



# USE ON REVIEW REPORT

▶ **FILE #:** 11-A-19-UR

**AGENDA ITEM #:** 27

**AGENDA DATE:** 11/14/2019

▶ **APPLICANT:** TACALA TN CORP  
OWNER(S): Mike Gray / Tacala TN Corp

TAX ID NUMBER: 154 09808 [View map on KGIS](#)

JURISDICTION: City Council District 2

STREET ADDRESS: 1970 Town Center Blvd.

▶ **LOCATION:** Northeast side of Town Center Blvd., southwest side of I-1140 offramp

▶ **APPX. SIZE OF TRACT:** 0.89 acres

SECTOR PLAN: Southwest County

GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)

ACCESSIBILITY: Access is via Town Center Blvd., a local boulevard street with center median within 88' of right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Tennessee River

▶ **ZONING:** PC-1(k) (Retail and Office Park)

▶ **EXISTING LAND USE:** Vacant land

▶ **PROPOSED USE:** Fast Food Restaurant

HISTORY OF ZONING: The property was rezoned from TC-1 to PC-1 (k) in 2010 (10-G-10-RZ).

SURROUNDING LAND USE AND ZONING: North: Target / PC-1 (Planned Commercial)

South: I-140 off ramp, Commercial / PC-1 (Planned Commercial)

East: I-140 / OS-1 (Open Space Preservation)

West: Vacant land / PC-1 (Planned Commercial)

NEIGHBORHOOD CONTEXT: This property is situated with the Northshore Town Center development, which is developed with a mix of office, commercial, various types of residential uses, and an elementary school.

## STAFF RECOMMENDATION:

▶ **APPROVE the development plan for a restaurant with drive thru containing approximately 2,700 square feet of floor area and 470 square feet of patio, and the proposed sign plan, subject to 10 conditions.**

1. Connection to sanitary sewer and meeting any other relevant requirements of the utility provider.
2. Installation of all landscaping shown on the development plan within six months of the issuance of occupancy permits for this project.
3. All existing street trees planted along the northeast and southeast property lines and the Target driveway (property) must be maintained and protected from damage during construction, or relocated/replaced as shown

on the landscape plan or as approved by the City of Knoxville Urban Forester.

4. Meeting all applicable requirements of the City of Knoxville Tree Protection Ordinance, including but not limited to the number of trees that can reach a mature height greater than 50 feet.
5. Installing all sidewalks shown on the development plan in accordance with the requirements of the Americans with Disabilities Act (ADA) and the City of Knoxville Department of Engineering.
6. Signage shall be in conformance with the Northshore Town Center Unified Development Master Sign Plan (3-C-11-UR) and Article 8 of the City of Knoxville Zoning Ordinance (Signs, billboards, and other advertising structures), and is subject to final approval by Planning Commission staff and the Knoxville Plans Review and Inspections Division.
7. Meeting all applicable requirements of the bicycle parking standards of the City of Knoxville Zoning Ordinance (Article 5, Section 7.1.), including but not limited to the location.
8. Meeting all applicable requirements of the City of Knoxville Urban Forester.
9. Meeting all applicable requirements of the City of Knoxville Department of Engineering.
10. Meeting all applicable requirements of the City of Knoxville Zoning Ordinance.

With the conditions noted, this plan meets the requirements for approval in the PC-1 District, and the other criteria for approval of a use on review.

#### **COMMENTS:**

The applicant has submitted a development plan for an out parcel in the Northshore Town Center Development containing 0.89 acres. The proposal is for a fast food restaurant with a one-lane drive thru that is approximately 2,700 square feet of floor area and 470 square feet of patio.

When this property was rezoned to PC-1 (Retail and Office Park) District in 2010, it was conditioned to meet the intent of the TC-1 (Town Center) zoning and approved Northshore Town Center development standards. New development standards for the PC-1 zoned area was submitted as part of the use on review approval for the Target and Publix stores (3-C-11-UR). The TC-1 zone only allows drive-thru facilities for banks and pharmacies, however, the PC-1 zone was adopted for this portion of the development to allow more flexibility. In this case, staff believes the proposal is acceptable because the site is located adjacent to the I-140 offramp and the Target parking lot. Similar requests in other locations in the Northshore Town Center development may not be appropriate.

A traffic impact study was submitted with the concept plan for this portion of the Northshore Town Center development (3-SB-11-C). This proposal submitted a traffic impact letter to update the original traffic study with the proposed restaurant use. Street improvements within the development and those required to date for S. Northshore Dr. have been completed. The approval of this project will not necessitate any further road improvements. However, in order to foster the goal of pedestrian connectivity within the larger development, the restaurant will construct a new sidewalk along the north frontage and tie into the sidewalk at the northwest corner of the site being constructed by the recently approved Knoxville TVA Employee Credit Union (7-G-19-UR).

The master sign plan for the PC-1 zoned area was approved in 2011 and calls for three development directory signs and a series of way-finding signs. This master sign plan also allows one monument sign per property and provides standards for detached and attached signs. There is one detached monument sign along the I-140 offramp (southeast) frontage that is a total of 8 feet tall and 10 feet wide with 34" tall logo and 14" text. There are attached signs on each side of the building that include a 42" tall logo and 14-16" tall text.

#### **EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE**

1. All public utilities are available to serve the site.
2. The traffic impact study for the overall Northshore Town Center development completed in 2011 recommended a number of road improvements that have been completed.
3. The proposed development will be compatible with the scale and intensity of the surrounding development and zoning pattern.

#### **CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOXVILLE ZONING ORDINANCE**

1. With the recommended conditions, the proposal meets all requirements of the PC-1 zoning district, as well as all other criteria for approval of a use on review.

2. The proposed restaurant is consistent with the general standards for uses permitted on review: The proposed development is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas.

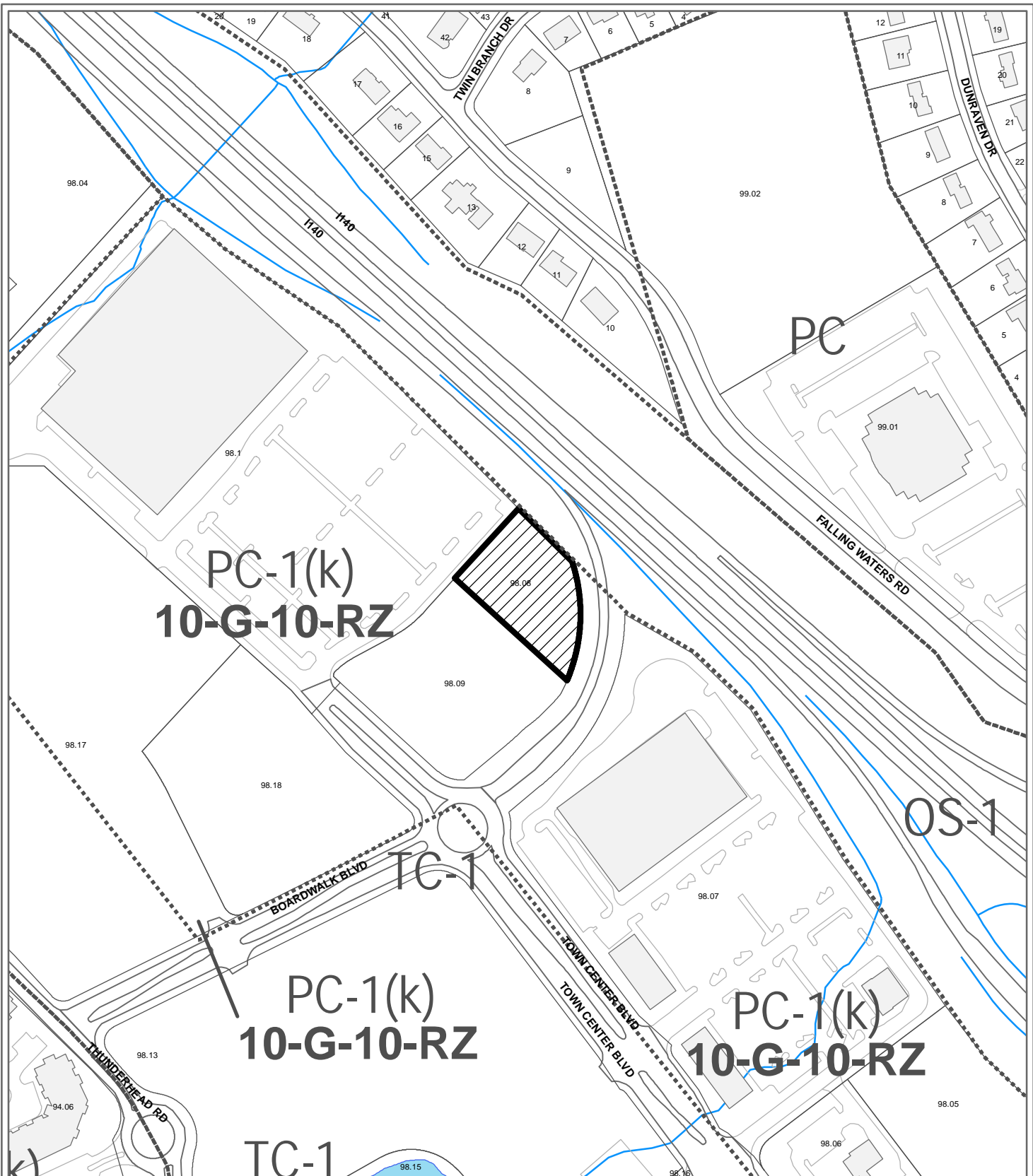
#### CONFORMITY OF THE PROPOSAL TO ADOPTED PLANS

1. The Southwest County Sector Plan and the One Year Plan propose MU-CC (Community Mixed Use Center) uses for the site. The proposed facility is consistent with both plans.
2. This proposal does not present any apparent conflicts with any other adopted plans.

