

**KNOXVILLE/KNOX COUNTY METROPOLITAN PLANNING COMMISSION  
 USE ON REVIEW REPORT**

▶ **FILE #:** 11-D-18-UR

**AGENDA ITEM #:** 39

**AGENDA DATE:** 11/8/2018

▶ **APPLICANT:** JMS INVESTMENTS / CITY LIGHTS LLC

OWNER(S): JMS Investments / City Lights LLC

TAX ID NUMBER: 94 N C 027, 028

[View map on KGIS](#)

JURISDICTION: City Council District 1

STREET ADDRESS: 1833 Forest Ave

▶ **LOCATION:** North side of Forest Ave, east side of Nineteenth St.

▶ **APPX. SIZE OF TRACT:** 0.21 acres

SECTOR PLAN: Central City

GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)

ACCESSIBILITY: Access is via Forest Ave., a local street with 27' of pavement width within 50' of right-of-way, or Nineteenth St., a local street with 26' of pavement width within 50' of right-of-way. This property is within the Fort Sanders (National Register) Historic District, however, it is not within the H-1 (Historic) or NC-1 (Neighborhood Conservation) overlay districts.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Third Creek

▶ **ZONING:** R-2 (General Residential)

▶ **EXISTING LAND USE:** Office

▶ **PROPOSED USE:** Renovate existing building for housing rented by the bedroom (10 bedrooms proposed)

9.1 du/ac

HISTORY OF ZONING: Property rezoned from I-2 to R-2 with condition of UOR in August 2018 (7-F-18-RZ)

SURROUNDING LAND USE AND ZONING: North: Vacant land / R-2 (General Residential)

South: Forest Ave., apartments / R-3 (High Density Residential)

East: Houses / R-2 (General Residential)

West: Nineteenth St., house / O-1 (Office, Medical & Related Services)

NEIGHBORHOOD CONTEXT: This site is located in the Ft. Sanders area and is surrounded primarily by medium to high density residential uses, zoned R-2 and R-3. Ft. Sanders Hospital and other offices are also located in the area, zoned O-1 and O-2.

**STAFF RECOMMENDATION:**

▶ **APPROVE the Development Plan for 2 dwelling units in an existing building, subject to 4 conditions.**

1. Meeting all applicable requirements of the City of Knoxville Zoning Ordinance, including but not limited to the sign regulations (Art. VIII. - Signs, Billboards, and Other Advertising Structures).
2. Meeting all applicable requirements of the City of Knoxville Department of Engineering.

3. Meeting all requirements of the Knox County Health Department.
4. Changes to the window style or total window area on each elevation shall be consistent with this approval or the existing condition of the building. Staff shall review and approve any revisions prior to obtaining building permits.

With the conditions noted, this plan meets the requirements of the R-2 district and the other criteria for approval of a use-on-review.

#### **COMMENTS:**

This proposal is for two residential units within an existing two story office building. Each unit will include 4 bedrooms (8 bedrooms total). This proposal is being considered as a Use on Review because it is a condition of the recently approved R-2 zoning. The sector plan recommends Use on Review for basic zones, such as R-2, to ensure compatibility with the surrounding neighborhood.

The development will have 3 parking spaces located off the alley. The required parking for this development would be 7 parking spaces, however, the Board of Zoning Appeals approved two parking related variances because of the limited space available: 1) Reduce the parking requirement from 7 to 3, and 2) Decrease minimum aisle width for 60 degree parking from 18' down to 15'. The building currently has 10 parking spaces on the west (19th Street) side of the building, however, these are located within the right-of-way and cannot be retained. A sidewalk and lawn will replace the 10 parking spaces. The lawn area on the east side of the building is not large enough to create legal parking spaces without providing a driveway from Forest Ave. to the alley. Whenever possible, staff recommends against creating new driveway curb cuts along street frontages in pedestrian oriented neighborhoods such as Fort Sanders. In addition, this property has a steep slope near the front of the property that goes down to the rear. This makes creating a through driveway difficult and would drastically change the site.

The building renovation will include some exterior changes, including new windows and infilling existing doors that are no longer needed on the side and rear elevations, and replacement of the glass storefront and door on the front elevation with a new solid door and three one over one windows. The dwelling unit in the basement level of the building will include a new sliding glass door on the east side elevation that will exit onto a new walkway. A concrete patio will be located on the east side of the building where an existing lean-to shed will be removed.

#### **EFFECT OF PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE**

1. The proposed development will have minimal impact on local services since utilities are in place to serve this development.
2. The proposal will have little impact on surrounding properties since it is a similar residential use as other developments in the area.
3. The parking demand generated by the development will most likely exceed the three on-site parking spaces. There is on-street parking in the area that can also be used, however, there is typically high demand for on-street parking in the Fort Sanders neighborhood.

#### **CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOXVILLE ZONING ORDINANCE**

1. With the recommended conditions, the proposed residential use meets all of the requirements of the R-2 (General Residential) district of the Knoxville Zoning Ordinance.
2. The proposed development is consistent with the general standards for uses permitted on review: The proposed development is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The scale of the development is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw substantial additional traffic through residential. No surrounding land uses will pose a hazard or create an unsuitable environment for the proposed use.

#### **CONFORMITY OF THE PROPOSAL TO ADOPTED PLANS**

1. The Central City Sector Plan and Knoxville One Year Plan identify the property as a Mixed Use Special District (MU-CC17) and recommends office, high and medium density residential residential uses. The

proposed use is consistent with the plan recommendations.

2. The site is located within the Urban Growth Area (Inside City Limits) on the Knoxville-Knox CountyFarragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: 28 (average daily vehicle trips)

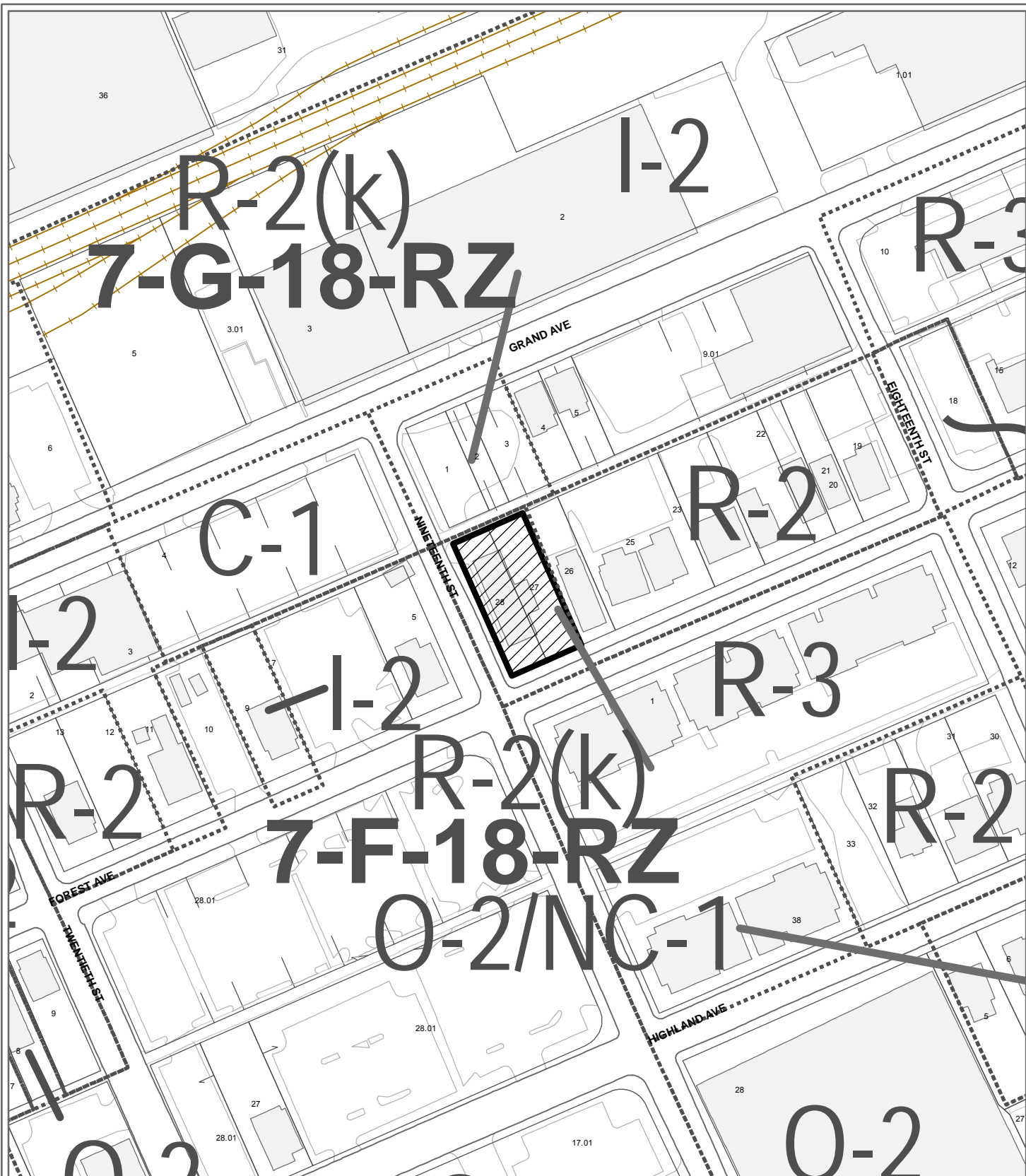
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: 1 (public school children, ages 5-18 years)

Schools affected by this proposal: Sequoyah Elementary, Bearden Middle, and West High.

