



USE ON REVIEW REPORT

▶ **FILE #:** 10-A-19-UR

AGENDA ITEM #: 43

AGENDA DATE: 10/10/2019

▶ **APPLICANT:** BARRY BYRD
OWNER(S): Mesa Properties LLC

TAX ID NUMBER: 118 17323 & PART OF 17320

[View map on KGIS](#)

JURISDICTION: County Commission District 6

STREET ADDRESS: 10550 Murdock Dr.

▶ **LOCATION:** South side of Murdock Drive, east of Simmons Road

▶ **APPX. SIZE OF TRACT:** 11.37 acres

SECTOR PLAN: Northwest County

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via Murdock Dr., a minor arterial street with a 40' pavement width within a 100' right-of-way.

UTILITIES: Water Source: West Knox Utility District

Sewer Source: West Knox Utility District

WATERSHED: Turkey Creek

▶ **ZONING:** BP (Business and Technology) / TO (Technology Overlay)

▶ **EXISTING LAND USE:** Office & Vacant

▶ **PROPOSED USE:** Office building

HISTORY OF ZONING: Property zoned BP / TO in the early 1980's. Development plan for phase one of this development approved by MPC in 2002

SURROUNDING LAND USE AND ZONING: North: Vacant lot - BP (Business and Technology) / TO (Technology Overlay)

South: Mesa office/warehouse - PC (Planned Commercial) / TO (Technology Overlay)

East: Business - BP (Business and Technology) / TO (Technology Overlay)

West: Mesa offices - BP (Business and Technology) / TO (Technology Overlay)

NEIGHBORHOOD CONTEXT: The site is located in an area of mixed commercial and light industrial uses. Development in this area has occurred in the BP, PC and CB zones. This site and much of the surrounding area is subject to the development review authority of the Tennessee Technology Corridor Development Authority.

STAFF RECOMMENDATION:

▶ **APPROVE the request for an office building with approximately 35,200 square feet as shown on the development plan subject to 6 conditions**

- 1) Connection to sanitary sewer and meeting any other relevant requirements of the utility provider.
- 2) Installation of all sidewalks and walking trails as identified on the development plan, subject to meeting all applicable Americans with Disabilities Act (ADA) requirements and the requirements of the Knox County Department of Engineering and Public Works.
- 3) Installing all landscaping as identified on the landscape plan within six months of the issuance of an occupancy permit for this project, or posting a bond with the Knox County Department of Engineering and Public Works to guarantee such installation.
- 4) Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
- 5) Any proposed signage is subject to approval by the TTCDA Board, Planning staff, and Knox County Codes Administration staff.
- 6) Meeting all applicable requirements of the Knox County Zoning Ordinance.

With the conditions noted, this plan meets the requirements for approval in the BP (Business and Technology) / TO (Technology Overlay) districts and the criteria for approval of a use on review.

COMMENTS:

This is a request for approval of a 35,200 square foot two story office building for Mesa Associates, Inc. Access for the site will be through the existing Mesa office building site that adjoins this property on the west that has access out to both Murdock Drive and Simmons Road. There is no direct access from this property out to Murdock Drive. The development plan includes 210 parking spaces which meets off-street parking requirements of the Knox County Zoning Ordinance. There is no signage proposed with this submittal.

In addition to this use on review approval from the Planning Commission, approval is also required from the Tennessee Technology Corridor Development Authority (TTCDA). The TTCDA approved the proposed development plan at their meeting on September 9, 2019.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE

1. The proposed office development will have minimal impact on local services since water and sewer utilities are in place to serve this site.
2. The proposed use is consistent in use with the zoning designation.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

1. With the stated conditions, the proposed office development meets the standards for development within the BP (Business & Technology Park) zoning district and all other requirements of the Knox County Zoning Ordinance.
2. The proposed office development is consistent with the general standards for uses permitted on review: The proposed development is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas since the development will have access to a minor arterial street.

CONFORMITY OF THE PROPOSAL TO ADOPTED PLANS

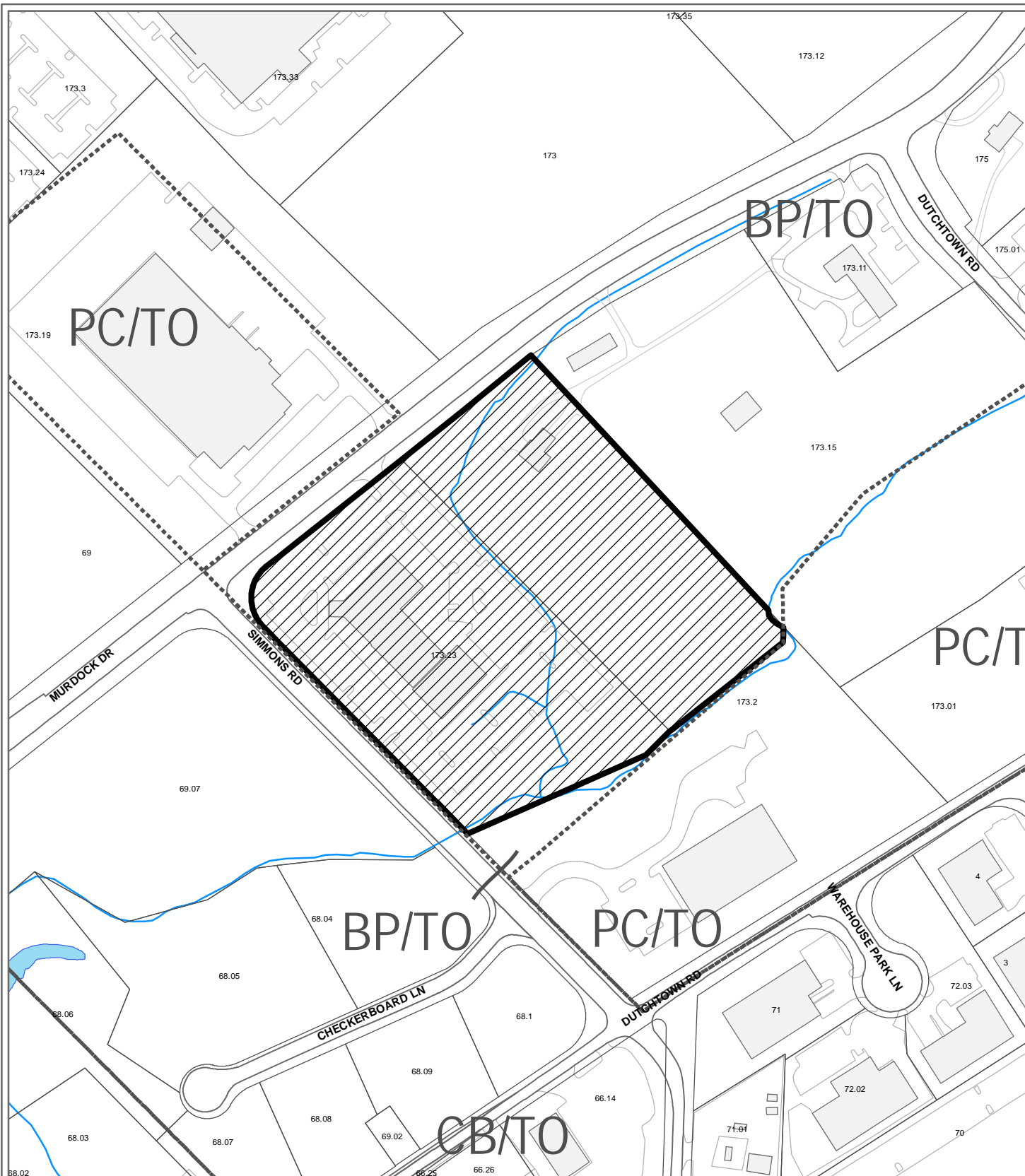
1. The Northwest County Sector Plan identifies this property for technology park use. The proposed office development is in conformance with the Sector Plan.
2. The site is located within the Planned Growth Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: 385 (average daily vehicle trips)