ESTIMATED TRAFFIC IMPACT: A traffic impact study was prepared by the applicant. The findings of that study were used in formulating the recommendations of this staff report.

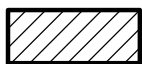
ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal a Planning Commission decision in the City.



**11-A-19-UR  
USE ON REVIEW**

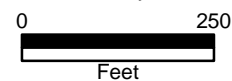
Petitioner: Tacala TN Corp



Fast Food Restaurant in PC-1(k) (Retail and Office Park)

Map No: 154

Jurisdiction: City



**REVISIONS**

NO REVISIONS FOR REVIEW  
NO REVISIONS FOR REVIEW

PLANNING FILE NUMBER - 17-14-19-04



**TACO BELL RESTAURANT**  
1970 TOWN CENTER BLVD, KNOXVILLE, TN 37922  
SITE #02664

**TACOLA**  
SITE COORDINATOR  
WESTMAN, M.L.A., A., S.W.A.E.  
WWW.TACOLA.COM



JOB NO: 9001  
DRAW NAME: SDR PLAN

**SITE PLAN**  
SHEET  
**C2**

DATE: 10/26/19

**PAVEMENT LEGEND**

- STD. DUTY CONCRETE PAVING
- COLORED CONCRETE PAVING
- STD. DUTY ASPHALT PAVING
- HEAVY DUTY ASPHALT PAVING

**SITE SUMMARY**

TOTAL LOT AREA	0.89 ACRES
TOTAL DISTURBED AREA	0.80 ACRES
PRE DEVELOPMENT TOTAL PERVIOUS AREA	0.00 ACRES
POST DEVELOPMENT TOTAL PERVIOUS AREA	0.21 ACRES

**PARKING SUMMARY**

TOTAL VEHICULAR USE AREA	14,697 SF
BUILDING	2,700 SF
MIN/MAX PER 1000 SF	6/12 = (16/32 SPACES)
PROVIDED STD. SPACES	30
PROVIDED ADA SPACES	2
PROVIDED BIKE SPACES	4

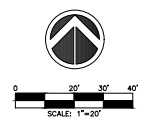
11-A-19-UR  
Revised: 10/25/2019

**COLORED CONCRETE**

FOR CONCRETE USED IN PARKING APRON, DUMPSTER ENCLOSURE APRON AND DRIVE THRU LANE:

CONCRETE STRENGTH - 4000 PSI  
SLUMP - 3"-5"  
COLOR - MIDNIGHT  
PLANT MIXED ONLY  
42LB5/CY

APPLY APC CURE AND SEAL CLEAR AFTER CONCRETE CURED AND WITHIN 24 HOURS. ALLOW SEALER TO DRY 72 HOURS BEFORE FOOT TRAFFIC. APPLY UNTESTED SEAL 48 HRS PRIOR TO TURNOVER DATE.

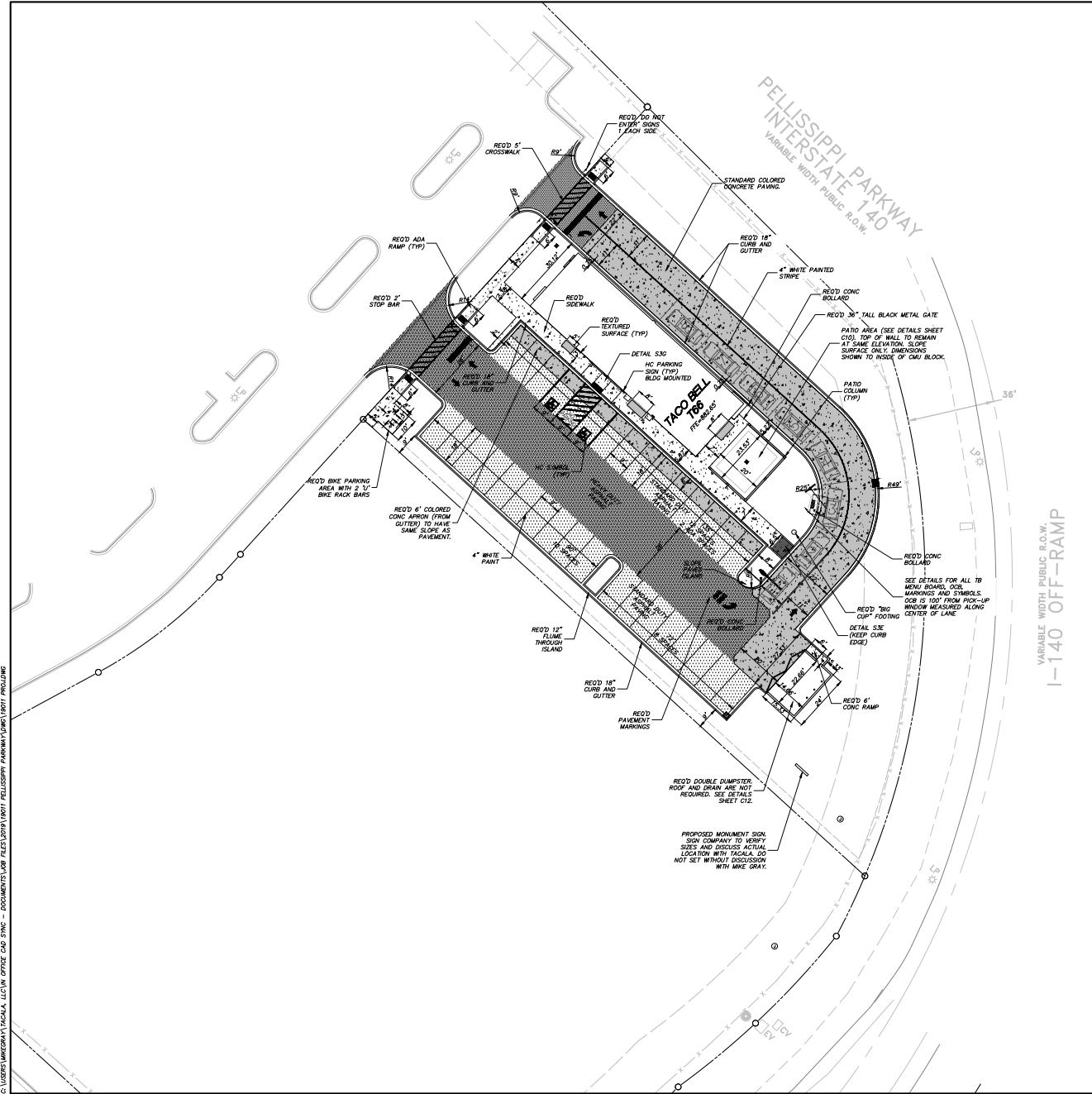


**SITE LEGEND**

- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- CONCRETE SIDEWALK (SEE DETAIL)
- CONCRETE CURB AND GUTTER (SEE DETAIL)
- STOP BAR (PAVEMENT MARKING)
- TRAFFIC FLOW ARROW (PAVEMENT MARKING)
- "STOP" SIGN (R1-1)
- ACCESSIBLE STALL AND DESIGNATED VAN SPACE
- A.D.A. STD ACCESSIBLE RAMP
- STORM SEWER GATE

