS (SANITARY, STORM, WATER, GAS, ELECTRIC, PHONE, ETC.) PRIOR TO THE START OF CONSTRUCTION. CONTACT ALLAN WILEY AT GBC DESIGN, INC., 330-836-0228, WITH ANY CONCERNS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR TO VERIFY THE THICKNESS OF ANY OFF-SITE PAVEMENT (ASPHALT OR CONCRETE) AND SIDEWALK SO THE RESTORATION WORK IS INCLUDED IN THE PROJECT BID.

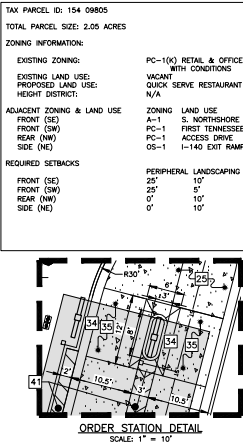
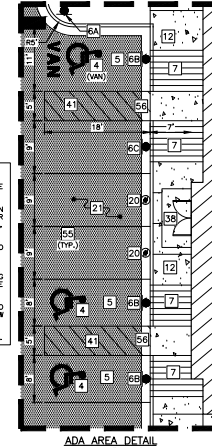
NOTES:

1. LANDSCAPING WILL COMPLY WITH ALL ASPECTS OF THE KNOWLLVILLE TREE PROTECTION ORDINANCE.
2. CONTRACTOR TO OBTAIN A TRAFFIC CONTROL PERMIT FOR WORK WITHIN THE ROADWAY. CONTACT THE CIVIL ENGINEERING DEPARTMENT FOR REQUIREMENTS AND TO OBTAIN A TRAFFIC CONTROL PERMIT, 665-215-9100.
3. A PRE-CONSTRUCTION CONFERENCE WILL BE REQUIRED PRIOR TO ISSUANCE OF PERMITS. CONTACT CITY ENGINEERING AT 865-215-2148 TO SCHEDULE.
4. ANY EXISTING CONCRETE CURB AND GUTTER THAT IS DAMAGED DURING CONSTRUCTION OR IS IN DISREPAIR AFTER CONSTRUCTION IS TO BE REPLACED PER CITY STANDARD DETAIL.
5. CONTRACTOR TO SAWCUT OR MILL ALL EXISTING PAVEMENT PRIOR TO REMOVAL. A CLEAN EDGE MUST BE AT ALL EXISTING PAVEMENT/NEW PAVEMENT INTERFACES.
6. SEE CONCRETE CURB/ASPHALT PAVEMENT INTERFACE DETAIL ON C-5.1.

CONTACT FIRE MARSHAL'S OFFICE, 865-215-2283, FOR INFORMATION REGARDING THE INOX BOX.

SUBJECT PARCEL DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA PER FLOOD INSURANCE RATE MAP #200203000P DATED MAY 2, 2007.

THE PERIPHERAL SETBACK ALONG NORTSHORE DRIVE IS 90'. THERE WAS A VARIANCE APPROVED 2/17/2011 THAT REDUCED THE PERIPHERAL FROM 90' TO 25' (4'-11"-11). THIS IS THE SAME MEETING THAT REDUCED THE 1-140 PERIPHERAL.



TAX PARCEL ID: 154 09805
TOTAL PARCEL SIZE: 2.05 ACRES

ZONING INFORMATION:
PC-10(A) RETAIL & OFFICE PARK WITH CONDITIONS
VACANT QUICK SERVICE RESTAURANT

EXISTING LAND USE:
PROPOSED LAND USE:
HEIGHT DISTRICT:
N/A

ADJACENT ZONING & LAND USE:
FRONT (SE):
FRONT (SW):
REAR (NW):
SIDE (NE):

REQUIRED SETBACKS:
FRONT (SE): 25' 10'
FRONT (SW): 25' 9'
REAR (NW): 0' 10'
SIDE (NE): 0' 10'

PERIPHERAL LANDSCAPING:
FRONT (SE): 25' 10'
FRONT (SW): 25' 9'
REAR (NW): 0' 10'
SIDE (NE): 0' 10'

BUILDING DIMENSIONS (SEE SITE LAYOUT PLAN)
SQUARE FOOTAGE AREA (GROSS): 4,999 S.F.
NUMBER OF SEATS: 120 INDOOR SINGLE/ONE (1)

PARKING SUMMARY: PROPOSED CONDITIONS:
MINIMUM: 6 SPACES PER 1,000 S.F. MAXIMUM: 12 SPACES PER 1,000 S.F.
TOTAL PARKING SPACES REQUIRED FOR CHICK-FIL-A: MINIMUM: (4,999 S.F. / 1,000) X 6 = 30 MINIMUM MAXIMUM: (4,999 S.F. / 1,000) X 12 = 60 MAXIMUM
= 22% ADDITIONAL FOR PERVIOUS PAVEMENT = 72 MAXIMUM

PARKING SPACES PROVIDED:
STANDING SPACES = 66
ACCESSIBLE SPACES = 3

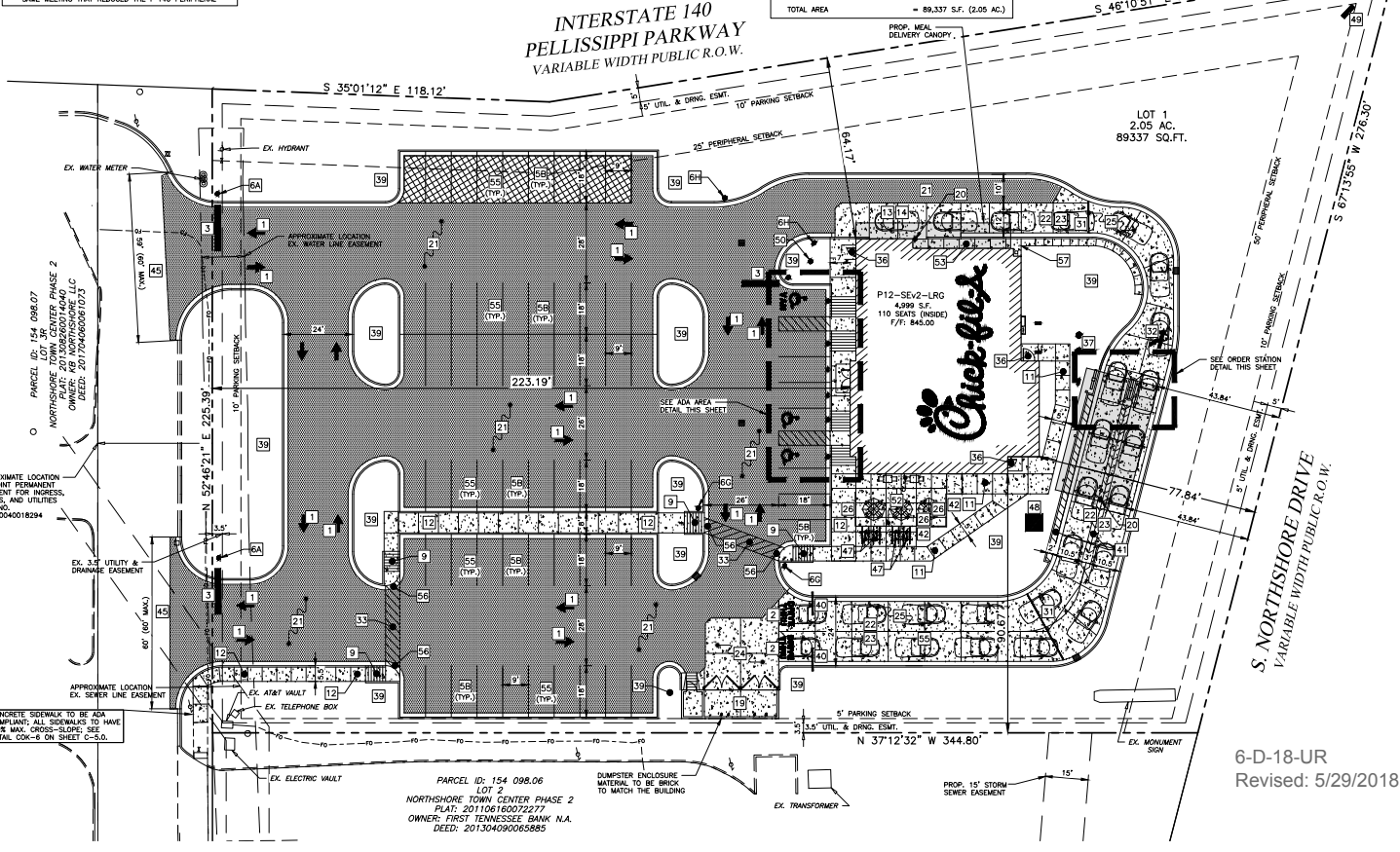
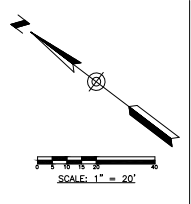
PARKING SPACE DIMENSIONS:
90 DEGREE STALLS: 9'11\"/>

