

USE ON REVIEW REPORT

► **FILE #:** 9-A-19-UR

AGENDA ITEM #: 31

AGENDA DATE: 9/12/2019

► **APPLICANT:** HARLEY E. BITTLE, III

OWNER(S): Harley E. Bittle, III

TAX ID NUMBER: 103 11508 & 11509

[View map on KGIS](#)

JURISDICTION: County Commission District 6

STREET ADDRESS: 10838 Hardin Valley Rd.

► **LOCATION:** South side of Hardin Valley Road, east side of Gliding Hawk Lane, west of Valley Vista Road

► **APPX. SIZE OF TRACT:** 2.83 acres

SECTOR PLAN: Northwest County

GROWTH POLICY PLAN: Planned Growth Area

ACCESSIBILITY: Access is via Gliding Hawk Ln. a local street with a 26' pavement width within a 60' right-of-way with access out to Hardin Valley Rd., a minor arterial street with a 3 lane section with a 44' pavement width within an 100' right-of-way.

UTILITIES: Water Source: West Knox Utility District

Sewer Source: West Knox Utility District

WATERSHED: Conner Creek

► **ZONING:** PC (Planned Commercial) / TO (Technology Overlay)

► **EXISTING LAND USE:** Vacant

► **PROPOSED USE:** Commercial businesses including a restaurant, retail space and a tire sales and service center.

HISTORY OF ZONING: Knox County Commission approved the rezoning of this property to PC/TO on October 28, 2013.

SURROUNDING LAND USE AND ZONING: North: Shopping center - PC (Planned Commercial) TO (Technology Overlay)

South: Vacant land - PC (Planned Commercial) TO (Technology Overlay)

East: Restaurants and retail space - PC (Planned Commercial) TO (Technology Overlay)

West: Bank - PC (Planned Commercial) TO (Technology Overlay)

NEIGHBORHOOD CONTEXT: This area is developed with a mix of residential, office and commercial uses, under A, PR, OB and PC zoning.

STAFF RECOMMENDATION:

► **APPROVE** the request for two commercial buildings with a total building area of approximately 16,585 square feet, as shown on the development plan, subject to 8 conditions

1. Obtaining approval from the Tennessee Technology Corridor Development Authority (TTCDA) for the proposed development (9-A-19-TOB) that will be before the Board on September 9, 2019.
2. Connection to sanitary sewer and meeting any other relevant requirements of the utility provider.
3. Installation of all sidewalks and any required crosswalks as identified on the development plan, subject to meeting Americans with Disabilities Act (ADA) requirements and the requirements of the Knox County Department of Engineering and Public Works. This includes the sidewalks along Gliding Hawk Ln. from the existing sidewalk along Hardin Valley Rd. to the southern property line for this site with connections to the internal sidewalk system. The crosswalk and lane markings shall also be installed for Gliding Hawk Ln at the intersection with Hardin Valley Rd.
4. Installing all landscaping as identified on the landscape plan within six months of the issuance of an occupancy permit for this project, or posting a bond with the Knox County Department of Engineering and Public Works to guarantee such installation. Landscaping shall be installed so as not to interfere with the sight triangles and visibility along public streets.
5. Approval of the Traffic Impact Letter update for Palmer Subdivision (submitted by CDM Smith on September 3, 2019) by the Knox County Department of Engineering and Public Works and Planning staff.
6. Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
7. Proposed signage for the commercial center is subject to approval by Planning Staff and the TTCDA Board.
8. Meeting all applicable requirements of the Knox County Zoning Ordinance.

With the conditions noted above, this request meets the requirements for approval in the PC (Planned Commercial) & TO (Technology Overlay) zoning districts, as well as other criteria for approval of a use on review.

COMMENTS:

This is a request for development approval for Lots 1R3 and 1R4 in Palmer Subdivision which is located on the south side of Hardin Valley Road, east side of Gilding Hawk Lane, just west of Valley Vista Road. Lot 1R3 which has a lot area of 1.33 acres will be the site for Matlock Tire. The tire center which will have a building area of approximately 10,240 square feet, will include a total of 13 service bays. There will be a total of 45 parking spaces provided for this site. Lot 1R4 which has a lot area of 1.5 acres will be the site of a 6,345 square foot retail building which is proposed for a restaurant and retail space. With the restaurant use, the application is proposing a total of 59 parking spaces for this site.

Access for the site will be out to Gliding Hawk Ln to the west, and the interior driveways for the retail center located on the east side of the site. There is no direct access out to Hardin Valley Rd. Sidewalk connections are proposed from the retail center to the east and the sidewalks that will be installed along Gliding Hawk Ln with a connection out to the sidewalks along Hardin Valley Rd.