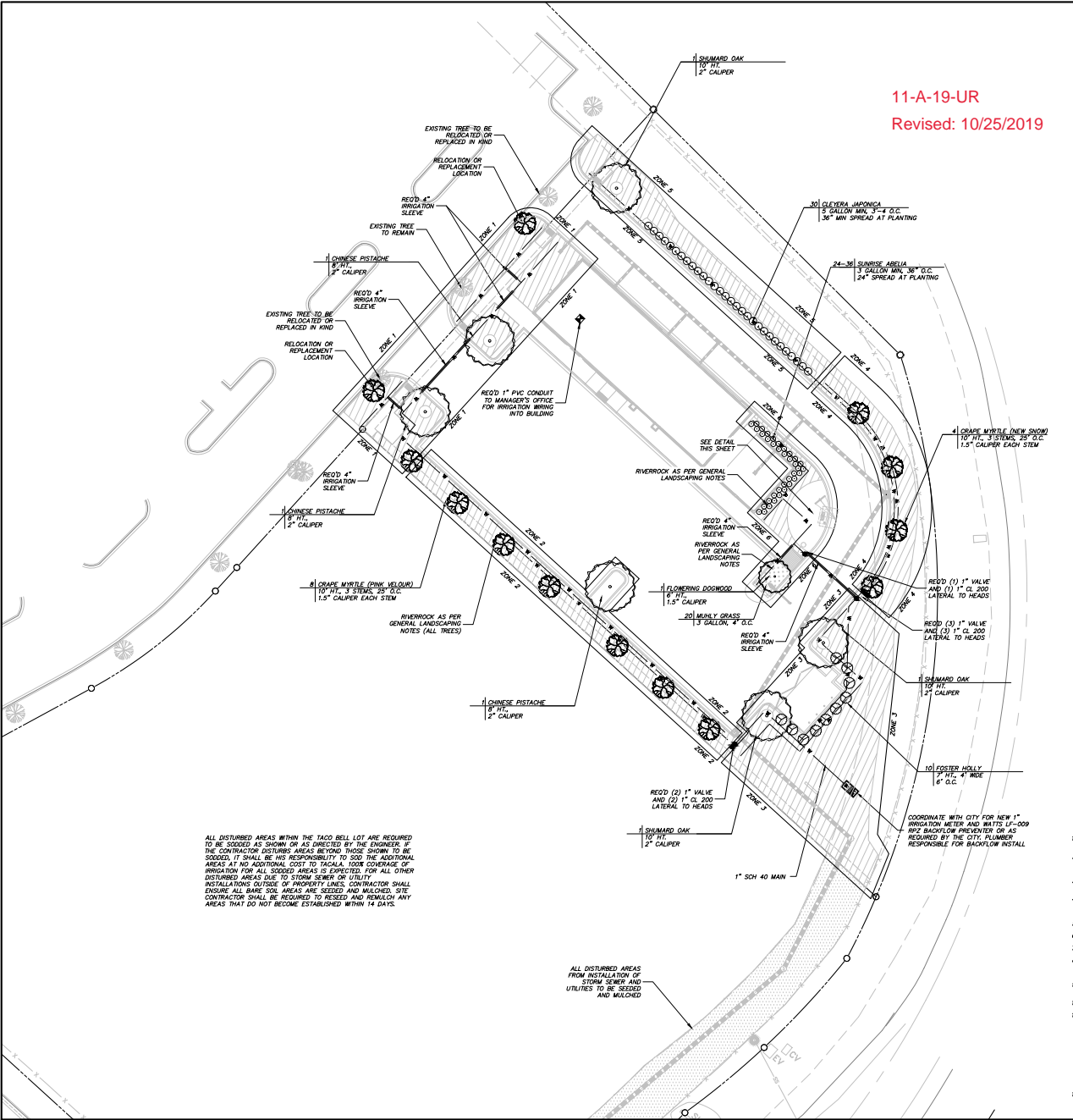
**SITE NOTES**

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SITE WORK SPECIFICATIONS AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
- REFERENCE ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS AND ITEMS NOT SHOWN ON THESE PLANS.
- TOPOGRAPHIC BOUNDARY SURVEY, PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING CONTACTS:  
  
SITE, INCORPORATED  
10215 TECHNOLOGY DRIVE, SUITE 304  
KNOXVILLE, TENNESSEE 37921  
PHONE: (865) 777-4160
- ALL DIMENSIONS AND RAMP ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHOWN TO BUILDINGS ARE TO OUTSIDE FACE OF BUILDING.
- ALL ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS AND APPLICABLE STATE CODES OR REQUIREMENTS.
- ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND APPLICABLE STATE DOT REQUIREMENTS.
- ALL STRIPED OR CURBED RAMP SHALL BE 25' AT THE FACE OF CURB UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO ANY EXISTING IMPROVEMENTS, ON-SITE OR OFF-SITE, SUCH AS PAVEMENT, UTILITIES, STORM DRAINAGE, ETC. THE REPAIR MUST BE APPROVED BY THE ENGINEER AND BE EQUAL OR BETTER THAN EXISTING CONDITIONS.
- ALL PARKING LOT LIGHTING POLES, BASES, FIXTURES WITH LAMPS AND REQUIRED PAINT WILL BE INSTALLED BY THE GENERAL CONTRACTOR'S ELECTRICAL CONTRACTOR. THE ELECTRICAL CONTRACTOR SHALL PROVIDE THE OWNER A ONE-YEAR WARRANTY CERTIFICATE. ALL INCURRED COSTS FOR REPAIRING, UNWRAPPING OF FACTORY PAINTED POLES, STORAGE, LIABILITY AND WARRANTY LABOR SHALL BE INCLUDED IN THE INSTALLATION CONTRACT PRICE.
- CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR SHALL VERIFY ALL-BUILT PLANS INDICATING ALL CHANGES AND DEVIATIONS FROM THE DESIGN DOCUMENTS. THE CONTRACTOR SHALL ALSO PROVIDE ACCESSIBLE TO ALL PART OF THE CONTRACT FOR STORM, SANITARY AND WATER LINES, IF REQUIRED BY THE GOVERNING AUTHORITY.
- ANY DEVIATION FROM THESE PLANS MAY CAUSE THE WORK TO BE UNACCEPTABLE.
- ANY UNANTICIPATED CONDITIONS ENCOUNTERED DURING THE CONSTRUCTION PROCESS SHALL BE IDENTIFIED TO THE OWNER/ENGINEER IMMEDIATELY.
- ALL SITE CONCRETE SHALL BE 3,500 PSI 28 DAY COMPRESSIVE STRENGTH.
- ALL CURB WITHIN THE DEVELOPMENT SHALL BE 4" HEIGHT CURB AND GUTTER, WHEN SHOWN IN PARKING LOTS, SHALL BE 18". ALL OTHER CURB TO BE 24" AND 30" IN R.O.W. UNLESS OTHERWISE SPECIFIED.
- PARKING LOT STRIPING SHALL BE INCLUDED IN PAVING CONTRACTOR'S SCOPE OF WORK. STRIPING WILL BE ACCORDING TO OWNER'S SPECIFICATIONS. ALL STRIPING IS TO HAVE TWO (2) COATS OF PAINT (PAV).
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL OFF-SITE EASEMENTS NOT DELINEATED ON PLANS OR KNOWN AT TIME OF PLAN ISSUANCE.
- THE SITE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL WORK AND APPEARANCES TO WITHIN 5' OF THE BUILDING. THIS INCLUDES TRANSFORMER AND DUMPSTER PADS AS WELL AS ALL UTILITY CONDUITS.
- THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A LIST OF SUB CONTRACTORS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- CONTRACTOR TO INCLUDE CONCRETE BOLLARDS FOR PROTECTION OF BUILDING CORNERS, TRANSFORMERS, VANS TO LIGHTING POLES AND OTHER FIXTURES NEAR DRIVE ISLES AS SHOWN ON THIS PLAN.
- CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
- ALL SITE CONCRETE SIDEWALKS SHALL BE FIVE FEET SIX INCHES (5'6") WIDE MINIMUM UNLESS OTHERWISE NOTED. SIDEWALK ADJACENT TO BUILDINGS SHALL BE SEVEN (7') FEET WIDE FOR THE 100' AND 100' PROTOTYPES.
- PARKING LOT STRIPING IS TO BE CLEARLY VISIBLE BEFORE FINAL ACCEPTANCE. FACED STRIPING IS UNACCEPTABLE. IF CONTRACTOR STRIPES WITHIN 7 DAYS OF ASPHALT PLACEMENT, A SECOND INSTALLATION SHALL BE APPLIED WITHIN 21 DAYS.
- CONTRACTOR SHALL COORDINATE WITH OWNER TO PROVIDE EXCAVATION AND CONSTRUCTION OF POLE-MOUNTED SIGN BASE.
- ALL GUTTER SECTIONS OF CURB AND GUTTER AND ALL CONCRETE APRONS IN PARKING STALLS SHALL HAVE THE SAME SLOPE AS THE PAVEMENT WITH THE MARKINGS TO SHOW ON THE GRADING PLAN. CONTRACTOR MUST EVALUATE GRADING PLAN PRIOR TO GRADING THESE ITEMS.
- ALL TRAFFIC CONTROL, NECESSARY FOR COMPLETION OF ANY WORK ON THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND PRICE SHALL BE INCLUDED IN HIS BID.