LEGEND

- PROF. FIRE HYDRANT
- EX. FIRE HYDRANT
- PROP. VALVE
- EX. VALVE
- PROP. MANHOLE
- EX. MANHOLE
- PROP. INLET
- EX. BOX INLET
- EX. LIGHT POLE
- PROP. LIGHT POLE
- PROP. ACCESSIBLE RAMP - RAMP IS NOT TO BE SCORED OR GROOVED
- EX. CURB
- PROP. CURB & GUTTER
- PROP. ASPHALT PAVEMENT
- PROP. CONCRETE PAVEMENT/BANK
- PROP. PERVIOUS PAVEMENT
- PROP. PERVIOUS CONCRETE

EXISTING AREA TABULATION:
IMPERVIOUS AREA: BUILDINGS = 0 S.F., ASPHALT PAVEMENT = 0 S.F., CONCRETE PAVEMENT = 0 S.F., SUBTOTAL = 0 S.F. (0.00%)
PERVIOUS AREA: LANDSCAPE/PLANTING = 89,337 S.F. (100.00%)
TOTAL AREA = 89,337 S.F. (2.05 AC.)

NEW DEVELOPMENT AREA TABULATION:
IMPERVIOUS AREA: BUILDINGS = 4,999 S.F., ASPHALT PAVEMENT = 28,802 S.F., CONCRETE PAVEMENT = 12,081 S.F., SUBTOTAL = 45,882 S.F. (56.72%)
PERVIOUS AREA: LANDSCAPE/PLANTING = 36,240 S.F., PERVIOUS CONCRETE = 1,415 S.F., SUBTOTAL = 39,555 S.F. (44.28%)
TOTAL AREA = 89,337 S.F. (2.05 AC.)



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

GBC DESIGN, INC.
565 White Road Dr.
Altoon, OH 43920-1123
Phone: 300-886-0285
Fax: 300-886-9782

CHICK-FIL-A
NORTHSHORE TOWN CENTER FSU
KNOXVILLE, TN

FSU# 04182

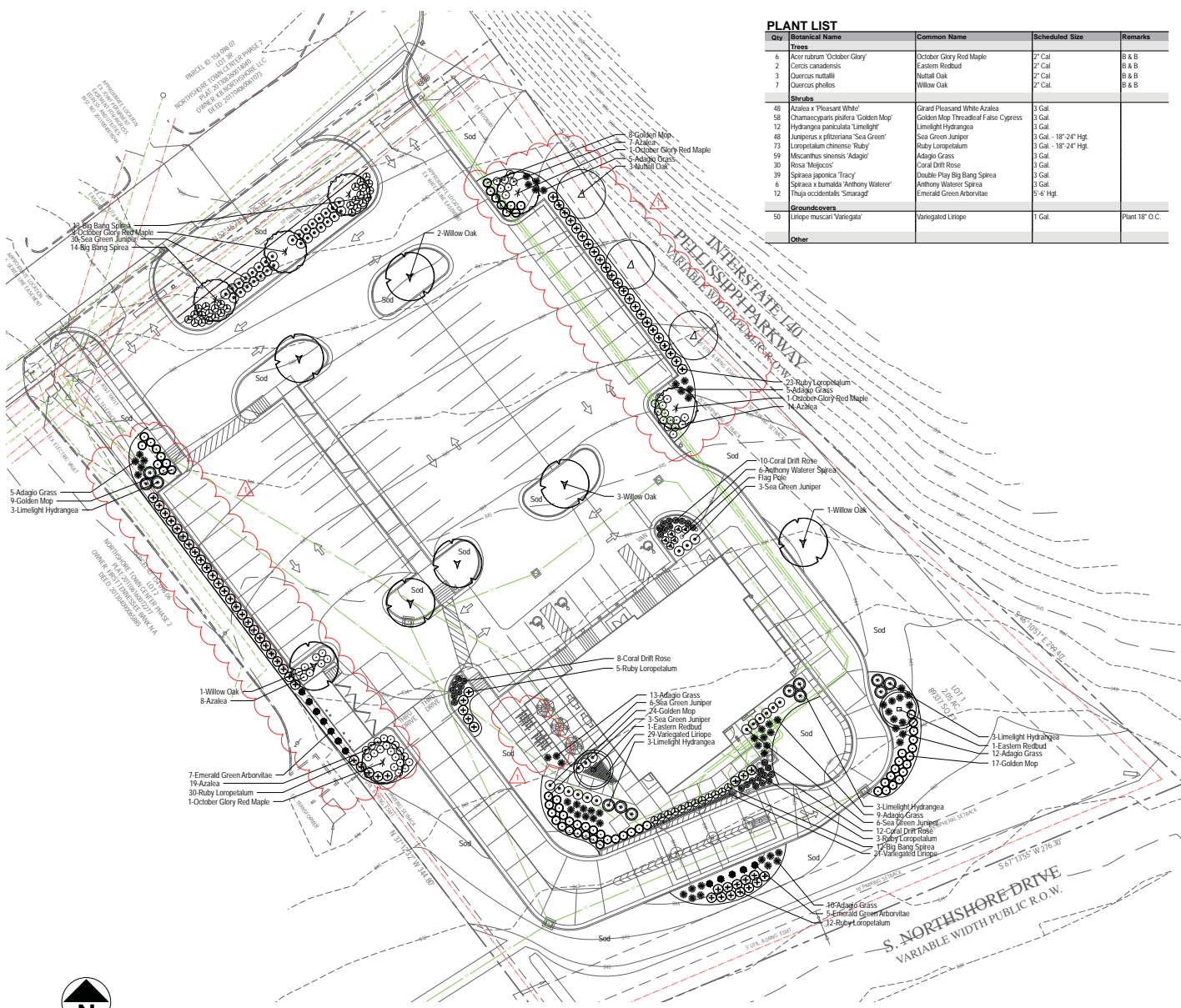
REVISION SCHEDULE

GBC PROJECT # 56245
PRINTED FOR
DATE 2/18/18
DRAWN BY BAW

SITE PLAN

SHEET NUMBER C-200

6-D-18-UR
Revised: 5/29/2018



Qty	Botanical Name	Common Name	Scheduled Size	Remarks
PLANT LIST				
Trees				
6	Acer rubrum 'October Glory'	October Glory Red Maple	2" Cal	B & B
2	Cercis canadensis	Eastern Redbud	2" Cal	B & B
3	Quercus rubra	Nuttall Oak	2" Cal	B & B
3	Quercus phellos	Willow Oak	2" Cal	B & B
Shrubs				
48	Azalea x 'Pleasant White'	Grand Pleasant White Azalea	3 Gal	
58	Chamaecyparis stricta 'Golden Mop'	Golden Mop Threadleaf False Cypress	3 Gal	
12	Hydrangea paniculata 'Limelight'	Limelight Hydrangea	3 Gal	
73	Juniperus x pfitzioriana 'Sea Green'	Sea Green Juniper	3 Gal	
73	Loropetalum chinensis 'Ruby'	Ruby Loropetalum	3 Gal - 18" 24" Hgt.	
59	Miscanthus sinensis 'Adagio'	Adagio Grass	3 Gal	
30	Rosa 'Mejocco'	Coral Drift Rose	3 Gal	
39	Spiraea japonica 'Tracy'	Double Play Big Bang Spiraea	3 Gal	
6	Spiraea x kamadae 'Anthony Waterer'	Anthony Waterer Spiraea	3 Gal	
12	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	5-6" Hgt.	
Groundcovers				
50	Liriope muscari 'Variegata'	Variegated Liriope	1 Gal	Plant 18" O.C.
Other				

