



# USE ON REVIEW REPORT

▶ **FILE #:** 4-F-19-UR

**AGENDA ITEM #:** 48

**AGENDA DATE:** 4/11/2019

▶ **APPLICANT:** WILL ROBINSON

OWNER(S): Jay Moore / OPIDAN INVESTMENT COMPANY

TAX ID NUMBER: 132 02817

[View map on KGIS](#)

JURISDICTION: City Council District 2

STREET ADDRESS: 9063 Kingston Pike

▶ **LOCATION:** North side of Kingston Pike, East side of North Cedar Bluff Road, South of North Peters Road

▶ **APPX. SIZE OF TRACT:** 2.85 acres

SECTOR PLAN: Southwest County

GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)

ACCESSIBILITY: The primary access to the site will be via the internal access driveway system serving the Kingston Corner Subdivision with access out to N. Cedar Bluff Rd. and Kingston Pike, both of which are 6 lane median divided arterial streets at this location.

UTILITIES: Water Source: First Knox Utility District

Sewer Source: First Knox Utility District

WATERSHED: Ten Mile Creek

▶ **ZONING:** PC-1 (Retail and Office Park)

▶ **EXISTING LAND USE:** Vacant

▶ **PROPOSED USE:** Retail business and restaurant with drive-thru.

HISTORY OF ZONING: Property was rezoned to PC-1 (Retail and Office Park) on November 17, 2009.

SURROUNDING LAND USE AND ZONING: North: Entertainment center - PC-1 (Retail and Office Park)

South: Restaurants - PC-1 (Retail and Office Park)

East: Vacant land and shopping center - PC-1 (Retail and Office Park) and C-3 (General Commercial)

West: Retail center - PC-1 (Retail and Office Park)

NEIGHBORHOOD CONTEXT: This site is located in an area that is dominated by shopping centers and general commercial uses. The zoning in the area is O-1, C-3, C-6, SC, SC-3, PC-1 and PC-2 commercial zones.

## STAFF RECOMMENDATION:

▶ **APPROVE** the request for the retail business with approximately 15,000 square feet and restaurant with drive-thru with approximately 1,750 square feet as shown on the development plan, subject to 10 conditions.

1. Connection to sanitary sewer and meeting any other relevant requirements of the Knox County Health Department.
2. Installation of all sidewalks as identified on the development plan. Sidewalks shall meet all applicable requirements of the Americans with Disabilities Act ( ADA) and the Knoxville Department of Engineering.
3. Meeting all applicable requirements of the Knoxville Department of Engineering.
4. Provide a landscape terminal island at the eastern end of the row of parking along the northern side of the Duluth Trading building.
5. Installation of the landscaping as identified on the landscape plan within six months of the issuance of an occupancy permit for this project.
6. Meeting all applicable requirements of the Knoxville Urban Forester.
7. Relocation of the existing fire hydrant that is at the eastern end of the proposed drive thru lane for the restaurant.
8. Any proposed subdivision of this lot will require approval from the Planning Commission or Planning staff as required by the Knoxville-Knox County Subdivision Regulations. Each lot will be required to meet the parking standards of the Knoxville Zoning Ordinance.
9. Approval of the business sign panels on the two development directory signs and that the attached building signs be modified in order to come into compliance with the sign regulations.
10. Meeting all applicable requirements of the Knoxville Zoning Ordinance.

With the conditions noted, this plan meets the requirements for approval of a use on review in the PC-1 District.

**COMMENTS:**

The applicant is proposing to develop this 2.85 acre lot within the Kingston Corner Commercial Subdivision with a 15,000 square foot retail building for Duluth Trading Company and a 1,750 square foot restaurant with drive-thru. The lot which is located on the south side of the Main Event entertainment center is served by the internal driveway system for the commercial subdivision with access out to both Kingston Pike and N. Cedar Bluff Rd. The proposed development includes a total of 103 parking spaces which is below the maximum limit of 111 parking spaces allowed for the proposed uses. Stormwater management for this site will be tied into the overall stormwater system for the subdivision.

Proposed signs for Duluth Trading Co. include the business sign panels on the two development directory signs (detached signs) located on N. Cedar Bluff Road and Kingston Pike at the two signalized intersections providing access to the Kingston Corners Commercial Subdivision, and the attached building signs. The proposed building signs at approximately 400 square feet, exceed the maximum of 203 square feet allowed for the building based on the proposed building elevations.

Knoxville Zoning Ordinance Article VIII, Section 11.6.e.5. (see attachment) allows the Planning Commission to approve additional signs in the PC-1 zoning district under certain conditions. It is staff's position that this provision applies to detached signs which are restricted in number and not attached building signs which are not restricted in number, only in sign area. When the master sign plan was approved for Kingston Corner Commercial Subdivision, two development directory signs (detached signs) were approved that are located on N. Cedar Bluff Road and Kingston Pike at the two signalized intersections providing access to the development. These two signs which will include panels for Duluth Trading Company were approved to allow identification on the two main streets of businesses that did not have frontage on those streets. It is Staff's position that these signs meet the intent of Section 11.6.e.5.

Staff is recommending approval of the business sign panels on the two development directory signs and that the attached building signs be modified in order to come into compliance with the sign regulations. Because the Kingston Corner development was approved with a Master Sign Plan, pursuant to Zoning Ordinance Article VIII, Section 9.3, variances from the sign regulations are not permitted.

**EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTIES AND THE COMMUNITY AS A WHOLE**

1. All public utilities are available to serve the site.
2. The traffic impact study that had been prepared for the Kingston Corner Commercial Subdivision required improvements to address the traffic impacts of the entire development.
3. The proposed commercial uses are compatible with the scale and intensity of the surrounding development and zoning pattern.

**CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING**

## ORDINANCE

1. With the recommended conditions, the proposed commercial development meets all requirements of the PC-1 zoning as well as the general criteria for approval of a use on review.
2. The proposed commercial development is consistent with the following general standards for uses permitted on review: The proposal is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas since the development is located off of two arterial streets. No surrounding land uses will pose a hazard or create an unsuitable environment for the proposed use.

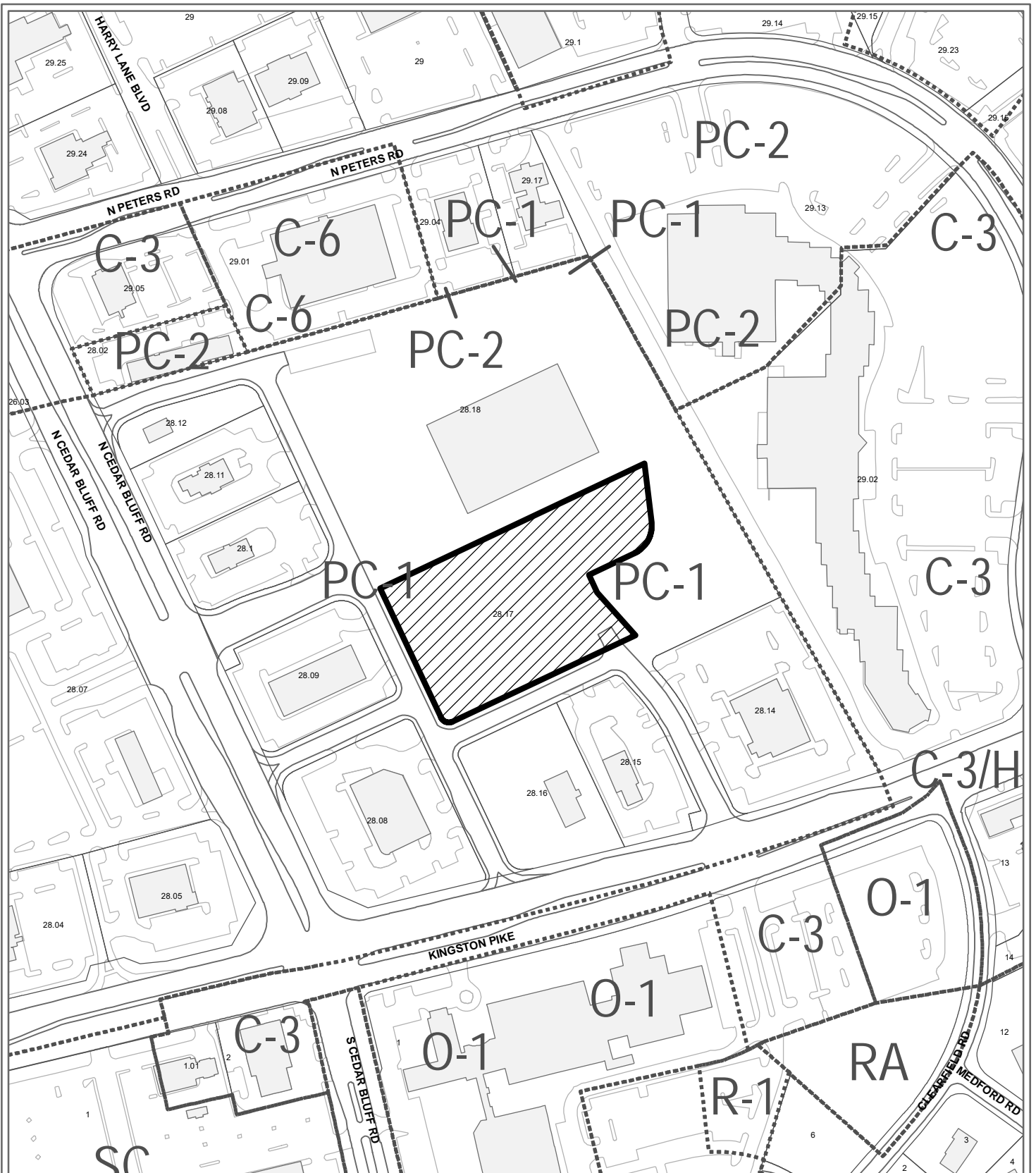
## CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

1. The Knoxville One Year Plan and the Southwest County Sector Plan propose commercial use for this site.
2. The site is located within the Urban Growth Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

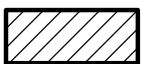
**ESTIMATED TRAFFIC IMPACT:** A traffic impact study was prepared by the applicant. The findings of that study were used in formulating the recommendations of this staff report.

**ESTIMATED STUDENT YIELD:** Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal a Planning Commission decision in the City.