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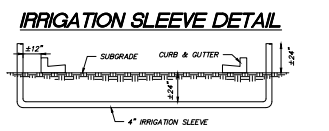
11-A-19-UR  
Revised: 10/25/2019

### REGION 7 - SOUTHEAST

NO.	MATERIAL	QTY	SIZE	HGT.	SP.
1	CHINESE HOLLY LLEX CORNUSTA	PER PLAN	5 GAL	24"	
2	SPANISH BAYONET YUSSA ALCOFOLA	PER PLAN	5 GAL		
3	BLUE FESCUE FESTUCA GLAUCA	PER PLAN	1 GAL	36"	
4	ROUNDER (SEE NOTES)	PER PLAN	N/A		
5	DESERT SAND COLOR 35"-36"	PER PLAN			
6	RIVERROCK (SEE NOTE)	PER PLAN	N/A		
7	INDIAN HAWTHORNE	PER PLAN	1 GAL	24"	
8	BRONN METAL EDGING	PER PLAN			

- ### IRRIGATION DETAILS
- IRRIGATION VALVE
  - SPRAY HEAD (RADIUS AND DIRECTION PER IRRIGATION CONTRACTOR)
  - RAINBIRD ESP-MH CONTROLLER (INSTALLED IN MANAGER'S OFFICE)

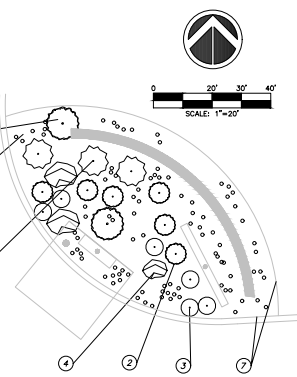
- ### LANDSCAPING DETAILS
- ▨ SEED (BERMUDA - TACOLA MUST APPROVE VARIATION)
  - ▨ SOLID SOG (BERMUDA-TACOLA MUST APPROVE VARIATION)



### TREE PROTECTION ORDINANCE REQUIREMENT (8 TREES PER ACRE)

LOT AREA	0.89 ACRES
TREES REQUIRED	7.12 = 8
TREES PROVIDED	
SHIMMARD OAK	3
CHINESE PISTACHE	3
FOSTER HOLLY	10
FLOWERING DOGWOOD	1
TOTAL	17

- ### GENERAL LANDSCAPING NOTES
- LANDSCAPING/IRRIGATION CONTRACTOR SHALL COORDINATE ALL MATERIALS AND SUPPLIES TO BE USED IN THIS PROJECT.
  - CONTRACTOR SHALL USE DETAILS AS PROVIDED IN THIS PLAN SET UNLESS ADDITIONAL DETAILS ARE PROVIDED BY THE LANDSCAPE ARCHITECT IF USED ON THE PROJECT.
  - CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES AND LANDSCAPING REQUIREMENTS.
  - CONTRACTOR SHALL PLANT SOG WITHIN 8'-10' OF ALL OUTSIDE CURBS AND ALL INTERIOR SPACES, OR AS NOTED ON THIS PLAN. SEED AND MULCH TO BE USED FOR ALL OTHER DISTURBED AREAS.
  - CONTRACTOR SHALL ENSURE ALL PLANTINGS WILL BE ADEQUATELY IRRIGATED. ALL PLANTS HAVE TO BE APPROVED BY THE OWNER/GOVERNING AUTHORITY.
  - SEE GENERAL NOTES ON LANDSCAPING DETAIL SHEET.
  - ALL AREAS TO BE SEEDED OR SOGGED, SHALL RECEIVE 4" OF TOPSOIL AFTER COMPACTING SOG AND SEED SHALL BE BERMUDA UNLESS LOCAL CONDITIONS REQUIRE OTHER VARIATIONS FROM BERMUDA MUST BE APPROVED BY OWNER.
  - CONTRACTOR SHALL HAVE LANDSCAPING CONTRACTOR GROUP SHRUBS LISTED AS CHOICES ABOVE IN A MANNER TO PROVIDE AESTHETICALLY PLEASING RESULTS.
  - ALL RIVERROCK MUST BE FULLY WASHED PRIOR TO PLACEMENT IN BEDS.
  - ALL LANDSCAPING BEDS SHALL HAVE BROWN METAL EDGING AROUND THE ENTIRE BED EXCEPT FOR AGAINST CONCRETE CURB OR BROWN METAL EDGING WILL NOT BE ACCEPTED. EDGING SHALL EXTEND 1" ABOVE GRASS AND ALL STAKES SHALL BE TOWARDS RIVER ROCK. RIVER ROCK SHALL BE AT LEAST 1" BELOW HEIGHT OF EDGING. ABSOLUTELY NO ORGANIC MULCH OF ANY KIND IS ALLOWED. ALL BEDS TO HAVE A MINIMUM OF 1" SETTLED RIVER ROCK PLACED OVER A MINIMUM 4" OF BED FABRIC. FABRIC SHALL BE SECURED WITH 6" LANDSCAPING TIES FABRIC SHALL BE PLACED OVER SHRUBS AND CUT TO FIT. FABRIC SHALL BE SECURED BY PHOTOGRAPHY SUBMITTAL PRIOR TO RIVER ROCK PLACEMENT. LANDSCAPING TIES SHALL HAVE A 1/2" LANDSCAPING DIAMETER. ALL SHRUBS SHALL BE PLANTED WITHIN 1" OF THE RIVER ROCK. ALL PLANTS SHALL BE FULLY ENCOMPASSED IN METAL EDGING WHERE SURROUNDED BY SOG.
  - AS-BUILT IRRIGATION PLANS TO BE SUBMITTED TO OWNER AT TURNOVER OF PROJECT.



### LANDSCAPING BOILERS

CONTRACTOR SHALL PROVIDE NATURAL STONE BOILERS 30"-36" IN SIZE THAT MATCH THE RIVERROCK. CONTRACTOR SHALL PROVIDE PHOTO SAMPLES PRIOR TO PLACEMENT. EXAMPLE PHOTOS SHALL BE PROVIDED TO THE CONTRACTOR BY THE OWNER UPON REQUEST. CONTRACTOR SHALL PROVIDE PHOTO SAMPLES PRIOR TO PLACEMENT. CONTRACTOR SHALL PROVIDE PHOTO SAMPLES PRIOR TO PLACEMENT. CONTRACTOR SHALL PROVIDE PHOTO SAMPLES PRIOR TO PLACEMENT. CONTRACTOR SHALL PROVIDE PHOTO SAMPLES PRIOR TO PLACEMENT.

- ### GENERAL IRRIGATION NOTES
- IF IRRIGATION CONTRACTOR DESIRES TO DEVELOP HIS OWN IRRIGATION PLAN INCLUDING THE LOCATION OF HEADS, VALVES, AND CONTROLLERS, PIPE SIZES, ACTUAL SLEEVE LOCATIONS, BACKFLOW PREVENTER, AND RADIUS SCHEMATIC THIS PLAN MUST BE SUBMITTED TO THE ENGINEER AND OWNER FOR APPROVAL.
  - POWER TO CONTROLLER BY ELECTRICAL CONTRACTOR.
  - IRRIGATION CONTROLLER SHALL BE PLACED IN THE OFFICE AREA OF THE RESTAURANT WITH EXACT LOCATION AS PER ARCH. DRAWINGS.
  - COORDINATE CONDUIT INTO BUILDING BEFORE SLAB IS POURED FOR CONTROLLER WIRING.
  - DRAWING IS DIAGRAMMATIC IF SHOWN. ALL LINES TO BE PLACED BACK OF CURB.
  - ALL HEADS PLACED IN SHRUB BEDS WILL HAVE 12" POP-UPS UNLESS OTHERWISE NOTED.
  - USE VARIABLE ARC SPRAY HEADS WHEN NECESSARY.
  - THERE ARE TO BE (2) 4" PVC SLEEVES EACH TIME MAINLINE CROSSES HARDSCAPE.
  - THERE IS TO BE (1) 4" PVC SLEEVE WHEN THE LATERAL LINE CROSSES HARDSCAPE.
  - CONTRACTOR TO BE INSTALLED AS PART OF GENERAL CONTRACTOR'S CONTRACT. VERIFY LOCATION WITH LANDSCAPE CONTRACTOR. ALL EQUIPMENT REQUIREMENTS NOT SPECIFIED ON THE DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR.
  - VERIFY TAP: IRRIGATION CONTRACTOR TO TEST WATER CONDITIONS AS THEY EXIST IMMEDIATELY DOWN STREAM FROM TAP. IF THEY DO NOT MEET DESIGN DEMANDS, NOTIFY LANDSCAPE ARCHITECT OR ENGINEER IMMEDIATELY OF EXISTING CONDITIONS.
  - MATCH PRECIPITATION RATES ON ALL CIRCUITS.
  - ALL WORK MUST COMPLY WITH LOCAL CODES.
  - NO ELECTRICAL CONNECTIONS SHALL BE MADE IN THE FIELD EXCEPT AT A VALVE CONTROL BOX OR ANOTHER VALVE BOX SPECIFICALLY FOR CONNECTIONS.
  - ANY DISCREPANCY BETWEEN THIS SHEET AND OTHERS IN THIS SET MUST BE REFERRED TO THE IRRIGATION CONSULTANT BY THE CONTRACTOR FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
  - ALL 24 VOLT WIRE SHALL BE #12 AWG FOR COMMON WIRE AND #14 AWG FOR CONTROL WIRE. DIRECT BURIAL. SOLID COPPER CONDUCTOR TO BE RESPONSIBLE FOR PROPER COVERAGE OF AREAS TO BE WIRING. I.E. ADJUST HEADS WITH INSUFFICIENT COVERAGE DUE TO BLOCKAGE BY EXISTING OR PROPOSED SITE FEATURES.
  - CONTRACTOR TO REFER TO LANDSCAPE PLAN TO KEEP SPRINKLER EQUIPMENT AND ACCESSORY MATERIAL FROM INTERFERING WITH PROPER PLANTING. I.E. RIVER ROCK SHALL SET FOR PLANTING CONTRACTOR TO UTILIZE APPROPRIATE AUTOMATIC DRAIN DEVICE WHERE LOW HEAD SITUATION OCCURS.
  - ALL MATERIAL TO BE SUPPLIED BY CONTRACTOR TO OWNER. TWO WRICHES FOR DISASSEMBLING AND ADJUSTING EACH TYPE OF SPRINKLER. TWO VALVES FOR EACH TYPE OF AUTOMATIC CONTROLLER. TWO NETS FOR EACH OF THE AUTOMATIC CONTROLLERS. TWO GARDEN HOSE TIES WITH MATCHING HOSE. SIZES: 24 VOLT WIRE SHALL BE COLOR CODED: COMMON- WHITE, CONTROL - RED.
  - CONTRACTOR TO ADD EXTENSION RISER TO POP-UP HEADS WHEN NEEDED FOR PROPER COVERAGE.
  - ELECTRIC VALVE CONTROL WIRE TO BE 14 GAUGE MINIMUM. IRRIGATION CONTRACTOR MUST PLACE ONE EXTRA "NOT" WIRE AND ONE EXTRA "COMMON" AT FURTHEST VALVE IN EACH DIRECTION FROM CLOCK.
  - ALL MAIN LINES SHALL BE INSTALLED A MAXIMUM OF 2" FROM THE BACK OF CURB. WHERE POSSIBLE, LATERAL LINES SHALL BE INSTALLED WHERE FEASIBLE.
  - ACTUAL HEAD PLACEMENT IN PARKING LOT ISLANDS IS TO BE 18" FROM BACK OF CURB FOR SHRUB PLANTINGS AND 6" FROM BACK OF CURB FOR LAWNS.
  - CONTRACTOR SHALL ADJUST THE RADIUS AND ARC OF EACH HEAD TO MINIMIZE "OVERTHROW" AND TO ELIMINATE "DRY SPOTS".
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPLY AND INSTALLATION OF ADDITIONAL HEADS NEEDED TO COVER "DRY SPOTS" OR OTHER AREAS FROM THE PLAN TO THE SITE UP TO FIVE (5) OF SPECIFIED HEAD TYPE.
  - THE LOCATION AND ARRANGEMENT OF THESE HEADS SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT OR ENGINEER.
  - DO NOT MAKE SUBSTITUTIONS. IF CONTRACTOR DESIRES TO MAKE SUBSTITUTIONS, MATERIALS, SUFFICIENT TECHNICAL LITERATURE AND MATERIAL SAMPLES MUST BE SUBMITTED TO THE OWNER. MATERIALS SHALL BE INSTALLED IN THE FIELD. THE CONTRACTOR SHALL SUBMIT REASONS FOR DESIRING SUBSTITUTE MATERIALS. SUBMIT THIS REQUEST AND INFORMATION TO LANDSCAPE ARCHITECT OR ENGINEER.