The site is located within the TO (Technology Overlay) zoning district and is subject to review and approval by the Tennessee Technology Corridor Development Authority (TTCDA). The TTCDA will consider this request on September 9, 2019.

A traffic impact study had been previously approved for this commercial subdivision. The applicant was required to install street and driveway improvements on Hardin Valley Rd. as a part of the Subdivision approval. The applicant was required to provide a Traffic Impact Letter update for Palmer Subdivision (submitted by CDM Smith on September 3, 2019) to analyze the changes in proposed uses for the site to determine if any additional street improvements would be required. That letter is still subject to approval by the Knox County Department of Engineering and Public Works and Planning staff.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTIES AND THE COMMUNITY AS A WHOLE

1. All public utilities are available to serve the site.
2. The proposed commercial development is compatible with the scale and intensity of the surrounding development and zoning pattern.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

1. With the recommended conditions, the proposal meets all requirements of the PC/TO zoning as well as the general criteria for approval of a use on review.
2. The proposed commercial development with the recommended conditions is consistent with the following

general standards for uses permitted on review: The proposal is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas since the development is located off of an arterial street. No surrounding land uses will pose a hazard or create an unsuitable environment for the proposed use.

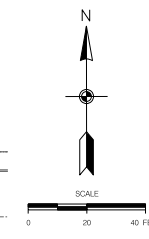
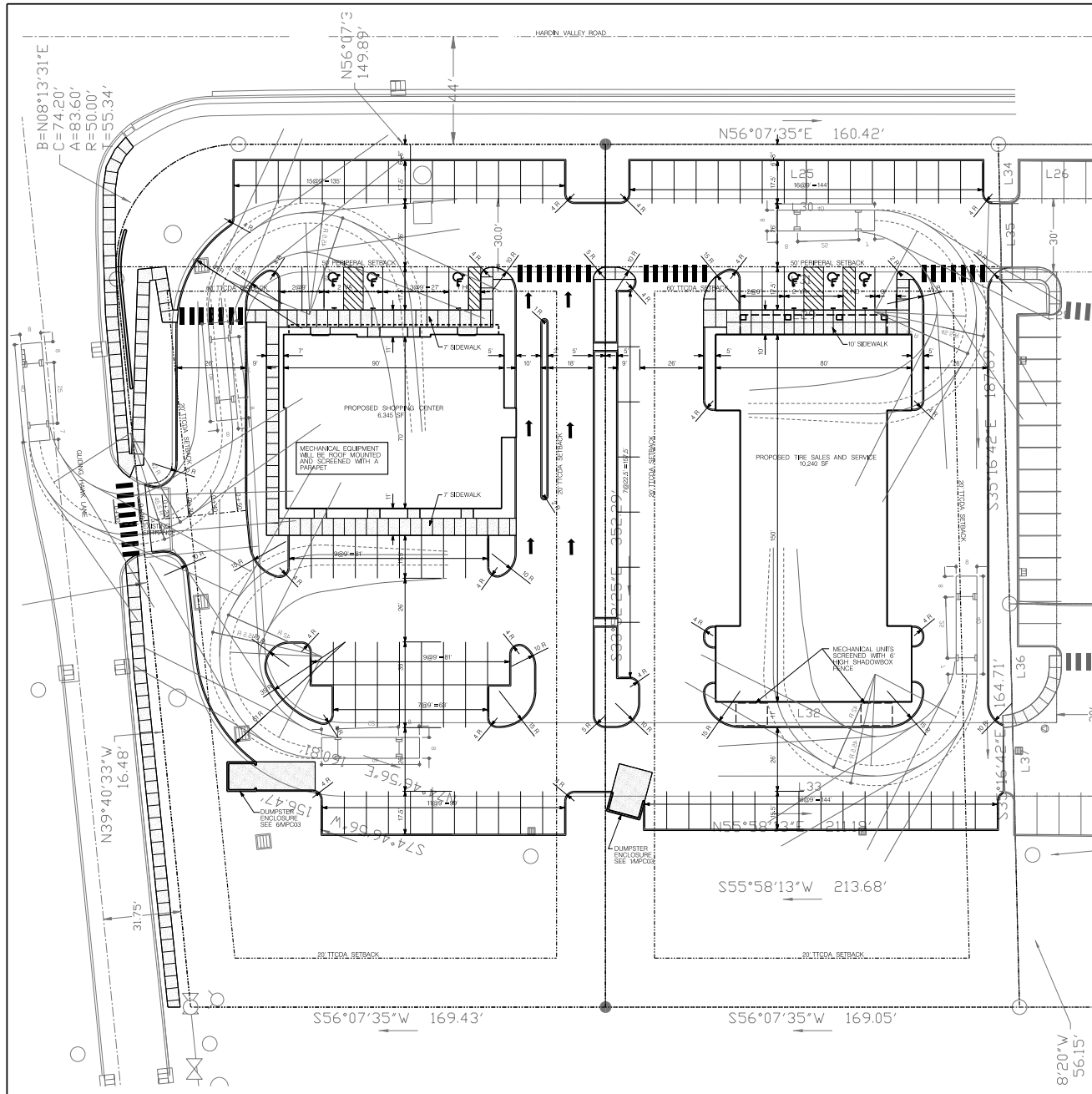
CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

