

**KNOXVILLE/KNOX COUNTY METROPOLITAN PLANNING COMMISSION
 USE ON REVIEW REPORT**

▶ **FILE #:** 4-G-18-UR **AGENDA ITEM #:** 43
 POSTPONEMENT(S): 4/12/2018 **AGENDA DATE:** 5/10/2018

▶ **APPLICANT:** DOMINION DEVELOPMENT GROUP
 OWNER(S): Dominion Development Group

TAX ID NUMBER: 103 11503 [View map on KGIS](#)

JURISDICTION: County Commission District 6

STREET ADDRESS: 0 Gliding Hawk Ln

▶ **LOCATION:** Northeast side of Gliding Hawk Ln., southeast side of Hardin Valley Rd

▶ **APPX. SIZE OF TRACT:** 5.19 acres

SECTOR PLAN: Northwest County

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via Gliding Hawk Ln., a local street with a 26' pavement width within a 63.5' right-of-way with access to Hardin Valley Rd., a minor arterial street with a 3 lane section with a 44' pavement width within an 80' right-of-way.

UTILITIES: Water Source: West Knox Utility District

Sewer Source: West Knox Utility District

WATERSHED: Conner Creek

▶ **ZONING:** PC (Planned Commercial) / TO (Technology Overlay)

▶ **EXISTING LAND USE:** Vacant land

▶ **PROPOSED USE:** Assisted Living Facility / Senior Living

HISTORY OF ZONING: Knox County Commission approved the rezoning of this property to PC/TO on October 28, 2013.

SURROUNDING LAND USE AND ZONING: North: Vacant land - PC (Planned Commercial) / TO (Technology Overlay)

South: Vacant land - OB (Office, Medical, and Related Services) / TO (Technology Overlay)

East: Vacant land - A (Agricultural) / TO (Technology Overlay)

West: Apartments - OB (Office, Medical, and Related Services) / TO (Technology Overlay)

NEIGHBORHOOD CONTEXT: This area is developed with a mix of residential, office and commercial uses, under A, PR, OB and PC zoning.

STAFF RECOMMENDATION:

▶ **APPROVE the development plan for an assisted living facility for up to 80 units with a mix of one and two bedroom units, subject to the following 7 conditions:**

1. Connection to sanitary sewer and meeting all other applicable requirements of the Knox County Health Department.
2. Installing all landscaping, as shown on the landscape plan, within six months of issuance of an occupancy

permit for this project, or posting a bond with the Knox County Department of Engineering and Public Works to guarantee installation.

3. Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
4. Meeting all applicable requirements of the Knox County Fire Marshal's Office.
5. Meeting all applicable requirements of the Knox County Zoning Ordinance.
6. Obtaining approval from the Tennessee Technology Corridor Development Authority (TTCDA) for the proposed development (4-C-18-TOB) that will be before the Board on May 7, 2018.
7. Any proposed signage will be required to meet all applicable requirements of the Knox County Zoning Ordinance and is subject to approval by Knox County and Planning Commission staff, and the TTCDA Board.

With the conditions noted above, this request meets the requirements for approval in the PC (Planned Commercial) & TO (Technology Overlay) zoning districts, as well as other criteria for approval of a use on review.

COMMENTS:

The applicant is proposing to develop an assisted living facility, as defined in the Knox County Zoning Ordinance, on a 5.19 acre tract located on the northeast side of Gliding Hawk Ln., southeast of Hardin Valley Rd. The facility as proposed is a three story building with a total building area of 77,871 square feet. There will be one and two bedroom units with a total of 80 units. The proposed facility will be utilizing a site that was previously graded under the subdivision approval for Palmer Subdivision in 2017. The proposed development will have a driveway connection to the cul-de-sac turnaround for Gliding Hawk Ln., a public street that provides access out to Hardin Valley Rd. The applicant is providing a total of 107 parking spaces which meets the requirements of the Knox County Zoning Ordinance.

The existing graded site and fire access requirements have provided challenges for landscaping the northern and western side of the proposed building. The applicant has added landscaping within the courtyard area and has proposed a reforestation plan for the graded slopes.

The site is located within the TO (Technology Overlay) zoning district and is subject to review and approval by the Tennessee Technology Corridor Development Authority (TTCDA). The TTCDA will consider this request on May 7, 2018 (4-C-18-TOB).

A traffic impact study was required for the commercial subdivision. The applicant has submitted an updated traffic analysis and it has been determined that the proposed facility will have less of an impact than the original proposed use of this site. No additional traffic improvements are required.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTIES AND THE COMMUNITY AS A WHOLE

1. All public utilities are available to serve the site.
2. The proposed assisted living facility is compatible with the scale and intensity of the surrounding development and zoning pattern.
3. Assisted living facilities do not have a significant traffic impact as compared to other residential and nonresidential uses.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

1. With the recommended conditions, the proposal meets all requirements of the PC/TO zoning as well as the general criteria for approval of a use on review.
2. The proposed assisted living facility with the recommended conditions is consistent with the following general standards for uses permitted on review: The proposal is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas since the development is located off of an arterial street. No surrounding land uses will pose a hazard or create an unsuitable environment for the proposed use.

CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

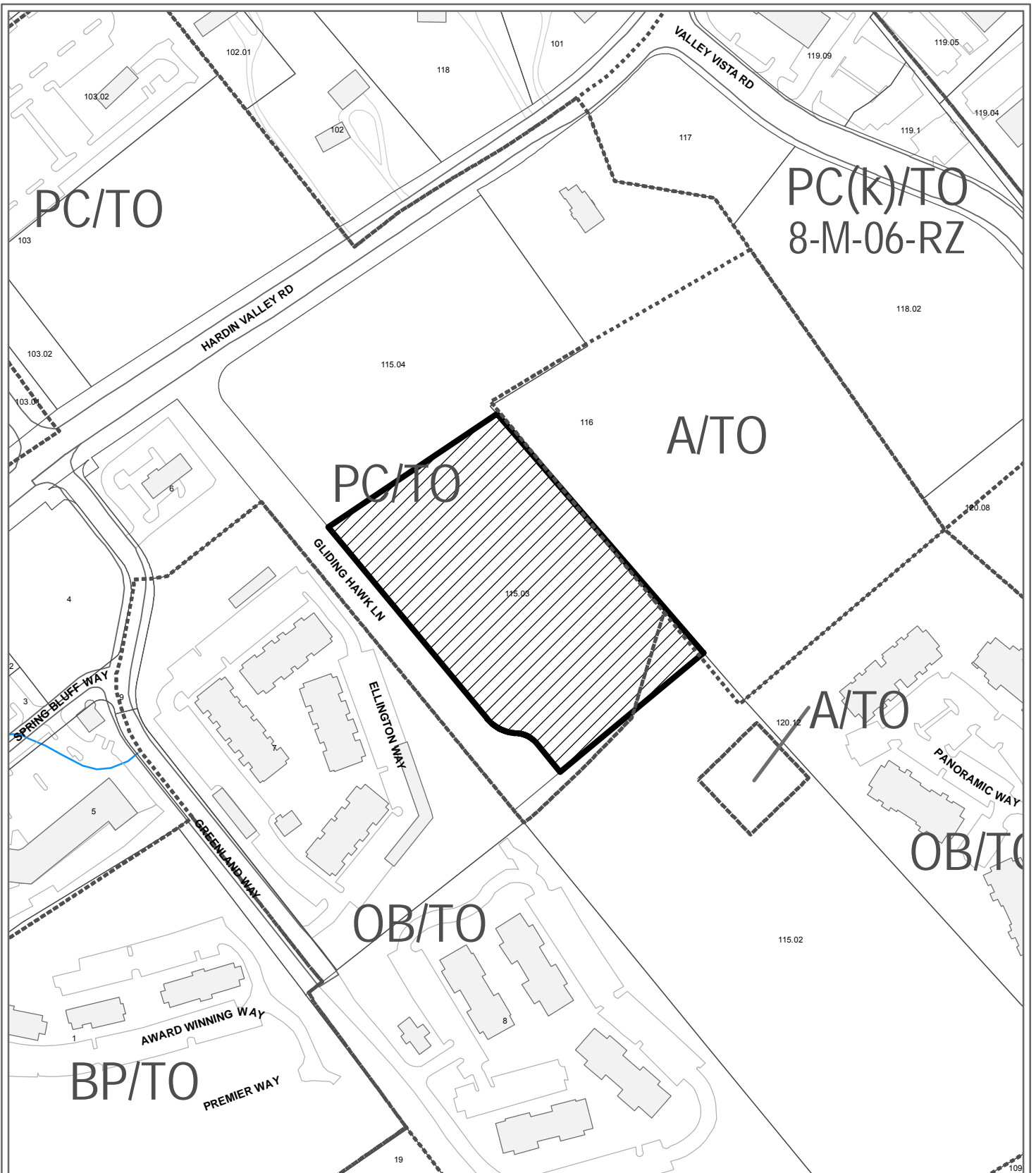
1. The Northwest County Sector Plan proposes mixed uses for this site, including commercial, office and

medium density residential. The proposed assisted living facility is in conformity with the Sector Plan.
2. The site is located within the Planned Growth Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

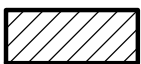
ESTIMATED TRAFFIC IMPACT: A traffic impact study was prepared by the applicant. The findings of that study were used in formulating the recommendations of this staff report.