#### REVISIONS

NO.	DATE	DESCRIPTION

PLANNING FILE NUMBER: 11-A-19-UR

**TACO BELL RESTAURANT**  
1970 TOWN CENTER BLVD, KNOXVILLE, TN 37922  
SITE #32684

**TACOLA**  
570 CORPORATE WOODS DRIVE  
WESTMINSTER, CO 80056  
WWW.TACOLA.COM

JOB NO: 1901  
DWG NAME: 1901.DWG

**LANDSCAPING PLAN**

SHEET: **C6**

DATE: 10/25/19

**REVISIONS**

1. 10/25/2019 REVISION FOR REVIEW  
2. 10/25/2019 CITY REVIEW APPROVAL

PLANNING FILE NUMBER = 11-A-19-UR



**TACO BELL RESTAURANT**  
1970 TOWN CENTER BLVD, KNOXVILLE, TN 37922  
SITE #91654

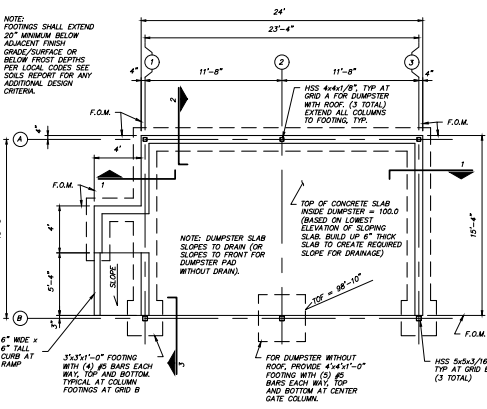
**TACOLA**  
670 CORPORATE WOOD DRIE  
KNOXVILLE, TN 37922  
WWW.TACOLA.COM



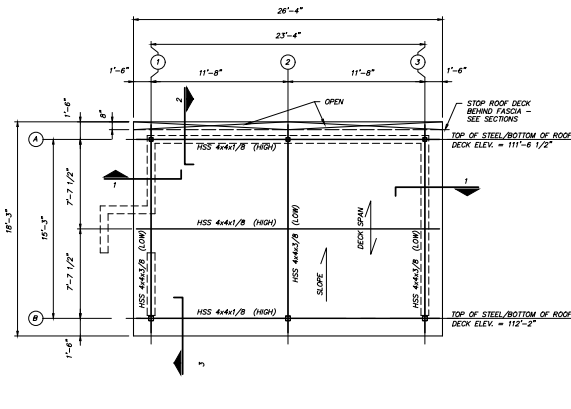
JOB NO: 9011  
DWO NAME: BOB PROJ

SITE DETAILS

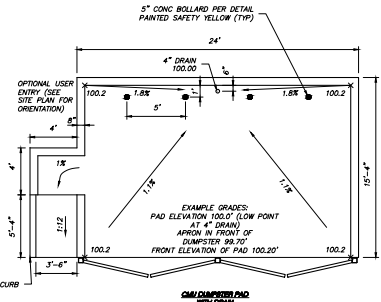
DATE: 10/24/19



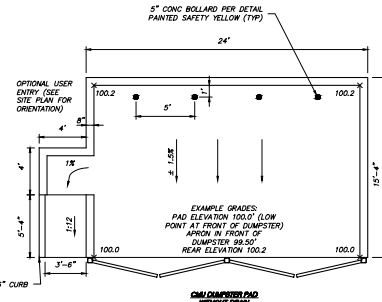
**DUMPSTER FOUNDATION PLAN**  
SCALE = 1:50



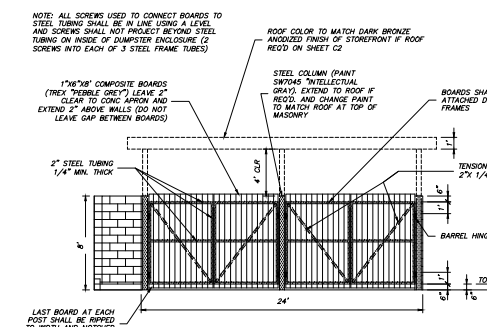
**DUMPSTER ROOF FRAMING PLAN FOR DUMPSTER WITH ROOF (SEE DRAWINGS)**  
SCALE = 1:50



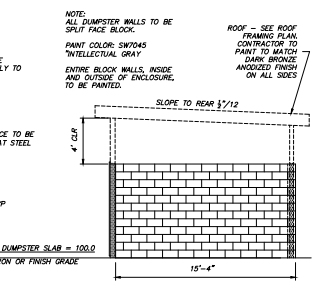
**DUMPSTER PAD DRAINAGE PLAN (SEE SITE PLAN FOR OPTIONAL USER ENTRY, ROOF, AND INTERIOR DRAIN REQUIREMENTS)**  
SCALE = 1:50



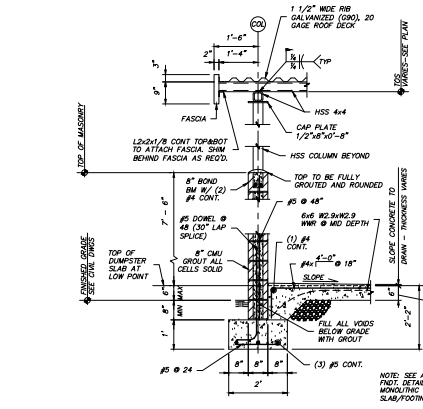
**DUMPSTER PAD DRAINAGE PLAN**



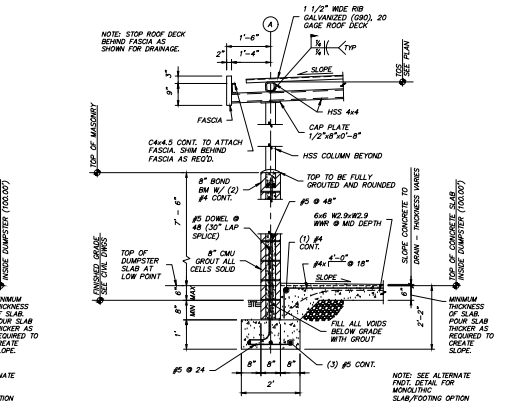
**GATE ELEVATION (ROOF ONLY AS REQUIRED)**  
SCALE = 1:50