1. The Northwest County Sector Plan proposes a Mixed Use Special District for this site with the recommendation of a mixed use neighborhood center. The proposed commercial development within Palmer Subdivision is in conformity with the Sector Plan.
2. The site is located within the Planned Growth Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: A traffic impact study was prepared by the applicant. The findings of that study were used in formulating the recommendations of this staff report.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal a Planning Commission decision in the County.



LEGEND		
EXISTING	PROPOSED	
		GROUND CONTOUR ELEVATION
		SPOT ELEVATION
		STRUCTURE
		PROPERTY LINE
		EASEMENT
		EDGE OF PAVEMENT
		STORM DRAIN
		SANITARY SEWER
		POTABLE WATER
		NATURAL GAS
		UNDERGROUND ELECTRICAL
		MANHOLE
		WATER METER
		FIRE HYDRANT
		SURFACE FLOW
		SILT FENCING
		CURB
		CONCRETE PAVEMENT
		ASPHALT PAVEMENT
		CONSTRUCTION ENTRANCE
		EROSION CONTROL MAT

PROJECT DATA
 USE: SHOPPING CENTER
 ZONING: PTO
 PARCEL: 103.115.09
 PARKING SUMMARY:
 PARKING REQUIRED: 32 SPACES
 PARKING PROVIDED: 39 SPACES (3 ADA)
 CALCULATION (COUNTY):
 SHOPPING CENTER: 6,345 SF / 200 = 32
 CALCULATION (ITCDA):
 RESTAURANT: 4,845/1000X15 = 36.34
 4,845/1000X15 = 72.68
 TOTAL: 60.44 MIN. 75.00 MAXIMUM
 SETBACKS (ITCDA):
 FRONT: 30'
 REAR: 20'
 SIDE: 20'
 SETBACKS (COUNTY):
 PERIPHERAL: 50'
 BUILDING AREA: 6,345 SF 1 STORY
 PARCEL AREA: 1.50 AC
 IMPERVIOUS AREA: 0.98 AC
 FLOOR AREA RATIO: 16 %
 IMPERVIOUS AREA RATIO: 65 %
 GROUND AREA COVERAGE: 16 %

PROJECT DATA
 USE: TIRE SALES/SERVICE
 ZONING: PTO
 PARCEL: 103.115.08
 PARKING SUMMARY:
 PARKING REQUIRED: 45 SPACES
 PARKING PROVIDED: 39 SPACES (3 ADA)
 CALCULATION (COUNTY):
 AUTO REPAIR: 10,240 SF / 1250 SF + 23 EMPLOYEE
 7X12 STALLS = 20 X 6 EMPLOYEES = 20
 2,000 SF/250 = 20 X 6 EMPLOYEES = 20 + 4 = 25
 CALCULATION (ITCDA):
 ALL OTHER NON-RESIDENTIAL USES: MIN. 2 PER 1000.
 MAX. 3.5 PER 1000
 MIN. 10.24 X 3.5 = 20.48 MAX. 10.24 X 3.5 = 35.84
 SETBACKS (ITCDA):
 FRONT: 30'
 REAR: 20'
 SIDE: 20'
 SETBACKS (COUNTY):
 PERIPHERAL: 50'
 BUILDING AREA: 19,700 SF 1 STORY
 PARCEL AREA: 2.82 AC
 IMPERVIOUS AREA: 1.65 AC
 FLOOR AREA RATIO: 16 %
 IMPERVIOUS AREA RATIO: 58 %
 GROUND AREA COVERAGE: 16 %