- School-age population (ages 5–18) is estimated by MPC using data from a variety of sources.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

MPC's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal an MPC decision in the City.



**11-D-18-UR  
USE ON REVIEW**



Renovate existing building for housing rented by the bedroom (10 bedrooms proposed) in R-2 (General Residential)

Original Print Date: 10/16/2018      Revised:  
Metropolitan Planning Commission \* City / County Building \* Knoxville, TN 37902

Petitioner: JMS Investments / City Lights LLC

Map No: 94  
Jurisdiction: City



**PARKING SUMMARY:**

**PARKING REQUIREMENTS**  
 HOUSING DEVELOPMENT RENTING BY BEDROOMS  
 MINIMUM = 0.87 PER BEDROOM (INCLUDING GUEST)  
 MAXIMUM = 1.4 PER BEDROOM (INCLUDING GUEST)  
 TO BEDROOMS PROPOSED

REQUIRED SPACES = 8.7 MIN. TO 14 MAX.  
 (1 VAN ACCESSIBLE PARKING SPACE)

20% REDUCTION BEING LESS THAN .25 MILE FROM KAT BUS ROUTE STOP HIGHLAND AVENUE NB AT 17TH STREET

REQUIRED SPACES WITH REDUCTION = 7 MIN. TO 11 MAX.

EXISTING PARKING (TO BE REMOVED)  
 SPACES = 10

PROPOSED PARKING  
 2 STANDARD PARKING SPACES  
 1 VAN ACCESSIBLE PARKING SPACE  
 3 TOTAL PROPOSED PARKING SPACES

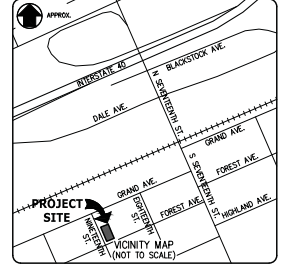
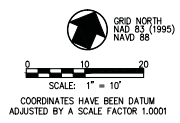
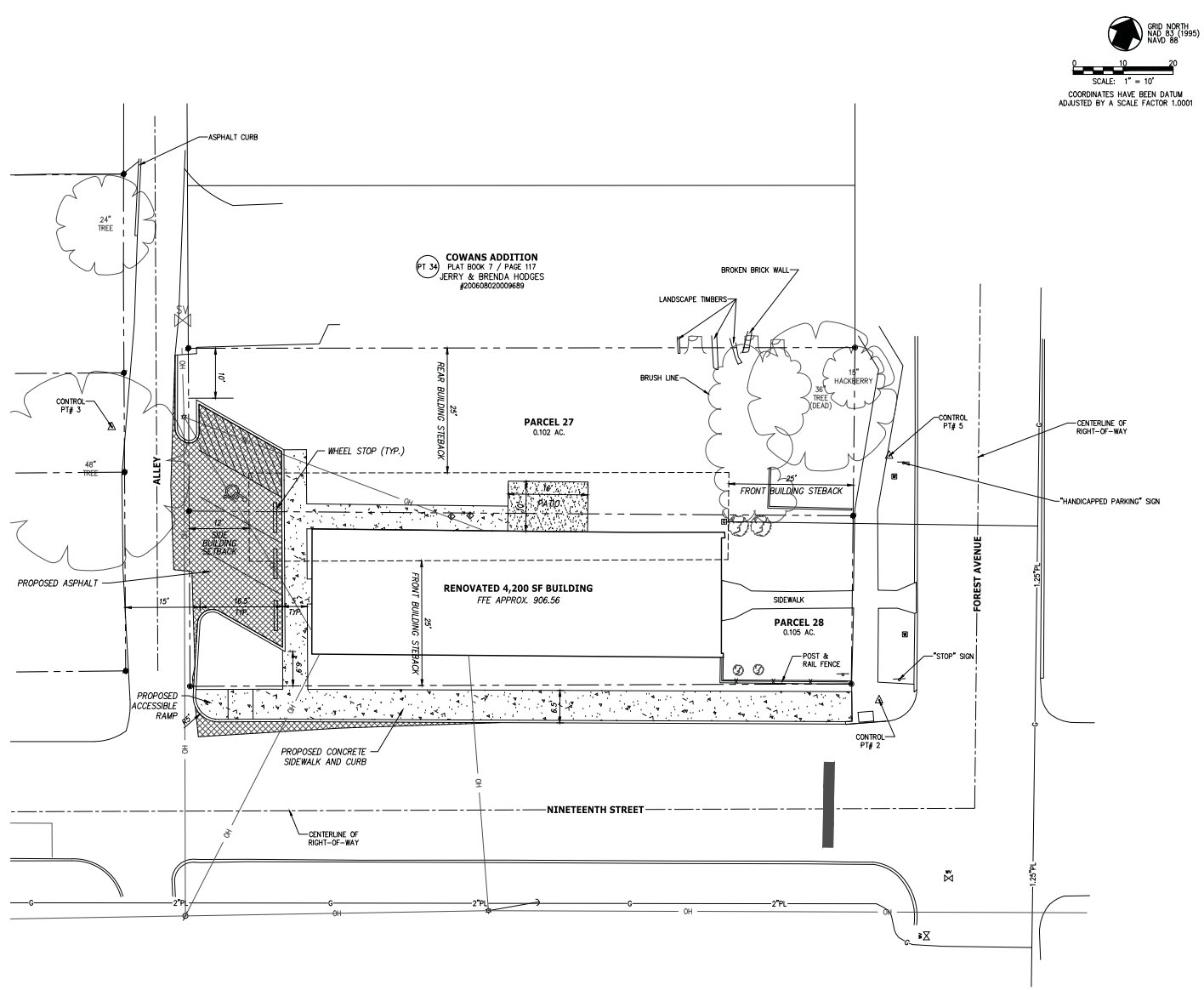
BZA VARIANCE REQUEST 8-H-18VA  
 DECREASE REQUIRED NUMBER OF PARKING SPACES FROM 7 TO 3 PER CITY OF KNOXVILLE ZONING ORDINANCE ARTICLE 5, SECTION 7.E.D., TABLE 3.

REQUIRED NUMBER OF BICYCLE PARKING SPACES = 4

SPECIAL NOTE: BICYCLE PARKING SHALL BE LOCATED INSIDE THE RENOVATED BUILDING.

**LEGEND**

	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE SIDEWALK
	CONCRETE PAVEMENT
	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
	EXIST. R.O.W.
	BUILDING SETBACK LINE
	EXIST. EASEMENT LINE
	DETAIL REFERENCE (DETAIL NO./SHEET NO.)
	NUMBER OF PARKING SPACES
	COORDINATE POINT
	HANDICAP PARKING
	ACCESSIBLE RAMP



- NOTES:**
- THE BOUNDARY AND TOPOGRAPHIC DATA SHOWN WAS PROVIDED BY CANNON & CANNON, INC. DATED DECEMBER 12, 2017.
  - UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF BUILDING AND/OR FACE OF CURB.
  - THE MINERAL AGGREGATE BASE AND ASPHALTIC SURFACE COURSES SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE DRAWINGS, AND THE CITY OF KNOXVILLE STANDARD SPECIFICATIONS.
  - PROPERTY CONCERNED REFLECTS PARCELS 27 & 28 AS SHOWN ON KNOX COUNTY CLT TAX MAP NO. 94. ZONING FOR THE PROPERTY IS R-2 "GENERAL RESIDENTIAL DISTRICT". TOTAL AREA IS 0.207 ACRES (9,017 S.F.). THE TOTAL DISTURBED AREA IS APPROXIMATELY 0.182 ACRES. CITY BLOCK NUMBER IS 10084.
  - TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
  - ALL SETBACKS SHALL BE IN ACCORDANCE WITH THE CITY OF KNOXVILLE ZONING ORDINANCE.  
 FRONT: 25 FEET  
 REAR: 25 FEET  
 SIDE: 8 FEET (SINGLE-STORY)  
 12 FEET (MORE THAN ONE STORY)
  - OWNER: FLOYD T. SHOWN, SR.  
 6513 HILLSIDE ROAD  
 KNOXVILLE, TN 37912  
 DEVELOPER: JMS INVESTMENTS/CITY LIGHTS LLC  
 500 PRESTWICK RIDGE WAY UNIT 43  
 KNOXVILLE, TN 37919
  - PERMETER SLOPES SHALL BE LANDSCAPED AND ARE NOT TO EXCEED 2:1 (H:V) UNLESS PROPER STABILIZATION IS PROPOSED BY A GEOTECHNICAL ENGINEER.
  - PROPOSED LANDSCAPE WILL COMPLY WITH THE CITY OF KNOXVILLE TREE PROTECTION ORDINANCE.
  - REFER TO SHEET CD.02 FOR HORIZONTAL CONTROL INFORMATION.
  - PROPOSED PARKING SHALL MEET THE CITY OF KNOXVILLE REGULATIONS.
  - PROPOSED SITE LIGHTING PLAN SHALL MEET M.P.C. AND CITY OF KNOXVILLE REGULATIONS.