**4-F-19-UR  
USE ON REVIEW**

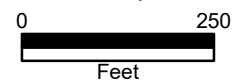


Retail business in PC-1 (Retail and Office Park)

Petitioner: Robinson, Will

Map No: 132

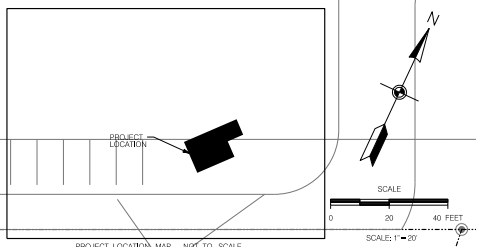
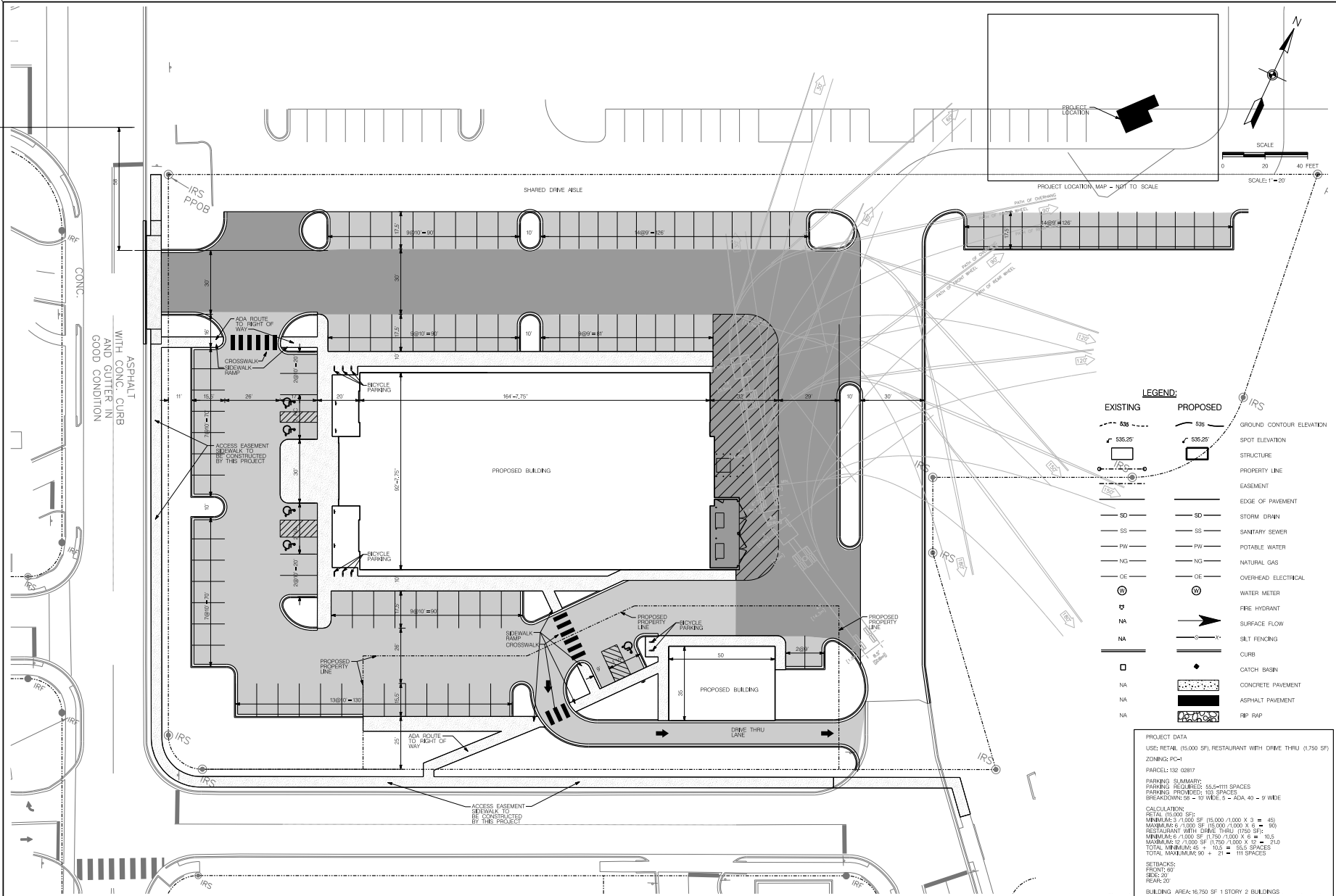
Jurisdiction: City



Original Print Date: 3/18/2019

Revised:

Metropolitan Planning Commission \* City / County Building \* Knoxville, TN 37902



**LEGEND:**

EXISTING	PROPOSED	DESCRIPTION
---	---	GROUND CONTOUR ELEVATION
---	---	SPOT ELEVATION
---	---	STRUCTURE
---	---	PROPERTY LINE
---	---	EASEMENT
---	---	EDGE OF PAVEMENT
SD	SD	STORM DRAIN
SS	SS	SANITARY SEWER
PW	PW	POTABLE WATER
NG	NG	NATURAL GAS
OE	OE	OVERHEAD ELECTRICAL
⊙	⊙	WATER METER
⊙	⊙	FIRE HYDRANT
→	→	SURFACE FLOW
NA	→	SILT FENCING
NA	→	CURB
NA	→	CATCH BASIN
NA	→	CONCRETE PAVEMENT
NA	→	ASPHALT PAVEMENT
NA	→	RP RAP

**PROJECT DATA**  
 USE: RETAIL (85,000 SF), RESTAURANT WITH DRIVE THRU (1,750 SF)  
 ZONING: PC-1  
 PARCEL: 132 02817  
**PARKING SUMMARY:**  
 PARKING REQUIRED: 45.5-111 SPACES  
 PARKING PROVIDED: 103 SPACES  
 BREAKDOWN: 9 = 10' WIDE, 2 = ADA, 40 = 9' WIDE

**CALCULATION:**  
 RETAIL 10,000 SF  
 MINIMUM 2' / 1,000 SF (10,000 / 1,000 X 3 = 45)  
 MAXIMUM 4' / 1,000 SF (10,000 / 1,000 X 4 = 90)  
 RESTAURANT WITH DRIVE THRU 1,750 SF  
 MINIMUM 6' / 1,000 SF (1,750 / 1,000 X 6 = 10.5)  
 MAXIMUM 12' / 1,000 SF (1,750 / 1,000 X 12 = 21)  
 TOTAL MINIMUM 45 + 10.5 = 55.5 SPACES  
 TOTAL MAXIMUM 90 + 21 = 111 SPACES

**SETBACKS:**  
 FRONT: 60'  
 SIDE: 20'  
 REAR: 20'

**BUILDING AREA:** 16,750 SF 1 STORY 2 BUILDINGS  
**PARCEL AREA:** 2,845 AC (2.31 PRIMARY, 0.34 OUTLOT)  
**IMPERVIOUS AREA:** 133 AC

**FLOOR AREA RATIO:** 14 %  
**IMPERVIOUS AREA RATIO:** 61 %  
**GRASS AREA COVERAGE:** 14 %

4-F-19-UR  
 Revised: 3/26/2019

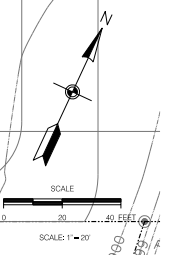
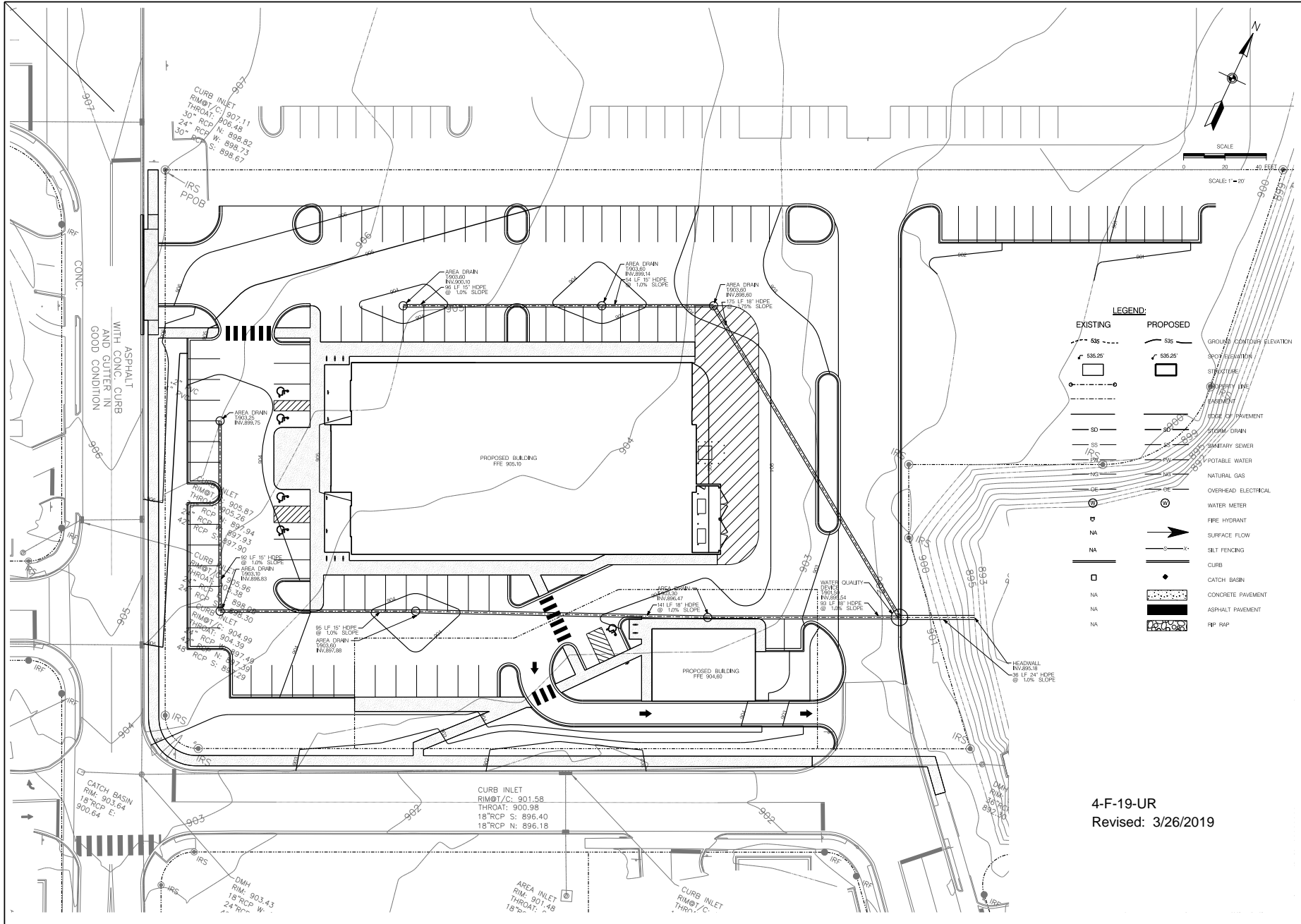
**WILL ROBINSON & ASSOCIATES**  
 1248 N. Sheepshead Ln  
 Caryville, TN 37714  
 (865) 386-4200  
 wrassociates@bellsouth.net

**Duluth Trading Company**  
 A Site Plan for:  
 Kingston Corner  
 Knoxville, Tennessee  
 4-F-19-UR

REVISIONS:  
 03.20.2019 MPC COMMENTS

DRAWN: WNR  
 CHECKED: WNR  
 DATE: 02-18-2019  
 FILE NAME:  
 PROJECT NO:

**MPC01**  
 SITE LAYOUT PLAN  
 DRAWING



**LEGEND:**

EXISTING	PROPOSED	DESCRIPTION
---	---	GROUND CONTOUR ELEVATION
---	---	SPOT ELEVATION
---	---	STRUCTURE
---	---	STORM PIPE
---	---	STORM DRAIN
---	---	EDGE OF PAVEMENT
---	---	STORM DRAIN
---	---	STORM DRAIN
---	---	POTABLE WATER
---	---	NATURAL GAS
---	---	OVERHEAD ELECTRICAL
---	---	WATER METER
---	---	PIPE HYDRANT
---	---	SURFACE FLOW
---	---	SILT FENCING
---	---	CURB
---	---	CATCH BASIN
---	---	CONCRETE PAVEMENT
---	---	ASPHALT PAVEMENT
---	---	PIP RCP

**WILL ROBINSON & ASSOCIATES**  
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**Duluth Trading Company**  
 A Site Plan for:  
 Kingston Corner  
 Knoxville, Tennessee  
 4-F-19-UR

REVISIONS:  
 03.20.2019 MPC COMMENTS

DRAWN: WNR  
 CHECKED: WNR  
 DATE: 02-18-2019  
 FILE NAME:  
 PROJECT NO:

4-F-19-UR  
 Revised: 3/26/2019

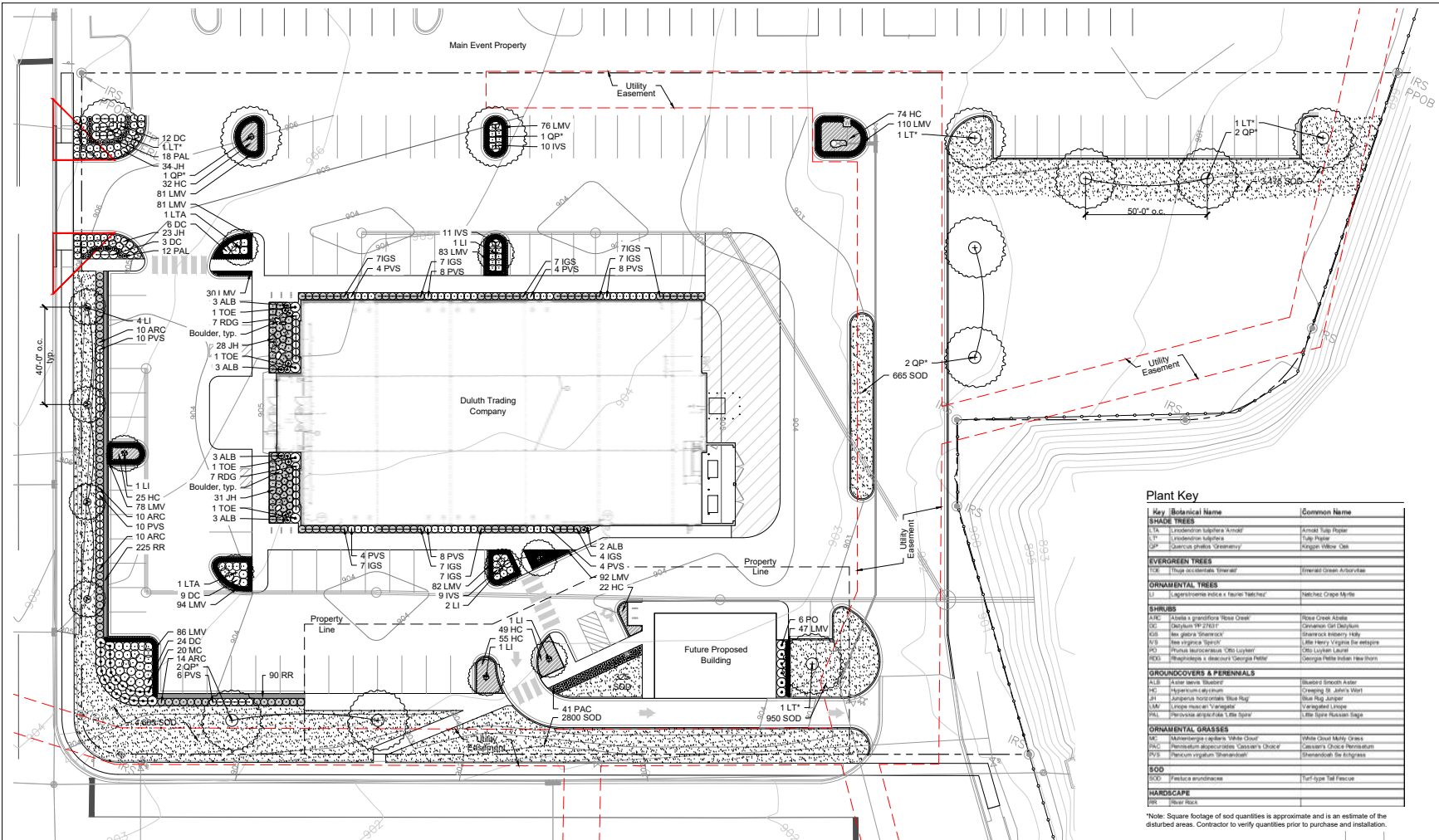
**MPC02**  
 SITE GRADING PLAN  
 DRAWING

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Any discrepancies, inconsistencies or ambiguities found between the drawings, specifications, and site conditions shall be immediately reported to the Landscape Architect in writing. The Landscape Architect will promptly correct the same in writing. Work done by the Contractor after discovery of such discrepancies, inconsistencies, or ambiguities shall be done at the Contractor's risk.

# Duluth Trading Company

Kingston Corner  
Knoxville, TN



### Plant Key

Key	Botanical Name	Common Name
<b>SHRUB TREES</b>		
LTA	Liriodendron tulipifera Annual	Amorh Tully Poplar
LI	Liriodendron tulipifera	Tulip Poplar
QP	Quercus prinus (Sternovariety)	Scuppernon Yellow Oak
<b>EVERGREEN TREES</b>		
TCR	Taxus canadensis (Sternovariety)	Emerald Green Arborvitae
<b>ORNAMENTAL TREES</b>		
LI	Lagerströmia indica x Faurea Yvelinensis	Flamingo Tree
<b>SHRUBS</b>		
ARC	Arctostaphylos uva-ursi	Red Dogwood
DC	Desmodium illinoense	Blackberry
IGS	Ignatia	Shrimp Plant
JH	Jasminum officinale	Star Jasmine
LI	Lonicera japonica	Wintergreen
LMV	Lonicera maackii	Maackia
MC	Monarda mollis	Wild Bergamot
<b>GROUNDCOVERS &amp; PERENNIALS</b>		
ALB	Alchemilla mollis	Lady's Mantle
ARC	Arctostaphylos uva-ursi	Red Dogwood
JH	Jasminum officinale	Star Jasmine
LMV	Lonicera maackii	Maackia
PAL	Panicum arifolium	Little Bluestem
<b>ORNAMENTAL GRASSES</b>		
MC	Monarda mollis	Wild Bergamot
QP	Quercus prinus	Scuppernon Yellow Oak
PVS	Panicum virgatum	Shenandoah Bluegrass
<b>HARDSCAPE</b>		
SOD	Festuca arundinacea	Turf-type Tall Fescue

\*Note: Square footage of sod quantities is approximate and is an estimate of the disturbed area. Contractor to verify quantities prior to purchase and installation.

### PC-1 Landscape Requirements per City of Knoxville

**Parking Area:**  
Five hundred (500) square feet of landscaping for every twenty thousand (20,000) square feet or fraction thereof paved parking area.

Total Square Footage: 16,110 SF  
Landscape Required: 16,110 / 20,000 = 500 SF  
Landscape Provided: Requirement met, see plans

One (1) tree that will obtain a minimum height of forty (40) feet at maturity for each five thousand (5,000) square feet of parking area.

Total Parking Square Footage: 16,110 SF  
Trees Required: 16,110 / 5,000 = 3.2 (4 trees)  
Trees Provided: 24 trees  
Trees are 40' at maturity provided: 12 (noted with an \*)

**Yard Space:**  
One (1) tree for each five thousand (5,000) square feet of yard of open space.

Total Yard Space: 23,672 SF  
Trees Required: 23,672 / 5,000 = 4.7 (5 trees)  
Trees Provided: 24

### Parking Lot Landscape Requirement per City of Knoxville

**Between Parking Lots and Mixed Use or Non-Residential Zones:**  
Perimeter screening areas no less than five (5.0) feet wide, measured from the edge of the parking lot to the property line shall be provided between the parking lot and any property zoned for mixed use or non-residential purposes, including parking lots on adjacent property. Such perimeter screening areas shall be planted so as to be continuous when plants reach maturity. A minimum of fifty (50) percent of the shrubs shall be evergreen.

Requirement met, see plan.

### Tree preservation per City of Knoxville

**Site:**  
Where trees cannot be retained pursuant to this article, or do not exist on the site, they shall be provided, within twelve (12) months of construction completion, at the rate of eight (8) trees per acre, with at least one-half of the required number being species capable of attaining a height of fifty (50) feet or more at maturity. Such trees shall have a minimum trunk diameter of two (2) inches at six (6) inches above ground at planting, unless of an ornamental variety, which shall have a minimum trunk diameter of one and one-fourth (1 1/4) inches at six (6) inches above ground at planting.

Total property acreage: 2.85 acres  
Required Trees: 2.85 x 8 = 22.8 (23 trees)  
Trees Provided: 24  
Trees are 50' at maturity provided: 12 (noted with an \*)

4-F-19-UR  
Revised: 3/26/2019



Date: 03.26.19  
Job Number: 19-013  
Drawn By: LGG CK'd By: SHP

Rev	Description	Date

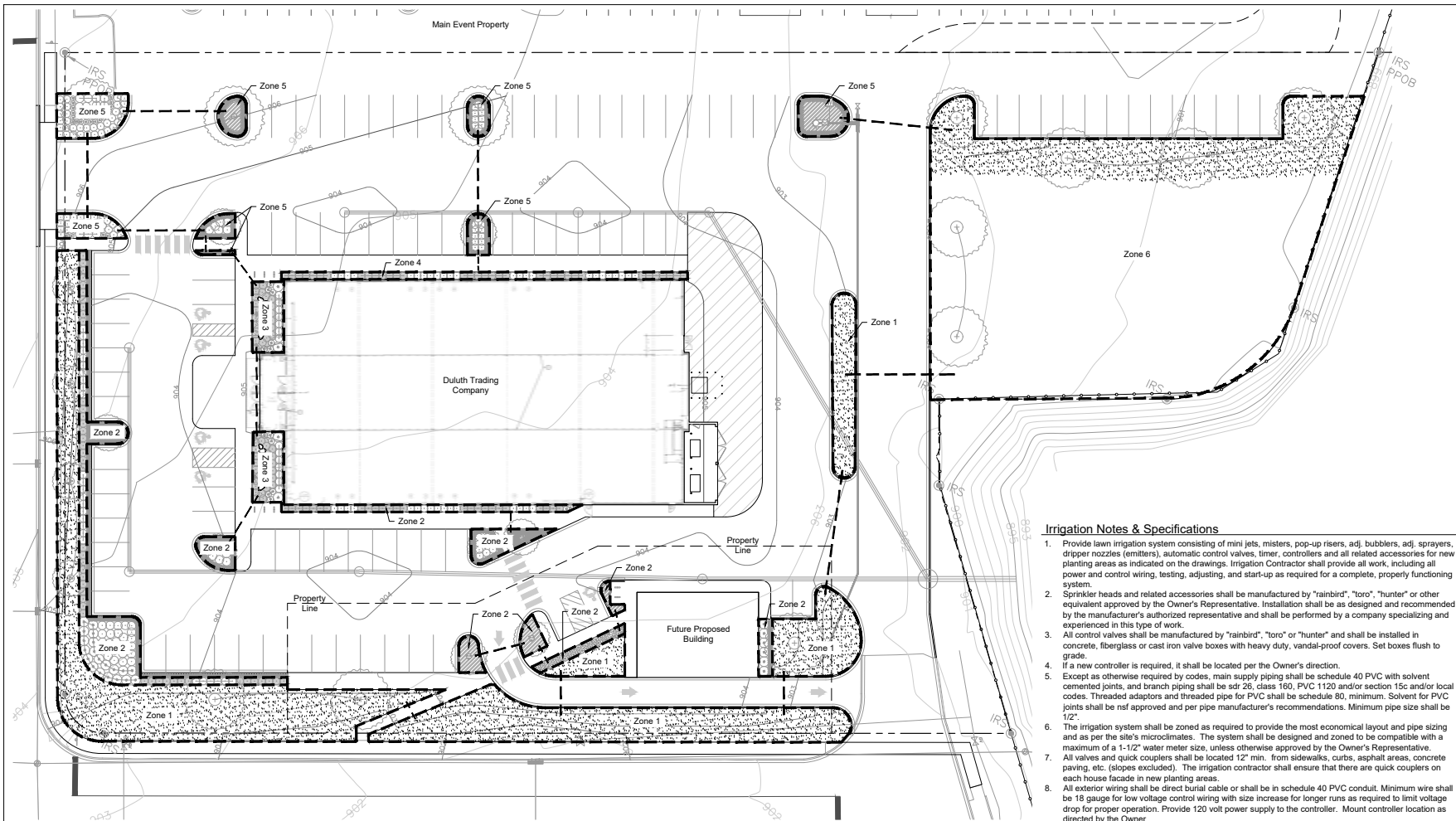
Sheet Name:

Planting Plan

Sheet Number:

L100





**Irrigation Sleeving Notes**

1. Sleeve locations are approximate and should be adjusted in the field as necessary.
2. Pipe sleeves shall be required under all new concrete or paving areas.
3. Stub up sleeve pipe uniformly at a minimum of twelve (12) inches above the ground surface. Cap with fluorescent orange paint for easy identification.