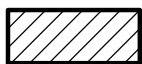
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal a Planning Commission decision in the County.



**10-A-19-UR
USE ON REVIEW**



Office building in BP (Business and Technology) / TO (Technology Overlay)

Original Print Date: 9/17/2019
 Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

Revised:

Petitioner: Barry Byrd

Map No: 118

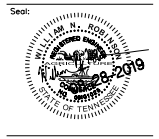
Jurisdiction: County





**BARRY BYRD
ARCHITECTURE**

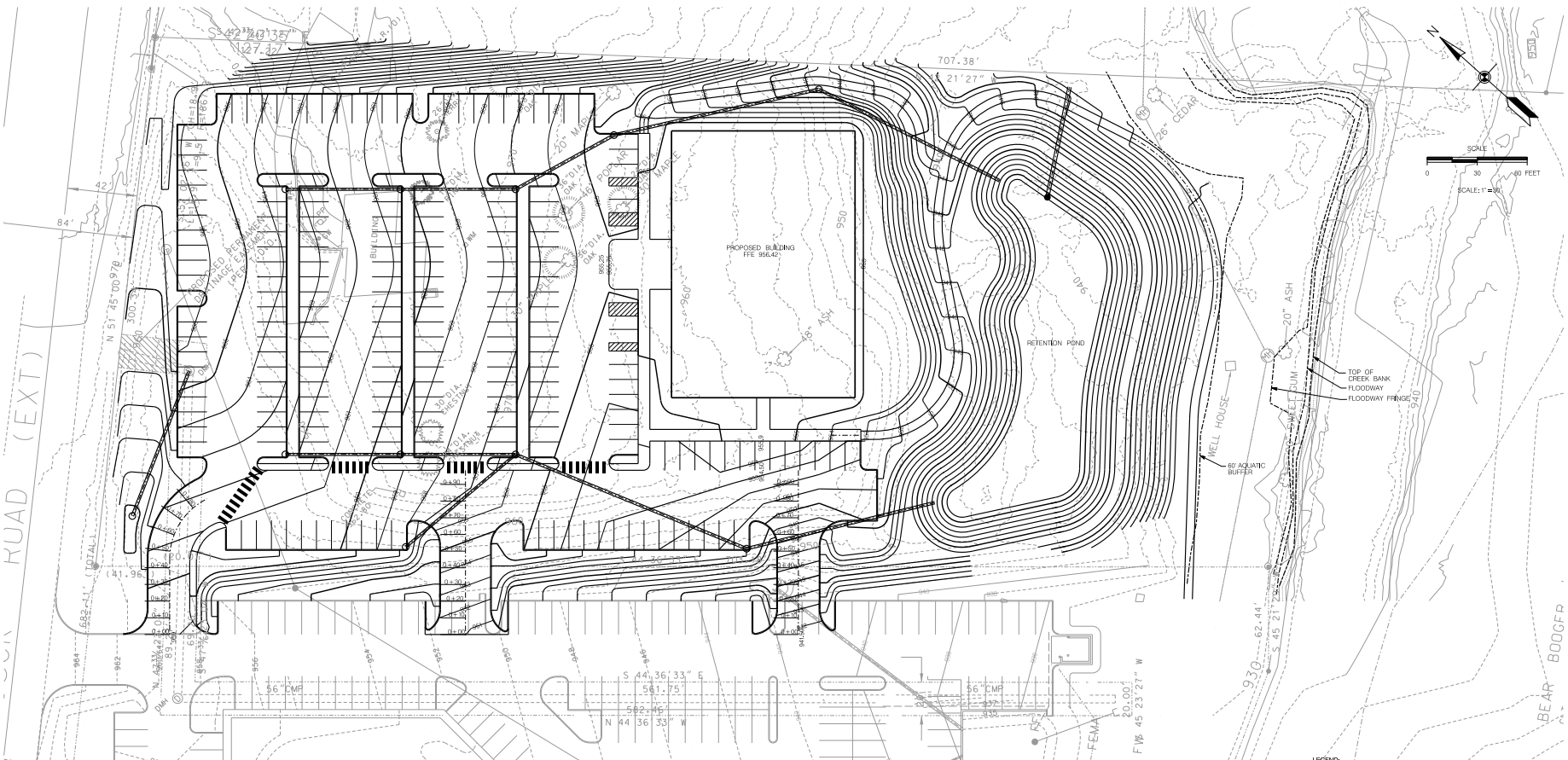
P.O. Box 5482
Knoxville, TN 37928
(865) 687-6500



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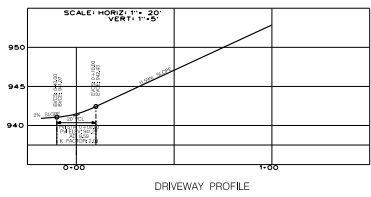
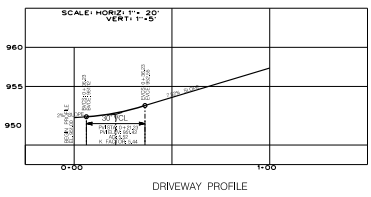
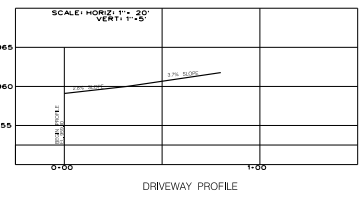
Project Name: _____
 Drawn By: _____
 Revisions:
 No. DATE DESCRIPTION

 Project Title:
 A NEW FACILITY FOR:



LEGEND:

EXISTING	PROPOSED	
536	535	GROUND CONTOUR ELEVATION
535.25'	535.25'	SPOT ELEVATION
[Symbol]	[Symbol]	STRUCTURE
[Symbol]	[Symbol]	PROPERTY LINE
[Symbol]	[Symbol]	EASEMENT
[Symbol]	[Symbol]	EDGE OF PAVEMENT
SD	[Symbol]	STORM DRAIN
SS	[Symbol]	SANITARY SEWER
W	[Symbol]	POTABLE WATER
NG	[Symbol]	NATURAL GAS
W	[Symbol]	FIRE PROTECTION
[Symbol]	[Symbol]	MANHOLE
[Symbol]	[Symbol]	WATER METER
[Symbol]	[Symbol]	FIRE HYDRANT
NA	[Symbol]	SILT FENCING
NA	[Symbol]	INLET PROTECTION
NA	[Symbol]	CURB
NA	[Symbol]	CONCRETE PAVEMENT
NA	[Symbol]	ASPHALT PAVEMENT



10-A-19-UR
Revised: 8/29/2019

MESA:
**PROPOSED NEW
OFFICE BUILDING
(EAST PROPERTY)
10-A-19-UR/
9-B-19-TOB**

Location: _____
 Sheet Contents: _____
 Date: _____
 Sheet Number:
 MPC01

GENERAL NOTES & SPECIFICATIONS

LAWN INSTALLATION: Lawn areas shall be fine graded to a smooth, positively draining slope, removing all stones over 3/4". Agricultural limestone shall be incorporated into the soil at a rate of 50 pounds per 1000 square feet. Apply specified seed at recommended rate. Straw mulch of hydromulch shall be used as deemed necessary by the Landscape Contractor and Landscape Architect. The Landscape Contractor shall be responsible to establish a full stand of grass and will repair any bare spots 1'-0" square due to uneven seed distribution, drought or erosion.

SOD INSTALLATION: Sodded lawn areas shall be fine graded to a smooth, positively draining slope, removing all stones over 3/4". Sod shall be healthy, thick sod placed so that joints are butt tight. Staple as necessary. Sod shall be trimmed to match bed lines shown on plan. Startup fertilizer shall be incorporated into the soil at the manufacturer's recommended rate. Any area of sod that fails to root, settles or dies will be replaced by the Landscape Contractor.

UTILITY LOCATION: The Landscape Contractor is responsible for contacting the utility locator service and is responsible for any damage done to utilities.

QUANTITIES: Plant quantities are shown for the contractor's convenience only. PLANTS SHALL BE INSTALLED AS SHOWN. Contractor is responsible for confirming all quantities prior to bidding and installation.

BIDS: In order to keep all bids standard, all bids are to have unit prices listed. The Owner has the option to delete any portion of the contract prior to signing the contract or beginning work. This will be a unit price contract.

PLANT QUALITY: All plants shall be nursery grown, have a full habit of growth as is characteristic of that species, and shall be free of disease or insects. General plant quality shall be as specified in the "USA Standard for Nursery Stock" (published by the American Association of Nurserymen). Please contact the Landscape Architect if there is difficulty in locating a particular plant. If necessary, a substitute plant will be recommended by the Landscape Architect.

PLANTING HOLES: Trees and shrubs: Remove rock and construction debris from planting area. Dig holes two to three times as wide as the rootball and only as deep as the height of the root ball. Soil at the bottom of the hole is left undisturbed. See planting detail additional information.

SETTING OF PLANTS: The root ball of container grown plants shall be scarified in several places prior to planting. Plant shrubs and trees so that the top of the root ball will be even with or slightly above the adjacent soil line. **SINGLE PLANTING HOLES** - backfill bottom half of space around the rootball with loosened original soil (use amended soil only when necessary for good soil mix). (See ORGANIC AMENDMENTS). Tamp lightly. Finish filling the hole with loose soil and gently tamp again. **SHRUB BEDS** - Backfill bottom half of bed surrounding shrubs with amended backfill (see ORGANIC AMENDMENTS). Tamp lightly and water to settle soil. Finish filling hole with loose amended backfill and gently tamp again. Water shrub bed to settle soil. **PLANTINGS NOT DONE IN THIS MANNER SHALL BE REMOVED AND PROPERLY REPLANTED.**

ORGANIC AMENDMENTS: Organic amendments should be added to backfill for all shrub beds and when deemed necessary to improve soil tilth of single planting holes. Organic matter should comprise approximately 10 to 20 percent of this total soil volume.

PREPARATION OF GROUND COVER AND SEASONAL COLOR BEDS: The existing soil in ground cover and seasonal color beds shall be thoroughly cultivated 6 inches deep to a fine texture (no clods over 1/2") with a mechanical tiller. A plant mix of 50% screened shredded mulch, 20% sand, and 20% well rotted sawdust or peat shall then be thoroughly incorporated into the existing soil with the tiller so that the soil mix (6" deep) is 1/2 original soil and 1/2 plant mix.

FERTILIZING: Upon completion of plantings, all shrubs shall receive 1/6 cup of 16-4-8 fertilizer (50% of nitrogen slow release) evenly broadcast at the base of the plants. Trees shall receive 1/4 cup of 16-4-8 fertilizer (50% of nitrogen slow release) per inch of caliper. Ground cover beds shall be fertilized at the rate of 20 pounds of 16-4-8 (50% of nitrogen slow release) per 1000 square feet.

STAKING OF TREES: Trees should only be staked if necessary, such as when planted in areas of high winds or steep slopes. Under certain circumstances, others may be staked at the discretion of the Landscape Contractor or Landscape Architect. The Landscape Contractor is responsible for all wind damage to trees, (provided winds are less than 60 mph) during the guarantee period, and may stake other trees (for his own protection) at his option. Landscape Contractor will be responsible for removal of all staking material one year after installation.

TRANSPLANTS: All plant material to be transplanted shall be transplanted according to guidelines set by AAN standards. Transplanted material will not be guaranteed by the landscape contractor.

MULCHING: As specified on planting list. Hardwood mulch: All beds to receive a 3" layer of aged hardwood bark mulch (free of wood chips or large chunks of bark). Fresh hardwood bark mulch is not recommended to be used, as water run-off may cause staining on adjacent concrete surfaces. All damages incurred by the use of fresh hardwood mulch shall be the responsibility of the landscape contractor. Pine straw: All beds to receive a 4" layer (prior to compaction) of pine straw. After natural compaction, pine straw should have a depth of 2". All trees located in lawn areas shall receive a 3' diameter ring of mulch. Mulch in these areas is to follow the above listed guidelines.

GRADING: All final grading shall be the responsibility of the landscape contractor. The responsibility for any additional grading (if needed) shall be determined prior to bidding.