**SPECIAL NOTE:**

THE APPROVAL OF THIS PLAN DOES NOT INCREASE OR DECREASE ANY ZONING NON-COMPLIANCE FOR THE EXISTING STRUCTURES ON THE PROPERTY NOR DOES IT CHANGE THE NON-COMFORMING STATUS OF THE EXISTING STRUCTURES. DOCUMENTATION AS TO THE LEGAL STATUS OF THE STRUCTURES OR VARIANCES FROM THE BOARD OF ZONING APPEALS MAY BE REQUIRED AT SOME LATER DATE FOR PERMIT APPLICATIONS OR OTHER DEVELOPMENT APPROVALS.

REVISIONS	DATE

**CANNON & CANNON INC.**  
 CONSULTING ENGINEERS / FIELD SURVEYORS  
 855.678.8555 | 8550 Kingston Pike  
 Knoxville, TN 37919

CLIENT: **JMS INVESTMENTS/CITY LIGHTS LLC**  
 500 PRESTWICK RIDGE WAY UNIT 42  
 KNOXVILLE, TN 37919

PROJECT: **1829 & 1833 FOREST AVENUE**  
 1829 & 1833 FOREST AVENUE  
 DISTRICT 4, WARD 10, BLOCK 10084  
 KNOXVILLE, TENNESSEE 37916

**SITE LAYOUT PLAN**

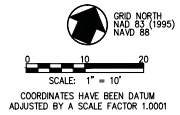
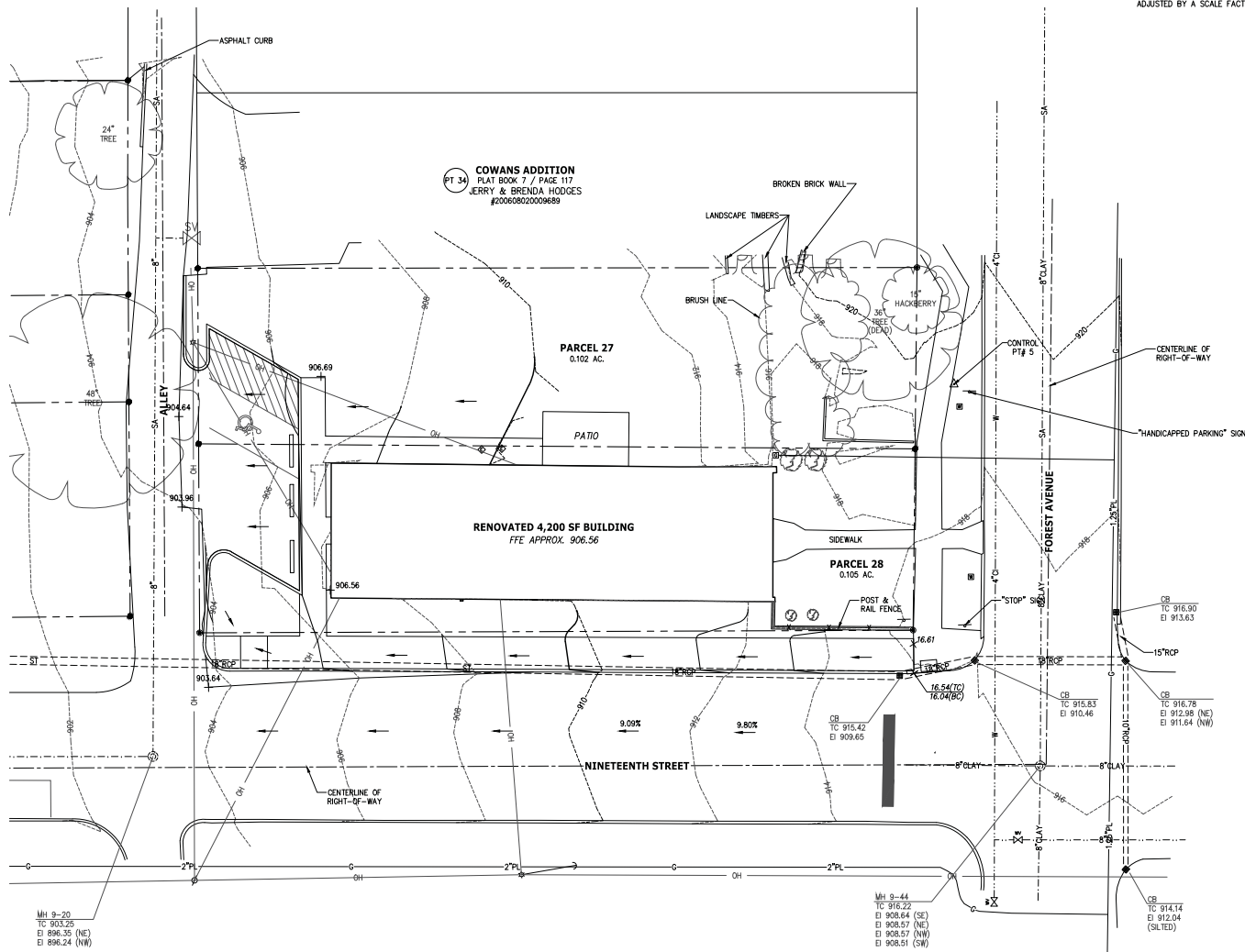
CSI PROJECT NO. 01421-0001  
 DRAWING DATE: SEPTEMBER 24, 2019

PM	ARG	CC
DRAWN	CIO	

**UOR1.01**

11-D-18-UR  
 Revised: 10/23/2018

LEGEND	
---884---	EXISTING CONTOUR
---890---	PROPOSED INDEX CONTOUR
97.50	PROPOSED SPOT ELEVATION
(1) (C4.0)	DETAIL REFERENCE (DETAIL NO./SHEET NO.)
==S==S==	EXIST. STORM
---SA---	EXIST. SEWER
---W---	EXIST. WATER
---F---	EXIST. FENCE
⊕	EXIST. POWER POLE



- NOTES:**
- THE BOUNDARY AND TOPOGRAPHIC DATA SHOWN WAS PROVIDED BY CANNON AND CANNON, INC. DATED DECEMBER 12, 2017.
  - THE DISTURBED AREA IS APPROXIMATELY 0.184 ACRES. THE TOTAL SITE AREA IS APPROXIMATELY 0.207 ACRES (9,017 S.F.).
  - UNLESS NOTED OTHERWISE, THE PROPOSED GRADES SHOWN ON THESE DRAWINGS ARE FINISH GRADE. EXISTING AND PROPOSED CONTOURS ARE SHOWN AT 2 FT. INTERVALS.
  - EROSION CONTROL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK. THE DEVICES SHOWN ON THE DRAWINGS ARE THE MINIMUM REQUIRED. THE CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION CONTROL DEVICES AS NEEDED.
  - THE SITE SHALL BE CLEARED AND GRUBBED WITHIN THE LIMITS OF EXCAVATION. COMPLETELY DISPOSE OF ALL MATERIALS RESULTING FROM CLEARING AND GRUBBING OFF-SITE OR ON-SITE AT A LOCATION DETERMINED BY THE OWNER.
  - ALL TREE STUMPS, BOULDERS, AND OTHER OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF 2 FT BELOW THE SUBGRADE. ROCK SHALL BE SCARIFIED TO A DEPTH OF 1 FT BELOW SUBGRADE.
  - STRIP TOPSOIL TO A MINIMUM DEPTH OF 8-IN. AND TEMPORARILY STOCKPILE EXCAVATED MATERIALS. INSTALL SILT FENCE OR OTHER APPROPRIATE EROSION CONTROL STRUCTURES ON THE DOWN HILL SIDE OF THE STOCKPILE.
  - PROOF ROLL AREAS TO RECEIVE FILL.
  - A 4 IN. (MIN) LAYER OF TOPSOIL SHALL BE PLACED OVER THE AREAS TO BE SEED AND TO THE FINISH GRADE ELEVATIONS AS SHOWN ON THE DRAWINGS.
  - ALL NEWLY GRADED EARTHEN AREAS THAT ARE NOT TO BE PAVED, STABILIZED, OR SOODED SHALL BE SEED, FERTILIZED, AND MULCHED WITHIN 30 DAYS OF ATTAINMENT OF FINAL GRADE.
  - TEMPORARY SEEDING MIXTURES SHALL BE AS FOLLOWS:
 