- ### LANDSCAPE NOTES
- SOUTHEAST**
- Landscape Contractor to read and understand the Landscape Specifications (sheet L-102) prior to finalizing bids. The Landscape Specifications shall be adhered to throughout the construction process.
 - Contractor is responsible for locating and protecting all underground utilities prior to digging.
 - Contractor is responsible for protecting existing trees from damage during construction.
 - All tree protection devices to be installed prior to the start of land disturbance, and maintained until final landscaping.
 - All tree protection areas to be protected from sedimentation.
 - All tree protection fencing to be inspected daily, and repaired or replaced as needed.
 - No parking, storage or other construction activities are to occur within tree protection areas.
 - All planting areas shall be cleaned of construction debris (i.e. concrete, rock, rubble, building materials, etc) prior to adding and spreading of the topsoil.
 - General Contractor is responsible for adding a min. 4" of clean friable topsoil in all planting beds and all grassed areas. Graded areas to be held down the appropriate elevation to account for topsoil depth. See Landscape Specifications for required topsoil characteristics.
 - In all parking lot islands, the General Contractor is responsible to remove all debris, fracture/loosen subgrade to a min. 24" depth. Add topsoil to a 6"-8" bermed height above island curbing; refer to landscape specifications and landscape island detail.
 - Prior to beginning work, the Landscape Contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by the General Contractor and observe the site conditions under which the work is to be done. Notify the General Contractor of any unsatisfactory conditions, work shall not proceed until such conditions have been corrected and are acceptable to the Landscape Contractor.
 - Any deviations from the approved set of plans are to be approved by the Landscape Architect.
 - Landscaping shall be installed in conformance with ANSI Z60.1 The "American Standard for Nursery Stock" and the accepted standards of the American Association of Nurserymen.
 - Existing grass in proposed planting areas shall be killed and removed. Hand rake to remove all rocks and debris larger than 1 inch in diameter, prior to adding topsoil and planting shrubs.
 - Soil to be tested to determine fertilizer and lime requirements prior to laying sod.
 - Annual and perennial beds: add min. 4 inch layer of organic material and till to a min. depth of 12 inches. Match annual and perennial beds with 2-3 inch depth of mix suggests.
 - All shrub beds (existing and new) to be mulched with a min. 3 inch layer of mulch (double shredded hardwood mulch).
 - Planting holes to be dug a minimum of twice the width of the root ball, for both shrub and tree. Set plant material 2" above fresh grade. Backfill planting pit with topsoil and water excavated soil.
 - Sod to be delivered fresh (Cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod at planting beds are to be "V"renched; see Landscape Details.
 - Any existing grass disturbed during construction to be fully removed, regraded and replaced. All tree marks and indicators to be re-established.
 - Water thoroughly twice in first 24 hours and apply mulch immediately.
 - The Landscape Contractor shall guarantee all plants installed for one full year from date of acceptance by the owner. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The Landscape Contractor shall not be responsible for acts of God or vandalism. See Landscape Specifications for warranty requirements/specifications.
 - Any plant that is determined dead, in an unhealthy, unsightly condition, lost its shape due to dead branches, or other symptoms of poor, non-vigorous growth, shall be replaced by the Landscape Contractor. See Landscape Specifications for warranty requirements/specifications.
 - Site to be 100% irrigated in all planting beds and grass area by an automatic underground Irrigation System. See Irrigation Plan L-200 for design. Irrigation as built shall be provided to the Landscape Architect within 24 hours of irrigation install completion.
 - Stake all evergreen and deciduous trees as shown in the planting detail and as per the Landscape Specifications.
 - Remove stakes and guying from all trees after one year from planting.

- ### LANDSCAPE REQUIREMENTS
- A. TREE PROTECTION CRONANCE**
- REQUIRED** Save a min. of 6 trees per acre or Replace trees at a rate of 8 trees per acre
2.05 acres x 8 = 16 trees total
- PROVIDED** 1. Half of the required trees shall be selected from Group 1 trees.
16 x 50% = 8 group 1 trees.
3. Trees shall have a min. 2" caliper, measured 6' from the ground.
1. 18 trees provided: 6 Red Maple, 7 Willow Oak, 3 Nuttall Oak and 2 Redbud
2. 89% of the provided trees are from Group 1 trees: Red Maple, Nuttall Oak and Willow Oak.
3. Trees are 2" caliper.
- B. PARKING LOT PERIMETER**
- REQUIRED** 1. Between parking lot and R.O.W there shall be a min. of 3 trees and 10 shrubs per 100 LF.
East: 90 LF = 3 trees and 10 shrubs
2. Between parking lot and adjacent residential zones shall provide a continuous hedge: min. 50% of the shrubs shall be evergreen.
- PROVIDED** 1. East: 3 Nuttall oak and 23 Loropetalum
2. Continuous evergreen hedge of Loropetalum provided between the parking area and adjacent residential property

6-D-18-UR
Revised: 5/29/2018

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia 30349-2998

manley LANDSCAPE ARCHITECTURE
770.442.8171 tel
770.442.1123 fax
Manley Land Design, Inc.
51 Old Canton Street
Alpharetta, Georgia 30009
manleylanddesign.com

CHICK-FIL-A
Northshore Town Center
Northshore
Knoxville, TN

FSU# 04182

REVISION SCHEDULE
NO. DATE DESCRIPTION
1 5/29/18 City Comments

MJD PROJECT # 2018019
PRINTED FOR
DATE 4/30/18
DRAWN BY ADN

Information contained on this drawing and all digital files contained hereon shall remain the property of Chick-fil-A and shall not be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Chick-fil-A.

SHEET
Landscape Plan
SHEET NUMBER
L-100

DESIGN INTENT PACKAGE

NORTHSHORE TOWN CENTER

NORTHSHORE TOWN CENTER, KNOXVILLE, TN

STORE NUMBER
04182

PROTOTYPE	P12_SE LRG
VERSION	v2_18.03
TIER	TIER 1
BUILDING AREA	4999 SF
SEAT COUNT - INTERIOR	112
SEAT COUNT - EXTERIOR	16
SEATING TYPE	STANDARD
REGISTERS	4
DRIVE-THRU	YES
LEED	NOT CERTIFIED
LANDSCAPING	STANDARD
<u>OPTIONS:</u>	
RESTROOM	TWO FIXTURE
WATER FILTRATION	TYPE 1
PLAYGROUND	STANDARD
KITCHEN LAYOUT	STANDARD



PERSPECTIVE VIEW - ENTRY

DESIGN SIGN-OFF

DESIGN LEADER _____ DATE _____

6-D-18-UR
 4/30/2018

DIP COVER SHEET - LRG - STUCCO

04182, NORTHSHORE TOWN CENTER, NORTHSHORE TOWN CENTER, KNOXVILLE, TN

04/12/2018

THE CHICK-FIL-A DESIGN INTENT PACKAGE REPRESENTS A BRAND COMPLIANT DESIGN SOLUTION. SITE ADAPT PROFESSIONALS ARE RESPONSIBLE FOR APPLICATION OF DESIGN AND COMPLIANCE OF WITH ORDINANCES AND CODES.





PERSPECTIVE VIEW - Stucco - REAR RIGHT

EXECUTIVE SUMMARY

EXTERIOR MODIFICATIONS
NONE

INTERIOR MODIFICATIONS
NONE

FRONT OF HOUSE MODIFICATIONS
NONE

BACK OF HOUSE MODIFICATIONS
NONE



PERSPECTIVE VIEW - Stucco - FRONT LEFT



PERSPECTIVE VIEW - Stucco - REAR LEFT

PERSPECTIVE VIEWS - STUCCO

04182, NORTSHORE TOWN CENTER, NORTSHORE TOWN CENTER, KNOXVILLE, TN

THE CHICK-FIL-A DESIGN INTENT PACKAGE REPRESENTS A BRAND COMPLIANT DESIGN SOLUTION. SITE ADAPT PROFESSIONALS ARE RESPONSIBLE FOR APPLICATION OF DESIGN AND COMPLIANCE OF WITH ORDINANCES AND CODES.