ESTIMATED STUDENT YIELD: Not applicable.

MPC's approval or denial of this request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal an MPC decision in the County.



**4-G-18-UR
USE ON REVIEW**



Assisted Living Facility / Senior Living in PC (Planned Commercial) / TO (Technology Overlay)

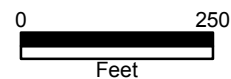
Original Print Date: 3/20/2018
 Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

Revised:

Petitioner: Dominion Development Group

Map No: 103

Jurisdiction: County



February 15, 2018

Dear Knox County,

Dominion Senior Living of Hardin Valley will be constructed as a 55 plus Independent Living Community. Our luxury community will be comprised of 80 well-appointed apartments with hospitality in mind. All of our residences are designed to enhance an active, gratifying way of life. Prepare a favorite recipe in a well-equipped kitchen, share a festive dinner with friends in our custom-designed café, or enjoy take-out inspired by our director of holistic nutrition. Tend to a garden or relax while our staff cares for your home and yard maintenance. Spend the morning swimming or attending class and the afternoon reading in the cozy quiet of a den designed for you. Redecorate your living room or plan a trip, knowing your home will be secure and maintained while you're away.

Retirement meets hospitality and support services. The support services of Dominion Senior Living of Hardin Valley will be available as our resident's age in place. These support services will aid with activities of daily living. These support services will include, but not limited to, assistance with bathing/dressing/grooming, access to dining and pharmaceutical support. Dominion Senior Living of Hardin Valley will not be licensed by the State of TN, as support services will be provided by licensed third-party entities.

Should you have any questions, please feel free to call me directly at 865-207-1480.

Sincerely,



Peter Hall

Vice President

Dominion Development Group

PO Box 52067 | Knoxville, TN 37950

NEW SENIOR LIVING COMMUNITY AT HARDIN VALLEY

OWNER

DOMINION DEVELOPMENT GROUP
 PO BOX 51786
 KNOXVILLE, TN 37950
 CONTACT: PETER HALL
 PHONE: 865.252.4500
 EMAIL: PETERH@DOMINIONDG.COM

CIVIL/SITE:

WILL ROBINSON & ASSOCIATES
 1248 NORTH SHOREWOOD LANE
 CARYVILLE, TN 37714
 CONTACT: WILL ROBINSON
 PHONE: 865.388.4207
 EMAIL: WR@ASSOCIATES@BELLSOUTH.NET

LANDSCAPE:

HEDSTROM DESIGN
 110 WEST MAGNOLIA AVENUE
 KNOXVILLE, TN 37917
 CONTACT: SARA PINNELL
 PHONE: 865.520.6122
 EMAIL: SARAP@HEDSTROMDESIGN.COM

STRUCTURAL:

GENESIS ENGINEERING
 110 WEST MAGNOLIA AVENUE
 KNOXVILLE, TN 37917
 CONTACT: C.W. YONG
 PHONE: 419.628.5270
 EMAIL: CWYONG@GENENG.NET

MEP

GENESIS ENGINEERING
 110 WEST MAGNOLIA AVENUE
 KNOXVILLE, TN 37917
 CONTACT: C.W. YONG
 PHONE: 419.628.5270
 EMAIL: CWYONG@GENENG.NET

FOOD SERVICE

MOBILE FIXTURES
 11200 THREADSTONE LANE
 KNOXVILLE, TN 37922
 CONTACT: JEANNE MARTIN
 PHONE: 865.682.9577
 EMAIL: JEANNE.MARTIN@MOBILEFIXTURE.COM



17040

DKLEVY
 architecture + design

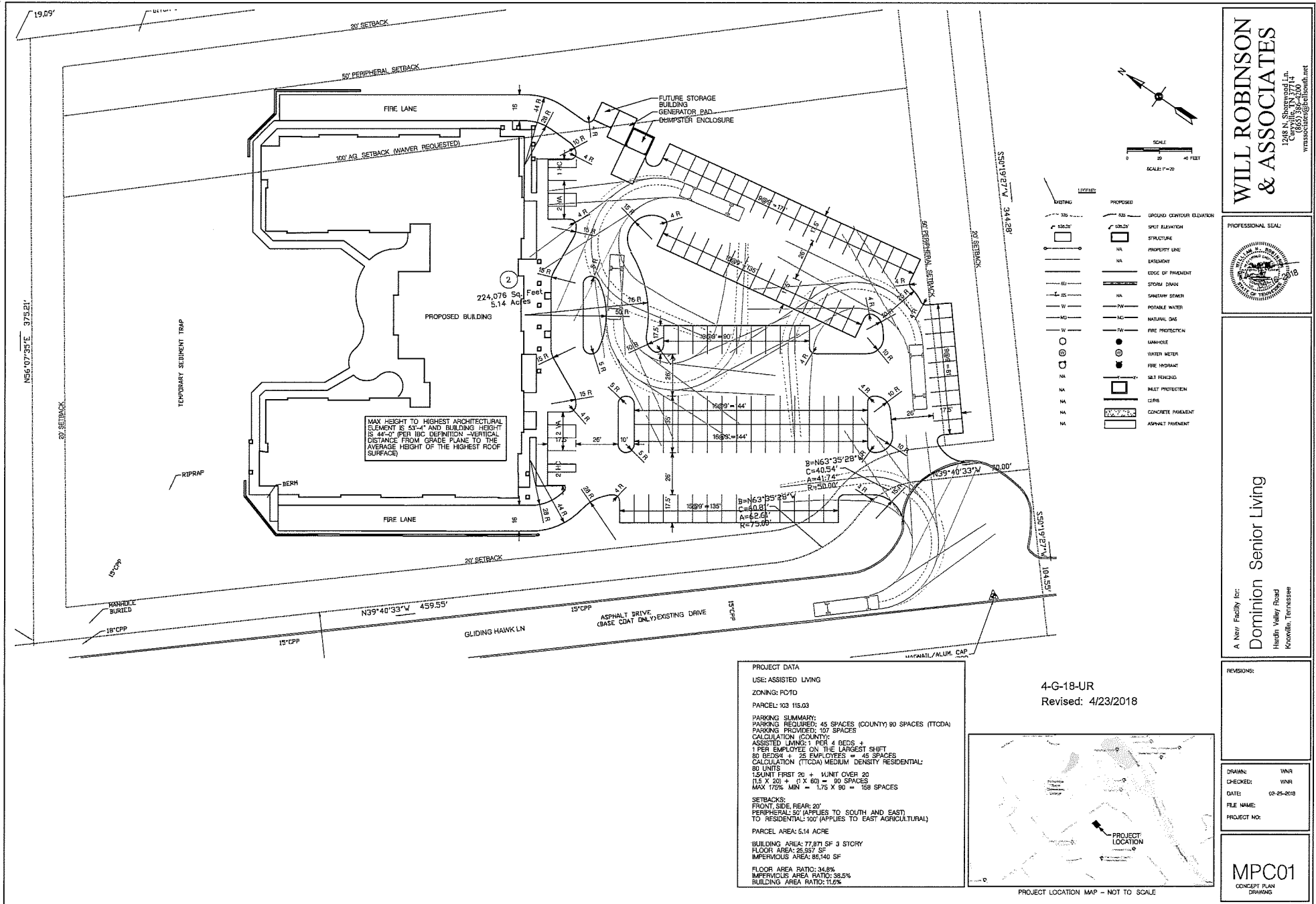
3523 Maloney Road, Knoxville, TN 37920
 e. dklevy@dklevy.com
 p. 865.323.8495 w. www.dklevy.com