SEEDING DATES	GRASS SEED	PERCENTAGES
1/71 TO 5/71	ITALIAN RYE	33%
	KOREAN LESPEDEZA	33%
	SUNNER OATS	34%
5/71 TO 7/71	SUDAN - SORGHUM	100%
7/71 TO 1/71	STAR MILLET	100%
	BALDOUR RYE	63%
	ITALIAN RYE	33%
  - PERMANENT SEEDING MIXTURES SHALL BE AS FOLLOWS:
 

SEEDING DATES	GRASS SEED	PERCENTAGES
2/71 TO 7/71	KENTUCKY 31 FESCUE	80%
	KOREAN LESPEDEZA	15%
	ENGLISH RYE	5%
6/71 TO 8/71	KENTUCKY 31 FESCUE	55%
	ENGLISH RYE	20%
	KOREAN LESPEDEZA	15%
	GERMAN MILLET	10%
4/71 TO 8/71	BERMUDAGRASS (MULLED)	70%
	ANNUAL LESPEDEZA	10%
8/71 TO 12/71	KENTUCKY 31 FESCUE	70%
	ENGLISH RYE	20%
	WHITE CLOVER	10%
2/71 TO 12/71	KENTUCKY 31 FESCUE	70%
	CROWN VETCH	25%
	ENGLISH RYE	5%
  - MULCH WITH STRAW AT A RATE OF 100 LBS./1000 S.F. OVER THE SEEDED AREAS.
  - DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS OR POND ON-SITE. PROVIDE NECESSARY MEASURES TO KEEP THE SITE FREE-DRAINING.
  - NO SLOPE SHALL EXCEED 2:1 (H:V). ALL SLOPES STEEPER THAN 3:1 TO RECEIVE EXTENDED TERM EROSION CONTROL BLANKET.
  - TO PREVENT EROSION, ALL SLOPES 2:1 OR GREATER ARE TO BE TRACKED WITH A DOZER TO FORM CLEAR MARKS PARALLEL TO THE CONTOUR.
  - APPLY TEMPORARY SEEDING WHENEVER GRADING OPERATIONS ARE HALTED FOR OVER 14 DAYS AND FINAL GRADING OF EXPOSED SURFACE IS TO BE COMPLETED WITHIN ONE YEAR. APPLY TEMPORARY SEEDING TO ALL SOIL STOCKPILES.
  - APPLY PERMANENT SEEDING WHENEVER GRADING OPERATIONS ARE COMPLETED AND ALL CONSTRUCTION OPERATIONS WILL NOT IMPACT THE DISTURBED AREA. APPLY PERMANENT SEEDING TO ALL NON-CONSTRUCTION AREAS WHICH SHOW SIGNS OF EXCESSIVE EROSION.

REVISIONS	DATE

**CLIENT:** JMS INVESTMENTS/CITY LIGHTS LLC  
 500 PRESTWICK RIDGE WAY UNIT 42  
 KNOXVILLE, TN 37919

**PROJECT:** 1829 & 1833 FOREST AVENUE  
 1829 & 1833 FOREST AVENUE  
 DISTRICT 4, WARD 10, BLOCK 10084  
 KNOXVILLE, TENNESSEE 37916

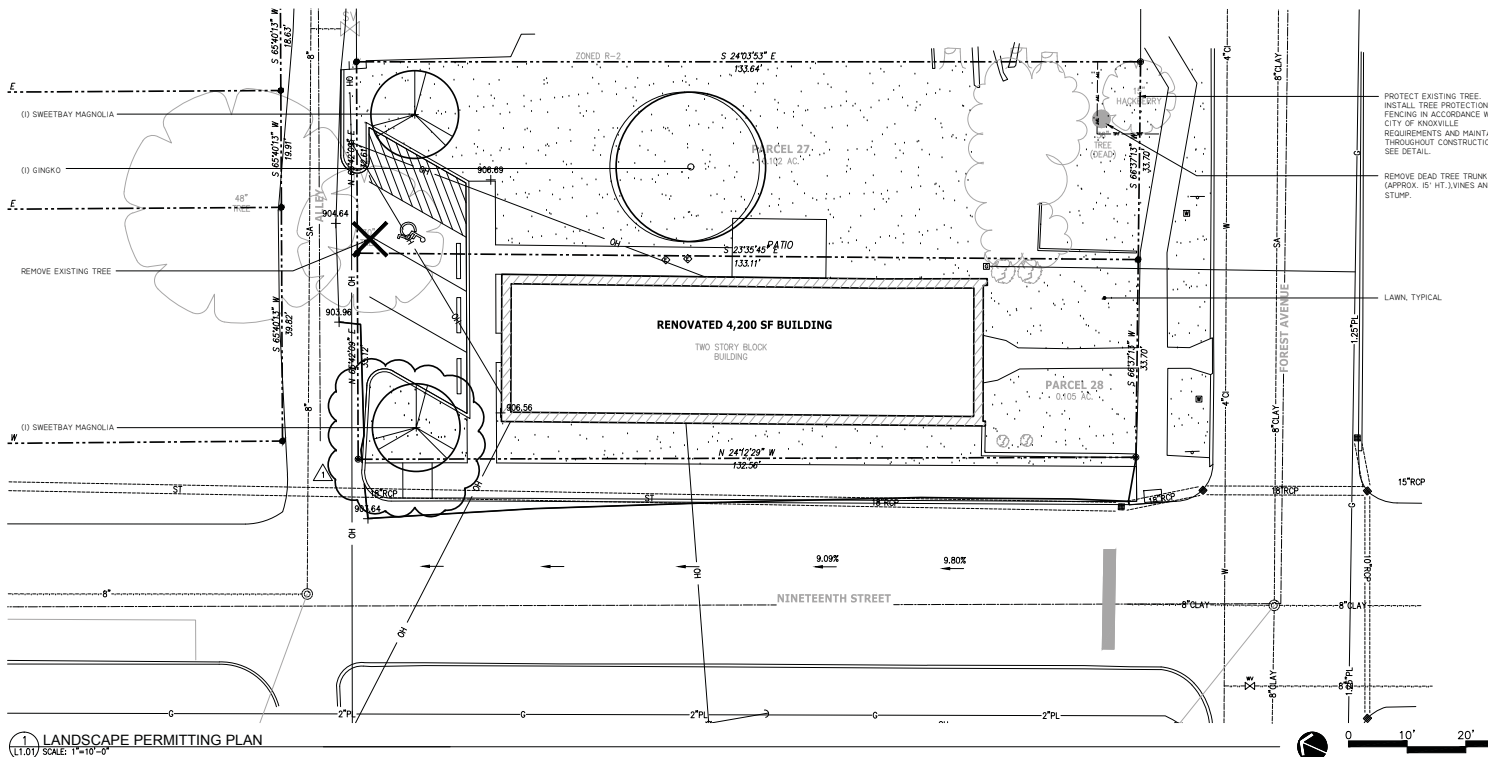
**SITE GRADING AND DRAINAGE PLAN**

CSI PROJECT NO.	01421-0091
DRAWING DATE	SEPTEMBER 24, 2018
PM	ARGV
DC	DC
DRAWN	CIO

**UOR2.01**

11-D-18-UR  
 Revised: 10/23/2018

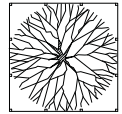




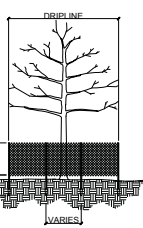
1 LANDSCAPE PERMITTING PLAN  
 (11.01) SCALE: 1"=10'-0"

1829 & 1833 Forest Avenue Plant List (Permitting)

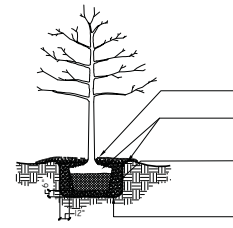
QUANTITY	SYMBOL	COMMON NAME	BOTANICAL NAME	ROOTS	MINIMUM SIZE	REMARKS
<b>TREES</b>						
1	GBG	Golden Globe Ginkgo	<i>Ginkgo biloba 'Golden Globe'</i>	8.8B	2" Cal.	Full Crown (Male Plants Only)
2	MVA	Sweetbay Magnolia	<i>Magnolia virginiana</i>	8.8H	8" Ht.	Full Crown, Clump, 3 Canes Branched at 36"-42" Ht.



- ESTABLISH TREE PROTECTION FENCING PRIOR TO START OF ANY SITE CLEARING, GRADING, DEMOLITION OR CONSTRUCTION ACTIVITIES. TREE PROTECTION SHALL BE APPROVED BY THE ENGINEER PRIOR TO START OF CONSTRUCTION ACTIVITIES AND MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION.