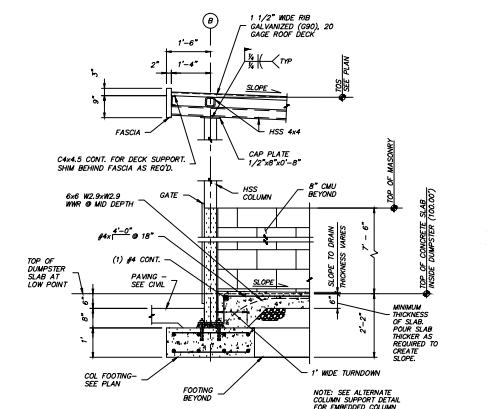
**SIDE ELEVATION (ROOF ONLY AS REQUIRED)**  
SCALE = 1:50



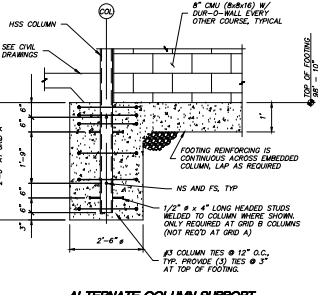
**SECTION 1**  
SCALE = 1:20



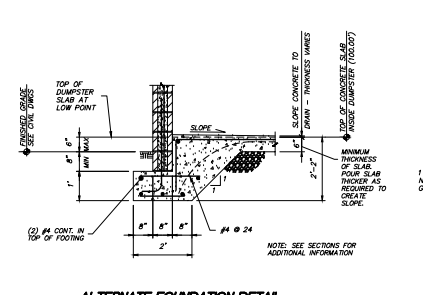
**SECTION 2**  
SCALE = 1:20



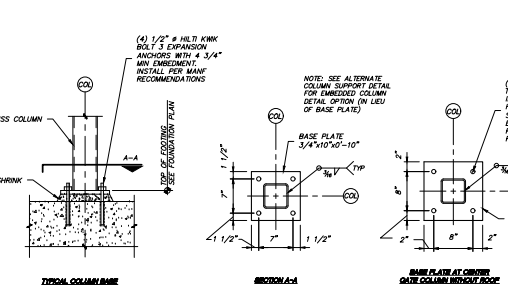
**SECTION 3**  
SCALE = 1:20



**ALTERNATE COLUMN SUPPORT EMBEDDED COLUMN DETAIL**  
SCALE = 1:20



**ALTERNATE FOUNDATION DETAIL WITH MONOLITHIC SLAB/FOOTING**  
SCALE = 1:20



**TYPICAL COLUMN BASE PLATE DETAIL**  
SCALE = 1:10

**CMU DUMPSTER**

11-A-19-UR  
Revised: 10/25/2019

NOTES:  
1. UNLESS SPECIFICALLY STATED ON SITE PLAN, ALL DUMPSTER SLABS SHALL BE ELLEVATED 6" ABOVE PAVEMENT GRADE AT DUMPSTER.  
2. CONTRACTOR TO PROVIDE METAL HOSE HANGER ALONG DUMPSTER WALL CLOSEST TO HOSE BBR HANGER TO BE MOUNTED TO THE WALL APPROXIMATELY 3" ABOVE SLAB.



ISSUE FOR CONSTRUCTION 09/01/2019

Table with 2 columns: NO., DESCRIPTION

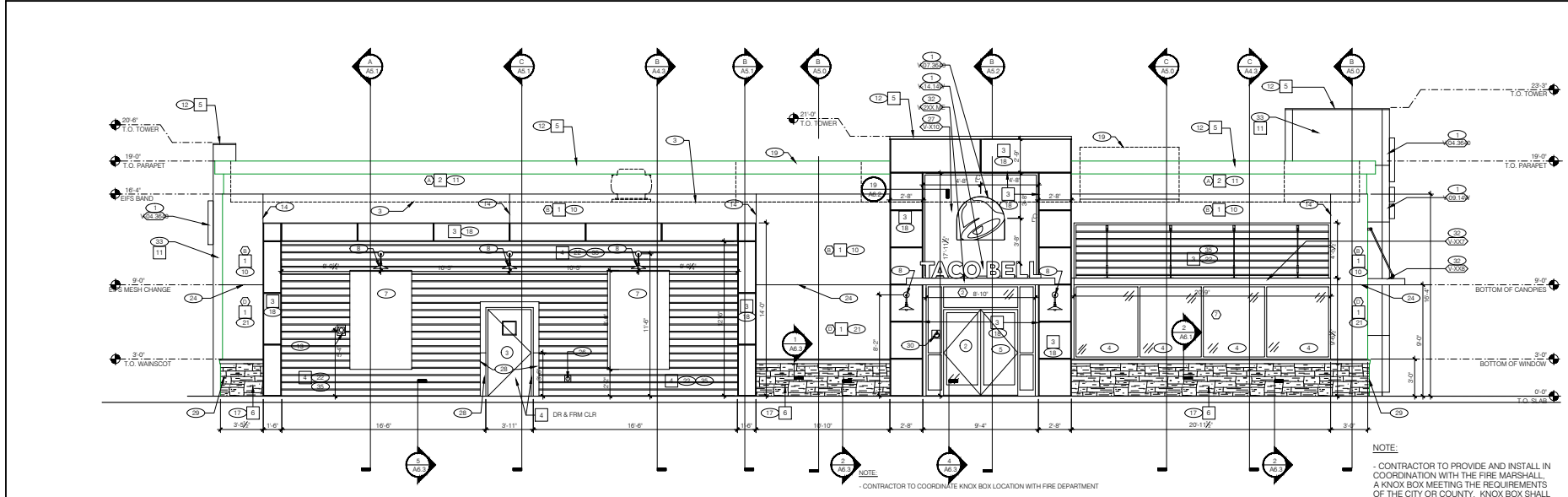


TACO BELL PELLISSIPPI PARKWAY KNOXVILLE, TN

BLACK DESIGN ARCHITECTURE 200 W. BRYANT AVE. SUITE 200 KNOXVILLE, TN 37902-4802 P: 615-528-9822 EMAIL: LANCE@BLACKDESIGNARCHITECTURE.COM

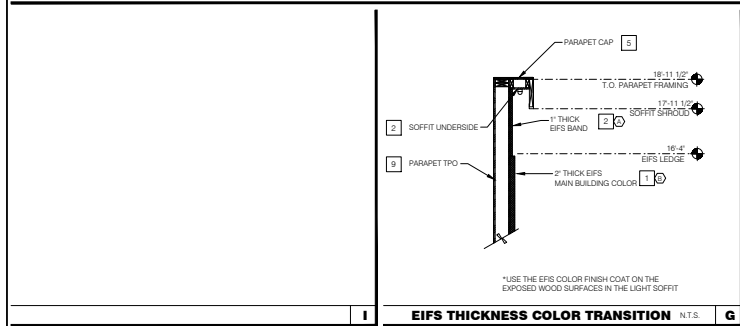
Table with 2 columns: SHEET NO., EXTENSIVE REVISIONS

SHEET NUMBER A4.0

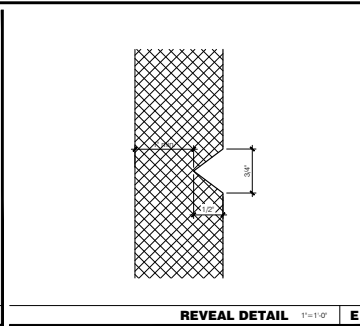


NOTE: CONTRACTOR TO PROVIDE AND INSTALL IN COORDINATION WITH THE FIRE MARSHALL... DIMENSIONS ARE TO EXTERIOR FINISH... SEE DETAIL 7/A6.0 FOR CANOPY BRACING INFORMATION.

RIGHT SIDE ELEVATION 1/4"=1'-0" A



EIFS THICKNESS COLOR TRANSITION N.T.S. G



REVEAL DETAIL 1/8"=1'-0" E

Table with columns: QTY, ITEM DESCRIPTION, ELEC. Lists items like TACO BELL signs, canopies, and paint.

CANOPY & BLDG ACCENT SCHED N.T.S. D

E.I.F.S. LEGEND N.T.S. B. Lists materials like EIFS, mesh, and stone with their respective symbols.