02/26/18

USE ON REVIEW

4-G-18-UR

2/26/2018 11:34:38 AM

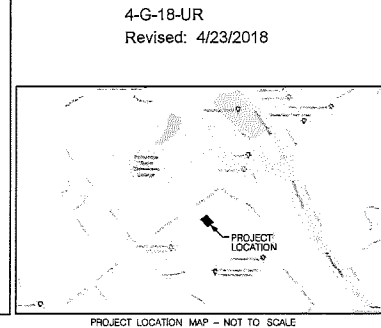


WILL ROBINSON & ASSOCIATES
 1248 N. Shreveport Ln.
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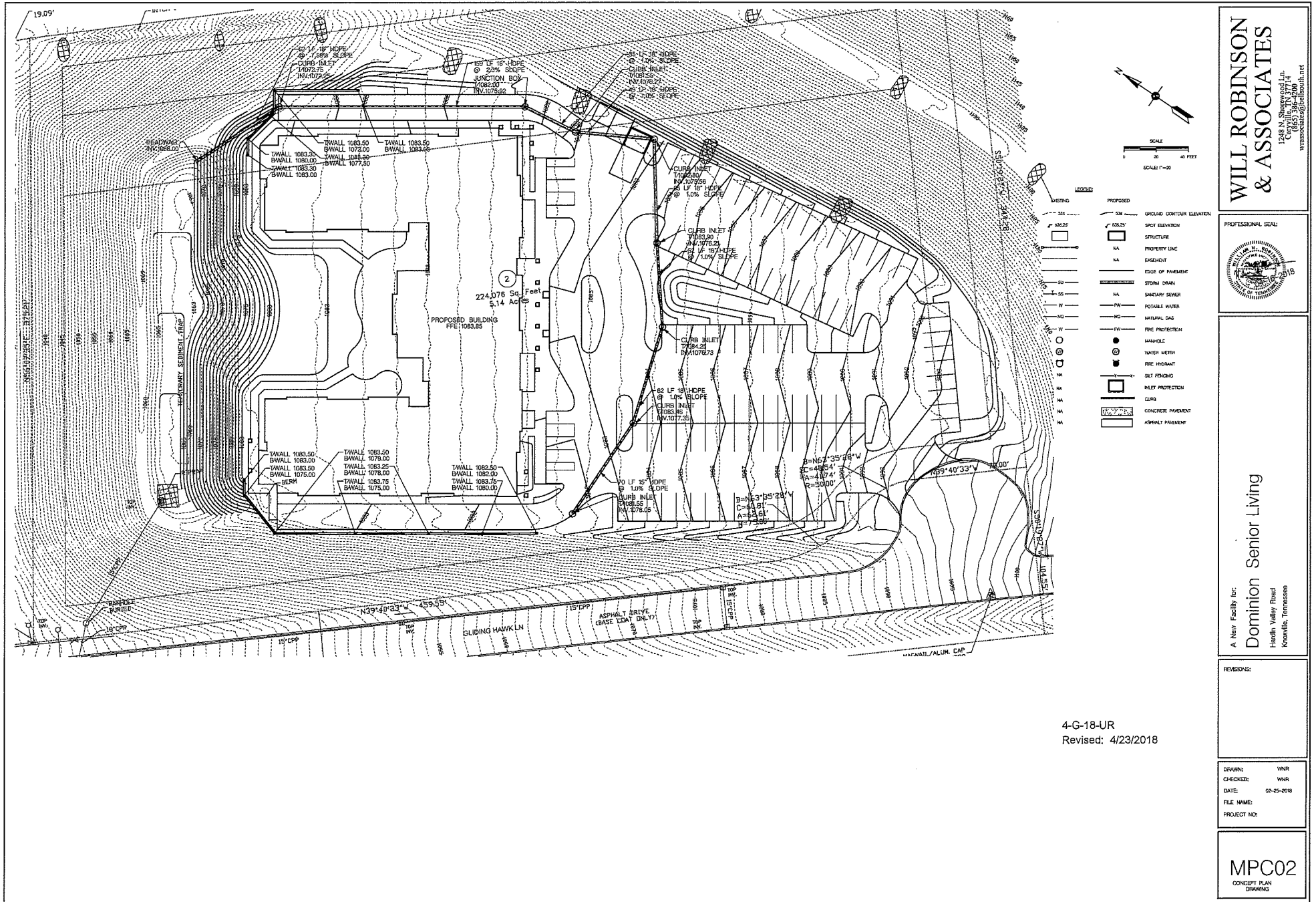
A New Facility for:
Dominion Senior Living
 Health Valley Road
 Knoxville, Tennessee

PROJECT DATA
 USE: ASSISTED LIVING
 ZONING: PCTD
 PARCEL: 103 115.03
PARKING SUMMARY:
 PARKING REQUIRED: 45 SPACES (COUNTY) 80 SPACES (TTGDA)
 PARKING PROVIDED: 107 SPACES
 ASSISTED LIVING: 1 PER 4 BEDS + 1 PER EMPLOYEE ON THE LARGEST SHIFT
 80 BEDS/4 = 20 EMPLOYEES = 45 SPACES
 CALCULATION (TTGDA) MEDIUM DENSITY RESIDENTIAL:
 80 UNITS
 1/2 UNIT FIRST 20 + 1/2 UNIT OVER 20
 (15 X 20) + (1 X 60) = 90 SPACES
 MAX 175% MIN = 1.75 X 90 = 158 SPACES
SETBACKS:
 FRONT, SIDE, REAR: 20'
 PERIPHERAL: 50' (APPLIES TO SOUTH AND EAST)
 TO RESIDENTIAL: 100' (APPLIES TO EAST AGRICULTURAL)
 PARCEL AREA: 5.14 ACRE
 BUILDING AREA: 77,871 SF 3 STORY
 FLOOR AREA: 25,287 SF
 IMPERVIOUS AREA: 85,140 SF
 FLOOR AREA RATIO: 34.8%
 IMPERVIOUS AREA RATIO: 38.5%
 BUILDING AREA RATIO: 11.6%



REVISIONS:
 DRAWN: WNR
 CHECKED: WNR
 DATE: 03-25-2018
 FILE NAME:
 PROJECT NO:

MPC01
 CONCEPT PLAN
 DRAWING



WILL ROBINSON & ASSOCIATES
 1248 N. Shreveport Ln.
 Caryville, TN 37714
 wrobinson@willrobinson.net



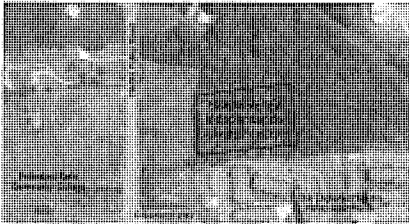
A New Facility for:
Dominion Senior Living
 Health Valley Road
 Knoxville, Tennessee

REVISIONS:

4-G-18-UR
 Revised: 4/23/2018

DRAWN: WNR
 CHECKED: WNR
 DATE: 02-25-2018
 FILE NAME:
 PROJECT NO:

MPC02
 CONCEPT PLAN
 DRAWING



Site Location
Scale: 1" = 100'

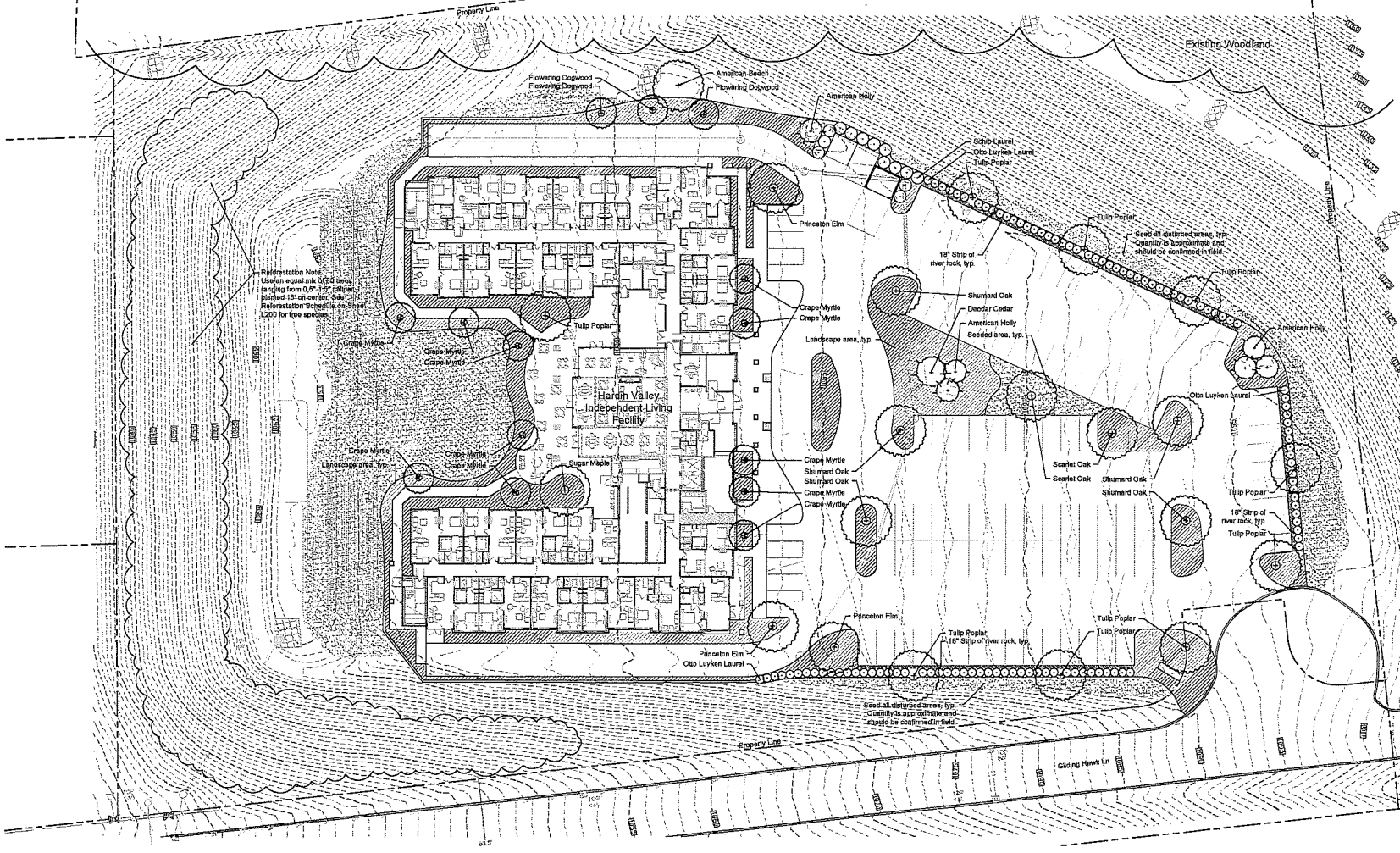
Landscape Requirements as per TTCDA

Site
When planting trees on a development site, a roughly equal combination of large, medium and small trees should be planted, with at least ten (10) large maturing trees per acre of yard space.
Total Acres of Yard Space: 2.13
Required Trees: 22
Trees Provided: >22