- LIMITS OF GRADING AT DRIPLINE OF TREES. SEE PLAN FOR LOCATIONS OF TREE PROTECTION FENCING (TPF).
- PROTECTIVE FENCING TO PRESERVE TRUNK, BRANCHES AND ROOT SYSTEM AND TO MINIMIZE COMPACTION OF SOIL AROUND TREE.
- TREE PROTECTION FENCING TO CONSIST OF 48" MIN. HT. ORANGE SAFETY PLASTIC FENCE FABRIC OR CHAIN LINK FENCING FABRIC. PROVIDE STEEL POSTS SPACED @ 8' O.C. MAX. FOR PLASTIC FENCE OR @ 10' O.C. MAX. FOR CHAIN LINK FENCE WITH 24" MIN. ANCHORING DEPTHS.
- FENCING TO BE NAILED TO TREE.
- HEAVY EQUIPMENT, VEHICULAR TRAFFIC OR STOCKPILING SHALL NOT BE PERMITTED WITHIN DRIPLINE.
- NO TOXIC MATERIALS TO BE STORED WITHIN 100' OF TREE DRIPLINE.
- IN AREAS WHERE FOOTINGS, PAVEMENT AND/OR UTILITIES WILL PENETRATE INTO THE DRIPLINE AREA, A LICENSED TREE SURGEON SHALL BE CALLED IN TO PERFORM ROOT PRUNING PRIOR TO BEGINNING CONSTRUCTION.



TREE STAKING IS GENERALLY NOT REQUIRED. LANDSCAPE ARCHITECT MAY REQUEST THAT SPECIFIC TREES BE STAKED. UPON REQUEST, PROVIDE THREE (3) WOOD STAKES SPACED EQUALLY ABOUT CIRCUMFERENCE AND SECURE WITH ARBOR-TIE OR APPROVED EQUIVALENT.

3" SHREDDED HARDWOOD MULCH (NO MULCH WITHIN 2" OF TRUNK)

GROUND LINE TO BE AT ROOT FLARE OF TREE. REMOVE BURLAP FROM TOP 1/4 OF BALL. CONSTRUCT EARTH SAUCER WITH 3" HIGH BERM. FLOOD WITH WATER TWICE IN FIRST 24 HOURS.

EXCAVATE TREE PIT AS SHOWN. SCARIFY EXPOSED SURFACES AS REQUIRED TO ELIMINATE GLAZING. BACKFILL WITH NATIVE SOIL REMOVED DURING EXCAVATION. WATER AND LEVEL. DO NOT TAMP.

BREAK SUBSOIL AS SPECIFIED.

2 TREE PROTECTION FENCING  
 (11.01) SCALE: 18"=1'-0"

3 TREE PLANTING TO 3" CAL.  
 (11.01) SCALE: NOT TO SCALE

- PERMITTING NOTES:**
- THE PROPOSED RESIDENTIAL DEVELOPMENT RENOVATES AN EXISTING BUILDING LOCATED ON TWO PARCELS. THE TOTAL SITE AREA IS 0.207 ACRES.
  - RE: KNOXVILLE TREE PROTECTION ORDINANCE, CHAPTER 16-34, DESTRUCTION OR REMOVAL OF TREES:
    - THE GRADING PLAN ILLUSTRATES THAT MINIMAL GRADING IS PROPOSED.
    - TWO (2) TREES EXIST ON SITE.
    - A 30" CAL. TREE ON THE NORTHEAST SIDE OF THE SITE SHALL BE REMOVED. THE TREE IS LOCATED BENEATH EXISTING OVERHEAD POWER LINES AND IS IN A STATE OF DECLINE. THE TREE HAS BEEN HEAVILY PRUNED AND IS GROWING AT A SEVERE ANGLE.
    - A 15" CAL. HACKBERRY ON THE SOUTHEAST SIDE OF THE SITE SHALL BE PRESERVED.
    - AT LEAST SIX (6) EXISTING TREES PER ACRE SHALL BE RETAINED. 0.207 X 6 = 1.24. ONE (1) TREE SHALL BE SAVED.
  - RE: KNOXVILLE TREE PROTECTION ORDINANCE, CHAPTER 16-35 PROTECTION OF HISTORICAL OR BOTANICAL IMPORTANCE; NEITHER OF THE TWO (2) EXISTING TREES ARE OF HISTORICAL OR BOTANICAL IMPORTANCE.
  - RE: KNOXVILLE TREE PROTECTION ORDINANCE, CHAPTER 16-36 PLANTING OF TREES:
    - BECAUSE THE EXISTING TREES TO BE PRESERVED IS LOCATED ON THE PROPERTY LINE (R.O.W.), ADDITIONAL TREES ARE PROPOSED IN EXCESS OF 8 TREES PER ACRE.
    - 0.207 ACRES X 8 = 1.66. THREE (3) ADDITIONAL TREES ARE PROPOSED.
    - AT LEAST 50% OF THE PROPOSED TREES SHALL BE CAPABLE OF REACHING 50' IN HT. AT MATURITY.
    - PROPOSED TREES SHALL MEET OR EXCEED THE MINIMUM REQUIRED SIZES AT INSTALLATION.
  - RE: KNOXVILLE TREE PROTECTION ORDINANCE, CHAPTER 16-37 MAINTENANCE AND REPLACEMENT OF TREES: SEE LANDSCAPE NOTES.
  - THE PROPERTY IS ZONED R-2. THE ADJACENT PROPERTY IS ZONED R-2. THERE ARE NO LANDSCAPE REQUIREMENTS SPECIFIC TO THIS ZONING.
  - RE: KNOXVILLE ZONING REGULATIONS ARTICLE V, SECTION 7 MINIMUM OFF-STREET PARKING, ACCESS AND DRIVEWAY REQUIREMENTS:
    - THREE (3) PARKING SPACES ARE PROPOSED WITH ACCESS FROM THE EXISTING ALLEY. TREES ARE PROPOSED FOR EACH TERMINAL ISLAND.
    - DUE TO OVERHEAD UTILITIES, ORNAMENTAL TREES ARE PROPOSED FOR THE TERMINAL ISLANDS.
    - NON-PAVED PORTIONS OF THE SITE SHALL BE VEGETATED WITH LAWNS, SHRUBS OR GROUND COVERS.
  - NOTE: THE LANDSCAPE USE ON REVIEW PLAN ILLUSTRATES THAT THE MINIMUM REQUIREMENTS OF THE TREE PROTECTION ORDINANCE AND THE LANDSCAPE REQUIREMENTS OF THE ZONING REGULATIONS SHALL BE MET OR EXCEEDED. IT IS THE INTENT OF THE DEVELOPER TO PROVIDE ADDITIONAL LANDSCAPING (SHRUBS AND GROUND COVERS) DESIGNED BY A LANDSCAPE ARCHITECT.
  - THE LANDSCAPE USE ON REVIEW PLAN IS NOT FOR CONSTRUCTION.