6-D-18-UR
4/30/2018

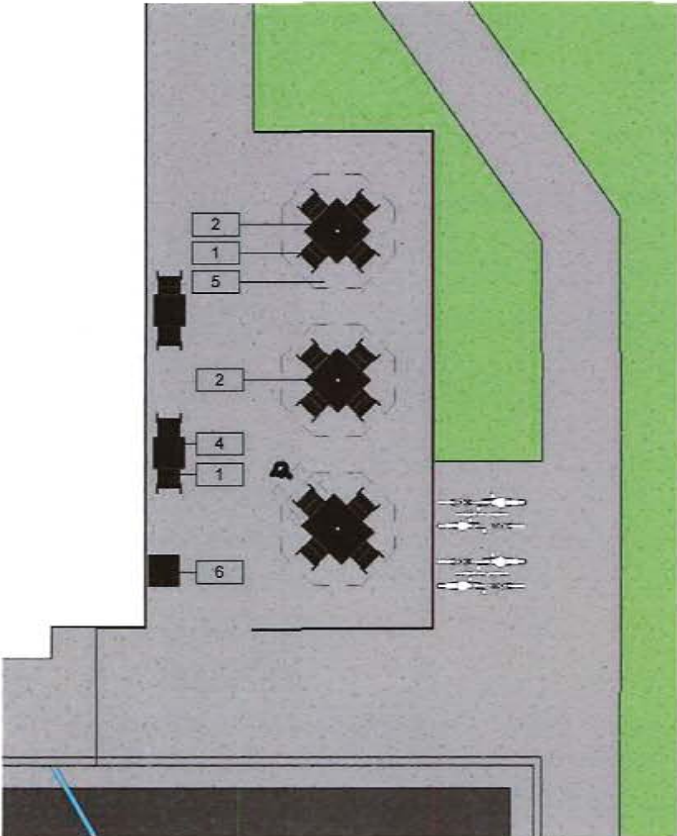
04/12/2018



PATIO SEATING SCHEDULE - LRG

Mark	Type	Count	Manufacturer	Model	Width	Depth	Height	Material	Finish
1	Patio Chair	16	Benchmark Design Group	BAJA SIDE STACK (2012)					
2	Patio Table - 4 Top	2	Benchmark Design Group	TAB3055-3636-AAL-WJ-UH-BDT	3'-0"	3'-0"	2'-5 1/4"	Aluminum - Dark Bronze	RAL 49/66220 (C34 Bronze One Coat)
3	Patio Table - 4 Top - ADA	1	Benchmark Design Group	TAB3055-3644-AAL-WJ-UH-BDT	3'-8"	3'-0"	2'-5 1/4"	Aluminum - Dark Bronze	RAL 49/66220 (C34 Bronze One Coat)
4	Patio Table - 2 Top	2	Benchmark Design Group	TAB3055-2424-AAL-WJ-BDT	2'-0"	2'-0"	2'-5 1/4"	Aluminum - Dark Bronze	RAL 49/66220 (C34 Bronze One Coat)
5	Patio Umbrella	3	Benchmark Design Group	OCEAN MASTER PARASOL					
6	Trash Receptacle	1	Benchmark Design Group	CFA-AL-2444	2'-0"	2'-0"	3'-11"	Dark Bronze	RAL 49/66220 (C34 Bronze One Coat)

6-D-18-UR
4/30/2018



DINING PATIO PLAN - LRG - DIP

1/8" = 1'-0"



PERSPECTIVE VIEW - DINING PATIO - LRG

PATIO PLAN - LRG

04182, NORTSHORE TOWN CENTER, NORTSHORE TOWN CENTER, KNOXVILLE, TN

04/12/2018

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EXTERIOR ELEVATIONS - STUCCO

04182, NORTHSHORE TOWN CENTER, NORTHSHORE TOWN CENTER, KNOXVILLE, TN

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6-D-18-UR

4/30/2018

04/12/2018





EXTERIOR CANOPY SCHEDULE - SE LRG

Mark	Description	Count	Overall Width	Overall Depth	Overall Thickness	Tie Back Mounting (Offset from Top)	Notch	Integral Lighting
C1-A	Exterior Canopy	1	3'-9"	1'-0"	8"	0"	—	Yes
C4-C	Exterior Canopy	1	7'-1"	4'-0"	8"	2'-6"	—	Yes
C4-F	Exterior Canopy	4	7'-1"	4'-0"	8"	2'-6"	—	No
C4-G	Exterior Canopy	1	5'-0"	4'-0"	8"	2'-6"	—	Yes
C5-A	Exterior Canopy	1	10'-8"	5'-0"	8"	2'-6"	—	Yes
C8-G	Exterior Canopy	1	54'-0"	11'-0"	8"	3'-0"	See RCP	No
Grand total		9						