9-A-19-UR
 Revised: 8/27/2019



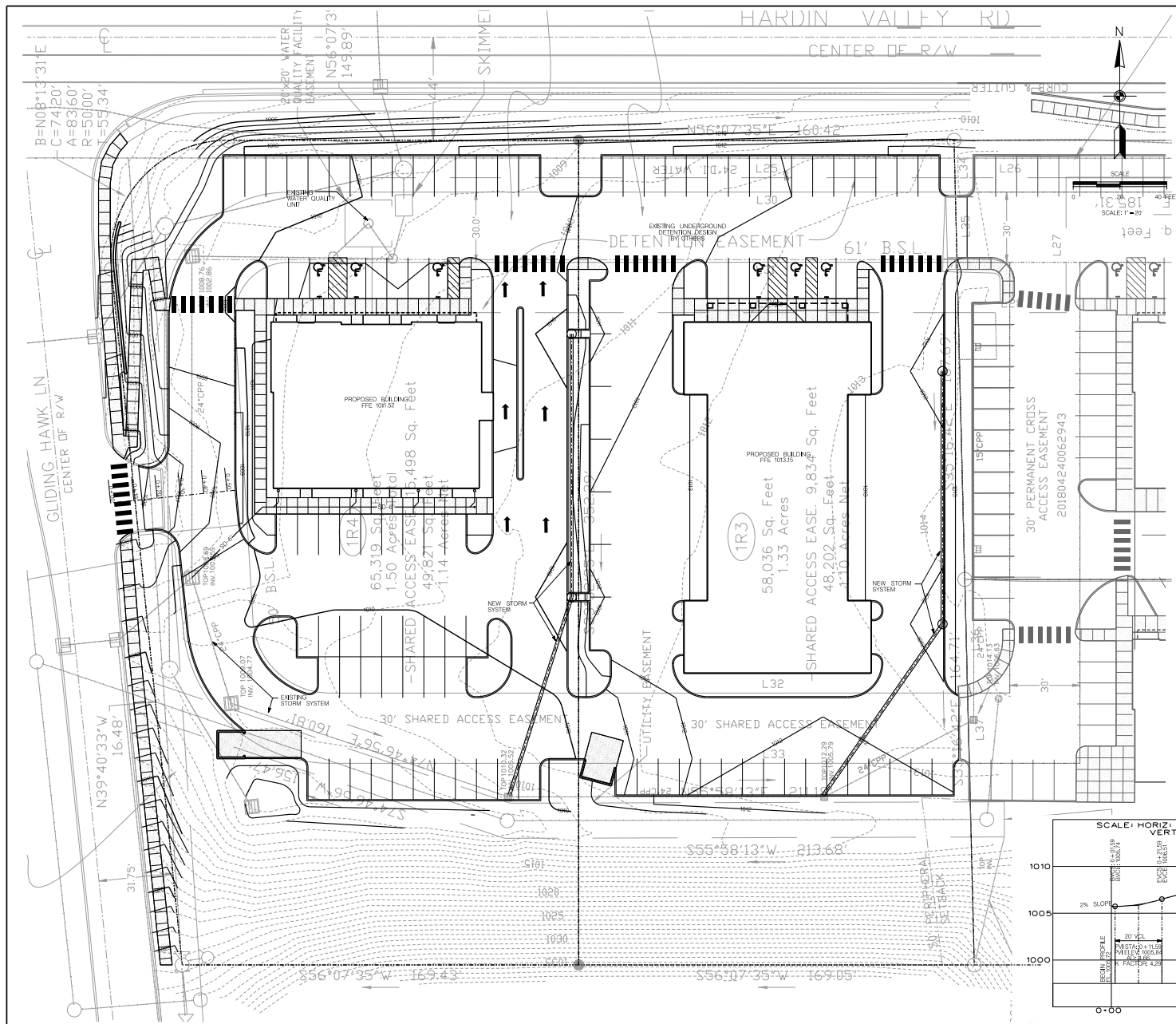
WILL ROBINSON & ASSOCIATES
 1248 N. Shorewood Ln
 Caryville, TN 37714
 (865) 386-4200
 wrassociates@bellsouth.net