**Legend**

	Irrigation zone boundary
	2" PVC Pipe
	4" PVC Pipe
Zone 1	Lawn
Zone 2	Southern facing plant beds
Zone 3	Western facing storefront plant beds
Zone 4	Northern facing plant beds
Zone 5	Parking lot islands
Zone 6	Large open lawn

**Totals**

Schedule 40 19

**Irrigation Notes & Specifications**

1. Provide lawn irrigation system consisting of mini jets, misters, pop-up risers, adj. bubblers, adj. sprayers, dripper nozzles (emitters), automatic control valves, timer, controllers and all related accessories for new planting areas as indicated on the drawings. Irrigation Contractor shall provide all work, including all power and control wiring, testing, adjusting, and start-up as required for a complete, properly functioning system.
2. Sprinkler heads and related accessories shall be manufactured by "rainbird", "toro", "hunter" or other equivalent approved by the Owner's Representative. Installation shall be as designed and recommended by the manufacturer's authorized representative and shall be performed by a company specializing and experienced in this type of work.
3. All control valves shall be manufactured by "rainbird", "toro" or "hunter" and shall be installed in concrete, fiberglass or cast iron valve boxes with heavy duty, vandal-proof covers. Set boxes flush to grade.
4. If a new controller is required, it shall be located per the Owner's direction.
5. Except as otherwise required by codes, main supply piping shall be schedule 40 PVC with solvent cemented joints, and branch piping shall be sch 20, class 160, PVC 1120 and/or section 15c and/or local codes. Threaded adaptors and threaded pipe for PVC shall be schedule 80, minimum. Solvent for PVC joints shall be NSF approved and per pipe manufacturer's recommendations. Minimum pipe size shall be 1/2".
6. The irrigation system shall be zoned as required to provide the most economical layout and pipe sizing and as per the site's microclimates. The system shall be designed and zoned to be compatible with a maximum of a 1-1/2" water meter size, unless otherwise approved by the Owner's Representative.
7. All valves and quick couplers shall be located 12" min. from sidewalks, curbs, asphalt areas, concrete paving, etc. (slopes excluded). The irrigation contractor shall ensure that there are quick couplers on each house facade in new planting areas.
8. All exterior wiring shall be direct burial cable or shall be in schedule 40 PVC conduit. Minimum wire shall be 18 gauge for low voltage control wiring with size increase for longer runs as required to limit voltage drop for proper operation. Provide 120 volt power supply to the controller. Mount controller location as directed by the Owner.
9. Sleeves shall be installed by the Irrigation Contractor. Irrigation Contractor shall coordinate locations and size of sleeves with General Contractor prior to installation of walks, walls, curbs, drives, etc. Backfill shall be clean materials free of rocks larger than 2" and shall be compacted to prevent noticeable settlement and irregularities.
10. Irrigation Contractor shall keep the premises clean and free of excess equipment, materials and rubbish incidental to the job during the installation. Upon completion of installation and before final acceptance, the Irrigation Contractor shall remove all material, equipment and debris resulting from this work. All paved areas shall be broom cleaned and the site left in a neat and acceptable condition as approved by the Owner's Representative.
11. Irrigation system shall be cleaned during installation by flushing all components before final installation to ensure that no dirt/debris has entered the system. After flushing all piping shall be pressure tested until proven leak-free. Flushing and pressure testing shall be coordinated with installation of plantings to prevent damage to both plants and piping system.
12. After all sprinkler heads and plantings are installed, adjust system for optimum coverage and coordination with plantings. Adjust all valves, alignments, and coverage for optimum performance for final approval by the Owner's Representative.
13. Irrigation system shall be winterized by professionals familiar with similar systems.
14. Irrigation system filter(s) shall be periodically checked and flushed clean to remove debris. At initial system start-up filter shall be checked every day for the first (3) three days.
15. Irrigation Contractor shall recommend and set the program on the controller, provide thorough, detailed operating instructions for this specific system, and give verbal operating instructions to the Owner's operating personnel.
16. Drip irrigation shall be used within 5' of all windows and no overspray from irrigation heads shall hit the windows.



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**Duluth Trading Company**  
Kingston Corner  
Knoxville, TN



Date: 03.26.19  
Job Number: 19-013  
Drawn By: LGG Ck'd By: SHP

Rev	Description	Date

Sheet Name:

**Irrigation  
Zone Plan**

Sheet Number:

**L101**



### Planting Notes

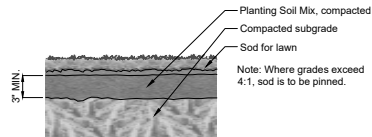
- Contractor shall verify all existing conditions in the field and report any discrepancies to the Owner's Representative prior to starting work.
- No planting shall occur until soil sample results have been received from all planting areas and soils are properly amended based on the results of the soil tests. See this sheet for soil sampling instructions.
- No planting shall occur until percolation testing has been completed and soils have been properly amended to drain. See this sheet for percolation testing procedures.
- All new plant material shall conform to the guidelines established for nursery stock published by the American Association of Nurserymen, Inc. In addition, all new plant material for the project shall be of the highest specimen quality. Plant material delivered to the site that does not meet the requirements stated herein may be rejected by the Owner's Representative.
- Do not assume trunk flare will be exposed at the nursery. Contractor to expose trunk flares to check for root girdling. Pull mulch away from the trunk flare of trees and from the base of all shrubs.
- No plant material shall be planted before acceptance of rough grading. The finished grade shall not cover any part of the tree trunk flare. See tree planting detail.
- All new plants shall be balled and burlapped or container grown unless otherwise noted on the plant list.
- The Contractor shall locate and verify all existing utility lines prior to planting and report any conflicts to the Owner's Representative.
- Stake location of all proposed trees and planting areas for approval by the Owner's Representative prior to the commencement of planting.
- Planting plans are not layout plans. Plants may need to be shifted in the field, based on the existing conditions. Coordinate with the Owner's Representative prior to any changes.
- All lawn areas disturbed by construction operations inside and outside the limit of work shall be prepared and sodded as noted herein.
- Prepare all shrub beds with planting soil to a minimum depth matching the depth of shrub root balls, prepare perennial beds with a minimum of 12" planting soil; prepare groundcover beds with a minimum of 6" planting soil.
- All plant beds are to receive one and a half inches (1.5") of double shredded hardwood mulch.
- Thoroughly water trees and shrubs during the first 24 hours after planting. Wet the soil to a depth of 18-24". When runoff starts, stop watering, let the water soak in and repeat until the proper depth is wet.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit, and culture only as approved by the Owner's Representative.
- All areas to be sodded shall receive soil preparation as noted herein prior to sodding, unless otherwise noted on plan.
- Contractor's base bid to include all materials, labor, permits, equipment, tools, insurance, etc. to perform the work as described in the contract documents.
- Contractor to complete work within schedule established by Owner.
- Contractor to provide one year warranty for all material from date of substantial completion. Contractor to provide interim maintenance (watering, pruning, fertilizing, guying, mowing, trimming, adequate drainage of ponding areas, edging, weeding, mulching, and general landscape clean-up) until substantial completion notice is provided by the Owner's Representative. Application of insecticides/herbicides must be approved by Owner's Representative prior to use on site.
- Plant beds to join walks or walks at an angle between 90° & 60°.
- Shade trees to be planted a minimum of 5' from sidewalks, water line, sewer line or manholes. Evergreen and ornamental trees to be planted a minimum of 3' from sidewalks, water line, sewer line or manholes.
- Mulch rings around shade trees to be a minimum diameter of 5' and a minimum of 3' around ornamental and evergreen trees. If evergreen trees are specified as full to ground, mulch ring to extend a minimum of 12" beyond the edge of plant.
- Square footage of sod quantities is approximate and is an estimate of the disturbed areas. Contractor to verify quantities prior to purchase and installation.
- See civil drawings for further information regarding:
  - Locations of existing and proposed structures, paving, driveways, cut and fill areas, and retention areas.
  - Limits of construction.
  - Locations of existing and proposed utilities or easements.
- See electrical drawings for parking lot light locations. Trees may need to be adjusted based on location of light poles.

### Percolation Test Notes

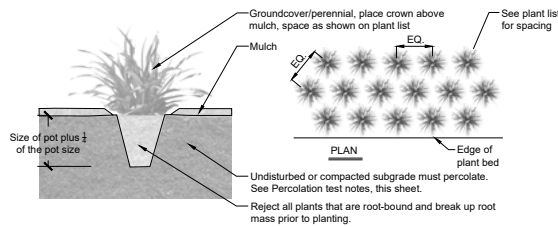
- Dig a hole 18-24" deep & a minimum of 6" wide.
- Fill hole with water to the top and let drain for several hours. Ideally let the hole pre-wet over night and test the following day.
- Refill hole to within a couple inches of the top.
- To aid in measurement, place a stick across the top of the hole and use a second stick to mark periodic drops in water level; mark side of hole; or mark soil on side of hole with nail or stick.
- Measure drop in water level after 30 minutes and one hour. If possible measure drop in water level the next day.
- Determine drop in water level per hour. If water level in hole drops more than one inch per hour, it is well drained and suitable for all plant species.

### Instructions For Existing Soil Sampling:

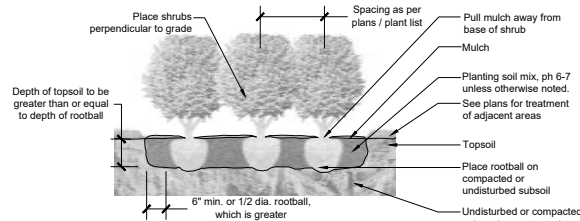
- Using a spade, dig a v-shape hole to a 6" depth; then cut a thin slice of soil from one side of the hole. Place the slice in a plastic bucket, do not use a metal bucket. Mix slices together and fill a plastic sample bag with three (3) cups of dirt. The sample bags can be ziploc bags that are labeled with the project name and sample number.
- A well mixed composite from 10 to 20 random locations should be subsampled to make the three (3) cup sample.
- Mark the plan to show soil sample locations.
- Send samples to Waypoint Analytical Labs, Inc., 2790 Whitten Road, Memphis, Tennessee 38133, 800-264-4522, www.a-labs.com.
- Results to be copied to the Owner.