EXTERIOR FINISHES

SC-1
STUCCO SYSTEM
COLOR: WHITE
FINISH: SAND MEDIUM

BR-3
BRICK VENEER
COLOR: CITADEL
SIZE: MODULAR
MORTAR: ARGOS SAN TAN

EC-1
PREFINISHED METAL COPING
COLOR: DARK BRONZE

PT-9
EXTERIOR PAINT
COLOR: DARK BRONZE
FINISH: SEMI-GLOSS

ST-1
STOREFRONT
COLOR: DARK BRONZE

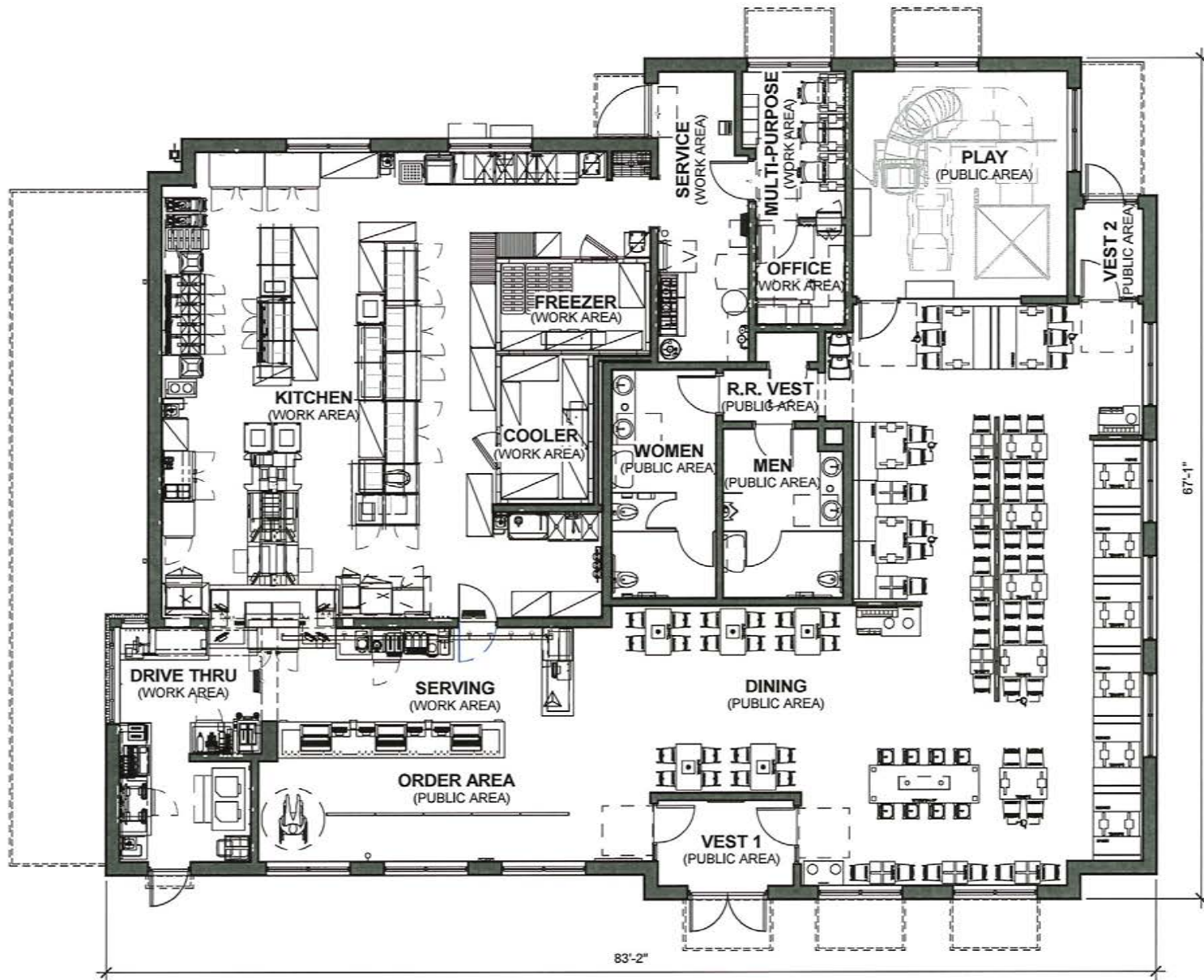
EXTERIOR ELEVATIONS - STUCCO

04182, NORTSHORE TOWN CENTER, NORTSHORE TOWN CENTER, KNOXVILLE, TN

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6-D-18-UR
4/30/2018

FLOOR PLAN - LRG - 5000 SQ FT 112 SEATS

04182, NORTSHORE TOWN CENTER, NORTSHORE TOWN CENTER, KNOXVILLE, TN

04/12/2018

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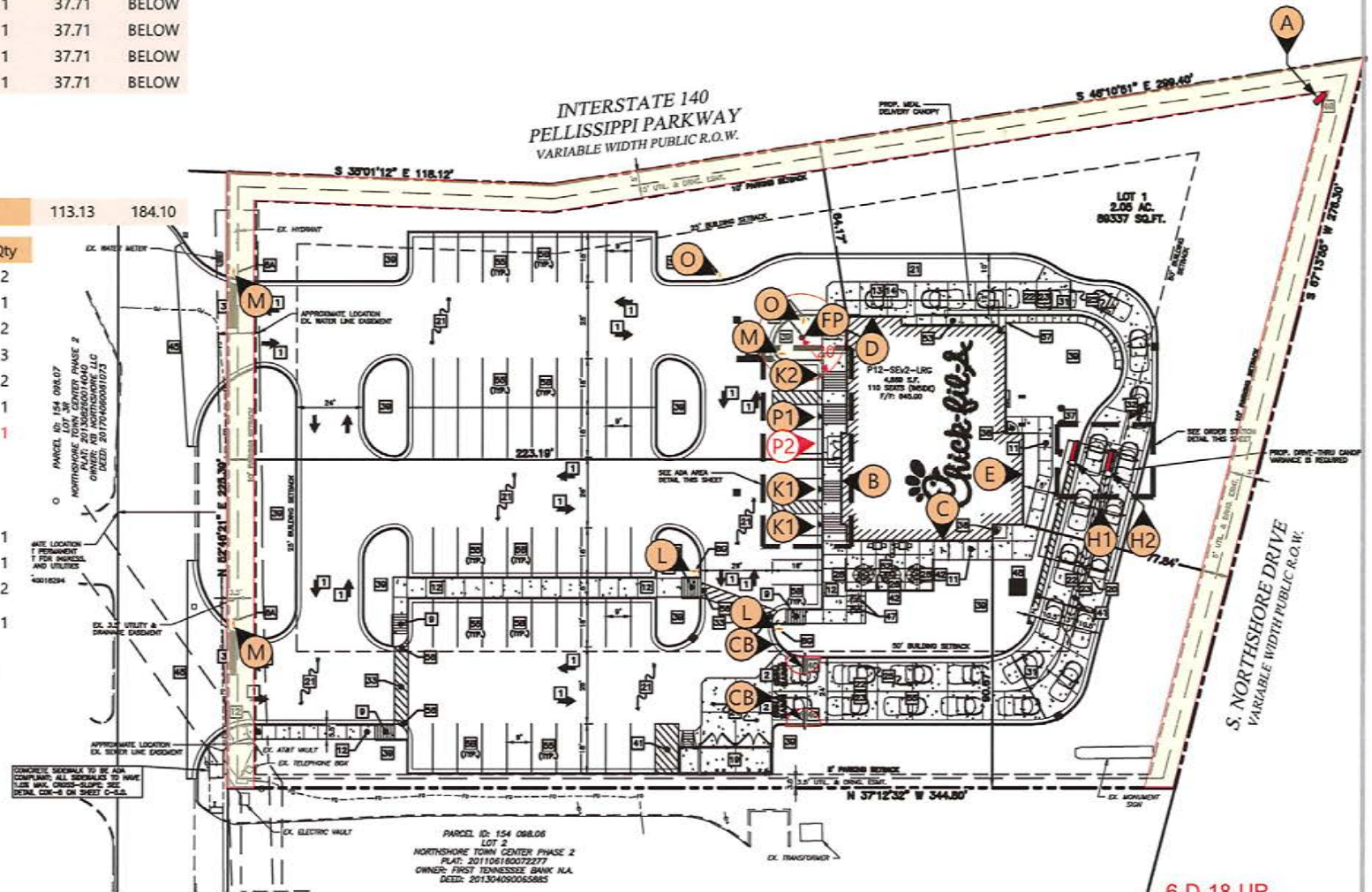


Item	Description	Qty	Sign Area	Allowed
A	Main ID Sign - monument sign	1	32.00	
B	Wall Sign - Script 5' set	1	37.71	BELOW
C	Wall Sign - Script 5' set	1	37.71	BELOW
D	Wall Sign - Script 5' set	1	37.71	BELOW
E	Wall Sign - Script 5' set	1	37.71	BELOW

Aggregate Totals 113.13 184.10

Item	Description	Qty
K1	DOT - Handicapped Parking	2
K2	DOT - Handicapped Parking (Van)	1
L	DOT - Pedestrian Sign	2
M	DOT - Stop	3
O	DOT - Do Not Enter	2
P1	DOT - Catering & Carry Out	1
P2	**Recommended Future Sign Location	1
H1	Menu Board (Lane 1)	1
H2	Menu Board (Lane 2)	1
CB	Clearance Bar	2
FP	Flag pole (50') freight not included	1