BACKFILL: Landscape contractor to verify any additional backfill/topsoil needed prior to beginning work. A unit price for topsoil shall be included in all bid documents to allow for circumstances that might arise during installation.

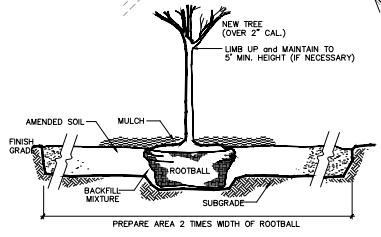
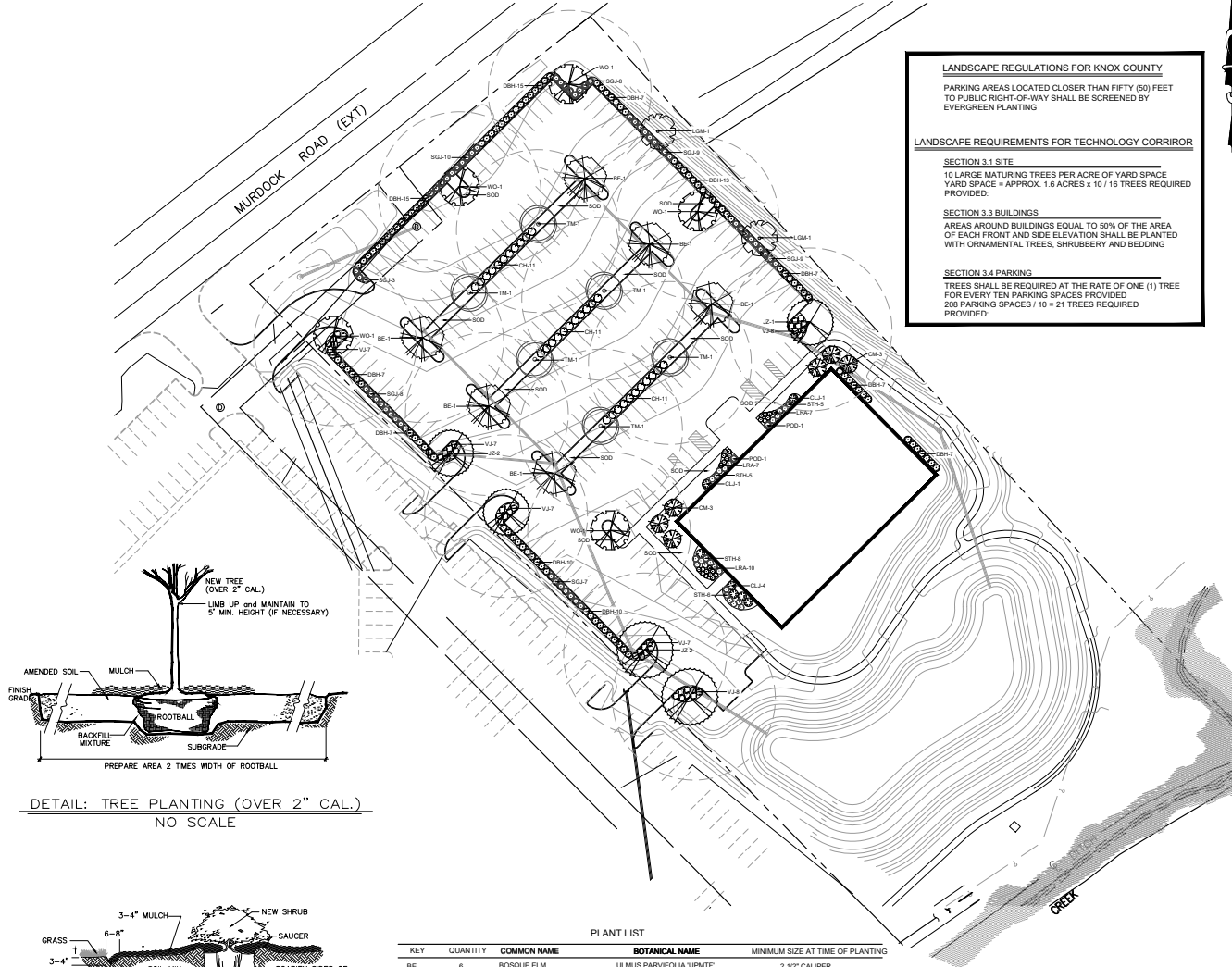
CLEAN UP: Final clean up of any disturbances occurring as a result of landscape operations shall be the responsibility of the landscape contractor.

INSPECTION: It shall be the contractor's responsibility to provide for inspection of the plant material by the Landscape Architect prior to installation. All plant material will be inspected. Plants not conforming precisely to the plant list will not be accepted and shall be replaced at the contractor's own expense.

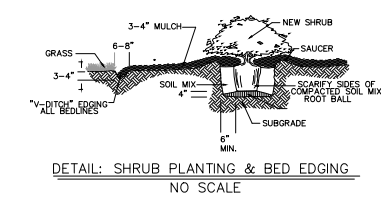
LICENSES: The contractor will be responsible for obtaining all licenses necessary to complete the work.

INSURANCE: With the submit of bid documents, the landscape contractor shall also submit a certificate of insurance for workman's compensation and a contractor's general liability. Contractors not providing evidence of such insurance will be ineligible to receive the contract for the job.

GUARANTEE: All plant material and workmanship to be guaranteed for one year from the date of acceptance by the Owner. Plant replacement to occur only once. The contractor will not be responsible for defects resulting from neglect by the Owner, abuse or damage by others, or unusual phenomena or incidents beyond the landscape contractor's control which result from natural causes such as floods, lightning, storms, freezing rains, or winds over 60 miles per hour, fire, vandalism or theft.



DETAIL: TREE PLANTING (OVER 2" CAL.)
NO SCALE



DETAIL: SHRUB PLANTING & BED EDGING
NO SCALE

PLANT LIST

KEY	QUANTITY	COMMON NAME	BOTANICAL NAME	MINIMUM SIZE AT TIME OF PLANTING
BE	6	BOSQUE ELM	ULMUS PARVIFOLIA 'UPMIF'	2 1/2" CALIPER
CM	6	ORANGE MYRTLE	LAGERSTROMIA (X. FAUREI) 'SIOUX'	6" HIGHT (1/2 CANE MIN) / 5 CANE MAX)
IJ	5	JAPANESE ZELKOVA	ZELKOVA SERRATA	2 1/2" CALIPER
LMH	2	LITTLE LEM MIGNONIA	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	2 1/2" CALIPER
TM	6	TREIDENT MAPLE	ACER RUBRUM 'BURGERIANUM'	2 1/2" CALIPER
WO	4	WILLOW OAK	QUERCUS PHELLOS	2 1/2" CALIPER
CH	33	COMPACTA HOLLY	ILEX CRENATA 'COMPACTA'	3 GALLON
CLJ	6	CLEVERA	CLEVERA JAPONICA	3 GALLON
DBH	105	DWARF BURFORD HOLLY	ILEX CORNUTA 'BURFORDI NANA'	3 GALLON
LRA	24	LITTLE RICHARD ABELIA	ABELIA X 'LITTLE RICHARD'	3 GALLON
POD	2	PODCARPUS	PODCARPUS MACROPHYLLUS VAR. MAKI	3 GALLON
VJ	29	VINTAGE JADE	DISYLIUM VINTAGE JADE #203 128	3 GALLON
SQJ	25	SEA GREEN JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	3 GALLON
STH	24	SOFT TOUCH HOLLY	ILEX CRENATA 'SOFT TOUCH'	3 GALLON
SOD		BERMUDA		
MULCH		HARDWOOD 4" DEPTH		