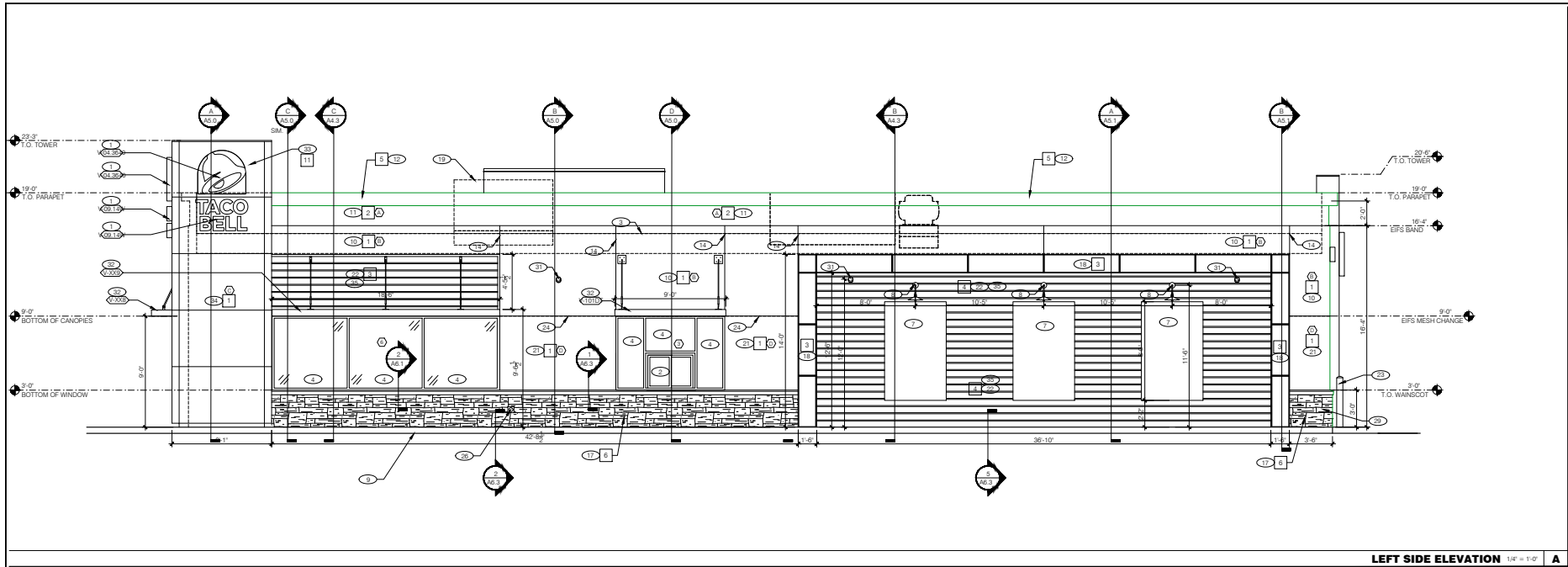
E.I.F.S. LEGEND N.T.S. B

EXTERIOR FINISH SCHEDULE H. Table with columns: SYMBOL, AREA, MANUFACTURER, COLOR. Lists materials for main building color, wall color, reveal panels, etc.

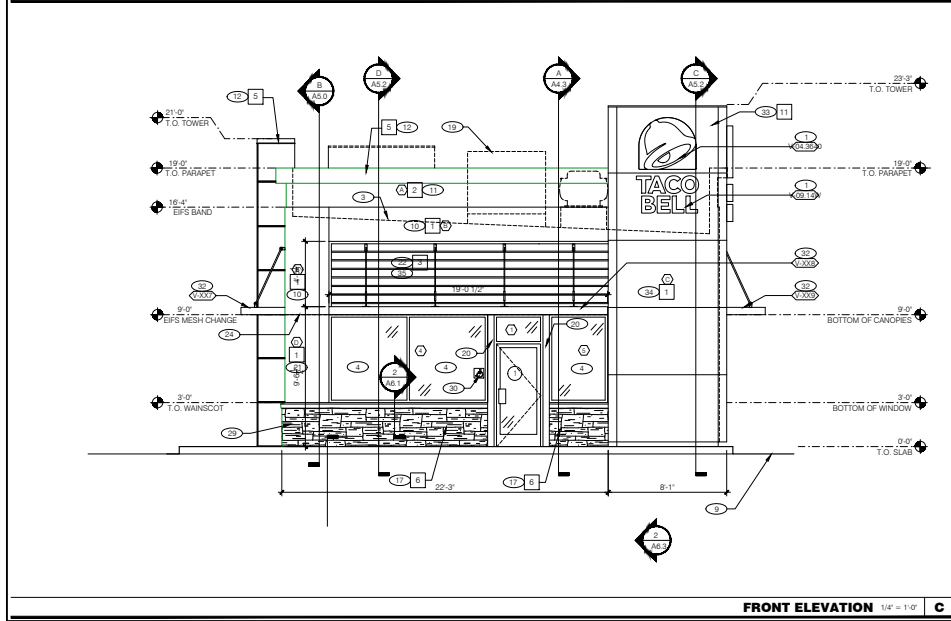
GENERAL NOTES F. Includes miscellaneous notes, sealers, and critical finish notes regarding window openings and stone installation.

KEY NOTES D. Lists specific notes for installation, such as paracet copings, CO2 filler valve, and EIFS reveal joints.

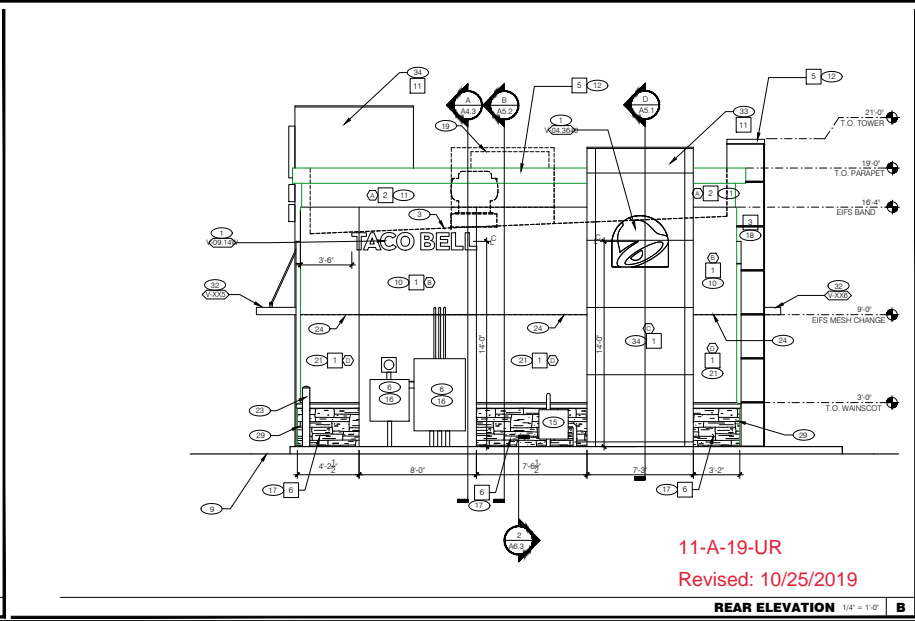




LEFT SIDE ELEVATION 1/4" = 1'-0" A



FRONT ELEVATION 1/4" = 1'-0" C



REAR ELEVATION 1/4" = 1'-0" B



ISSUE FOR CONSTRUCTION  
09/01/2019

NO.	DATE	DESCRIPTION



**TACO BELL**  
PELLISSIPPI PARKWAY  
KNOXVILLE, TN

**BLACK DESIGN ARCHITECTURE**  
2000 BENTLEY AVENUE, SUITE 200  
KNOXVILLE, TN 37912  
TEL: 615.522.8800  
EMAIL: INFO@BLACKDESIGNARCH.COM

SHEET TITLE	EXTERIOR ELEVATIONS
PROJECT NUMBER	19-847
DATE PLOTTED	
DRAWN BY	JM
CHECKED BY	LB

SHEET NUMBER  
**A4.1**

11-A-19-UR  
Revised: 10/25/2019



FRONT ELEVATION

B



RIGHT SIDE ELEVATION

A



REAR ELEVATION

D



LEFT SIDE ELEVATION

C



ISSUE FOR  
CONSTRUCTION

03/01/2019

DATE	DESCRIPTION



**TACO BELL**  
PELLISSIPPI PARKWAY  
KNOXVILLE, TN

BLACK DESIGN  
ARCHITECTURE  
1000  
2100 W. BROADWAY, N. 1000  
KNOXVILLE, TN 37912  
P: 865.524.8882  
F: 865.524.8883  
EMAIL: LAD@BLACKDESIGNARCH.COM

**black**

SHEET TITLE	COLORADO - EXTERIOR
PROJECT NUMBER	BLK-1001
DATE PLOTTED	10-25-19
DRAWN BY	LB
CHECKED BY	LB

SHEET NUMBER  
**A4.6**

Included below are images requested

Example Photo – Building



Example Photo – Dumpster Enclosure



11-A-19-UR

Revised: 10/25/2019

Example Photo – Site Light Pole and LED Fixture



11-A-19-UR

Revised: 10/25/2019

Example Photo – Monument Sign



Aluminum sign panel with  
faux rust finish  
With LED channel letters  
mounted on panels

Should you have any additional concerns, please let me know.