**RECOMMENDED FUTURE SITE FOR 'CURBSIDE DELIVERY' SIGN PENDING OPERATOR OPT-IN (VERBIAGE TO BE DETERMINED)



6-D-18-UR
Revised: 5/29/2018



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SITE PLAN

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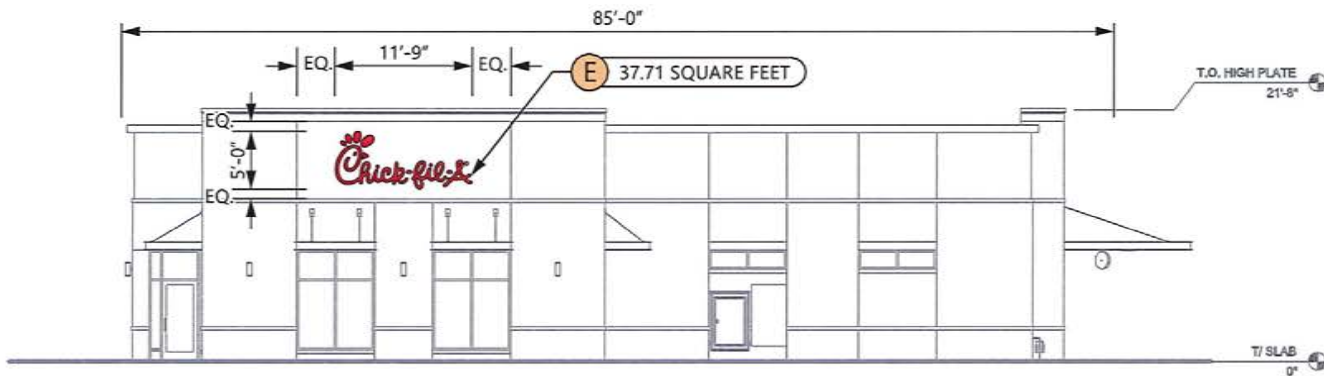
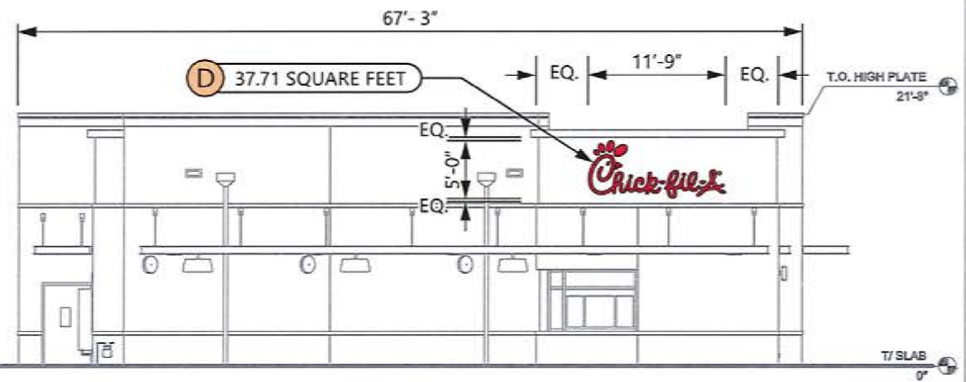
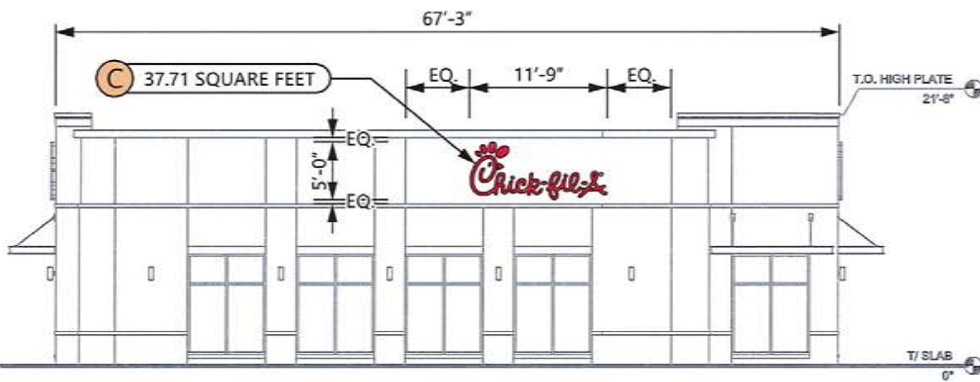
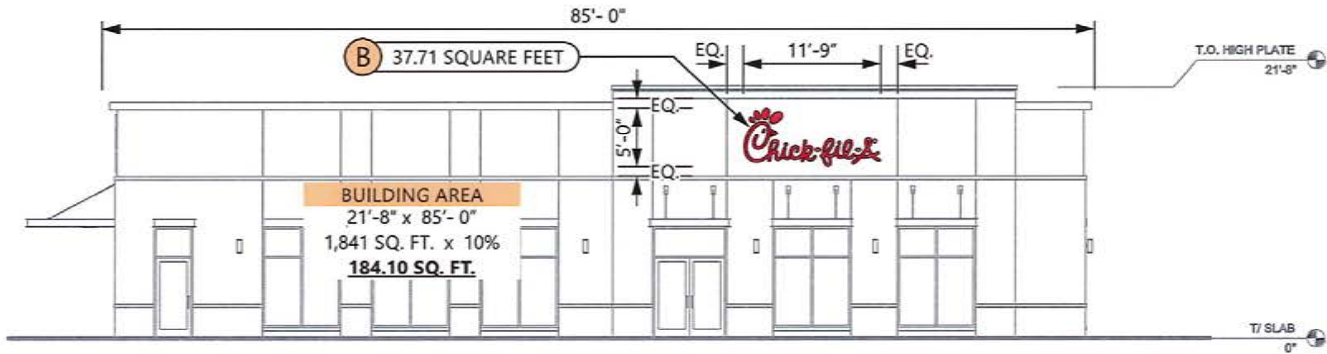
ALL ELECTRICAL
SIGNS ARE
120 VOLTS
UNLESS
OTHERWISE INDICATED

DRAWN BY Ben Holliday
ACCOUNT REP. Ben Holliday
DRAWING DATE November 8, 2017
REVISION DATE April 11, 2018

STORE NUMBER	STORE ADDRESS
L04182	Chick-It-A at Knoxville, TN (Northshore) S. Northshore Drive Knoxville, TN

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**SITE
PLAN**



6-D-18-UR
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ELEVATIONS

SCALE - 3/32" = 1'-0"



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ELEVATIONS

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**BUILDING
ELEVATIONS**


SPECIFICATIONS

CABINET
 ALUMINUM CABINET HAS EXTRUDED ALUMINUM FRAME .
CHICK-FIL-A ICON
 ACRYLIC FACES DECORATED WITH TRANSLUCENT VINYL
 FILM ON SURFACE OF ACRYLIC. FACES ARE BACKLIT BY
 HIGH OUTPUT FLUORESCENT LAMPS SPACED EVENLY
 ON 8" CENTERS.
 MASONRY WORK AND
 CONCRETE PAD FOR MASONRY
 WORK IS FURNISHED BY
 THE GENERAL CONTRACTOR
 SIGN FOUNDATION IS FURNISHED
 BY CLAYTON SIGNS, INC.

-  ARLON 230-53 CARDINAL RED
-  ARLON CAST FLEX 10 FLEX MATERIAL
WHITE LEXAN
-  PAINTED DARK BRONZE
-  MASONRY TO MATCH BUILDING



SEE ENGINEER STAMPED DRAWING
 FOR FOUNDATION DETAILS

 FLOURESCENT CABINET		WET LOCATION
LIGHTING TUBO LAMPS POWER SUPPLY E28B ELECTRONIC BALLAST	CONNECT THE AC LINE TO THE BLACK (LINE) AND WHITE (NEUTRAL) WIRES OF THE POWER SUPPLY USING 18-14 AWG THREADED OR WIRE CONNECTIONS. GROUND POWER SUPPLY GREEN WIRE TO GROUNDING SCREW.	WHITE BLACK YELLOW-GREEN BLUE RED
THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING & BONDING OF THE SIGN.		

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MONUMENT SIGN

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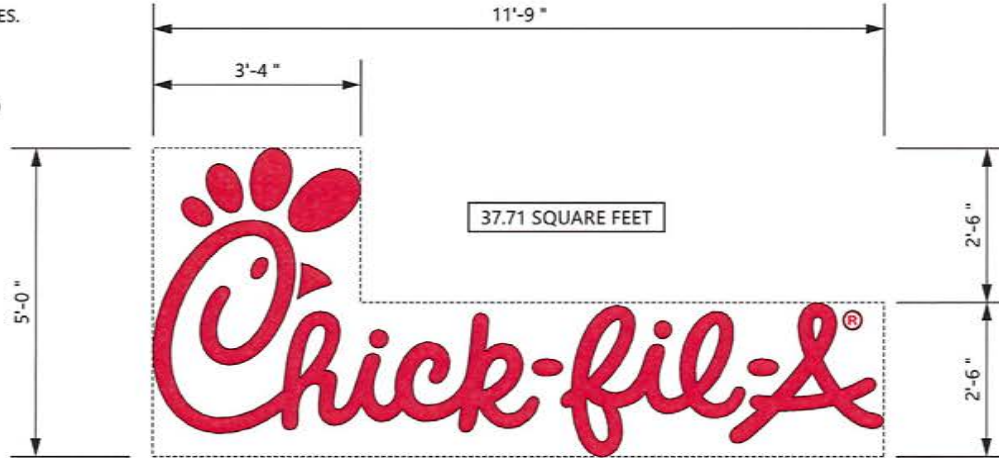
LOCATION
A