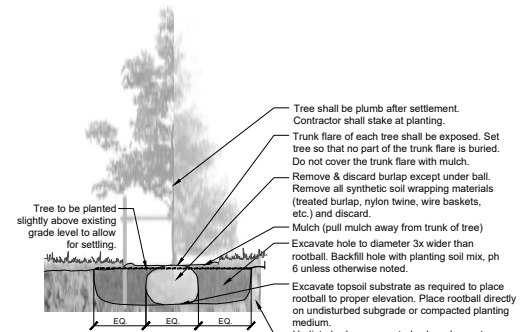
4 Sod Detail  
Scale: NTS



3 Groundcover/Perennial Planting Detail  
Scale: NTS



2 Shrub Planting Detail  
Scale: NTS



1 Tree Planting Detail  
Scale: NTS

### Plant Schedule

Key	Quantity	Botanical Name	Common Name	Size	Notes
<b>SHADE TREES</b>					
LTA	2	Liriodendron tulipifera 'Arnold'	Arnold Tulip Poplar	2" cal.	6' CT - Central leader, full, well branched
LTP	4	Liriodendron tulipifera	Tulip Poplar	2" cal.	6' CT - Central leader, full, well branched
QOP	8	Quercus phellos 'Greenery'	Kingspin Willow Oak	2" cal.	6' CT - Central leader, full, well branched
<b>EVERGREEN TREES</b>					
TOE	4	Thuja occidentalis 'Emerald'	Emerald Green Arborvitae	8" ht. min.	FTG, full, well branched
<b>ORNAMENTAL TREES</b>					
LI	12	Lagerströmia indica 'Lutescens Natchez'	Natchez Crepe Myrtle	8" ht. min.	3/4" 3" cal. min. full & well branched, white flowers
<b>SHRUBS</b>					
AC	44	Abelia grandiflora 'Rose Creek'	Rose Creek Abelia	3 gal.	2" c. full & dense, white flowers
DC	54	Diastylum PP 27631	Cinnamon Gal Diastylum	24" ht. min. B&B or can.	2" c. full & dense
IGS	60	Impatiens glabra 'Shamrock'	Shamrock Impatiens Holly	36" ht. min. B&B or can.	2" c. full & dense
MS	30	Musa virginica 'Spartan'	Little Henry Virginia Sweetpotato	3 gal.	2" c. full & dense, white flowers
PO	6	Prunus virginiana 'Oto Luskari'	Oto Luskari Laurel	36" ht. min. B&B or can.	4" c. full & dense
ROG	14	Rhodopisopsis x decaurii 'Georgia Petter'	Georgia Petter Indian Hawthorn	24" ht. min. B&B or can.	2" c. full & dense, white flowers
<b>GROUNDCOVERS &amp; PERENNIALS</b>					
ALB	14	Asplenium nidus 'Blasium'	Blasium Smooth Asplenium	3 gal.	30" c. blue flowers
HC	257	Hypericum calycinum	Creeping St. John's Wort	1 gal.	18" c. yellow flowers
JR	116	Juncus horizontalis 'Blue Rug'	Blue Rug Juniper	3 gal.	2" c. full & dense
LMV	940	Limonium maritimum 'Varegate'	Varegate Limonum	1 gal.	12" c. full & dense
PLS	32	Perovskia atriplicata 'Little Spire'	Little Spire Russian Sage	1 gal.	2" c. full & dense, purple flowers
<b>ORNAMENTAL GRASSES</b>					
WC	23	Wandermuschia capillaris 'White Cloud'	White Cloud Muly Grass	3 gal.	4" c. full & dense, white plumes
PAC	41	Pennisetum alopecuroides 'Cassian's Choice'	Cassian's Choice Pennisetum	3 gal.	2" c. full & dense
PVS	68	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	3 gal.	2" c. full & dense
<b>HARDSCAPE</b>					
SOD	12,555	Festuca arundinacea	Turf-type Tall Fescue	sf	
RR	315	River Rock		2-3"	3-4" Depth
Boulder	7	Landscape Boulders			No smaller than 2x2x1.5' T No larger than 2x4x2' T

\* Contractor to provide quantity for mulch.



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Duluth Trading Company  
Kingston Corner  
Knoxville, TN



Date: 03.26.19  
Job Number: 19-013  
Drawn By: LGG Ck'd By: SHP

Rev	Description	Date

Sheet Name:  
Planting Schedule,  
Notes & Details

Sheet Number:  
L200



EAST ELEVATION



WEST ELEVATION



SE CORNER VIEW

**inter:work**  
architects

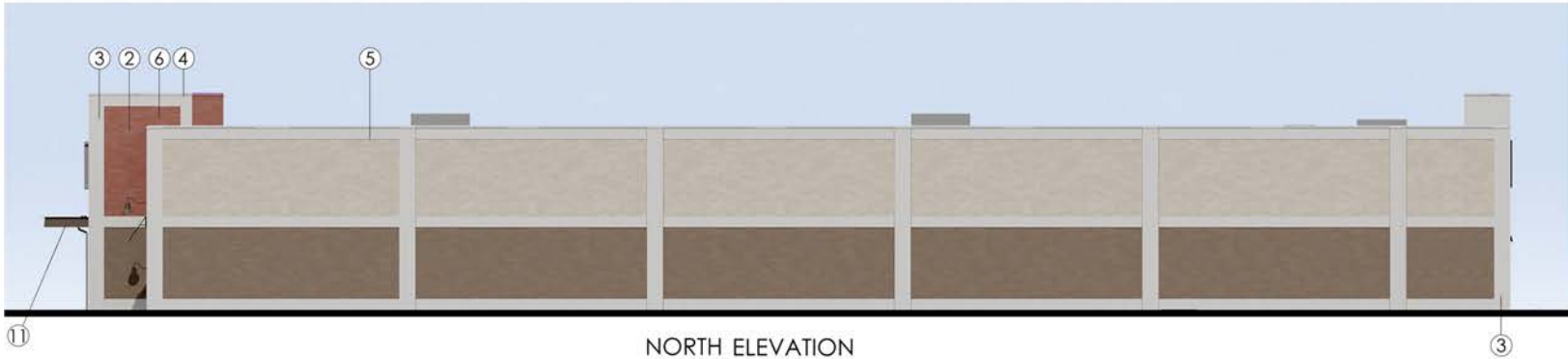
interwork architects incorporated  
1200 sherner rd, northbrook, il 60062  
t: 847.509.4070 f: 847.509.9604  
www.interworkarchitects.com

4-F-19-UR

**DTC - CHERRY HILL, NJ**

PROJECT	DULUTH TRADING COMPANY	SCALE	1/16" = 1'-0"
ADDRESS	CHERRY HILL, NJ	AREA	
REV		DATE	02.14.2019
PROJ NO	1448.046.000	SHEET	SK-1





NORTH ELEVATION



SOUTH ELEVATION

- ① ILLUMINATED SIGN
- ② 4" NORMAN BRICK VENEER W/ METAL STUD BACK-UP, 1/3 RUNNING BOND. INTERSTATE BRICK, MOUNTAIN RED.
- ③ CONCRETE MASONRY UNITS VENEER, 8x4x16 CENTER SCORED, RUNNING BOND. COUNTY MATERIALS CORP., PREMIER ULTRA BURNISHED MASONRY UNITS, COLOR: MOONBEAM 63-214B.
- ④ CAST STONE CAP
- ⑤ 4" NORMAN BRICK VENEER W/ METAL STUD BACK-UP, 1/3 RUNNING BOND. INTERSTATE BRICK, 60% TUMBLEWEED, 40% CEDAR.
- ⑥ 4" NORMAN THIN BRICK VENEER W/ METAL STUD BACK-UP, 1/3 RUNNING BOND. INTERSTATE BRICK, MOUNTAIN RED.
- ⑦ ILLUMINATED 'BLADE' SIGN
- ⑧ STOREFRONT - 4 1/2" DEEP THERMALLY BROKEN FRAME W/ A 2" SIGHTLINE. COLOR: KAWNEER CLASSIC BRONZE UC109580.
- ⑨ CAST STONE SILL, TYP.

- ⑩ FABRIC AWNING
- ⑪ STEEL CANOPY, COLOR TO MATCH STOREFRONT FRAME.
- ⑫ 4" NORMAN BRICK VENEER W/ METAL STUD BACK-UP, 1/3 RUNNING BOND. INTERSTATE BRICK, MOCHA.

4-F-19-UR

**inter:work**  
architects

interwork architects incorporated  
1200 sherman rd. northbrook, il 60062  
t: 847.509.4070 f: 847.509.9604  
www.interworkarchitects.com

**DTC - CHERRY HILL, NJ**

PROJECT DULUTH TRADING COMPANY

ADDRESS CHERRY HILL, NJ

REV

PROJ NO 1448,046,000

SCALE 1/16" = 1'-0"

AREA

DATE 02.14.2019

SHEET SK-1.1





INTERSTATE BRICK  
CEDAR



INTERSTATE BRICK  
TUMBLEWEED



INTERSTATE BRICK  
MOCHA



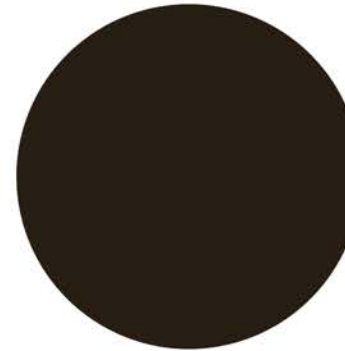
INTERSTATE BRICK  
RED MOUNTAIN



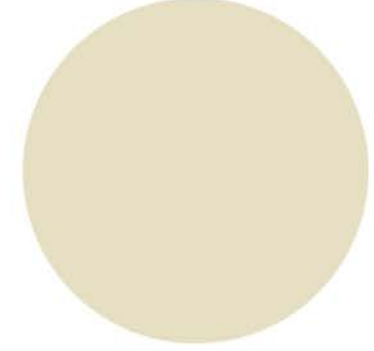
ICOUNTY MATERIALS CORP.  
MOONBEAM



INTERSTATE BRICK  
60% TUMBLEWEED  
40% CEDAR



KAWNEER: CLASSIC BRONZE



CAST STONE

**inter:work**  
architects

interwork architects incorporated  
1200 sherman rd. northbrook, il 60062  
t: 847.509.4070 f: 847.509.9604  
www.interworkarchitects.com

**DTC - CHERRY HILL, NJ**

PROJECT DULUTH TRADING COMPANY

ADDRESS CHERRY HILL, NJ

REV

PROJ NO 1448,046,000

SCALE 1/16" = 1'-0"

AREA

DATE 02.14.2019

SHEET SK-1.2

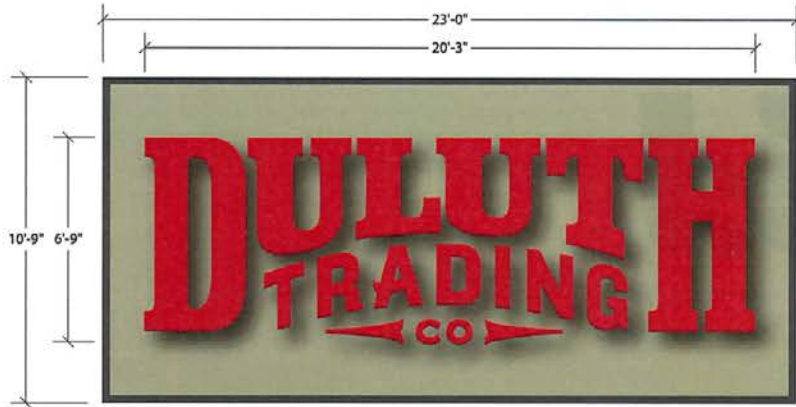


# DULUTH TRADING CO

9063 Kingston Pike • Knoxville, TN 37923



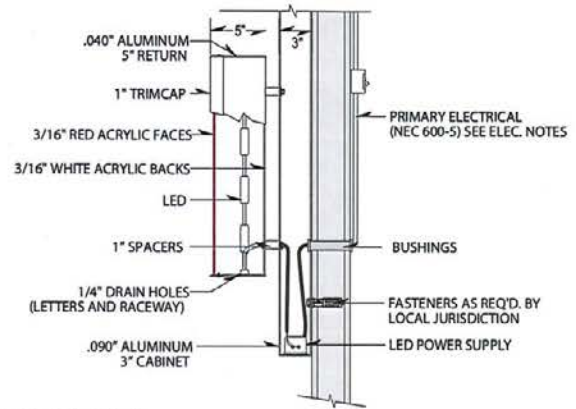
10212 METRIC BOULEVARD, AUSTIN, TEXAS 78758 ■ 1-800-327-1104 / 512-494-0002 / [www.fsgj.com](http://www.fsgj.com)



**A**  
**.01** Channel Letters - Front Lit  
Scale: 1/4" = 1'-0"



TOTAL SQFT: 247.25'  
COPY SQFT: 136.69'

- Fabricate and install ONE (1) set of front lit channel letters built to UL specs;
- 5" Deep Red .040" aluminum sidewalls.
  - 3/16" #2793 Red acrylic faces.
  - 3/16" #7328 White acrylic backs.
  - 1" Red Trimcaps.
  - Internally illuminated w/ White LEDs.
  - Letters mounted to 3" deep aluminum cabinet w/ 1" spacers.
  - .090" Aluminum cabinet finished to match Benjamin Moore HC-98 "Providence Olive" (MP 19847) w/ 3" borders finished to match SW 4017 Graphite.
  - Cabinet to have welded steel frame that mounts flush to fascia w/ approved hardware.
  - Electrical Requirement: 120v to be supplied to sign location by others.