Parking
Trees shall be required at the rate of one (1) medium or large maturing canopy tree for every ten (10) parking spaces provided.
Total Parking Spaces: 117
Required Trees: 12
Trees Provided: 18

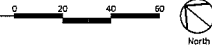
In addition to the planting of required canopy trees, planting areas for ornamental trees, shrubbery and bedding plants shall be no less than five (5) percent of the surface area devoted to parking.
Total Parking Area: 44,169 sf
Required Planting Area: 2,208 sf
Provided Planting Area: 5,000+ sf

4-G-18-UR
Revised: 4/23/2018



Rehabilitation Note:
Use an equal mix of all trees ranging from 0.5" - 1.5" caliper, planted 15" on center. See Rehabilitation Specifications in Section 1200 for tree species.

1 Plan
Scale: 1" = 20'-0"



The accuracy of the quantity of material shown, etc. and used for the preparation of plans is based on the data furnished to the architect by the contractor. The contractor is responsible for verifying all field measurements, quantities, dimensions, and related facts.

Any discrepancies, omissions or ambiguities found between the drawings, specifications, and contract documents shall be immediately reported to the Landscape Architect as noted. The Landscape Architect will promptly correct the same in writing. Work shall be the Contractor's responsibility if such discrepancies, omissions, or ambiguities shall be noted by the Contractor's field.

Hardin Valley Independent Living Facility
10800 Hardin Valley Road
Knoxville, Tennessee

Not for Construction

Date: 04/20/18
Job Number: 18-024
Drawn By: RT Ck'd By: SHP

| Rev | Description | Date |
|-----|-------------|------|
| | | |
| | | |

Sheet Name:
Planting Plan

Sheet Number:
L100

Plant Schedule

| Key | Quantity | Botanical Name | Common Name | Size | Notes |
|--|----------|---|--------------------------|--------------------|--|
| SHADE TREES | | | | | |
| AS | 1 | Acer saccharum 'Legacy' | Legacy Sugar Maple | 2" cal. | 6' CT - Central leader, full & well branched |
| FG | 1 | Fagus grandifolia | American Beech | 2" cal. | 6' CT - Central leader, full & well branched |
| LT | 9 | Liriodendron tulipifera | Tulip Poplar | 2" cal. | 6' CT - Central leader, full & well branched |
| OC | 2 | Quercus coccinea | Scarlet Oak | 2" cal. | 6' CT - Central leader, full & well branched |
| OS | 5 | Quercus shumardii | Shumard Oak | 2" cal. | 6' CT - Central leader, full & well branched |
| UA | 3 | Ulmus americana 'Princeton' | Princeton Elm | 2" cal. | 6' CT - Central leader, full & well branched |
| EVERGREEN TREES | | | | | |
| CD | 1 | Cedrus deodora | Deodar Cedar | 12' hgt. | FTG, matched, full & well branched |
| IO | 6 | Ilex opaca 'Greenleaf' | Greenleaf American Holly | 10' hgt. min. | FTG, matched, full & well branched |
| ORNAMENTAL TREES | | | | | |
| CF | 3 | Cornus florida 'Appalachian Snow' | Appalachian Snow Dogwood | 2" cal. | Central leader, full & well branched, pink flowers |
| LJ | 10 | Lagerströmia indica x taurica 'Natchez' | Natchez Crape Myrtle | 6' hgt. min. | MT, 3 cane min., full & well branched, white flowers |
| REFORESTATION TREE SAPLINGS | | | | | |
| 10 | | Acer saccharum 'Legacy' | Legacy Sugar Maple | 1/2" - 1 1/2" cal. | Central leader, well branched |
| 10 | | Cercis canadensis | Redbud | 1/2" - 1" cal. | Central leader, well branched |
| 10 | | Cornus florida | Dogwood | 1/2" - 1" cal. | Central leader, well branched |
| 10 | | Ilex opaca 'Greenleaf' | Greenleaf American Holly | 6' hgt. | FTG, central leader, well branched |
| 10 | | Juniperus virginiana | Eastern Red Cedar | 6' hgt. | FTG, central leader, well branched |
| 10 | | Liriodendron tulipifera | Tulip Poplar | 1/2" - 1 1/2" cal. | Central leader, well branched |
| 10 | | Pinus strobus | White Pine | 6' hgt. | FTG, central leader, well branched |
| 10 | | Quercus alba | White Oak | 1/2" - 1 1/2" cal. | Central leader, well branched |
| GENERAL NOTES: Trees to have a character that closely resembles a woodland grown plant. They should have a natural shape and habit to blend into the existing woodland, unless otherwise noted. | | | | | |
| SHRUBS | | | | | |
| PL | 107 | Prunus laurocerasus 'Otto Luyken' | Otto Luyken Laurel | 3 gal. | 4' o.c., full & dense |
| PS | 14 | Prunus laurocerasus 'Schipkaerles' | Schip Laurel | 3 gal. | 6' o.c., full & dense |
| TBD | | | | | |
| GROUNDCOVERS & PERENNIALS | | | | | |
| TBD | | | | | |
| ORNAMENTAL GRASSES | | | | | |
| TBD | | | | | |
| Seed | | | | | |
| TBD | | | | | |
| HARDSCAPE | | | | | |
| RR | 705sf | River Rock | | 2-3" | 3-4" Depth |

* Contractor to provide quantity for mulch.

Planting Notes

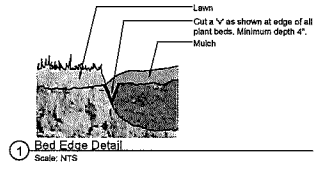
- Contractor shall verify all existing conditions in the field and report any discrepancies to the Owner's representative prior to starting work.
- No planting shall occur until soil sample results have been received from all planting areas and soils are properly amended based on the results of the soil tests. See this sheet for soil sampling instructions.
- No planting shall occur until percolation testing has been completed and soils have been properly amended to drain. See this sheet for percolation testing procedures.
- All new plant material shall conform to the guidelines established for nursery stock published by the American Association of Nurserymen, Inc. In addition, all new plant material for the project shall be of the highest specimen quality. Plant material delivered to the site that does not meet the requirements stated herein may be rejected by the Owner's representative.
- Do not assume trunk flare will be exposed at the nursery. Contractor to expose trunk flares to check for girdling. Pull mulch away from the trunk flare of trees and from the base of all shrubs.
- No plant material shall be planted before acceptance of rough grading. The finished grade shall not cover any part of the tree trunk flare. See tree planting detail.
- All new plants shall be balled and burlapped or container grown unless otherwise noted on the plant list.
- The Contractor shall locate and verify all existing utility lines prior to planting and report any conflicts to the Owner's representative.
- Stake location of all proposed trees and planting areas for approval by the Owner's representative prior to the commencement of planting.
- Planting plans are not layout plans. Plants may need to be shifted in the field, based on the existing conditions. Coordinate with the Owner's representative prior to any changes.
- All lawn areas disturbed by construction operations inside and outside the limit of work shall be prepared and seeded as specified.
- Prepare all shrub beds with planting soil to a minimum depth matching the depth of shrub root balls; prepare perennial beds with a minimum of 12" planting soil; prepare groundcover beds with a minimum of 6" planting soil.
- All plant beds are to receive one and a half inches (1 1/2") of double screened hardwood mulch.
- Thoroughly water trees and shrubs during the first 24 hours after planting. Water the soil to a depth of 18-24". When rainfall starts, stop watering, let the water soak in and repeat until the proper depth is wet.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit, and culture only as approved by the Owner's representative.
- All areas to be seeded shall receive soil preparation as specified prior to seeding, unless otherwise noted on plan.
- Contractor's base bid to include all materials, labor, permits, equipment, tools, insurance, etc. to perform the work as described in the contract documents.
- Contractor to complete work within schedule established by Owner.
- Contractor to provide one year warranty for all material from date of substantial completion. Contractor to provide interim maintenance (weeding, fertilizing, pruning, moving, browning, adequate drainage of ponding areas, edging, weeding, mulching, and general landscape clean-up) until substantial completion notice is provided by the Owner's Representative. Application of insecticides/herbicides must be approved by the Owner's Representative prior to use on site.
- See civil drawings for further information regarding:
 - Erosion and sediment control.
 - Locations of existing and proposed structures, paving, driveways, cut and fill areas, and retention areas.
 - Limits of construction.
 - Locations of existing and proposed utilities or easements.
 - Plant beds to join walls of walls at an angle between 90° & 60°.
- Shade trees to be planted a minimum of 5' from sidewalks, water lines, sewer line or manholes. Evergreen and ornamental trees to be planted a minimum of 3' from sidewalks, water line, sewer line or manholes.
- Mulch rings around shade trees to be a minimum diameter of 4' and a minimum of 3" around ornamental and evergreen trees. If evergreen trees are specified as full to ground, mulch ring to extend a minimum of 12" beyond the edge of plant.
- Square footage of seed quantities is approximate and is an estimate of the disturbed areas. Contractor to verify quantities prior to purchase and installation.