- NOTES:
1. PLANT MATERIAL / SOD / MULCH SHALL BE VERIFIED BY THE LANDSCAPE CONTRACTOR PRIOR TO BIDDING. ANY DISCREPANCIES SHALL BE REPORTED TO THE LANDSCAPE ARCHITECT IMMEDIATELY. LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR QUANTITY DISCREPANCIES.
 2. CONTRACTOR TO VERIFY THAT ALL PLANT MATERIALS ARE AVAILABLE, AS SPECIFIED, WHEN PROPOSAL IS SUBMITTED.
 3. NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED WITHOUT WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 4. LANDSCAPE ARCHITECT OR OWNERS SHALL HAVE THE RIGHT, AT ANY STAGE OF THE CONSTRUCTION OPERATION, TO REJECT ANY AND ALL WORK WHICH, IN HIS OPINION, DO NOT MEET THE REQUIREMENTS OF THESE PLANS OR SPECIFICATIONS.

LANDSCAPE REGULATIONS FOR KNOX COUNTY

PARKING AREAS LOCATED CLOSER THAN FIFTY (50) FEET TO PUBLIC RIGHT-OF-WAY SHALL BE SCREENED BY EVERGREEN PLANTING

LANDSCAPE REQUIREMENTS FOR TECHNOLOGY CORRIDOR

SECTION 3.1 SITE
10 LARGE MATURING TREES PER ACRE OF YARD SPACE
YARD SPACE = APPROX. 1.6 ACRES x 10 / 16 TREES REQUIRED PROVIDED.

SECTION 3.3 BUILDINGS
AREAS AROUND BUILDINGS EQUAL TO 50% OF THE AREA OF EACH FRONT AND SIDE ELEVATION SHALL BE PLANTED WITH ORNAMENTAL TREES, SHRUBBERY AND BEDDING

SECTION 3.4 PARKING
TREES SHALL BE REQUIRED AT THE RATE OF ONE (1) TREE FOR EVERY TEN PARKING SPACES PROVIDED
208 PARKING SPACES / 10 = 21 TREES REQUIRED PROVIDED.

McLeod
Landscape Architects, LLC
100 West Washington St.
Suite 400
Greenville, SC 29601
(864) 370-3635



REVISED PER COMMENTS
GMA 08/29/2019
SUBMITTED FOR APPROVAL
GMA 07/16/2019

REVISIONS

**MESA ASSOCIATES OFFICE BUILDING
KNOXVILLE, TENNESSEE
LANDSCAPE COMPLIANCE PLAN**

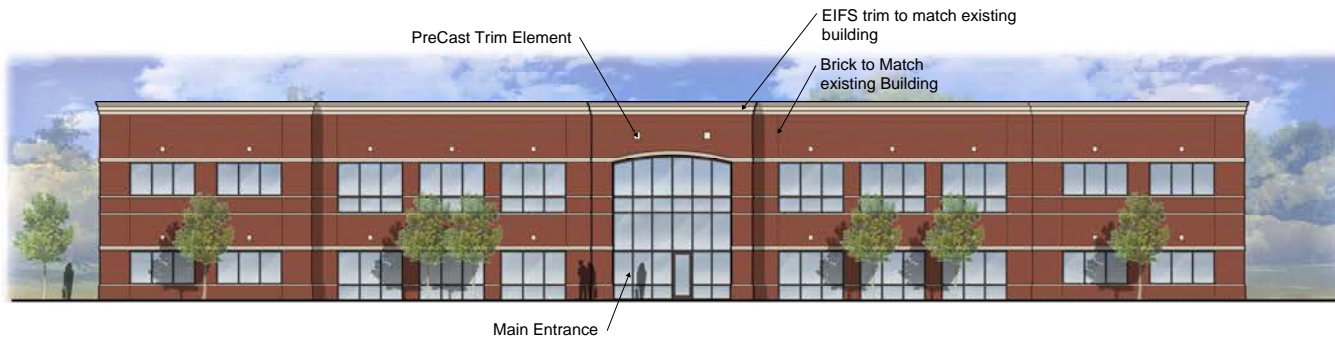
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DRAWN
GMA
CHECKED
JPM
DATE
JULY, 2019
SCALE
1"=40'
JOB NO.
19027
SHEET

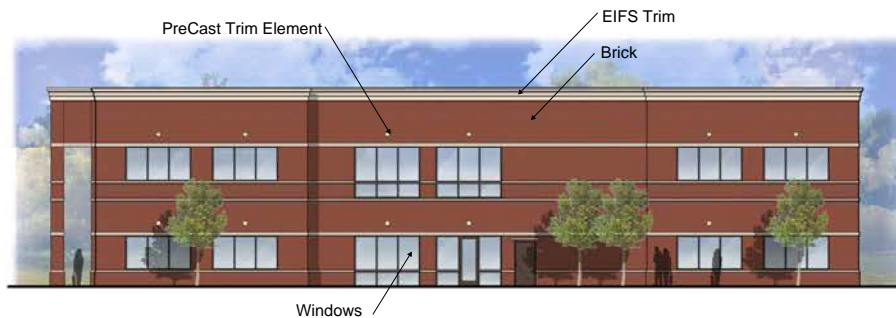
10-A-19-UR
Revised: 8/29/2019

MESA - EAST PROPERTY (10-A-19-UR / 9-B-19-TOB)