**A**  
**.02** Side Detail  
Scale: N.T.S.

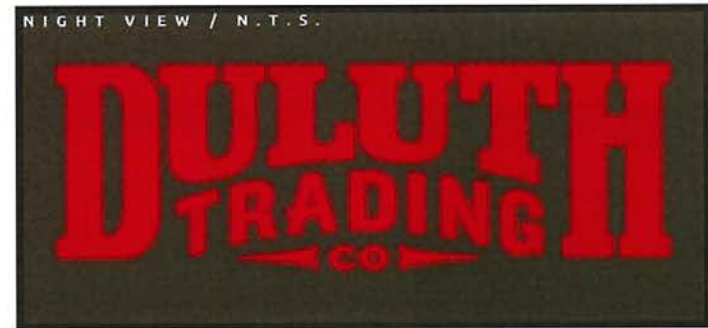


Duluth Trading Company 9063 Kingston Pike Knoxville, TN 37923	Start Date: 2.20.19 Last Revision: 3.27.19 Job#: 92J10066 Dwg. #92J10066av1s1	Design Rep: Michael Phillips Sales: Andrew Chapman Project mgr.: Joe Anderson	CLIENT / LANDLORD APPROVAL _____ DATE _____ <small>APPROVAL: THIS IS REVIEWED AND APPROVED BY THE SIGN BUILDER ON THE DRAWING FOR MATERIAL AND FINISH.</small>	ENGINEER SEAL # IF REQUIRED _____	MEMBER  LISTED 	<b>UL INSTALLATION REQUIREMENTS:</b> THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.
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ES-2

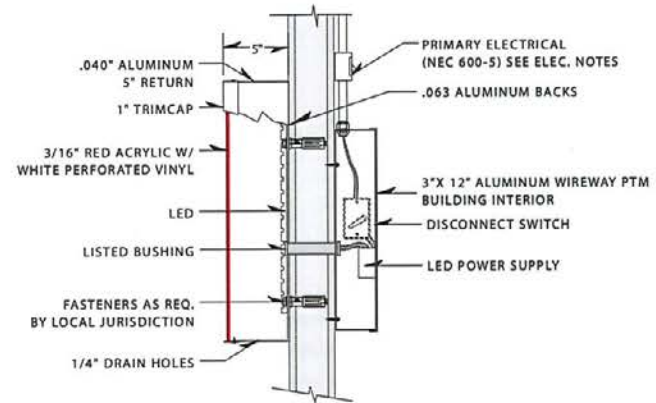
ES-3



**B**  
**.01** Channel Letters - Front Lit  
Scale: 3/8" = 1'-0"

Fabricate and install TWO (2) sets of front lit channel letters built to UL specs;

- 5" Deep Red .040" aluminum sidewalls
- 3/16" #2793 Red acrylic faces.
- 1" Red Trimcap.
- .063" Aluminum backs.
- Internally illuminated RED LEDs.
- Individually mounted letters w/ remote power supplies inside an interior raceway.
- Electrical Requirement: 120v to be supplied to sign location by others.



**B**  
**.02** Side Details  
Scale: N.T.S.



Duluth Trading Company  
9063 Kingston Pike  
Knoxville, TN 37923

Start Date: 2.20.19  
Last Revision: 3.27.19  
Job#: 92J10066  
Dwg. #92J10066bv1s1

Design Rep:  
Michael Phillips  
Sales:  
Andrew Chapman  
Project mgr:  
Joe Anderson

CLIENT / LANDLORD APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

APPROVAL: I have reviewed and approved the sign details on this drawing for fabrication and installation.

ENGINEER SEAL, IF REQUIRED

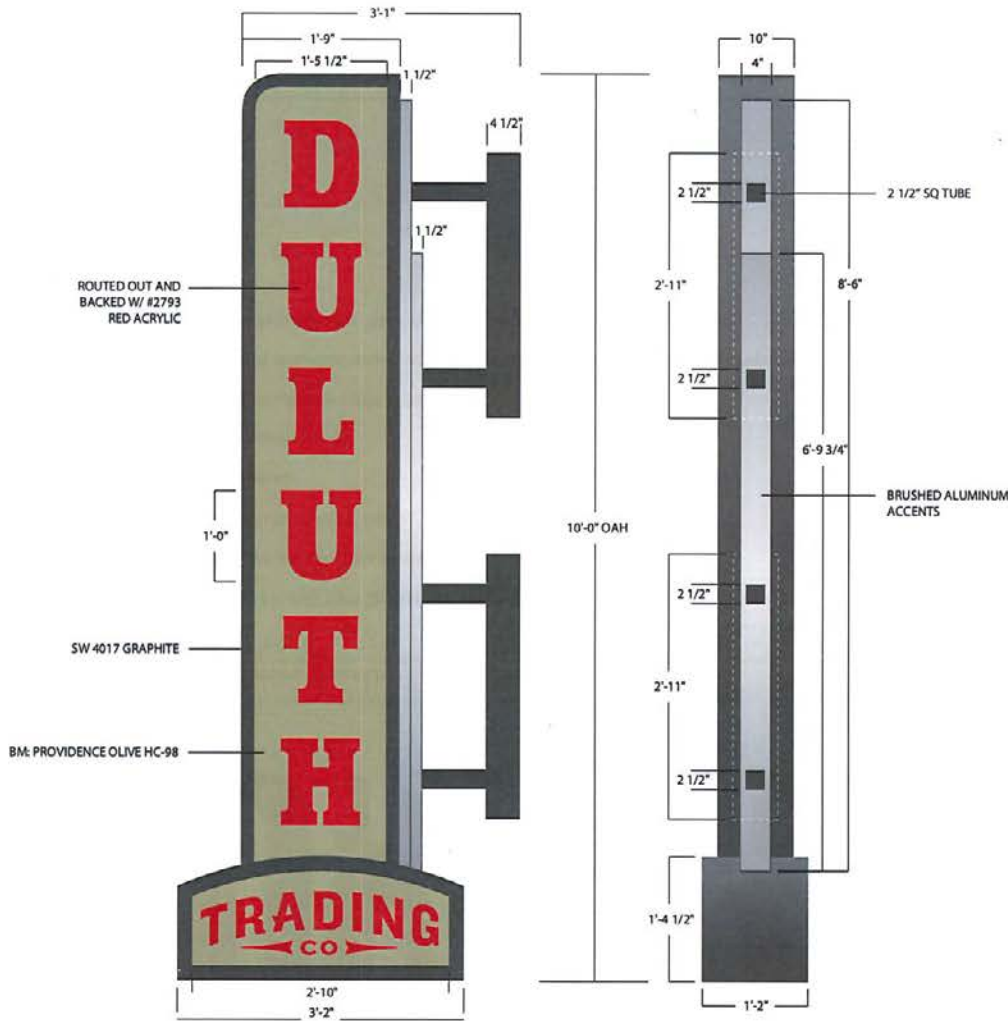


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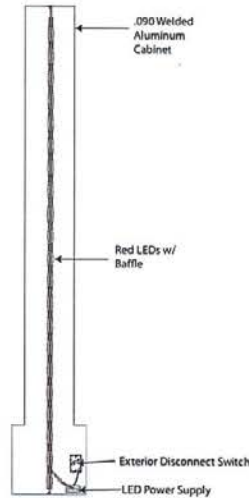
VBS-1  
VBS-2



**C** Blade Sign

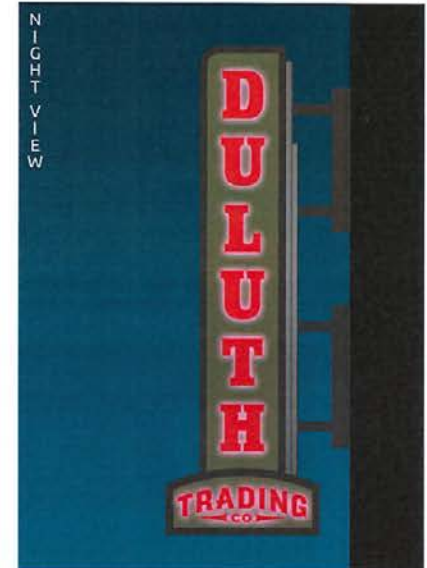
**.01** Scale: 3/4" = 1'-0"

- Fabricate and install TWO (2) vertical blade sign built to UL specs;
- Welded aluminum frame covered in .090" aluminum finished to match SW 4017 Graphite & Benjamin Moore Paint: Providence Olive HC-98 (EP1).
- Letters to be routed out and backed w/ #2793 Red acrylic.
- Internally illuminated w/ Red LEDs.
- 2" x 6" Brushed aluminum accents along the spine.
- Sign mounted to building w/ 3" sq. tubing & mounting plate.
- Aluminum mounting covers and sq tubing finished to match SW 4017 Graphite
- Electrical Requirements: 120v to be brought to sign location by others.



**C** Section Detail - Side View

**.02** Scale: N.T.S.



Duluth Trading Company  
9063 Kingston Pike  
Knoxville, TN 37923

Start Date: 2.20.19  
Last Revision: 3.27.19  
Job#: 92J10066  
Dwg. #92J10066cv1s1

Design Rep.:  
Michael Phillips  
Sales:  
Andrew Chapman  
Project mgr.:  
Joe Anderson

CLIENT / LANDLORD APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

APPROVAL: I have reviewed and approved the specifications on this drawing for fabrication and installation.

ENGINEER SEAL: IF REQUIRED



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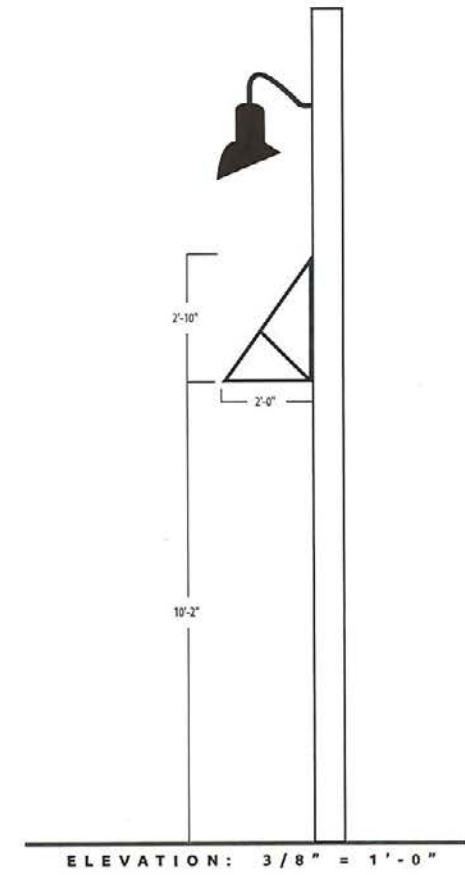
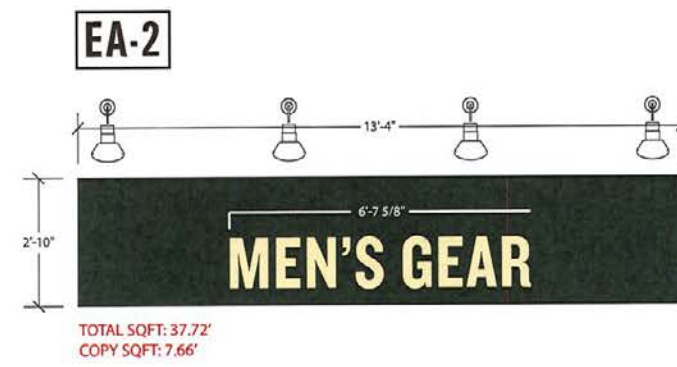
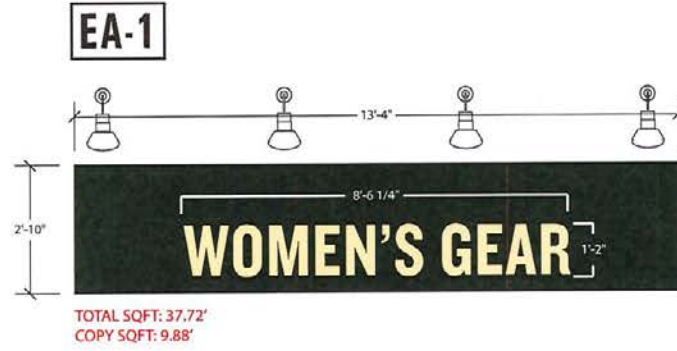
EA-1  
EA-2

**D**  
**01** Awnings

Scale: 3/8" = 1'-0"

Fabricate and install TWO (2) externally illuminated awnings:

- Welded aluminum tube frame finished Matthews Black
- Sunbrella awning fabric stretched over frame
- 3M 7725-99 Fawn vinyl copy applied first surface
- Externally illuminated w/ goose neck lamps
- Awnings to mount flush to fascia w/ approved hardware.
- Electrical Requirement: 120v to be supplied to sign location.