- LANDSCAPE NOTES:**
- EXISTING SITE LIAISON WHICH WORK IS TO BE PERFORMED, PROVIDE PERCOLATION TESTS, PH TESTS AND OTHER TESTS NECESSARY TO ASCERTAIN THAT ADEQUATE GROWING CONDITIONS WILL BE PROVIDED FOR THE PLANTS. IF PERCOLATION TEST OR SUBSOIL CONDITIONS INDICATE RETENTION OF WATER IN PLANTING AREAS, AS SHOWN BY SEEPAGE OR OTHER EVIDENCE INDICATING PRESENCE OF UNDERGROUND WATER, RECTIFY UNSATISFACTORY CONDITIONS BEFORE BACKFILLING. DO NOT PROCEED WITH WORK UNTIL LANDSCAPING CONDITIONS HAVE BEEN CORRECTED. COMMENCEMENT OF PLANTING WORK INDICATES SITE CONDITIONS HAVE BEEN ACCEPTED BY CONTRACTOR.
  - UNDERGROUND UTILITIES EXIST ON SITE. VERIFY LOCATIONS AND DEPTHS BEFORE COMMENCING WITH PLANTING WORK.
  - PLANT MATERIAL SHALL BE INSTALLED IN THE DORMANT SEASON UNLESS SPECIFIED OTHERWISE.
  - FOR LANDSCAPING BEDS (AREAS OF SHRUBS AND/OR GROUNDCOVERS) TO BE ESTABLISHED IN AREAS THAT HAVE NOT BEEN ALTERED OR DISTURBED BY EXCAVATION, GRADING, OR STRIPPING OPERATIONS, PREPARE SOIL BY TILLING TO A HOMOGENEOUS MIXTURE OF FINE TEXTURE, FREE OF LUMPS, CLODS OR STONES LARGER THAN 2" IN GREATEST DIMENSION. ROOTS AND OTHER EXTRANEOUS MATERIAL TO A DEPTH OF NOT LESS THAN 4"; ELIMINATING UNEVEN AREAS AND LOWSPOTS; REMOVING FOREIGN MATERIALS; SPREADING 8" MINIMUM TOPSOIL. DEFINE BED WITH METAL EDGING AT LAWNS.
  - IF QUANTITY OF STOCKPILES TOPSOIL IS INSUFFICIENT, PROVIDE ADDITIONAL TOPSOIL AS REQUIRED TO ACHIEVE A MINIMUM 8" DEPTH AT PLANTING BEDS. ENSURE THAT TOPSOIL IS STERILE, FERTILE, FRAGILE, NATURAL LOAM, TYPICAL FOR LOCALITY, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH TAKEN FROM WELL DRAINAGE SITE, FREE OF SUBSOIL, CLAY LUMPS OR STONES LARGER THAN 2" IN GREATEST DIMENSION, PLANTS, WEEDS, AND ROOTS; HAVING PH VALUE OF 5.5 MINIMUM AND 7.0 MAXIMUM, CONTAINING A PERCENT MINIMUM ORGANIC MATTER. APEND TOPSOIL WITH FERTILIZER AND/OR LIME AS REQUIRED TO PROMOTE VIGOROUS PLANT GROWTH.
  - ASSURE THAT BEDS DRAIN AWAY FROM STRUCTURES.
  - CONTRACTOR SHALL STAKE THE LOCATION OF ALL GROUND COVER BEDS, SHRUBS AND TREES FOR APPROVAL PRIOR TO INSTALLATION.
  - CONTRACTOR SHALL EDICATE WEEDS AND NON-SPECIFIED PLANT MATERIAL THREE (3) WEEKS PRIOR TO PLANT/SEED INSTALLATION.
  - PROVIDE AND INSTALL ONLY PLANTS THAT ARE FREE FROM DISEASE AND PESTS, AND THAT COMPLY WITH THE LATEST EDITION OF PUBLICATION AND/ OR "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
  - ADD PRE-EMERGENT HERBICIDE UNDERNEATH AND ON TOP OF MULCH IN LANDSCAPE BEDS.
  - TOP DRESS BEDS WITH 3" DARK HARDWOOD MULCH. PROVIDE 3" DEEP LAYER IN A FOUR FOOT DIAMETER RING AROUND TREES IN LAWN AREAS.
  - PLANT GROUND COVERS THROUGH MULCH.
  - REMOVE STRINGS AND OTHER TIES FROM PLANT MATERIAL.
  - PLANT UPPER 1/3 OF BURLAP FROM PLANT ROOT BALLS.
  - DO NOT PIERCE TREE ROOT BALLS WITH SUPPORT STAKES.
  - ADD FERTILIZER AS REQUIRED FOR OPTIMUM PLANT PERFORMANCE AND PRE-EMERGENT HERBICIDE. DO NOT MAKE SUBSTITUTIONS REGARDING PLANT SIZES OR SPECIES WITHOUT WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT.
  - PLANT MATERIAL, MULCH, AND OTHER RELATED LANDSCAPE PRODUCTS MUST BE PRE-TREATED FOR FIRE ANTS.
  - WARRANTY MATERIALS AND WORKMANSHIP FOR TWELVE MONTHS FROM THE DATE OF SUBSTANTIAL COMPLETION. ANY TREE WHICH FAILS TO SURVIVE TWELVE (12) MONTHS SHALL BE REPLACED WITHIN SIX (6) MONTHS OF LOSS.
  - CONTRACTOR SHALL PROVIDE SUPPLEMENTAL WATERING TO NEWLY INSTALLED PLANT MATERIAL AS REQUIRED DURING THE WARRANTY PERIOD.
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAKING REPAIRS NECESSITATED BY DAMAGE OCCURRING DURING THE PERFORMANCE OF THEIR WORK.
  - CONTRACTOR SHALL REMOVE STAKES AND GUY WIRES FOR TREES APPROVED BY THE LANDSCAPE ARCHITECT DURING THE WARRANTY INSPECTION.

11-D-18-UR  
 Revised: 10/23/2018

THE PENLAND STUDIO  
 LANDSCAPE ARCHITECTURE  
 5116 UNION AVENUE  
 KNOXVILLE, TENNESSEE 37902  
 TEL: 865.335.3584

11.01 LANDSCAPE PERMITTING PLAN

1829 & 1833 FOREST AVENUE  
 1829 & 1833 FOREST AVENUE  
 DISTRICT 4, WARD 10, BLOCK 10084  
 KNOXVILLE, TENNESSEE 37916

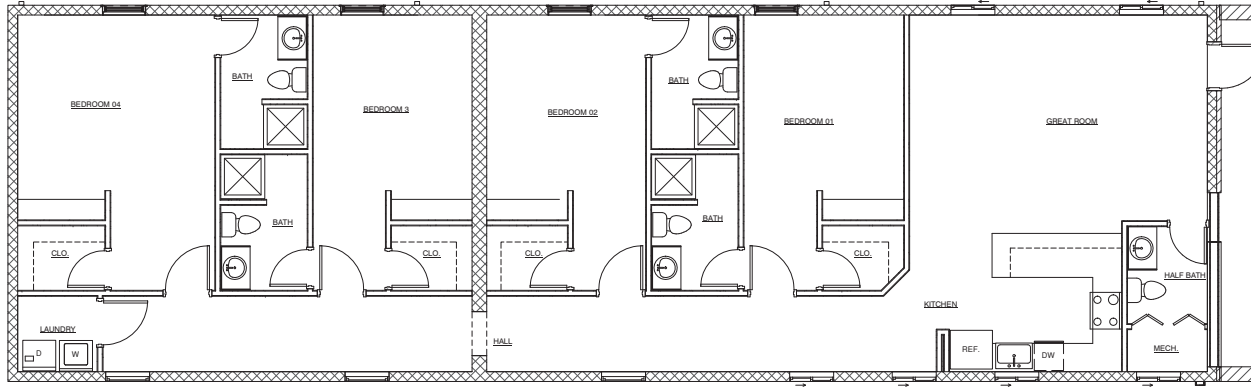
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10/23/2018

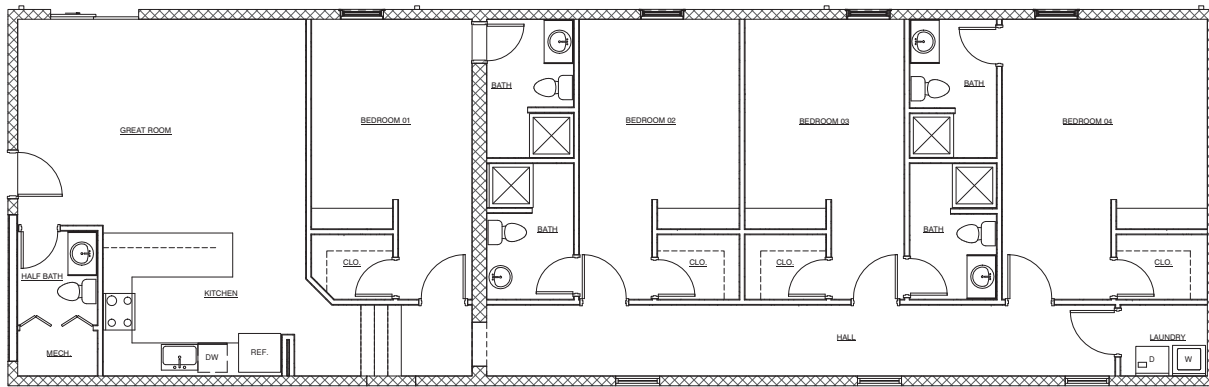
SEPTEMBER 21, 2018

THE PENLAND STUDIO  
 LANDSCAPE ARCHITECTURE

11.01



1



2

11-D-18-UR  
Revised: 10/23/2018

The Architecture Collaborative  
9041-B EXECUTIVE PARK DR., SUITE 250  
KNOXVILLE, TN 37923  
865-388-0302



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A NEW DEVELOPMENT FOR:  
**1833 FOREST AVENUE**  
KNOXVILLE, TN

THIS DRAWING IS ISSUED FOR:  
 REVIEW ONLY  
 PERMITTING ONLY  
 SCHEMATIC DESIGN  
 DESIGN DEVELOPMENT  
 CONSTRUCTION DOCUMENTS

Drawing Title:  
FLOOR PLANS

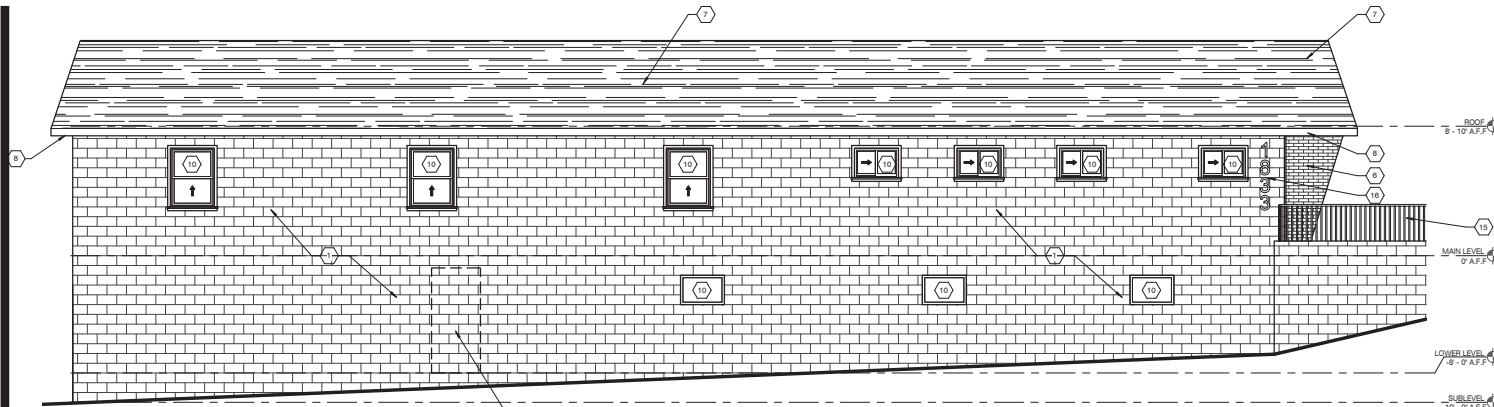
Date: 10-23-18

Comm. No.  
**18019**

Revisions:

Sheet No.  
**A1.1**



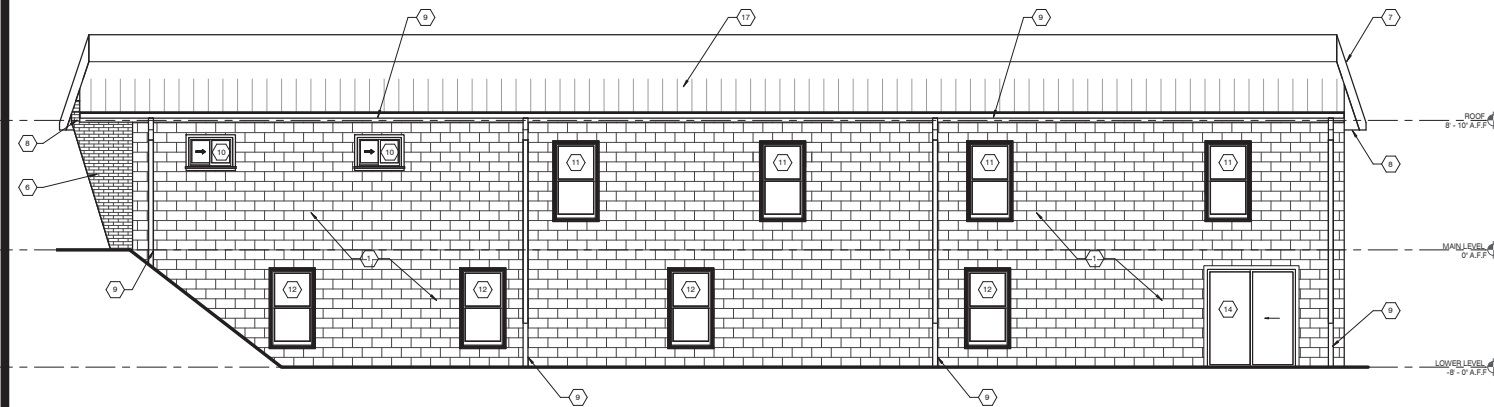


WEST ELEVATION - 19TH STREET

SCALE: 1/4" = 1'-0"

1

- ELEVATION KEYNOTES**
- EXISTING EXTERIOR CMU WALL TO BE CLEANED, PREPARED AND PAINTED.
  - DOOR AND FRAME TO BE REMOVED. OPENING IS TO BE INFILLED WITH CMU TO MATCH EXISTING. CONTRACTOR IS TO TOOTH IN AND TUCK POINT NEW CMU TO PROVIDE A SMOOTH AND EVEN TRANSITION.
  - GARAGE DOOR AND FRAME TO BE REMOVED. OPENING IS TO BE INFILLED WITH WOOD STUDS AND WOOD SIDING ON EXTERIOR. SIDING TO BE PAINTED OR STAINED.
  - GLASS STOREFRONT TO BE REMOVED. OPENING IS TO BE INFILLED WITH WOOD STUDS AND WOOD SIDING ON EXTERIOR. SIDING TO BE PAINTED OR STAINED.
  - METAL STAIR TO BE REMOVED.
  - MASONRY FACADE TO BE CLEANED AND TUCK POINTED AS REQUIRED.
  - EXISTING SHINGLE ROOF TO REMAIN. PROVIDE AND INSTALL NEW FLASHING AT ALL PENETRATIONS. VERIFY CONDITION OF ROOF AND ANY REPAIRS WITH OWNER.
  - NEW VINYL FASCIA AND VENTED SOFFIT.
  - NEW PREFINISHED ALUMINUM GUTTER AND DOWNSPOUTS.
  - EXISTING WINDOW TO REMAIN. RECALK ENTIRE PERIMETER.
  - WINDOW TO BE REMOVED AND REPLACED WITH NEW SINGLE HUNG VINYL EGRESS WINDOW. ENLARGE EXISTING OPENING AS REQUIRED TO INSTALL NEW WINDOW.
  - NEW SINGLE HUNG VINYL EGRESS WINDOW. COLOR AND STYLE BY OWNER.
  - NEW INSULATED STEEL ENTRY DOOR. COLOR AND STYLE BY OWNER.
  - NEW SLIDING GLASS DOOR.
  - NEW 42" HIGH METAL GUARD RAIL WITH POCKETS @ 4" O.C. MAX INSTALLED ON TOP OF EXISTING RETAINING WALL.
  - NEW ADDRESS SIGNAGE BY OWNER.
  - NEW STANDING SEAM METAL ROOF. PROVIDE NEW R-49 INSULATION IN ATTIC SPACE.
  - NEW SINGLE HUNG VINYL WINDOW.

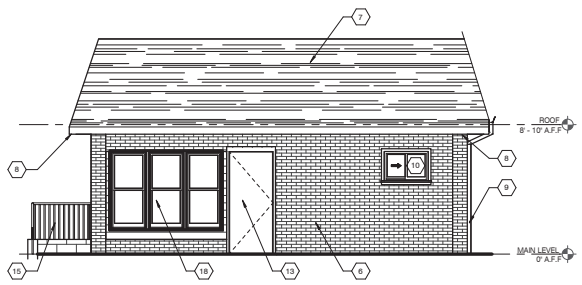


EAST ELEVATION

SCALE: 1/4" = 1'-0"

3

11-D-18-UR  
Revised: 10/29/2018

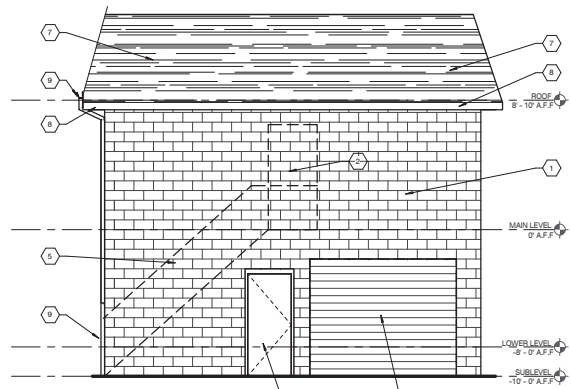


SOUTH (FRONT) ELEVATION

SCALE: 1/4" = 1'-0"

FORREST AVE.

2



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

4

**The Architecture Collaborative**  
9041-B EXECUTIVE PARKWAY, SUITE 250  
ANNEXVILLE, TN 37792  
865-388-0392

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A NEW DEVELOPMENT FOR:  
1833 FOREST AVENUE  
KNOXVILLE, TN

THIS DRAWING IS ISSUED FOR:  
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 SCHEMATIC DESIGN  
 DESIGN DEVELOPMENT  
 CONSTRUCTION DOCUMENTS  
 Drawing Title:  
 EXTERIOR ELEVATIONS  
 Date: 10-30-18  
 Comm. No. 18019  
 Revisions:  
 Sheet No. A3.1



Image capture: Apr 2018 © 2018 Google

Existing Condition - Forest Ave. elevation



Image capture: Feb 2017 © 2018 Google

Existing Condition - 19th St. & rear elevations

**Use on Review**     **Development Plan**

WR

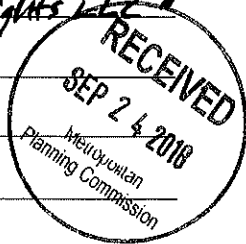
Name of Applicant: ~~1829 & 1833 FOREST AVENUE~~ JMS Investments / City Lights LLC

Date Filed: 9/24/2018 Meeting Date: 11/8/2018

Application Accepted by: Jamer Reed

Fee Amount: \_\_\_\_\_ File Number: Development Plan \_\_\_\_\_

Fee Amount: \$450.00 File Number: Use on Review 11-D-18-UR



**PROPERTY INFORMATION**

Address: 1829 & 1833 FOREST AVENUE

General Location: NORTHEAST CORNER OF FOREST AVE. AND 19TH STREET

Tract Size: .21 ACRE No. of Units: 2

Zoning District: R-2

Existing Land Use: OFFICE BUILDING

Central City Planning Sector: MU-SD MU-CC17

Sector Plan Proposed Land Use Classification: MU-SD MU-CC17

Growth Policy Plan Designation: MA

Census Tract: 69

Traffic Zone: 60

Parcel ID Number(s): 094NC028; 094NC027

Jurisdiction:  City Council 1 District  
 County Commission \_\_\_\_\_ District

**PROPERTY OWNER/OPTION HOLDER**

PLEASE PRINT  
Name: JMS INVESTMENTS / CITY LIGHTS LLC

Company: JMS INVESTMENTS / CITY LIGHTS LLC

Address: 500 PRESWICK RIDGE WAY UNIT 42

City: KNOXVILLE State: TN Zip: 37919

Telephone: 404-281-3799

Fax: \_\_\_\_\_

E-mail: sean.suddes@gmail.com

**APPLICATION CORRESPONDENCE**

All correspondence relating to this application should be sent to:

PLEASE PRINT  
Name: ALAN GRISSOM

Company: CANNON & CANNON, INC.