L-1



⊕ NORTH (MURDOCK DR) ELEVATION
 $1/8" = 1'-0"$



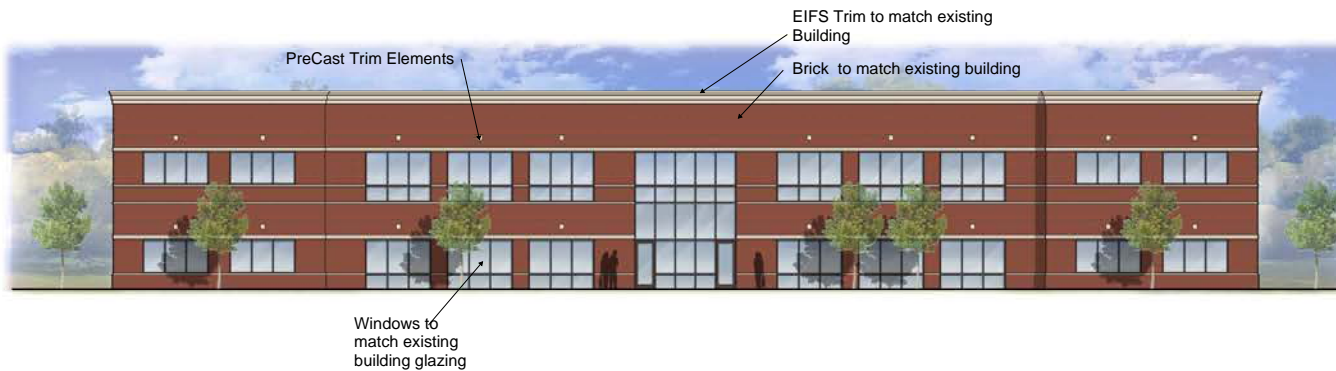
⊙ WEST ELEVATION (FACING MAIN MESA CAMPUS)
 $1/8" = 1'-0"$

The materials on this building are intended to match the existing materials on the main MESA building.

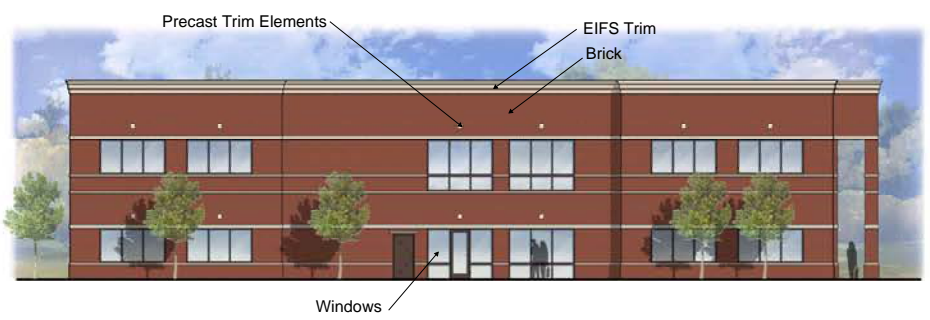


**PROPOSED OFFICE BUILDING
 MESA ASSOCIATES
 MURDOCK DR., KNOXVILLE, TN**

Project # 10-A-19-UR / 9B-19-TOB
 Revised August 29, 2019



3 SOUTH (TURKEY CREEK) ELEVATION
1/8" = 1'-0"



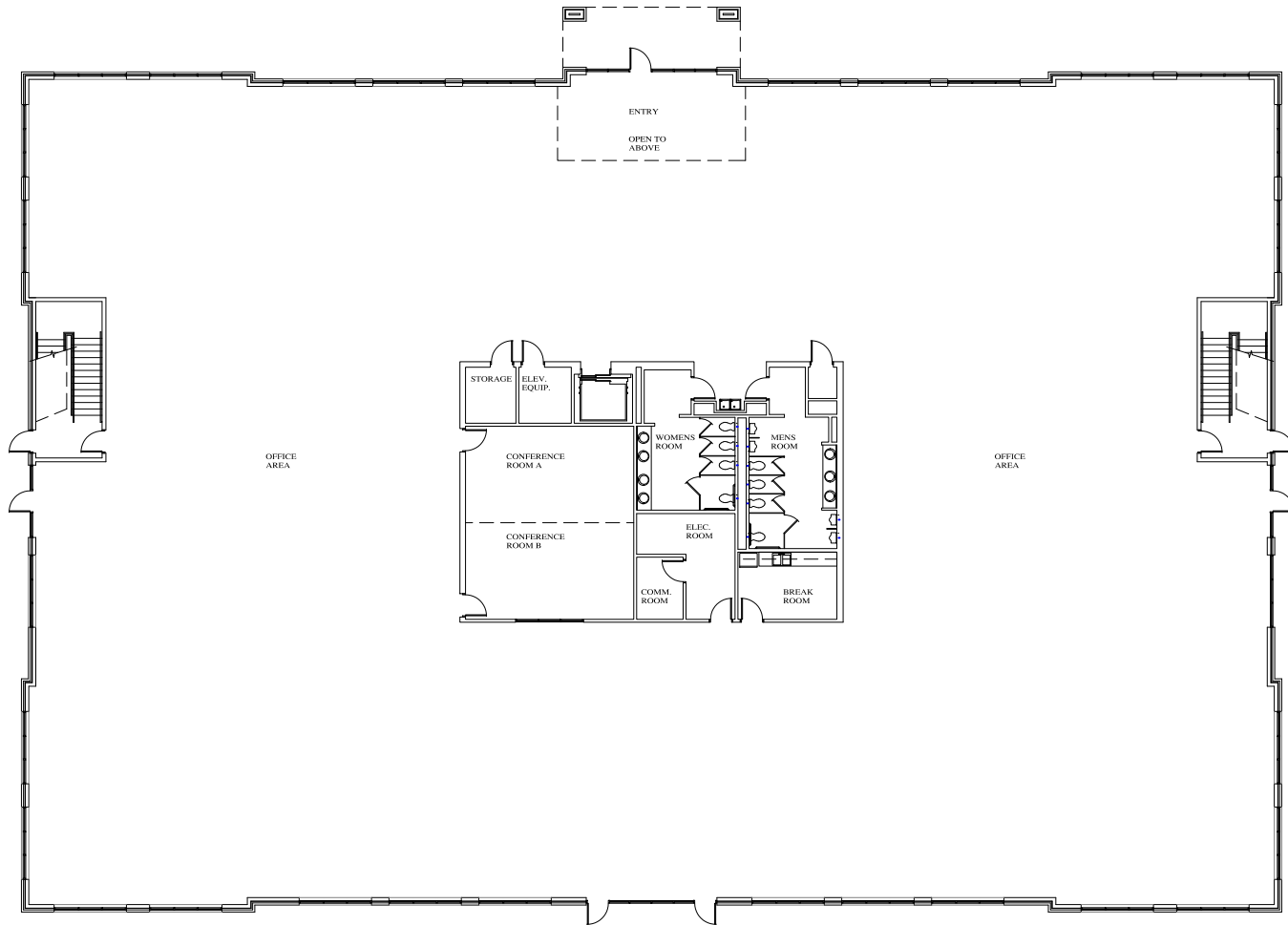
4 EAST ELEVATION
1/8" = 1'-0"



The materials on this building are intended to match the existing materials on the main MESA building.