Instructions For Existing Soil Sampling:

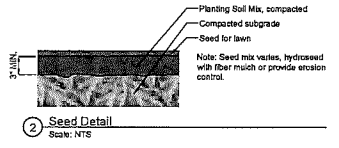
- Using a spade, dig a v-shape hole to a 6" depth, then cut a 1/2" slice of soil from one side of the hole. Place the slice in a plastic bucket, do not use a metal bucket. Mix slices together and fill a plastic sample bag with three (3) cups of dirt. The sample bags can be ziploc bags that are labeled with the project name and sample number.
- A wet mixed composite from 10 to 20 random locations should be subsampled to make the three (3) cup sample.
- Mark the plan to show soil sample locations.
- Send samples to A & L Analytical Labs, Inc., 2760 Whitten Road, Memphis, Tennessee 38133, 901-251-4522, www.al-labs.com.
- Results to be copied to the Owner.

Percolation Test Notes

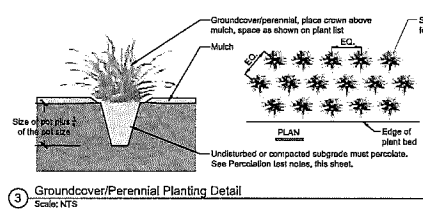
- Dig a hole 18-24" deep & a minimum of 6" wide.
- Fill hole with water to the top and let drain for several hours. Ideally let the hole sit-wet over night and test the following day.
- Raffi hole to within a couple inches of the top.
- To aid in measurement, place a stick across the top of the hole and use a second stick to mark periodic drops in water level, mark side of hole, or mark soil on side of hole with nail or stick.
- Measure drop in water level after 30 minutes and one hour. If possible measure drop in water level the next day.
- Determine drop in water level per hour. If water level in hole drops more than one inch per hour, it is well drained and suitable for all plant species.



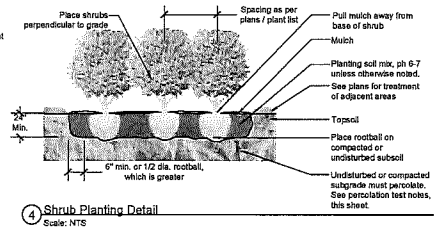
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Scale: NTS



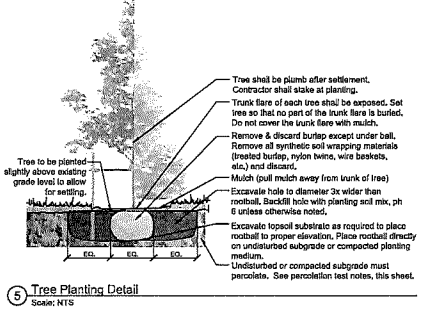
2 Seed Detail
Scale: NTS



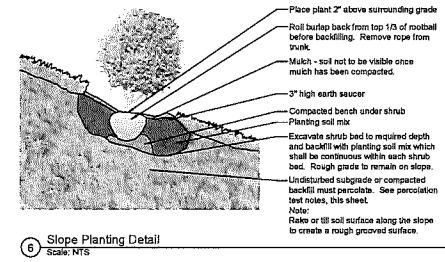
3 Groundcover/Perennial Planting Detail
Scale: NTS



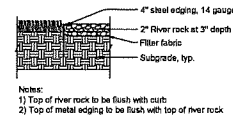
4 Shrub Planting Detail
Scale: NTS



5 Tree Planting Detail
Scale: NTS



6 Slope Planting Detail
Scale: NTS



7 Steel Edge & River Rock
Scale: 1" = 1'-0"

River Rock
-By: Local Source
-Size: 2"
-Depth: 3"
-Color: Browns and Greys

Steel Edging
-By: COL-MET or Equal
-Size: 4"
-Gauge: 14
-Color: Brown



All river rock shall come from the same local source and be washed before being brought on site

4-G-18-UR
Revised: 4/23/2018



This drawing is the property of Hedstrom Design, LLC and shall be used for the project specifically identified herein and is not to be used for any other project. The Contractor is responsible for verifying all field measurements, quantities, dimensions, and material quantities. Any discrepancies, omissions or omissions found between the drawings, specifications, and site conditions shall be immediately reported to the landscape architect in writing. The landscape architect and property owner shall be notified in writing when there is a discrepancy and quantity of field measurements, omissions, or omissions shall be done at the Contractor's risk.

Hardin Valley Independent Living Facility
 10800 Hardin Valley Road
 Knoxville, Tennessee

Not for Construction

| | |
|-------------|----------|
| Date: | 04.20.18 |
| Job Number: | 18-074 |
| Drawn By: | RT |
| Checked By: | SHF |

| Rev | Description | Date |
|-----|-------------|------|
| | | |
| | | |
| | | |

Sheet Name:
Plant Schedule & Planting Details

Sheet Number:
L200

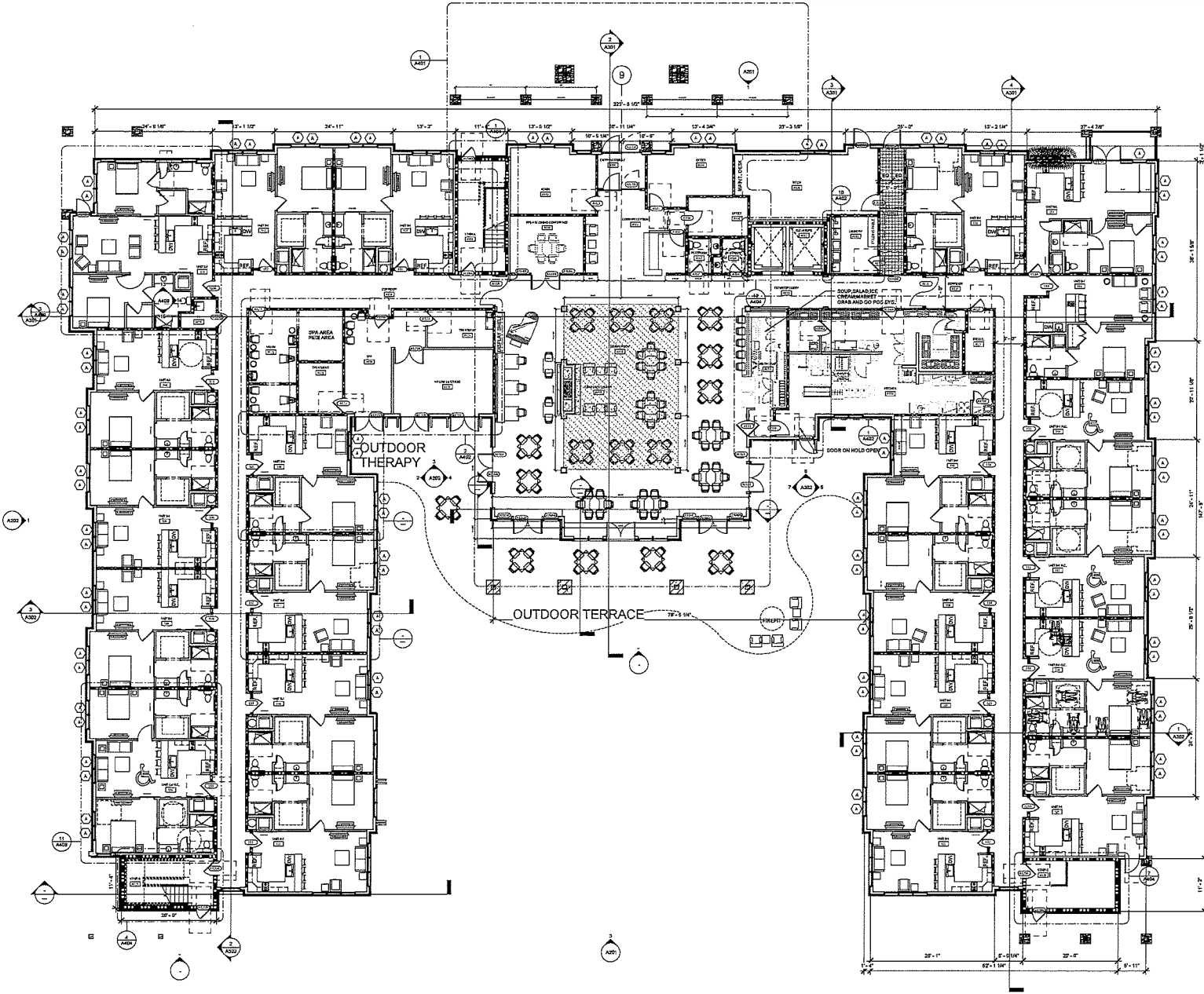
WALL RATING LEGEND

| | |
|-----|---|
| --- | INDICATES NON RATED FIRE PARTITION |
| --- | INDICATES 1 HR RATED FIRE PARTITION |
| --- | INDICATES 2 HR RATED FIRE PARTITION - AN ELEVATOR |
| --- | INDICATES 1 HR RATED SMOKE BARRIER |