SPECIFICATIONS

CHICK-FIL-A SCRIPT LETTERS
 LETTERS ARE LED-ILLUMINATED
 CHANNEL LETTERS MOUNTED
 ON ALUMINUM SURFACE OF BUILDING
 WITH TRANSFORMERS REMOTELY
 LOCATED BEHIND THE WALL IN
 UL APPROVED TRANSFORMER BOXES.
 FACES ARE 3/16" ACRYLIC
 RETURNS ARE .063 ALUMINUM
 BACKS ARE .080 ALUMINUM
 ALL RETURNS ARE ARC-WELDED TO
 LETTER BACKS

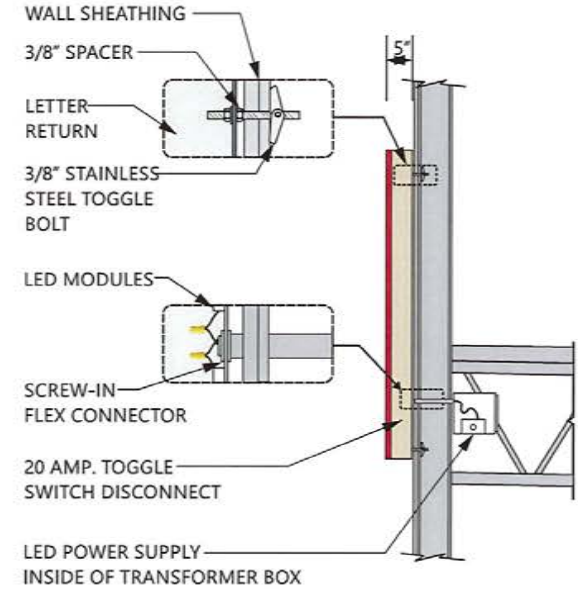
CHANNEL LETTER FACES
 2793 RED ACRYLIC
 TRIMCAP RETAINER-
 1" RED JEWELITE TRIMCAP

ALUMINUM RETURNS
 PAINTED TO MATCH
 SHERWIN WILLIAMS
 SW6108 LATTE



ELEVATION

SCALE - 1/2" = 1'- 0"



CROSS-SECTION

SCALE - 1/2" = 1'- 0"

	CHANNEL LETTERS (RED ILLUMINATION)	
	LEDS: J75L-001R-0.4 RED LED POWER SUPPLY: RL-110-42-60 POWER SUPPLY	
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LED-ILLUMINATED
 CHANNEL LETTERS

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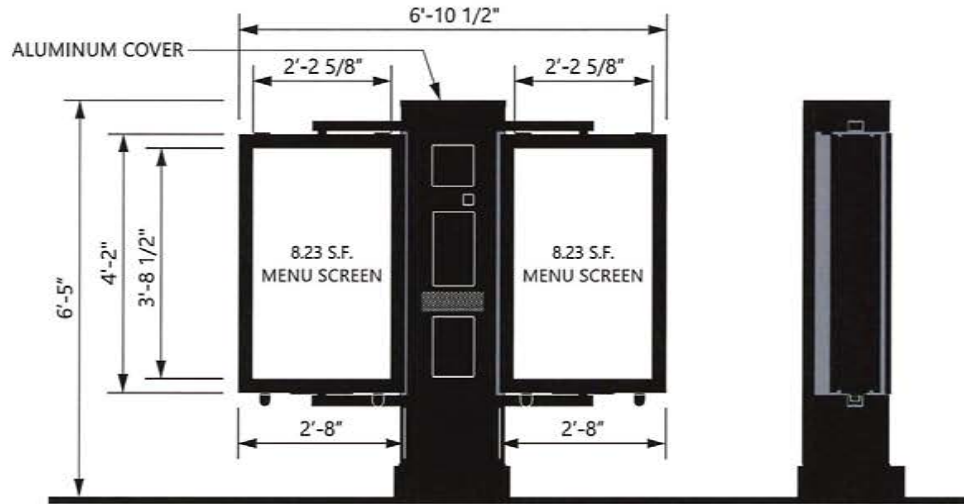
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LOCATION
 B, C, D, E

SPECIFICATIONS

PIVOTING ALUMINUM CONSTRUCTION CABINETS INTERNALLY ILLUMINATED WITH OPENINGS TO FIT MENU GRAPHICS. BOARDS INTERNALLY ILLUMINATED BY LEDs.

POWDER COAT "PBT2-C0001 BLACK RAVEN TEXTURE"

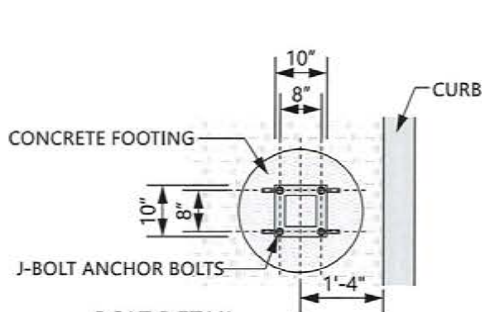
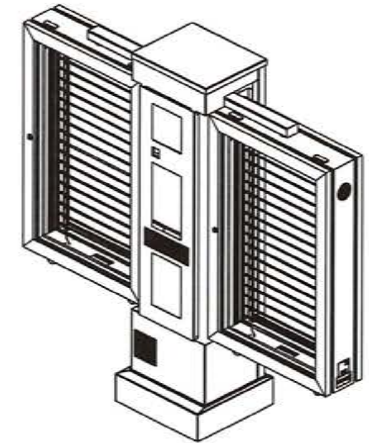


ELEVATION

SCALE - 1/2" = 1'- 0"

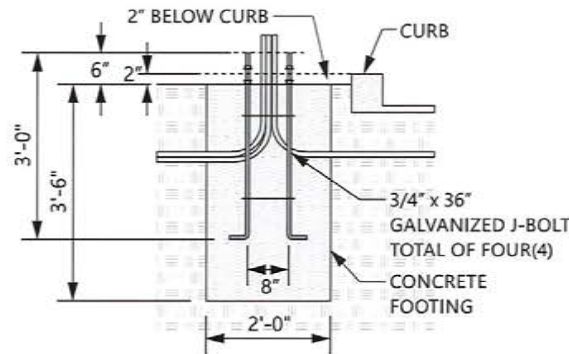
END VIEW

SCALE - 1/2" = 1'- 0"



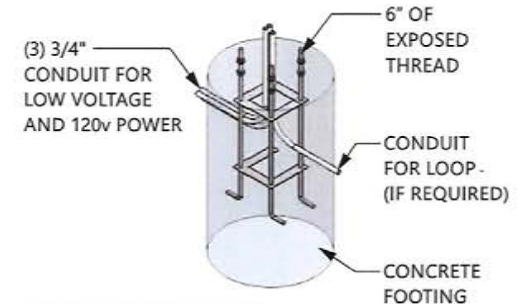
BOLT DETAIL

SCALE - 1/2" = 1'- 0"



FOUNDATION DETAIL

SCALE - 1/2" = 1'- 0"