**PROPOSED OFFICE BUILDING
MESA ASSOCIATES
MURDOCK DR., KNOXVILLE, TN**

Project # 10-A-19-UR / 9B-19-TOB
Revised August 29, 2019



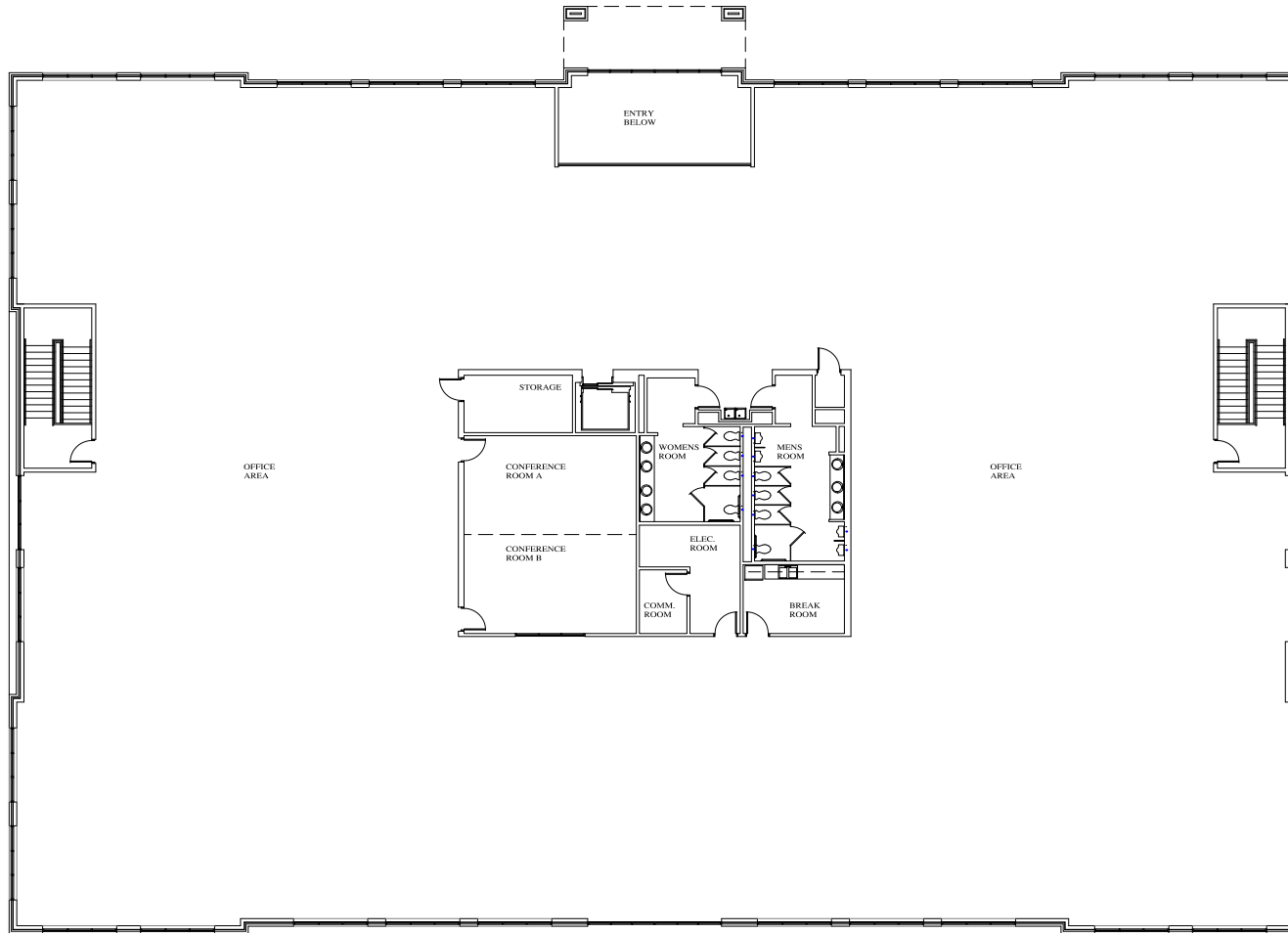


FIRST FLOOR PLAN
 1/8" = 1'-0"





PROPOSED OFFICE BUILDING
MESA ASSOCIATES
MURDOCK DR., KNOXVILLE, TN

JULY 29, 2019
 PROJECT # 10-A-19-UR/9B-19-TOB

Revised: 8/29/2019





SECOND FLOOR PLAN
 1/8" = 1'-0"



PROPOSED OFFICE BUILDING
MESA ASSOCIATES
MURDOCK DR., KNOXVILLE, TN

JULY 29, 2019
 PROJECT # 10-A-19-UR/9B-19-TOB

Revised: 8/29/2019



DEVELOPMENT REQUEST

DEVELOPMENT

- Development Plan
- Use on Review / Special Use

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
- Rezoning

Barry Byrd

Applicant

7/30/19

Date Filed

10/10/19 1:30p.m.

Meeting Date (if applicable)



File Number(s)

10-A-19-UR

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Barry Byrd

Name

Barry Byrd Architecture

Company

900 S Gay St Suite 2301 Knoxville TN 37902

Address

City

State

Zip

865-687-6500

Phone

Email

bbyrd@barrybyrdarchitecture.com

CURRENT PROPERTY INFO

Mesa Properties, LLC

Owner Name (if different)

Owner Address

Owner Phone

10550 Murdock Dr #10604 Murdock Dr 118 17320 (173.23)

Property Address

Parcel ID

3/3 Murdock Due/e of Simmons Rd

General Location

11.37 +/-

Tract Size

6th
Jurisdiction (specify district above) City County

BP/TO
Zoning District ~~XXXXXX~~

Northwest County

Planning Sector

TP

Sector Plan Land Use Classification

Planned

Growth Policy Plan Designation

Vacant

Existing Land Use

N

Septic (Y/N)

N/A

Sewer Provider

West Knox

Water Provider

REQUEST

DEVELOPMENT

Development Plan Use on Review / Special Use

Residential Non-Residential

Home Occupation (specify): _____

Other (specify): _____

SUBDIVISION

Proposed Subdivision Name: Mesa Associates Murdock Drive Unit / Phase Number _____

Parcel Change

Combine Parcels Divide Parcel Total Number of Lots Created: _____

Other (specify): _____

Attachments / Additional Requirements

ZONING

Zoning Change: _____
Proposed Zoning _____

Plan Amendment Change: _____
Proposed Plan Designation(s) _____

Proposed Property Use (specify) _____ Proposed Density (units/acre) _____ Previous Rezoning Requests _____