Sincerely,

Mike Gray, P.E.  
Project Manager



# DEVELOPMENT REQUEST



## DEVELOPMENT

- Development Plan
- Use on Review / Special Use

## SUBDIVISION

- Concept Plan
- Final Plat

## ZONING

- Plan Amendment
- Rezoning

Tacala TN Corp

Applicant

9/24/2019

11/14/2019

*11-A-19-UR*

Date Filed

Meeting Date (if applicable)

File Numbers(s)

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Mike Gray

Tacala TN Corp

Name

Company

3750 Corporate Woods Dr

Vestavia Hills

AL

35242

Address

City

State

Zip

205-443-9670

mike.gray@tacala.com

Phone

Email

## CURRENT PROPERTY INFO

Tacala TN Corp

3750 Corporate Woods Dr

205-443-9670

Owner Name (if different)

Owner Address

Owner Phone

1970 Town Center Blvd

154-098.08

Property Address

Parcel ID

Northeast side of Town Center Blvd, southwest side of I-140 offramp

.89 acres

General Location

Tract Size

City Council District 2

PC-1(k)

Jurisdiction (specify district above)

- City
- County

Zoning District

Southwest County

MU-CC

Inside city limits

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

Vacant

N

KUB

KUB

Existing Land Use

Septic (Y/N)

Sewer Provider

Water Provider

**Use on Review**     **Development Plan**

Name of Applicant: Tacala TN Corp

Date Filed: 9-23-19      Meeting Date: 11-14-19

Application Accepted by: Mike Reynolds

Fee Amount: \_\_\_\_\_ File Number: Development Plan \_\_\_\_\_

Fee Amount: \$1500      File Number: Use on Review 11-A-19-UR

**PROPERTY INFORMATION**

Address: 1970 Town Center Blvd

General Location: Northshore Town Center  
near Pellissippi Parkway

Tract Size: 0.89 Ac      No. of Units: 1

Zoning District: PC-1 (k)

Existing Land Use: Vacant

Planning Sector: Southwest County

Sector Plan Proposed Land Use Classification:  
MU-CC

Growth Policy Plan Designation: Inside City

Census Tract: 57.09

Traffic Zone: 233

Parcel ID Number(s): 154 09808

Jurisdiction:  City Council 2 District  
 County Commission 4 District

**PROPERTY OWNER/OPTION HOLDER**

PLEASE PRINT

Name: \_\_\_\_\_

Company: Tacala TN Corp

Address: 3750 Corporate Woods Dr

City: Vestavia Hills      State: AL      Zip: 35242

Telephone: 205 443 9670

Fax: \_\_\_\_\_

E-mail: mike.gray@tacala.com

**APPLICATION CORRESPONDENCE**

All correspondence relating to this application should be sent to:

PLEASE PRINT

Name: Mike Gray

Company: Tacala TN Corp

Address: 3750 Corporate Woods Dr

City: Vestavia Hills      State: AL      Zip: 35242

Telephone: 205 443 9670

Fax: \_\_\_\_\_

E-mail: mike.gray@tacala.com

**APPROVAL REQUESTED**

**Development Plan:**     Residential     Non-Residential

**Home Occupation** (Specify Occupation)  
\_\_\_\_\_  
\_\_\_\_\_

**Other** (Be Specific)

Fast food restaurant  
\_\_\_\_\_  
\_\_\_\_\_

**APPLICATION AUTHORIZATION**

I hereby certify that I am the authorized applicant, representing ALL property owners involved in this request or holders of option on same, whose signatures are included on the back of this form.

Signature: [Signature]

PLEASE PRINT

Name: Mike Gray

Company: Tacala TN Corp

Address: 3750 Corporate Woods Dr.

City: Vestavia Hills      State: AL      Zip: 35242

Telephone: 205 443 9670

E-mail: mike.gray@tacala.com

# REQUEST

DEVELOPMENT

Development Plan     Use on Review / Special Use

Residential     Non-Residential

Home Occupation (specify): \_\_\_\_\_

Other (specify): Fast food restaurant

SUBDIVISION

Proposed Subdivision Name \_\_\_\_\_ Unit / Phase Number \_\_\_\_\_

Parcel Change

Combine Parcels     Divide Parcel    Total Number of Lots Created: \_\_\_\_\_

Other (specify): \_\_\_\_\_

Attachments / Additional Requirements

ZONING

Zoning Change: \_\_\_\_\_  
Proposed Zoning \_\_\_\_\_

Plan Amendment Change: \_\_\_\_\_  
Proposed Plan Designation(s) \_\_\_\_\_

Proposed Property Use (specify) \_\_\_\_\_ Proposed Density (units/acre) \_\_\_\_\_ Previous Rezoning Requests \_\_\_\_\_

Other (specify): \_\_\_\_\_

STAFF USE ONLY

**PLAT TYPE**

Staff Review     Planning Commission

**ATTACHMENTS**

Property Owners / Option Holders     Variance Request

**ADDITIONAL REQUIREMENTS**

- Design Plan Certification (*Final Plat only*)
- Use on Review / Special Use (*Concept Plan only*)
- Traffic Impact Study

<b>FEE 1:</b>		<b>TOTAL:</b> 1,500
1,500		
<b>FEE 2:</b>		
<b>FEE 3:</b>		

## AUTHORIZATION



Staff Signature

Michael Reynolds

Please Print

9/24/2019

Date



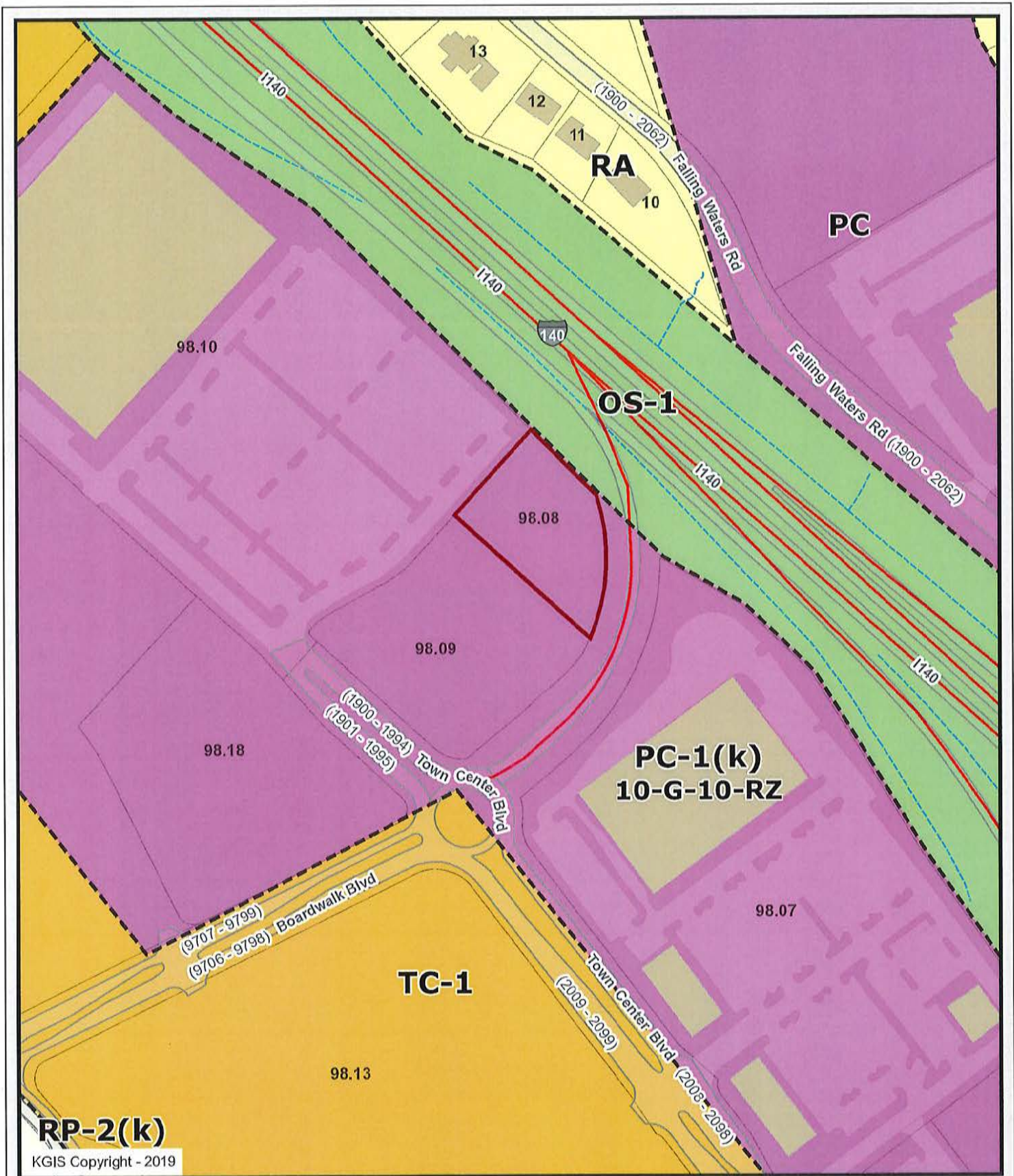
See attached

Applicant Signature

Please Print

Date





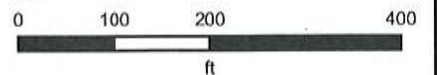
**RP-2(k)**  
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1970 Town Center Blvd.

Knoxville - Knox County - KUB Geographic Information System



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