FOUNDATION DETAIL

NO SCALE

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DRIVE-THRU MENU
BOARDS

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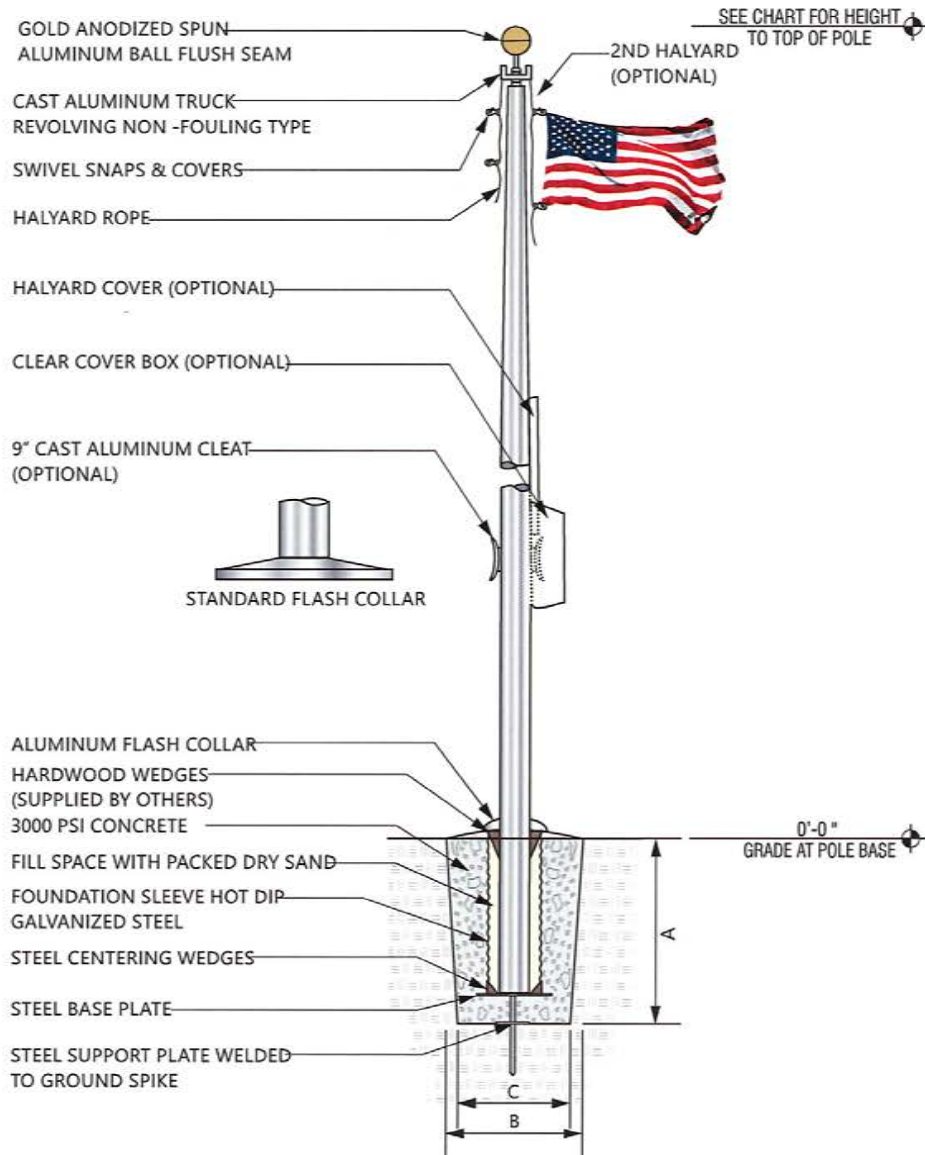
ALL ELECTRICAL
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DRAWN BY Ben Holliday
ACCOUNT REP. Ben Holliday
DRAWING DATE November 8, 2017
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LOCATION
H1/H2



FLAG SIZES

POLE	A	B	MATERIAL
20'	3'0"	5'0"	POLYESTHER
25'	4'0"	6'0"	POLYESTHER
30'	5'0"	8'0"	POLYESTHER
35'	6'0"	10'0"	POLYESTHER
40'	8'0"	12'0"	POLYESTHER
45'	8'0"	12'0"	POLYESTHER
50'	12'0"	18'0"	POLYESTHER

FOUNDATION SIZES

HEIGHT	A	B	C
20'	3'6"	30"	24"
25'	3'6"	30"	24"
30'	3'6"	30"	24"
35'	4'0"	36"	30"
40'	4'6"	42"	36"
45'	5'0"	48"	42"
50'	5'6"	48"	42"

GROUND SLEEVE AND CONCRETE INSTALLED BY THE GENERAL CONTRACTOR
 POLE INSTALLED ON PRE-INSTALLED GROUND SLEEVE BY SIGN CONTRACTOR

6-D-18-UR
 Revised: 5/29/2018



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FLAG POLE

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LOCATION
 FP

Use on Review **Development Plan**

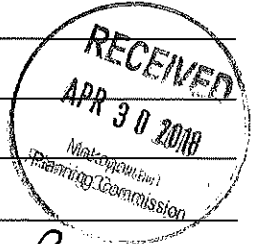
Name of Applicant: Chick-fil-A, Inc.

Date Filed: 4/30/2018 Meeting Date: 6/14/2018

Application Accepted by: Mike Reynolds

Fee Amount: _____ File Number: Development Plan

Fee Amount: \$1,500.00 File Number: Use on Review 6-D-18-UR

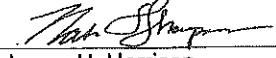
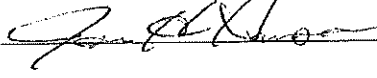


<p style="text-align: center;">PROPERTY INFORMATION</p> <p>Address: _____</p> <p>General Location: <u>Lot 1 of Northshore Town Center Phase 2</u></p> <p>Tract Size: <u>2.05 acres</u> No. of Units: <u>1</u></p> <p>Zoning District: <u>PC-1(K)</u></p> <p>Existing Land Use: <u>Vacant lot</u></p> <p>Planning Sector: <u>SW County</u></p> <p>Sector Plan Proposed Land Use Classification: <u>MU-CC</u></p> <p>Growth Policy Plan Designation: <u>Inside City</u></p> <p>Census Tract: <u>57.09</u></p> <p>Traffic Zone: <u>233</u></p> <p>Parcel ID Number(s): <u>154-098.05</u></p> <p>Jurisdiction: <input checked="" type="checkbox"/> City Council <u>2</u> District <input type="checkbox"/> County Commission _____ District</p>	<p style="text-align: center;">PROPERTY OWNER/OPTION HOLDER</p> <p>PLEASE PRINT Name: <u>Nate Thompson</u></p> <p>Company: <u>Chick-fil-A, Inc.</u></p> <p>Address: <u>5200 Buffington Road</u></p> <p>City: <u>Atlanta</u> State: <u>GA</u> Zip: <u>30349</u></p> <p>Telephone: <u>(770) 363-2863</u></p> <p>Fax: <u>n/a</u></p> <p>E-mail: <u>nate.thompson@cfacorp.com</u></p>
<p style="text-align: center;">APPROVAL REQUESTED</p> <p><input type="checkbox"/> Development Plan: <u>Residential</u> <u>Non-Residential</u></p> <p><input type="checkbox"/> Home Occupation (Specify Occupation) _____ _____</p> <p><input checked="" type="checkbox"/> Other (Be Specific) <u>Use on Review for a fast food restaurant with dual order station drive thru.</u> _____ _____</p>	<p style="text-align: center;">APPLICATION CORRESPONDENCE</p> <p>All correspondence relating to this application should be sent to:</p> <p>PLEASE PRINT Name: <u>Allan Wiley</u></p> <p>Company: <u>GBC Design, Inc.</u></p> <p>Address: <u>565 White Pond Drive</u></p> <p>City: <u>Akron</u> State: <u>OH</u> Zip: <u>44320</u></p> <p>Telephone: <u>330-836-0228</u></p> <p>Fax: <u>n/a</u></p> <p>E-mail: <u>awiley@gbcdesign.com</u></p>
<p style="text-align: center;">APPLICATION AUTHORIZATION</p> <p>I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request or holders of option on same, whose signatures are included on the back of this form.</p> <p>Signature: _____</p> <p>PLEASE PRINT Name: <u>Allan Wiley</u></p> <p>Company: <u>GBC Design, Inc.</u></p> <p>Address: <u>565 White Pond Drive</u></p> <p>City: <u>Akron</u> State: <u>OH</u> Zip: <u>44320</u></p> <p>Telephone: <u>330-836-0228</u></p> <p>E-mail: <u>awiley@gbcdesign.com</u></p>	

SIGNATURES OF ALL PROPERTY OWNERS INVOLVED OR HOLDERS OF OPTION ON SAME MUST BE LISTED BELOW:

Please Sign in Black Ink:

(If more space is required attach additional sheet.)

Name	Address • City • State • Zip	Owner	Option
Nate Thompson - Chick-fil-A, Inc. 	5200 Buffington Road, Atlanta, GA 30349		<input checked="" type="checkbox"/>
James H. Harrison Northshore Market Investors, LLC 	5731 Lyons View Pike, Suite 225, Knoxville, TN 37919	<input checked="" type="checkbox"/>	