Address: 8550 KINGSTON PIKE

City: KNOXVILLE State: TN Zip: 37919

Telephone: 865-670-8555

Fax: \_\_\_\_\_

E-mail: agrissom@cannon-cannon.com

**APPROVAL REQUESTED**

Development Plan: Residential Non-Residential

Home Occupation (Specify Occupation)  
\_\_\_\_\_

Other (Be Specific)  
UOR  
EXISTING BUILDING RENOVATION  
TO HOUSES RENTED BY BEDROOM

**APPLICATION AUTHORIZATION**

I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request or holders of option on same, whose signatures are included on the back of this form.

Signature: [Signature]

PLEASE PRINT  
Name: ALAN GRISSOM

Company: CANNON & CANNON, INC.

Address: 8550 KINGSTON PIKE

City: KNOXVILLE State: TN Zip: 37919

Telephone: 865-670-8555

E-mail: agrissom@cannon-cannon.com



Mike Reynolds <mike.reynolds@knoxmpc.org>

---

**Forest Ave. development (11-D-18-UR)**

---

Alan Grissom <agrissom@cannon-cannon.com>  
To: Mike Reynolds <mike.reynolds@knoxmpc.org>

Thu, Sep 27, 2018 at 10:30 AM

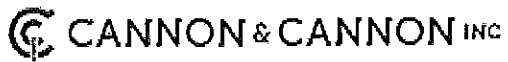
Mike,

I apologize for the mistake. The applicant will be JMS Investments/City Lights LLC.

Thank you

Regards

**ALAN GRISSOM, P.E.**  
PROJECT MANAGER



MAIN 865.670.8555  
DIRECT 865.770.4009  
EMAIL [agrissom@cannon-cannon.com](mailto:agrissom@cannon-cannon.com)

Cannon & Cannon, Inc.  
8550 Kingston Pike  
Knoxville, Tennessee 37919  
[www.cannon-cannon.com](http://www.cannon-cannon.com)

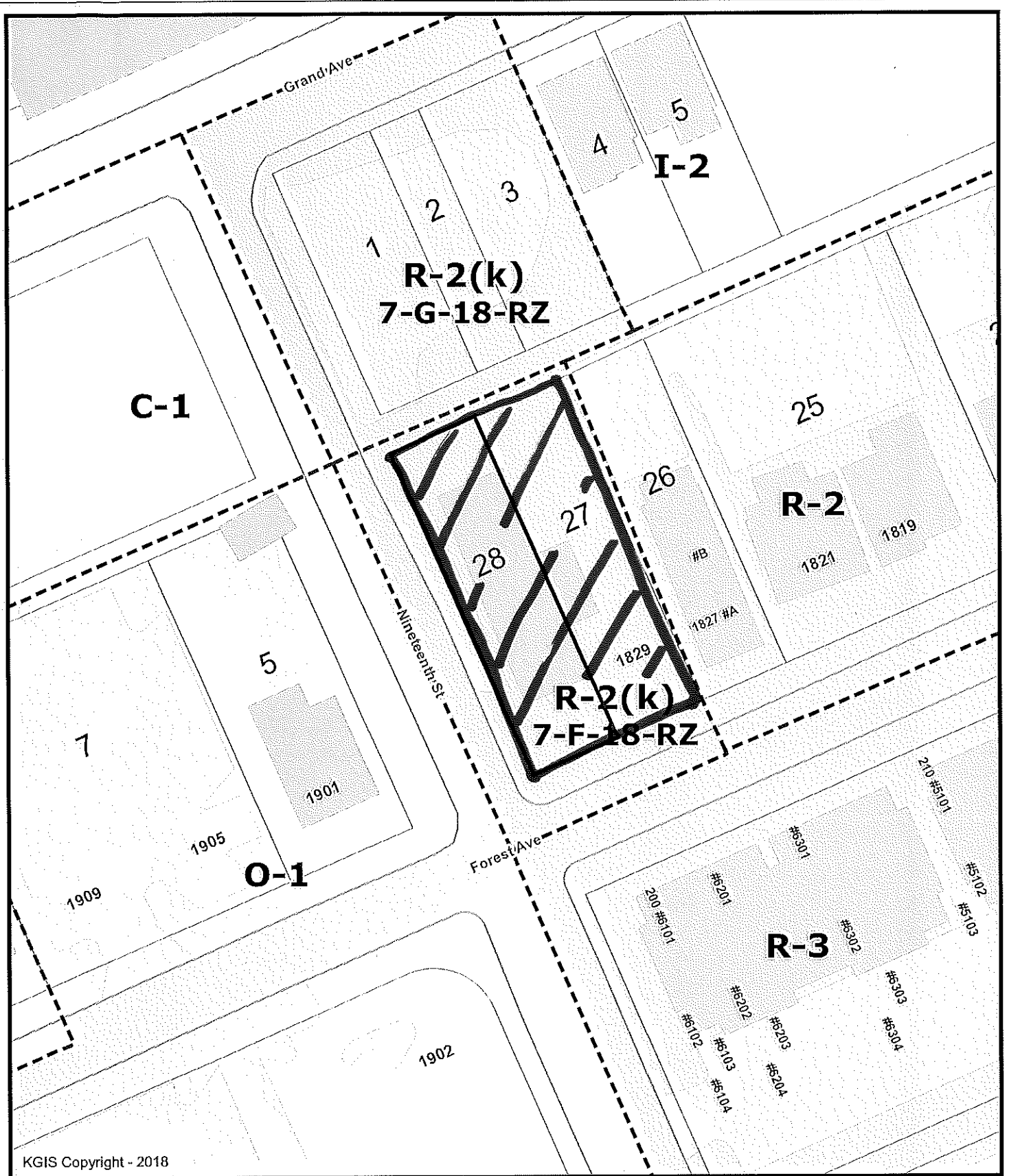
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**From:** Mike Reynolds [mailto:mike.reynolds@knoxmpc.org]  
**Sent:** Thursday, September 27, 2018 10:29 AM  
**To:** Alan Grissom <agrissom@cannon-cannon.com>  
**Subject:** Forest Ave. development (11-D-18-UR)

[Quoted text hidden]





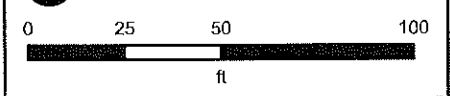
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### Letter Portrait

Knoxville - Knox County - KUB Geographic Information System



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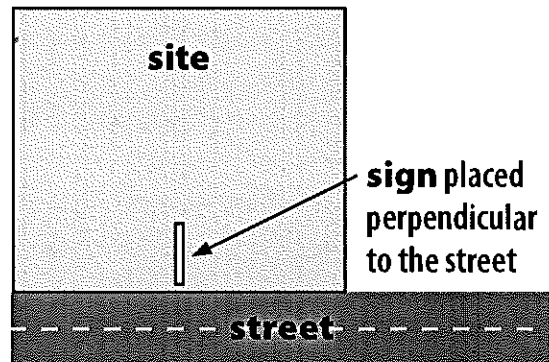
## REQUIRED SIGN POSTING AGREEMENT

For all rezoning, plan amendment, concept plan, use on review, right-of-way closure, and street name change applications, a sign must be posted on the subject property, consistent with the adopted MPC Administrative Rules and Procedures.

At the time of application, MPC staff will provide a sign(s) to post on the property as part of the application process. If the sign(s) go missing for any reason and need to be replaced, then the applicant will be responsible for picking up a new sign(s) from the MPC offices. The applicant will be charged a fee of \$10 for each replacement sign.

### LOCATION AND VISIBILITY

The sign must be posted in a location that is clearly visible from vehicles traveling in either direction on the nearest adjacent/frontage street. If the property has more than one street frontage, then the sign should be placed along the street that carries more traffic. MPC staff may recommend a preferred location for the sign to be posted at the time of application.



### TIMING

The sign(s) must be posted 15 days before the scheduled MPC public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted 15 days before the next MPC meeting.

---

I hereby agree to post and remove the sign(s) provided on the subject property consistent with the above guidelines and between the dates of:

Oct 24, 2018

(15 days before the MPC meeting)

and

Nov. 9, 2018

(the day after the MPC meeting)

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Phone: \_\_\_\_\_

865-670-8555

Email: \_\_\_\_\_

agrissom@cannon-cannon.com

Date: \_\_\_\_\_

9/24/18

MPC File Number: \_\_\_\_\_

11-D-18-WR