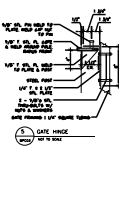
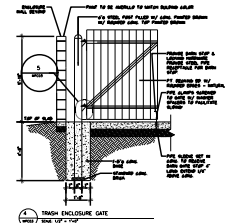
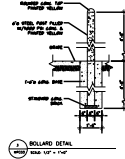
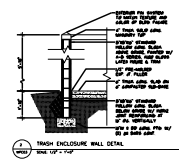
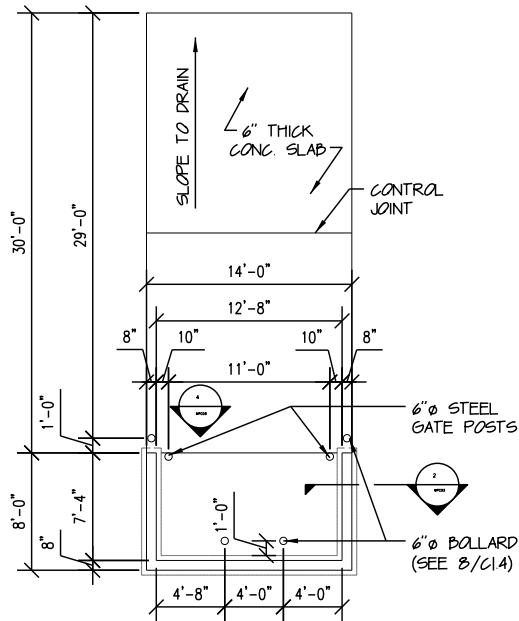
A New Facility for:
Matlock TireBittle Center
 10838/10850 Harbin Valley Road
 Knox County, TN
 9-A-19-UR-9-A-19-TOB

REVISIONS:

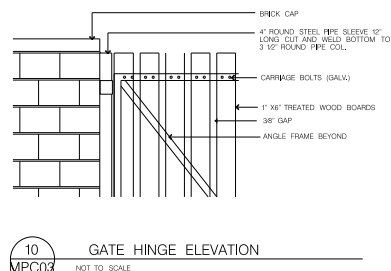
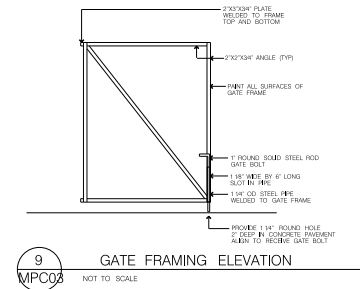
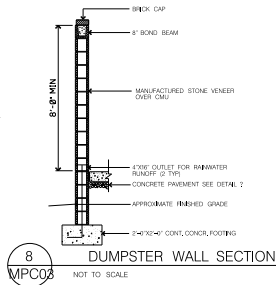
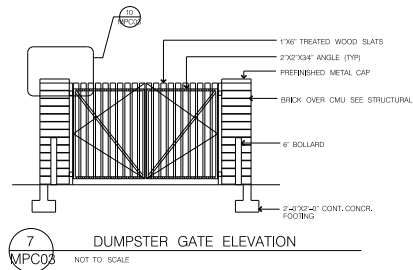
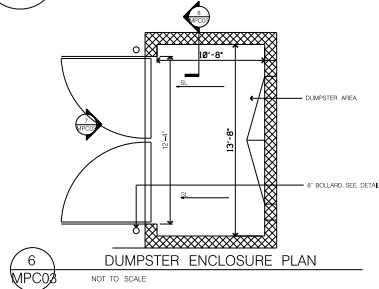
DRAWN:	WNR
CHECKED:	WNR
DATE:	08-27-2019
FILE NAME:	
PROJECT NO:	

MPC01
 SITE LAYOUT PLAN
 DRAWING





1 TRASH ENCLOSURE PLAN
MPC03 SCALE: 1/8" = 1'-0"



10 GATE HINGE ELEVATION
MPC03 NOT TO SCALE

9-A-19-UR
Revised: 8/27/2019

**WILL ROBINSON
& ASSOCIATES**
1248 N. Shorewood Ln
Caryville, TN 37714
(865) 386-4200
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A New Facility for:
Matlock TireBittle Center
10839/10850 Hardin Valley Road
Knox County, TN
9-A-19-UR9-A-19-TOB

REVISIONS:

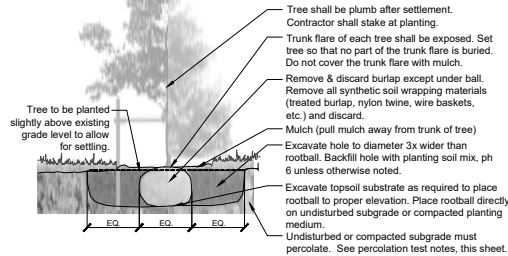
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PROJECT NO:

MPC03
SITE DETAILS - 1
DRAWING

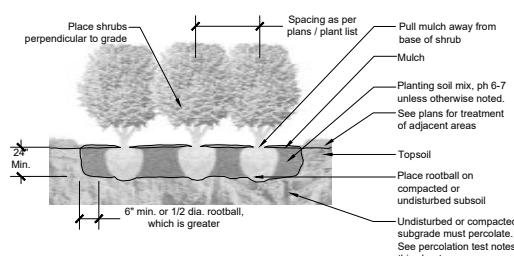
Planting Notes

Key	Quantity	Botanical Name	Common Name	Size	Notes
SHADE TREES					
QF	5	Quercus phellos	Willow Oak	2" cal.	18' CT, Central leader, full, well branched
LA*	5	Ulmus americana 'Preston'	Preston Elm	2" cal.	18' CT, Central leader, full, well and low branched
EVERGREEN TREES					
AS	3	Nerax Nello R. Stevens'	Nello Stevens Holly	8' hgt. min.	ITFG open branching
ORNAMENTAL TREES					
LI	5	Lagerströmia indica 'Rushe' 'Natchez'	Natchez Crape Myrtle	8' hgt. min.	ITFG, 3 cane min. full & well branched, white flowers
SHRUBS					
AR	125	Abelia x grandiflora 'Rose Creek'	Rose Creek Abelia	3 gal.	17" o.c. full & dense, pink/white flowers
JP	103	Juniperus squamata 'expansa' 'Pamoli'	Pamoli's Juniper	3 gal. 18" min. hgt.	17" o.c. full & dense
LC	107	Loquatium chinensis x rubrum 'PILC-1'	Crimson Pine Loquatium	3 gal.	14" o.c. full & dense, pink flowers
OL	57	Ornithoglossum chinensis 'Ornithoglossum'	Ornithoglossum	3 gal.	14" o.c. full & dense
PS	15	Prunus americana 'Chocoma'	Chocoma	3 gal. min.	17" o.c. full & dense
PR	17	Prunus 'Pink Drift'	Pink Drift Rose	3 gal.	17" o.c. full & dense, pink flowers
RO	25	Rosa 'Rabata'	Rabata Rose	3 gal.	14" o.c. full & dense, red flowers
GROUNDCOVERS & PERENNIALS					
HC	333	Hypericum calycinum	Creeching St. John's Wort	1 gal.	18" o.c. full & dense, yellow flowers
ED	55	Erigeron 'Sole de Oie'	Sole de Oie Daisy	1 gal.	18" o.c. full & dense, yellow flowers
LUV	1,400	Lupinus 'Lupinus'	Lupinus	1 gal.	18" o.c. full & dense
PAL	63	Perovskia atropurpurea 'Little Spire'	Little Spire Russian Sage	1 gal.	18" o.c. full & dense, blue flowers
ORNAMENTAL GRASSES					
PS	44	Pennisetum glaucum 'Cassia's Choice'	Cassia's Choice Pennisetum	1 gal.	17" o.c. full & dense
PUS	73	Panicum virgatum 'Shenandoah'	Shenandoah Switchgrass	1 gal.	18" o.c. full & dense
SEED					
SEED	10,000	Festuca arundinacea	Turfgrass Tall Fescue	4"	12" is approximate, contractor to verify in field
HARDSCAPE					
RR	405	River Rock		3-4"	3-4" Depth

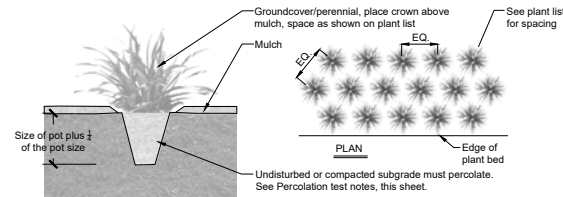
* Contractor to provide quantity for mulch.
* Trees with "to" each 42" minimum at maturity.



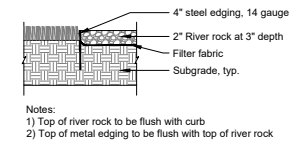
1 Tree Planting Detail
Scale: NTS



2 Shrub Planting Detail
Scale: NTS



3 Groundcover/Perennial Planting Detail
Scale: NTS



4 Steel Edge & River Rock
Scale: NTS



River Rock
-By: Local Source
-Size: 2"
-Depth: 3"
-Color: Browns and Greys
-Quantity: 420 SF

All river rock shall come from the same local source and be washed before being brought on site