- FLOOR PLAN NOTES**
1. ALL DIMENSIONS ARE TO FACE OF STUD WALLS UNLESS NOTED OTHERWISE. CLEARANCE DIMENTS CLEAR BETWEEN FINISH WALLS.
 2. DO NOT SCALE DIMENSIONS. VERIFY DIMENSIONS GENERAL, ALL PARTITION LOCATIONS, DIMENSIONS & TYPES, DOOR & WINDOW LOCATIONS SHALL BE AS SHOWN ON WRITTEN PLAN IN PLACE OF CONFLICT. VERIFY ARCHITECT PARTITION PLAN BY ARCHITECT SUPERVISED BY OTHER PLANS.
 3. MAINTAIN INTEGRITY OF PARTITION RATINGS WHERE PRESCRIBED EQUIPMENT OR FIXTURES ARE TO BE PLACED.
 4. PROVIDE AND INSTALL INSULATION FULL HEIGHT OF ALL INTERIOR AND EXTERIOR WALLS.
 5. CONTRACTOR SHALL MARK LOCATION OF PARTITION AND DOORS ON FLOOR WITH PAINT DIMENSIONS ON SITE BY OWNER AND ARCHITECT PRIOR TO THE INSTALLATION OF STUD WALLS. REVISED WALL LOCATIONS SHALL BE AS SHOWN ON WRITTEN PLAN IN PLACE OF CONFLICT. ONLY CONTRACTOR SHALL COORDINATE AND VERIFY ALL LOCATIONS TO ENSURE PROPER FIT.
 6. PROVIDE AND INSTALL MOISTURE RESISTANT GYPSUM OR ALL WALLS AND CEILING IN BATHS, RESTROOMS, JANITORY CLOSETS, AND FOR FULL HEIGHT OF ALL CABINET WALLS WHERE SPECIFICATED.
 7. GC SHALL PROVIDE BANALL BLOCKING FOR ALL WELLS, CHASES, ETC. COORDINATE WITH MILLWRIGHT FOR REQUIRED SIZE AND TYPE.
 8. "RF" INDICATES WOOD HANDRAIL - REFER AND FOR DETAIL.
 9. FIRE RESISTANCE RATING FOR BUILDING ELEMENTS (SEE TABLE 601)

Sheet
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NEW SENIOR LIVING COMMUNITY AT HARDIN VALLEY



4-G-18-UR

Project Information

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Code Information

Type of Const.: Type VA Fully Synchronized

Occupancy Class: R-2

Fire Protection Systems:
 Fire Alarm (NFPA 72)
 Smoke Alarm
 Sprinkler System (NFPA 13)
 Fire Extinguisher (NFPA 10)

NFPA 101
 ASHRAE
 UL Listed Assemblies

Shop drawings will be submitted for all fire protection systems.

Drawing Information

| Revisions | | |
|-----------|-------------|------|
| No. | Description | Date |
| | | |
| | | |
| | | |

Project Number

| | |
|-----------------------------|--------|
| Issue Date | TBD |
| Drawn By | Ashley |
| Checked By | DAL |
| Scale | |
| FIRST FLOOR ANNOTATION PLAN | |

A101

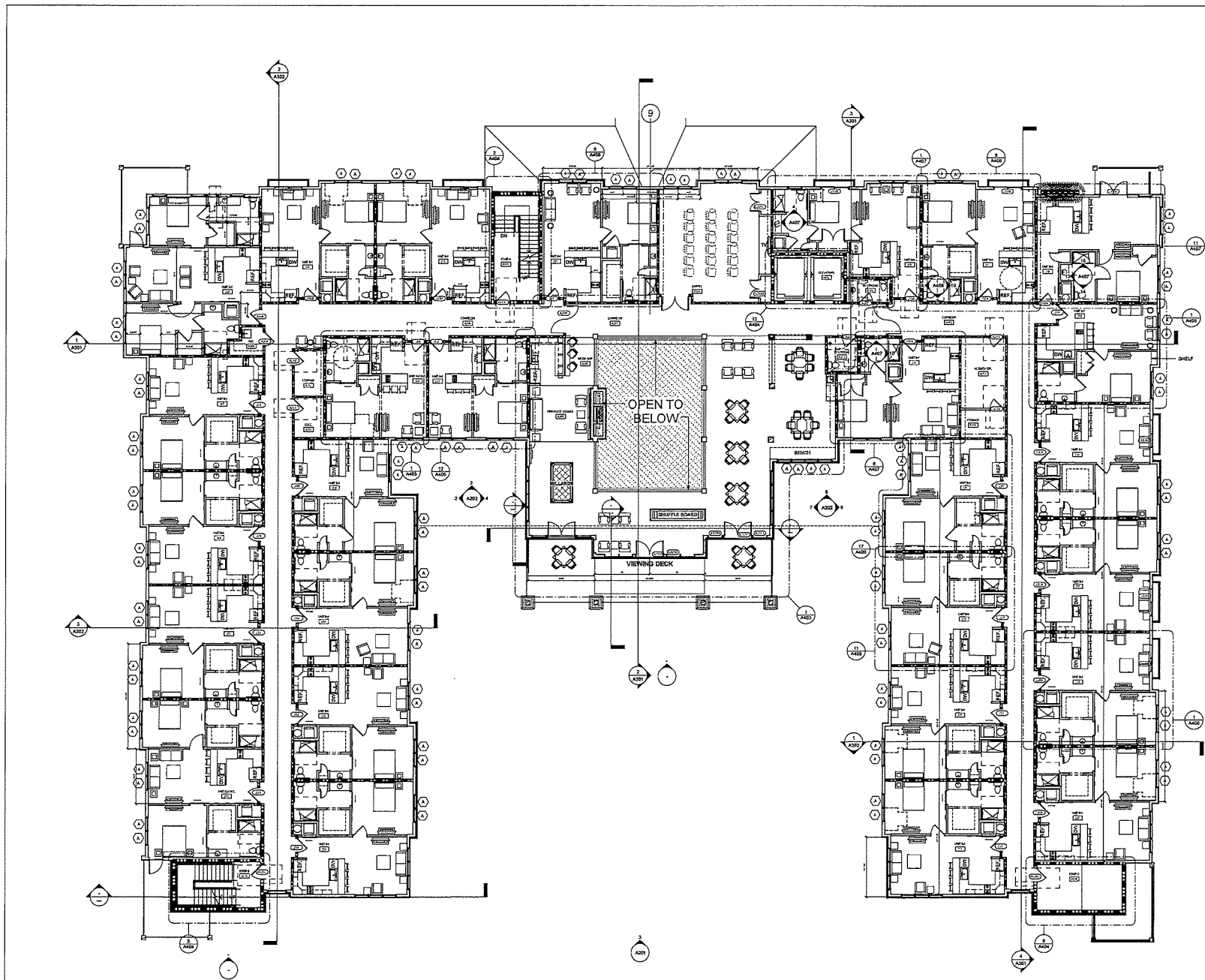
① FIRST FLOOR ANNOTATION PLAN
 1/8" = 1'-0"

WALL RATING LEGEND

| | |
|----------|---|
| [Symbol] | INDICATES HIGH RATED PARTITION |
| [Symbol] | INDICATES 1 HR RATED FIRE PARTITION |
| [Symbol] | INDICATES 2 HR RATED FIRE PARTITION - AT ELEVATOR |
| [Symbol] | INDICATES 1 HR RATED SMOKE BARRIER |