Other (specify): _____

STAFF USE ONLY

PLAT TYPE

Administrative Meeting

ATTACHMENTS

Property Owners / Option Holders Variance Request

ADDITIONAL REQUIREMENTS

- Design Plan Certification (Final Plat only)
- Use on Review / Special Use (Concept Plan only)
- Traffic Impact Study

FEE 1:

1,500.00

FEE 2:

~

FEE 3:

~

TOTAL:

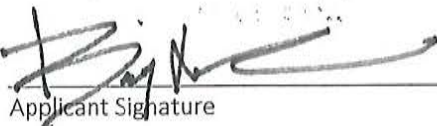
1500.00

AUTHORIZATION


Staff Signature

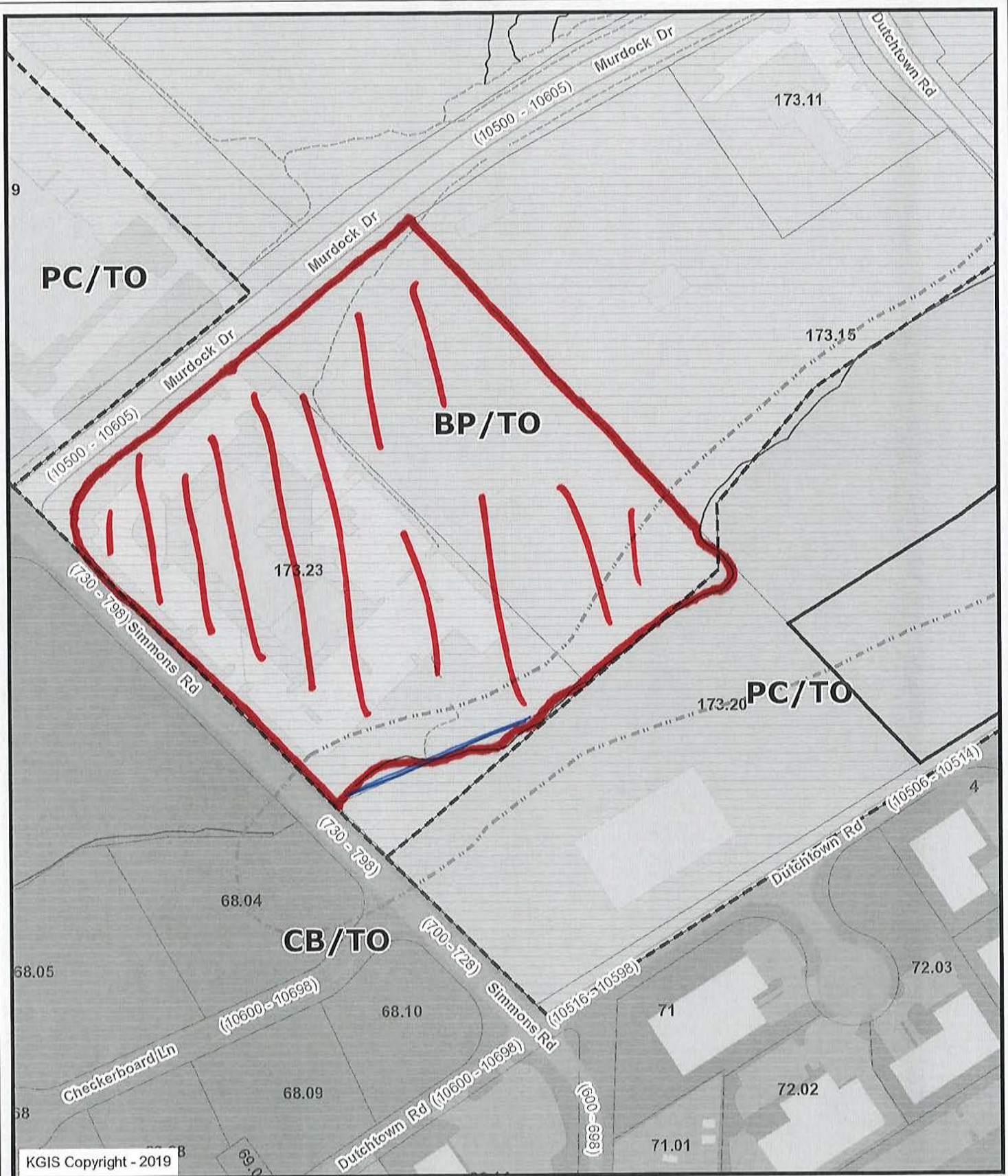
M. Payne
Please Print

7/30/19
Date


Applicant Signature

Benny Byrd
Please Print

7/30/19
Date



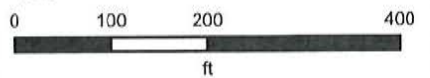
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Letter Portrait

Knoxville - Knox County - KUB Geographic Information System



Printed: 7/31/2019 at 10:44:56 AM



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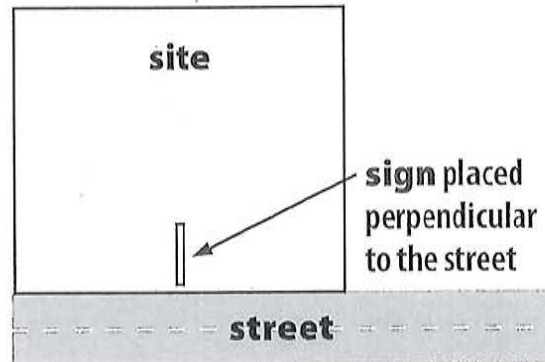
REQUIRED SIGN POSTING AGREEMENT

For all rezoning, plan amendment, concept plan, use on review, right-of-way closure, and street name change applications, a sign must be posted on the subject property, consistent with the adopted MPC Administrative Rules and Procedures.

At the time of application, MPC staff will provide a sign(s) to post on the property as part of the application process. If the sign(s) go missing for any reason and need to be replaced, then the applicant will be responsible for picking up a new sign(s) from the MPC offices. The applicant will be charged a fee of \$10 for each replacement sign.

LOCATION AND VISIBILITY

The sign must be posted in a location that is clearly visible from vehicles traveling in either direction on the nearest adjacent/frontage street. If the property has more than one street frontage, then the sign should be placed along the street that carries more traffic. MPC staff may recommend a preferred location for the sign to be posted at the time of application.



TIMING

The sign(s) must be posted 15 days before the scheduled MPC public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted 15 days before the next MPC meeting.

I hereby agree to post and remove the sign(s) provided on the subject property consistent with the above guidelines and between the dates of:

9/26/19 and 10/11/19
(15 days before the MPC meeting) (the day after the MPC meeting)

Signature: [Handwritten Signature]

Printed Name: Barry Byrd

Phone: 865-687-6500 Email: bbyrd@barrybyrdarchitecture.com

Date: 7/30/19

MPC File Number: ~~XXXXXXXXXX~~ 10-A-19-UR