Duluth Trading Company 9063 Kingston Pike Knoxville, TN 37923	Start Date: 2.20.19 Last Revision: 3.27.19 Job#: 92J10066 Dwg. #92J10066dv1s1	Design Rep.: Michael Phillips Sales: Andrew Chapman Project mgr.: Joe Anderson	CLIENT / LANDLORD APPROVAL _____ DATE _____ <small>APPROVAL: I have reviewed and approved the sign details on this drawing for fabrication and installation.</small>	ENGINEER SEAL IF REQUIRED	MEMBER  LISTED 	<b>UL INSTALLATION REQUIREMENTS:</b> <small>THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.</small>
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**E**  
.01 East Elevation  
Scale: 1/16" = 1'-0"

**W**  
.01 West Elevation  
Scale: 1/16" = 1'-0"



**S**  
.01 South Elevation  
Scale: 1/16" = 1'-0"



**N**  
.01 North Elevation  
Scale: 1/16" = 1'-0"



Duluth Trading Company  
9063 Kingston Pike  
Knoxville, TN 37923

Start Date: 2.20.19  
Last Revision: 3.27.19  
Job#: 92J10066  
Dwg. #92J10066Elev1s1

Design Rep:  
Michael Phillips  
Sales:  
Andrew Chapman  
Project mgr:  
Joe Anderson

CLIENT / LANDLORD APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_  
APPROVAL: I have reviewed and assessed the sign data on the drawing for fabrication and installation.

ENGINEER SEAL IF REQUIRED

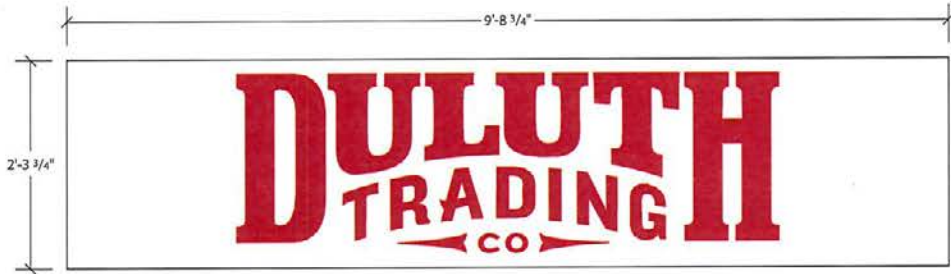


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**E** Tenant Vinyl  
**.01** Scale: 3/4" = 1'-0"

Fabricate and Install TWO (2) sets of vinyl for double sided pylon;  
 • 3M Translucent Dark Red (3630-73) vinyl applied first surface



**E** Elevation Example  
**.02** Scale: 1/2" = 1'-0"

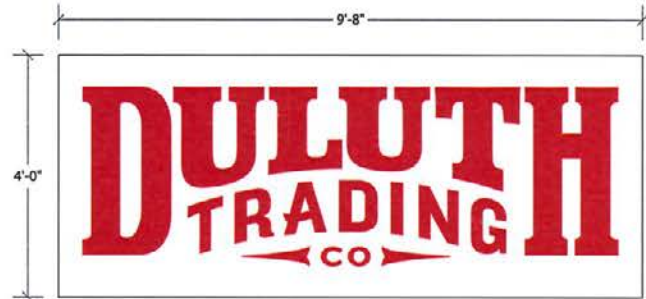


Duluth Trading Company 9063 Kingston Pike Knoxville, TN 37923	Start Date: 2.28.19 Last Revision: Job#: 92J10066 Dwg. #92J10066ev1s1	Design Rep.: Michael Phillips Sales: Andrew Chapman Project mgr.: Joe Anderson	CLIENT / LANDLORD APPROVAL _____ DATE _____ <small>APPROVAL: I have reviewed and approved the sign details on this drawing for fabrication and installation.</small>	ENGINEER SEAL IF REQUIRED	MEMBER  INTERNATIONAL SIGN ASSOCIATION LISTED 	<b>UL INSTALLATION REQUIREMENTS:</b> THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.
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**D** Tenant Vinyl  
 .01 Scale: 1/2" = 1'-0"

Fabricate and install TWO (2) sets of vinyl for double sided pylon;  
 • 3M Translucent Dark Red (3630-73) vinyl applied first surface

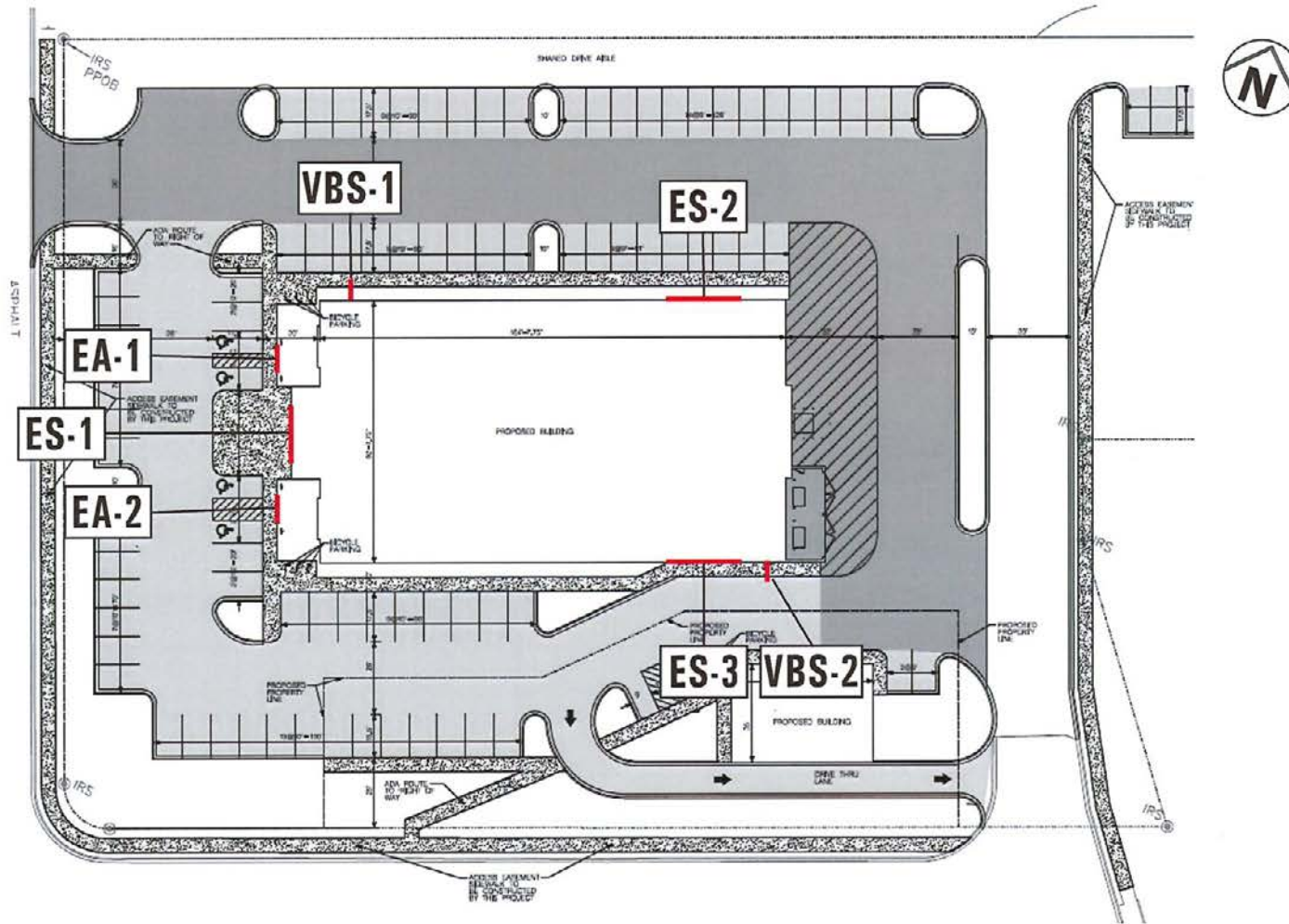


**D** Elevation Example  
 .02 Scale: 3/8" = 1'-0"



Duluth Trading Company 9063 Kingston Pike Knoxville, TN 37923	Start Date: 2.28.19 Last Revision: Job#: 92J10066 Dwg. #92J10066dv2s1	Design Rep.: Michael Phillips Sales: Andrew Chapman Project mgr.: Joe Anderson	CLIENT / LANDLORD APPROVAL _____ DATE _____ <small>APPROVAL: Have reviewed and approved this sign data on this drawing for fabrication and installation.</small>	ENGINEER SEAL REQUIRED	MEMBER  INTERNATIONAL SIGN ASSOCIATION LISTED 	<b>UL INSTALLATION REQUIREMENTS:</b> THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 610 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.
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Duluth Trading Company  
9063 Kingston Pike  
Knoxville, TN 37923

Start Date: 2.28.19  
Last Revision: 3.27.19  
Job#: 92J10066  
Dwg. #92J10066SPV351

Design Rep.:  
Michael Phillips  
Sales:  
Andrew Chapman  
Project mgr.:  
Joe Anderson

CLIENT / LANDLORD APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_  
APPROVAL: I have reviewed and approved the sign details on this drawing for fabrication and installation.

ENGINEER SEAL IF REQUIRED



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illuminated, but may be externally illuminated provided that no light source is visible from the public right-of-way or adjacent properties.