Steel Edging
-By: COL-MET or Equal
-Size: 2"
-Gauge: 14
-Color: Brown
-Quantity: 280 LF

www.colmet.com
800-829-8225

Planting Notes

- Contractor shall verify all existing conditions in the field and report any discrepancies to the Owner's Representative prior to starting work.
- No planting shall occur until soil sample results have been received from all planting areas and soils are properly amended based on the results of the soil tests. See this sheet for soil sampling instructions.
- No planting shall occur until percolation testing has been completed and soils have been properly amended to drain. See this sheet for percolation testing procedures.
- All new plant material shall conform to the guidelines established for nursery stock published by the American Association of Nurserymen, Inc. In addition, all new plant material for the project shall be of the highest specimen quality. Plant material delivered to the site that does not meet the requirements stated herein may be rejected by the Owner's Representative.
- Do not assume trunk flare will be exposed at the nursery. Contractor to expose trunk flares to check for root girdling. Pull mulch away from the trunk flare of trees and from the base of all shrubs.
- No plant material shall be planted before acceptance of rough grading. The finished grade shall not cover any part of the tree trunk flare. See tree planting detail.
- All new plants shall be balled and burlapped or container grown unless otherwise noted on the plant list.
- The Contractor shall locate and verify all existing utility lines prior to planting and report any conflicts to the Owner's Representative.
- Planting plans are not layout plans. Plants may need to be shifted in the field, based on the existing conditions. Coordinate with the Landscape Architect prior to any changes.
- All lawn areas disturbed by construction operations inside and outside the limit of work shall be prepared and seeded.
- Prepare all shrub beds with planting soil to a minimum depth matching the depth of shrub root balls; prepare perennial beds with a minimum of 12" planting loam; prepare groundcover beds with a minimum of 6" planting loam.
- All plant beds are to receive one and a half inches (1.5") of double shredded hardwood mulch.
- Thoroughly water trees and shrubs during the first 24 hours after planting. Wet the soil to a depth of 18-24". When runoff starts, stop watering, let the water soak in and repeat until the proper depth is wet.
- Any proposed substitutions of plant species shall be made with plants of equivalent overall form, height, branching habit, flower, leaf, color, fruit, and culture only as approved by the Owner's Representative.
- All areas to be seeded shall receive soil preparation as specified prior to seeding or sodding, unless otherwise noted on plan.
- Contractor's base bid to include all materials, labor, permits, equipment, tools, insurance, etc. to perform the work as described in the contract documents.
- Contractor to complete work within schedule established by Owner.
- Contractor to provide one year warranty for all material from date of substantial completion. Contractor to provide interim maintenance (watering, pruning, fertilizing, guying, mowing, trimming, adequate drainage of ponding areas, edging, weeding, mulching, and general landscape clean-up) until substantial completion notice is provided by the Owner's Representative. Application of insecticides/herbicides must be approved by the Owner's Representative prior to use on site.
- See civil drawings for further information regarding:
 - Erosion and sediment control.
 - Locations of existing and proposed structures, paving, driveways, cut and fill areas, and retention areas.
 - Limits of construction.
 - Locations of existing and proposed utilities or easements.
- Plant beds to join walks or walls at an angle between 90° & 60°.
- Shade trees to be planted a minimum of 3' from sidewalks, water line, sewer line or manholes. Evergreen and ornamental trees to be planted a minimum of 3' from sidewalks, water line, sewer line or manholes.
- Mulch rings around shade trees to be a minimum diameter of 4' and a minimum of 3" around ornamental and evergreen trees. If evergreen trees are specified as full to ground, mulch ring to extend a minimum of 12" beyond the edge of plant.
- Square footage of seed quantities is approximate and is an estimate of the disturbed areas. Contractor to verify quantities prior to purchase and installation.

Instructions For Existing Soil Sampling:

- Using a spade, dig a v-shape hole to a 6" depth; then cut a thin slice of soil from one side of the hole. Place the slice in a plastic bucket, do not use a metal bucket. Mix slices together and fill a plastic sample bag with three (3) cups of dirt. The sample bags can be ziploc bags that are labeled with the project name and sample number.
- A well mixed composite from 10 to 20 random locations should be subsampled to make the three (3) cup sample.
- Mark the plan to show soil sample locations.
- Send samples to A & L Analytical Labs, Inc., 2790 Whitten Road, Memphis, Tennessee 38133, 800-264-4522, www.al-labs.com.
- Results to be copied to the Owner.

Percolation Test Notes

- Dig a hole 18-24" deep & a minimum of 6" wide.
- Fill hole with water to the top and let drain for several hours. Ideally let the hole pre-wet over night and test the following day.
- Refill hole to within a couple inches of the top.
- To aid in measurement, place a stick across the top of the hole and use a second stick to mark periodic drops in water level. mark side of hole; or mark soil on side of hole with nail or stick.
- Measure drop in water level after 30 minutes and one hour. If possible measure drop in water level the next day.
- Determine drop in water level per hour. If water level in hole drops more than one inch per hour. It is well drained and suitable for all plant species.