FLOOR PLAN NOTES

- ALL DIMENSIONS ARE TO FACE OF STUDY LINE UNLESS NOTED OTHERWISE. "CLEAR" DISTANCE DIMENSIONS CLEAR BETWEEN PARTITION WALLS.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS, DIMENSIONS & TYPICAL DOOR & WINDOW LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN IN CASE OF CONFLICT WITH ARCHITECT PARTITION PLAN BY ARCHITECT SUPERSEDES OTHER PLANS.
- MARK THE INTEGRITY OF AN PARTITION RATING WHERE NECESSARY. EQUIPMENT OR FIXTURES ARE TO BE AS SHOWN.
- PREPARE AND INSTALL INSULATION FULL HEIGHT OF ALL INTERIOR AND EXTERIOR WALLS.
- CONTRACTOR SHALL MARK LOCATIONS OF PARTITIONS AND DOORS ON FLOOR WITH PAINTABLE FOR RECORD BY OWNER AND REQUIREMENTS FOR THE INSTALLATION OF CEILING DALE PLATE. DIMENS WILL BE FOR DESIGN INTENT ONLY. CONTRACTOR SHALL COORDINATE AND VERIFY ALL LOCATIONS TO INSURE PROPER FIT.
- PROVIDE ANY METAL WORKING NECESSARY TO BE ON ALL WALLS AND CEILING IN BATHS, RESTROOMS, JANETS, KITCHENS, AND FOR FULL HEIGHT OF ALL CABINET WALLS WHERE DRINKS ARE LOCATED.
- DO NOT PREVENT BATHS IN LOCKING FOR ALL MILLWORK IN FINISHED LIMITS. COORDINATE WITH MILLWORKER FOR REQUIRED SIZE AND TYPE.
- "RT" INDICATES WOOD HANDRAIL - REFER ALSO FOR DETAIL.
- FIRE RESISTANCE RATING FOR BUILDING ELEMENTS (SEE TABLE 601)
- CEILING COLLIMING STRAY-RAYS FOR FIREPROOFING PER ULF 570.
 FSC COLLIMING: (2) LAYERS 5/8" TYPE "X" GYPSUM PER IRC 701
 NONBEARING WALLS: 1 HR PER ULP 1001, 1011 & 1012
 NONBEARING WALLS: 0 HR
 CEILING DROP: 1 HR PER ULP P22 & GA-104-010
- ALL WOOD IN CONTACT WITH W/ CONCRETE OR MASONRY SHALL BE PRESURE TREATED WOOD.



SECOND LEVEL ANNOTATION PLAN
 4-G-18-UR

**NEW SENIOR LIVING
 COMMUNITY AT
 HARDIN VALLEY**

Project Information

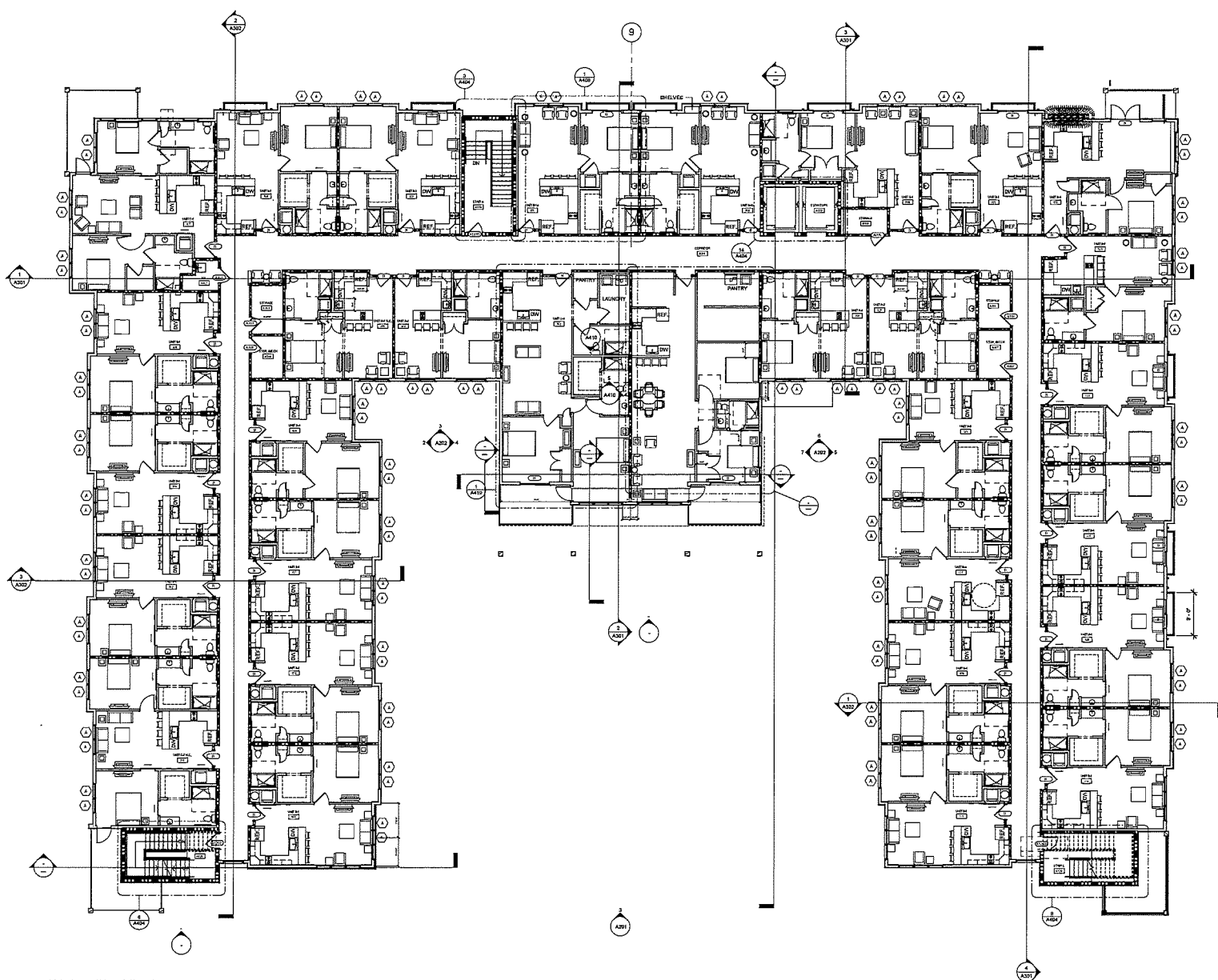
| | |
|-----------------|--|
| Project Name | |
| Project Address | |
| Project City | |
| Project State | |
| Project Zip | |
| Project Phone | |
| Project Email | |
| Project Website | |

Drawing Information

| | | | |
|-----------|-------------|------|--|
| Revisions | | | |
| No. | Description | Date | |
| | | | |
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| | | | |

Project Number: 4-G-18-UR
 Issue Date: TBD
 Drawn By: Author
 Checked By: DRK
 Scale:
 SECOND FLOOR ANNOTATION PLAN

A103



WALL RATING LEGEND

- (Empty line) INDICATES NON RATED PARTITION
- (Dashed line) INDICATES 1 HR RATED FIRE PARTITION
- (Line with '2') INDICATES 2 HR RATED FIRE PARTITION - AT SEPARATOR
- (Line with '1') INDICATES 1 HR RATED GADGET BARBER

- FLOOR PLAN NOTES**
- ALL END CONDITIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. SLASH DETAIL REQUIRED CLEAR BETWEEN IRON WALLS.
 - DO NOT SCALE DRAWINGS. WRITE DIMENSIONS OVERALL. ALL PARTITION WALLS, DIMENSIONS TYPES, DOOR & WINDOW LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN IN CASE OF CONFLICT, NOTIFY ARCHITECT. PARTITION PLAN BY ARCHITECT SUPERSEDES EQUIPMENT OR FIXTURES ARE TO BE PLACED.
 - MAINTAIN INTEGRITY OF PARTITION RATINGS WHERE DISCREPANT EQUIPMENT OR FIXTURES ARE TO BE PLACED.
 - PROVIDE AND INSTALL INSULATION FULL HEIGHT OF ALL INTERIOR AND EXTERIOR WALLS.
 - CONTRACTOR SHALL MARK LOCATIONS OF PARTITIONS AND DOORS ON FLOOR WITH PARTITIONALS FOR REVIEWER OWNER AND ARCHITECT PRIOR TO THE INSTALLATION OF STUD DRIP PLATE. REVIEW WALL FOR DESIGN INTENT ONLY. CONTRACTOR SHALL VERIFY AND VERIFY ALL LOCATIONS TO ENSURE PROPER FIT.
 - PROVIDE ALL INITIAL WOODTURE TREATMENT OVER ALL WALLS AND CEILING IN WALL, RECEPTACLE, JAMBES, CLOSETS, AND FOR FULL HEIGHT OF ALL CABINET WALLS WHERE SHIMS ARE LOCATED.
 - CEILING SHALL PROVIDE SHIMM BLOCCING FOR ALL WALLS OVERHEAD UNITS. COORDINATE WITH MECHANICAL FOR REQUIRED SIZE AND TYPE.
 - USE INDICATED WOOD HARDENAL. REFER AHS FOR DETAIL.
 - FIRE RESISTANCE RATING FOR BUILDING ELEMENTS (NOT TABLE 601)
 - STRUCTURAL FRAME: 1 HR STEEL COLUMN SPAN OR PER PER PROTECTING PER ULS & ASD. PER COLUMN/CL LAYERS BY TYPE "C" 010 AD PER IND 751
 - BEARING WALLS: 1 HR PER ULS/ASD, U011 & U02
 - NONBEARING WALLS: 0 HR
 - CEILING ROOF: 1 HR PER ULS P22 & GA PER 604
 - ALL WOOD IN CONTACT WITH W/ CONCRETE OR MAJORITY SHALL BE PRESERVE TREATED WOOD.