\* 11.6. *Commercial and industrial zone districts (C-1, C-2, C-3, C-4, C-5, C-6, C-7, PC-1, PC-2, SC-1, SC-2, SC-3, BP-1, I-1, I-2, I-3 and I-4).*

- a. *Types of signs and dimensions allowed.* In commercial and industrial districts, the following signs on a nonresidential parcel or lot shall be allowed, subject to the following dimensional requirements:
  1. Development directory and project directional signs may be approved as part of a master sign plan in accordance with the regulations at section 9.4.
  2. Attached signs with a total allowed sign area equal to ten (10) percent of the wall area of the primary building elevation(s), and such sign area may be used on any elevation of the building.
  3. Detached signs in accordance with the standards described herein, except that standards specified for individual zone districts in article IV shall prevail.
- b. *Number and type of detached signs and dimensions allowed for secondary detached signs.* In commercial and industrial districts, the number of detached signs on a nonresidential parcel or lot shall be allowed in accordance with the following requirements:
  1. One (1) detached sign is allowed per street frontage, up to a maximum of two (2) per parcel or lot. For these purposes, an adjacent interstate highway shall be considered a street frontage, even if there is no access to it.
  2. The detached sign that is oriented to the street frontage on which the parcel is addressed shall be deemed primary and subject to the requirements of this subsection; and
  3. Any secondary detached sign on each lot shall be limited to a monument or column sign with a maximum sign area of thirty-two (32) square feet and a maximum sign height of eight (8) feet.
- c. *Maximum sign heights for primary detached signs.* In commercial and industrial zone districts, the maximum sign height for primary detached signs shall be based upon the classification of the road or road adjacent to the property upon which the primary detached sign is located, as follows:

Roadway Type	Maximum Allowable Sign Height
Property within 500 feet of interstate interchange area	35 feet
Property adjacent to interstate right-of-way	30 feet
Property fronting on federally designated highways	20 feet
All other roadway classifications	10 feet

;adv=6;d. *Maximum sign area for primary detached signs.* In commercial and industrial zone districts, the maximum sign area for primary detached signs shall be based upon the classification of the road or road adjacent to the property upon which the primary detached sign is located, as follows:

Roadway Type	Maximum Allowable Sign Area
Property within 500 feet of interstate interchange area	200
Property adjacent to interstate right-of-way	200
Property fronting on federally designated highways	165
All other roadway classifications	100

e. *Exceptions to the standards described above.*

1. On parcels and lots adjacent to the interstate, a secondary detached sign, if located within one hundred (100) feet of the interstate right-of-way and if its sign faces are oriented perpendicular or radial to the interstate right-of-way is subject to the maximum height and sign area requirements for a primary detached sign.
2. On parcels and lots adjacent to any streets or roads that are part of the state scenic highway system, only a monument or column sign shall be allowed, provided that the maximum sign height for such sign shall be six (6) feet and the maximum sign area shall be thirty-six (36) square feet.
3. In the neighborhood commercial (C-1) and pedestrian commercial (C-7) zone districts, the maximum sign area for detached signs is fifty (50) square feet.
4. In the BP-1 zone districts, the maximum sign area for detached signs is one hundred (100) square feet and the maximum height is six (6) feet.
- \* 5. In a planned commercial, shopping, business or industrial zone district (PC-1, PC-2, SC-1, SC-2, SC-3, BP-1, and I-1), additional signs may be approved by the planning commission as part of the development plan provided that (1) scale drawings indicate the signs will not detract from the character of the development or surrounding development; and (2) that the development plan clearly shows that because of unusual topography, building locations and relationships or developments with multiple structures, additional signs are essential to inform and direct the public.

11.7. *Mixed Use zone districts (TC-1 and TND-1).*

- a. In TC-1 and TND-1 zone districts, approval of a master sign plan in accordance with section 9 is required at the time of development plan approval. Development directory and directional signs may be approved as part of the master sign plan.
  1. Sign types shall be shown in the master sign plan for nonresidential and multi-dwelling structures within a TND. These shall be outlined in relation to the proposed uses. In order to reduce visual clutter, no more than two (2) types of signs, other than window signs, are allowed on the front face of a building.
  2. The locations of the types of signs and the landscaping around any detached signs shall be shown in the master sign plan and the development plan.
  3. Increases in dimensions of a sign of up to ten (10) percent may be approved administratively by MPC staff. Changing the text, message, design or material of sign shall not require the approval of MPC or its staff.

KNOXVILLE-KNOX COUNTY  
**M P C**  
 METROPOLITAN  
 PLANNING  
 COMMISSION  
 TENNESSEE  
 Suite 403 • City County Building  
 400 Main Street  
 Knoxville, Tennessee 37902  
 865 • 215 • 2500  
 FAX • 215 • 2068  
 www.knoxmpc.org

**Use on Review**  **Development Plan**

Name of Applicant: WILL ROBINSON  
 Date Filed: 2.25.19 Meeting Date: 4.11.2019  
 Application Accepted by: Liz Albertson  
 Fee Amount: \_\_\_\_\_ File Number: Development Plan \_\_\_\_\_  
 Fee Amount: \$1,500 File Number: Use on Review 4-F-19-UR



**PROPERTY INFORMATION**

Address: 9063 KINGSTON PIKE  
 General Location: KINGSTON CORNER  
DEVELOPMENT  
 Tract Size: 2.85 No. of Units: \_\_\_\_\_  
 Zoning District: PC-1  
 Existing Land Use: OPEN-AG/FORESTRY /  
VACANT  
 Planning Sector: SOUTHWEST COUNTY  
 Sector Plan Proposed Land Use Classification:  
CC (Community Commercial)  
 Growth Policy Plan Designation: COX - inside  
city  
 Census Tract: 57.04  
 Traffic Zone: \_\_\_\_\_  
 Parcel ID Number(s): 132 02817  
 Jurisdiction:  City Council \_\_\_\_\_ District  
 County Commission \_\_\_\_\_ District

**PROPERTY OWNER/OPTION HOLDER**

PLEASE PRINT  
 Name: JAY MOORE  
 Company: OPPIDAN  
 Address: 400 WATER ST SUITE 200  
 City: EXCELSIOR State: MN Zip: 55331  
 Telephone: 952 294 1246  
 Fax: \_\_\_\_\_  
 E-mail: JAY@OPPIDAN.COM

**APPLICATION CORRESPONDENCE**

All correspondence relating to this application should be sent to:

PLEASE PRINT  
 Name: SAME  
 Company: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Telephone: \_\_\_\_\_  
 Fax: \_\_\_\_\_  
 E-mail: \_\_\_\_\_

**APPROVAL REQUESTED**

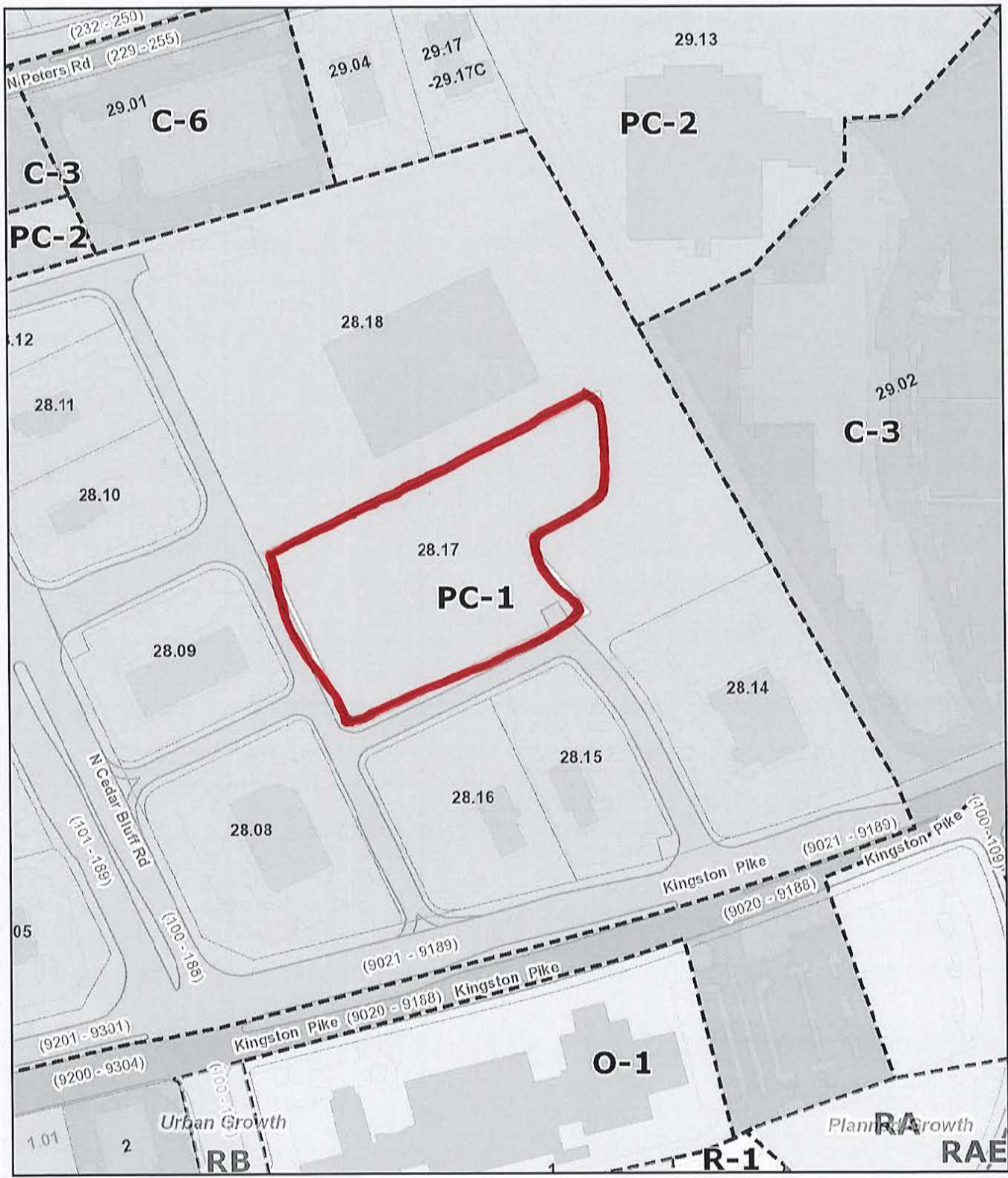
Development Plan: Residential  Non-Residential  
 Home Occupation (Specify Occupation)  
 \_\_\_\_\_  
 \_\_\_\_\_  
 Other (Be Specific)  
 \_\_\_\_\_  
 \_\_\_\_\_

**APPLICATION AUTHORIZATION**

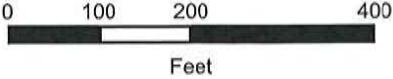
I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request or holders of option on same, whose signatures are included on the back of this form.

Signature: WR  
 PLEASE PRINT  
 Name: WILL ROBINSON  
 Company: WILL ROBINSON ASSOC  
 Address: 1248 N. SHOREWOOD LN  
 City: CAMPVILLE State: IL Zip: 37714  
 Telephone: 865 386-4200  
 E-mail: WRASSOCIATES@BELLSOUTH.NET





**4-F-19-UR**  
Will Robinson



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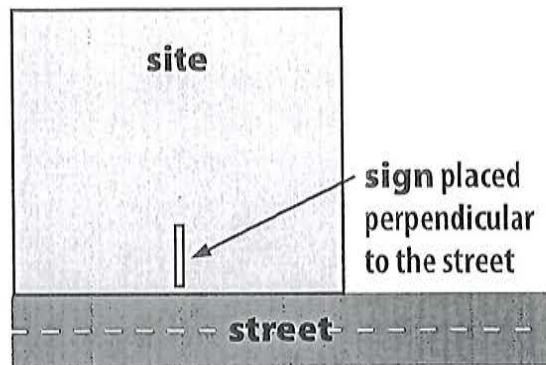
## REQUIRED SIGN POSTING AGREEMENT

For all rezoning, plan amendment, concept plan, use on review, right-of-way closure, and street name change applications, a sign must be posted on the subject property, consistent with the adopted MPC Administrative Rules and Procedures.

At the time of application, MPC staff will provide a sign(s) to post on the property as part of the application process. If the sign(s) go missing for any reason and need to be replaced, then the applicant will be responsible for picking up a new sign(s) from the MPC offices. The applicant will be charged a fee of \$10 for each replacement sign.

### LOCATION AND VISIBILITY

The sign must be posted in a location that is clearly visible from vehicles traveling in either direction on the nearest adjacent/frontage street. If the property has more than one street frontage, then the sign should be placed along the street that carries more traffic. MPC staff may recommend a preferred location for the sign to be posted at the time of application.



### TIMING

The sign(s) must be posted 15 days before the scheduled MPC public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted 15 days before the next MPC meeting.

I hereby agree to post and remove the sign(s) provided on the subject property consistent with the above guidelines and between the dates of:

March 27th

and

April 12th

(15 days before the MPC meeting)

(the day after the MPC meeting)

Signature: \_\_\_\_\_

Printed Name: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

Date: \_\_\_\_\_

MPC File Number: \_\_\_\_\_