① THIRD FLOOR ANNOTATION PLAN
1/8" = 1'-0"

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**NEW SENIOR LIVING
COMMUNITY AT
HARDIN VALLEY**

Project Information

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Code Information

Type of Const.: Type VA Fully Sphered

Occupancy Class: R-2

Fire Protection Systems:

- Fire Alarm (NFPA 72)
- Smoke Alarm
- Sprinkler System (NFPA 13)
- Fire Extinguishers (NFPA 10)

NFPA 101 ASHRAE

UL Rated Assemblies

Shop drawings will be submitted for all fire protection systems.

Drawing Information

Revisions

| No. | Description | Date |
|-----|-------------|------|
| | | |
| | | |
| | | |

Project Number

Issue Date: TBD

Drawn By: Author

Checked By: DMJ

Scale

THIRD FLOOR ANNOTATION PLAN

4-G-18-UR

MATERIALS LEGEND

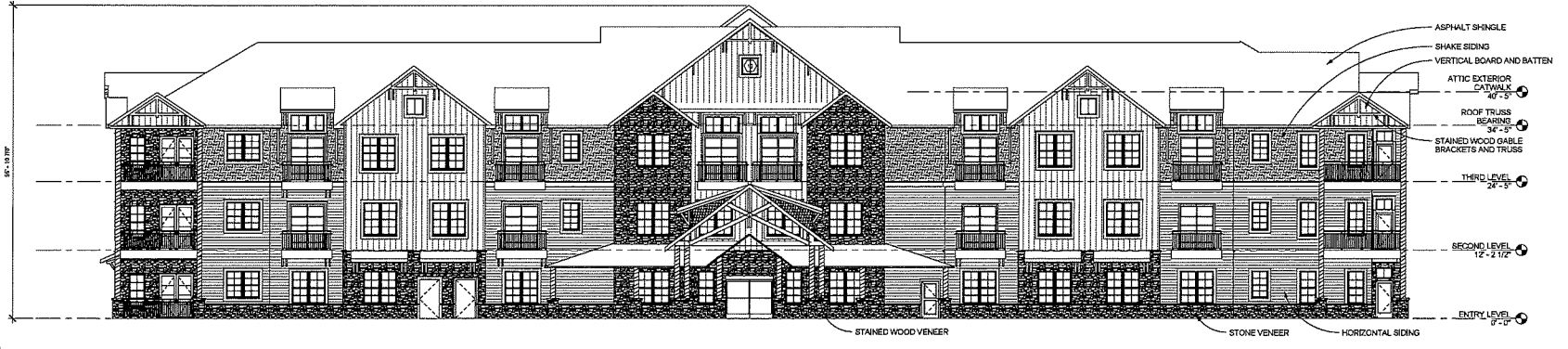
| | |
|---|---|
| 1 STANDING SEAM METAL ROOF | 10 SHAKE SIDING |
| 2 STEEPWATER GABLE VALLEY FLASHING | 11 4"X6" PLYL GIBBS SIDING, 3/4" SQUARE PLYS @ 4" O.C., 1/2" BEAM PAINTED TO MATCH SIDING |
| 3 GLEDE BRONZE ROMEO CUSTOM CHIMNEY CHIMNEY BY AMERICAN CHIMNEY SHIMSLAY | 12 1/2" X 1/2" ALUM. LOUVERED VENT W/ MESH COVERING PAINTED TO MATCH GABLE BRACKET |
| 4 BRICK VENEER BRICK - BROWN BRICK 2-TAN | 13 3/4" X 3/4" ALUM. LOUVERED VENT W/ MESH COVERING PAINTED TO MATCH GABLE BRACKET |
| 5 ALUMINUM LOUVERED VENTS W/ MESH SCREENS | 14 6" GLEDE BROWN ALUMINUM GUTTER |
| 6 1/2" X 1/2" ALUM. LOUVERED VENT W/ MESH COVERING PAINTED TO MATCH GABLE BRACKET | 15 1/2" X 1/2" RECT. BROWN ALUMINUM DOWNSPOUTS |
| 7 STONE IMIT. | 16 ROOF BRACKET |



① Elevation 1 - a
 1/8" = 1'-0"



② Elevation 2 - a
 1/8" = 1'-0"



④ Elevation 4 - a
 1/8" = 1'-0"

Sheet
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Project Information
 DOMINION INDEPENDENT LIVING OF JOHNSON CITY, TN
 DOMINION DEVELOPMENT GROUP
 Peoples Street, Johnson City, TN 37604

Code Information
 Type of Const. Type VA Fully Sphered
 Occupancy Class: I-1

Fire Protection Systems:
 Fire Alarm (NFPA 72)
 Smoke Alarm
 Sprinkler System (NFPA 13)
 Fire Extinguishers (NFPA 10)

NFPA 101
 ASHRAE
 UL Review Assemblies

Shop drawings will be submitted for all fire protection systems.

Drawing Information

| Revisions | No. | Description | Date |
|-----------|-----|-------------|------|
| | | | |
| | | | |
| | | | |

Project Number 17043
Issue Date TBD
Drawn By Author
Checked By DAL
Scale 1/8" = 1'-0"

EXTERIOR ELEVATIONS

A201

Use on Review Development Plan

Name of Applicant: Dominion Development Group

Date Filed: 2-26-2018

Meeting Date: April 12, 2018

RECEIVED

FEB 26 2018

Metropolitan
 Planning Commission

Application Accepted by: Thomas Brechee

Fee Amount: 1500.00 File Number: Development Plan -

Fee Amount: ~~1200.00~~ File Number: Use on Review 4-G-18-UR


| | |
|--|---|
| <p>PROPERTY INFORMATION</p> <p>Address: <u>0 Gliding Hawk Ln.</u> 40800 Hardin Valley Road</p> <p>General Location: <u>Pellissippi Parkway</u> <u>and Hardin Valley Road</u></p> <p>Tract Size: <u>5.19</u> No. of Units: <u> </u></p> <p>Zoning District: <u>PC (Planned Commercial) / TO</u></p> <p>Existing Land Use: <u>Vacant</u></p> <p>Planning Sector: <u>Northwest County</u></p> <p>Sector Plan Proposed Land Use Classification: <u>MU-SD NWCO-5</u></p> <p>Growth Policy Plan Designation: <u> </u></p> <p>Census Tract: <u>59.05</u></p> <p>Traffic Zone: <u>237</u></p> <p>Parcel ID Number(s): <u>103 11503</u></p> <p>Jurisdiction: <input type="checkbox"/> City Council <u> </u> District <input checked="" type="checkbox"/> County Commission <u>6</u> District</p> | <p>PROPERTY OWNER/OPTION HOLDER</p> <p>PLEASE PRINT</p> <p>Name: <u>Dominion Development Group</u></p> <p>Company: <u>-</u></p> <p>Address: <u>5107 Homberg Drive</u></p> <p>City: <u>Knoxville</u> State: <u>TN</u> Zip: <u>37919</u></p> <p>Telephone: <u>865-207-1480</u></p> <p>Fax: <u>865-381-0601</u></p> <p>E-mail: <u>peterh@dominiondg.com</u></p> |
| <p>APPROVAL REQUESTED</p> <p><input checked="" type="checkbox"/> Development Plan: <u>Residential</u> <input checked="" type="checkbox"/> Non-Residential</p> <p><input type="checkbox"/> Home Occupation (Specify Occupation) <u> </u></p> <p><input type="checkbox"/> Other (Be Specific) <u>Assisted Living / Independent Living</u></p> | <p>APPLICATION CORRESPONDENCE</p> <p>All correspondence relating to this application should be sent to:</p> <p>PLEASE PRINT</p> <p>Name: <u>Peter Hill</u></p> <p>Company: <u>Dominion Development Group</u></p> <p>Address: <u>5107 Homberg Drive</u></p> <p>City: <u>Knoxville</u> State: <u>TN</u> Zip: <u>37919</u></p> <p>Telephone: <u>865-207-1480</u></p> <p>Fax: <u>865-381-0601</u></p> <p>E-mail: <u>peterh@dominiondg.com</u></p> <p>APPLICATION AUTHORIZATION</p> <p>I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request or holders of option on same, whose signatures are included on the back of this form.</p> <p>Signature: <u>[Signature]</u></p> <p>PLEASE PRINT</p> <p>Name: <u>Peter Hill</u></p> <p>Company: <u>-</u></p> <p>Address: <u> </u></p> <p>City: <u> </u> State: <u> </u> Zip: <u> </u></p> <p>Telephone: <u> </u></p> <p>E-mail: <u> </u></p> |

SIGNATURES OF ALL PROPERTY OWNERS INVOLVED OR HOLDERS OF OPTION ON SAME MUST BE LISTED BELOW:

Please Sign in Black Ink:

(If more space is required attach additional sheet.)

Name Address • City • State • Zip Owner Option

Peter Hall 

5107 Hamburg Knoxville TN 37919

Owner Option