This drawing is the property of hedstrom Design, LLC and is not to be reproduced or copied in whole or in part without the authorization from hedstrom Design, LLC. It is to be used for the project specifically identified herein and is not to be used on any other project. The Contractor is responsible for verifying all field measurements, quantities, dimensions, and related field construction details.
Any discrepancies, inconsistencies or ambiguities found between the drawings, specifications, and site conditions shall be immediately reported to the Landscape Architect in writing. The Landscape Architect will promptly correct the same in writing. Work done by the Contractor after discovery of such discrepancies, inconsistencies, or ambiguities shall be done at the Contractor's risk.

Matlock Tire
10810 Hardin Valley RD.
Knoxville, TN



Date:	07.01.19	
Job Number:	19-050	
Drawn By:	BWS	Ch'd By: SHP
Rev	Description	Date
1	Updated Site Plan	08.27.19

Sheet Name:
Plant Schedule, Notes, & Details

Sheet Number:

L200

9-A-19-UR
Revised: 8/27/2019

SITE LIGHTING FIXTURE SCHEDULE									
DESIGNATION	LAMPS		POLE DESCRIPTION: MATERIAL, SHAPE, SIZE, FINISH, GRADE	DESCRIPTION: SHIELDING, TYPE, MATERIALS, FINISH, MOUNTING	MANUFACTURER'S PRODUCT ITEM			REMARKS	
	METAL HALIDE	LED			COMPANY	POLE CATALOG NO.	LUMINAIRE CATALOG NO.		
B-01	1	134	30 FT	L.E.D., POLE ARM MOUNTED, TYPE 4 DISTRIBUTION, FULL CUT-OFF, HOUSE-SIDE SHIELD, 4000K	LITHONIA	RSR 27 60 4 DM19 DDB	CSX1 LED 60C 700 40K T4M HS	DARK BRONZE FINISH	
B-02	2	134	30 FT	L.E.D., POLE ARM MOUNTED, TYPE 4 DISTRIBUTION, FULL CUT-OFF, HOUSE-SIDE SHIELD, 4000K	LITHONIA	RSR 27 60 4 DM28 DDB	CSX1 LED 60C 700 40K T4M HS	DARK BRONZE FINISH	
C-01	1	14	14 FT	L.E.D., WALL MOUNTED, 1,349 LUMENS, FULL CUT-OFF, 4000K, BATTERY BACKUP EGRESS LIGHTING	LITHONIA		DSXW1LED 10C 350 40K T2M ELW	DARK BRONZE FINISH	
D-01	1	51	9 FT	WET LOCATION LISTED, BATTERY BACKUP EGRESS LIGHTING	PRUDENTIAL		PS160 1178 08' RWA 120 EM-DL	VERIFY FINISH W/ ARCHITECT	

CSX1 LED Area Luminaire

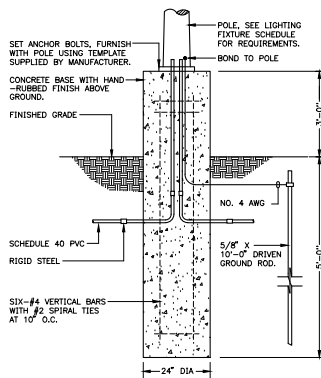
Specifications:

- Model: CSX1
- Length: 14" (355mm)
- Width: 4" (102mm)
- Height: 1.5" (38mm)
- Weight: 1.5 lbs (0.7kg)

Example: CSX1 LED 60C 1000 40K T4M RWA120 SPN DDB

Item	Qty	Unit	Description	Notes
1	1	ea	CSX1 LED 60C 1000 40K T4M RWA120 SPN DDB	

LIGHTING FIXTURE CUT SHEET "SA", "SB"
NO SCALE



POLE BASE DETAIL
NO SCALE

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

OLW14

Specifications:

- Model: OLW14
- Length: 14" (355mm)
- Width: 4" (102mm)
- Height: 1.5" (38mm)
- Weight: 1.5 lbs (0.7kg)

Example: OLW14 LED 60C 1000 40K T4M RWA120 SPN DDB

Item	Qty	Unit	Description	Notes
1	1	ea	OLW14 LED 60C 1000 40K T4M RWA120 SPN DDB	

LIGHTING FIXTURE CUT SHEET "SC"
NO SCALE

PS160 | Wet

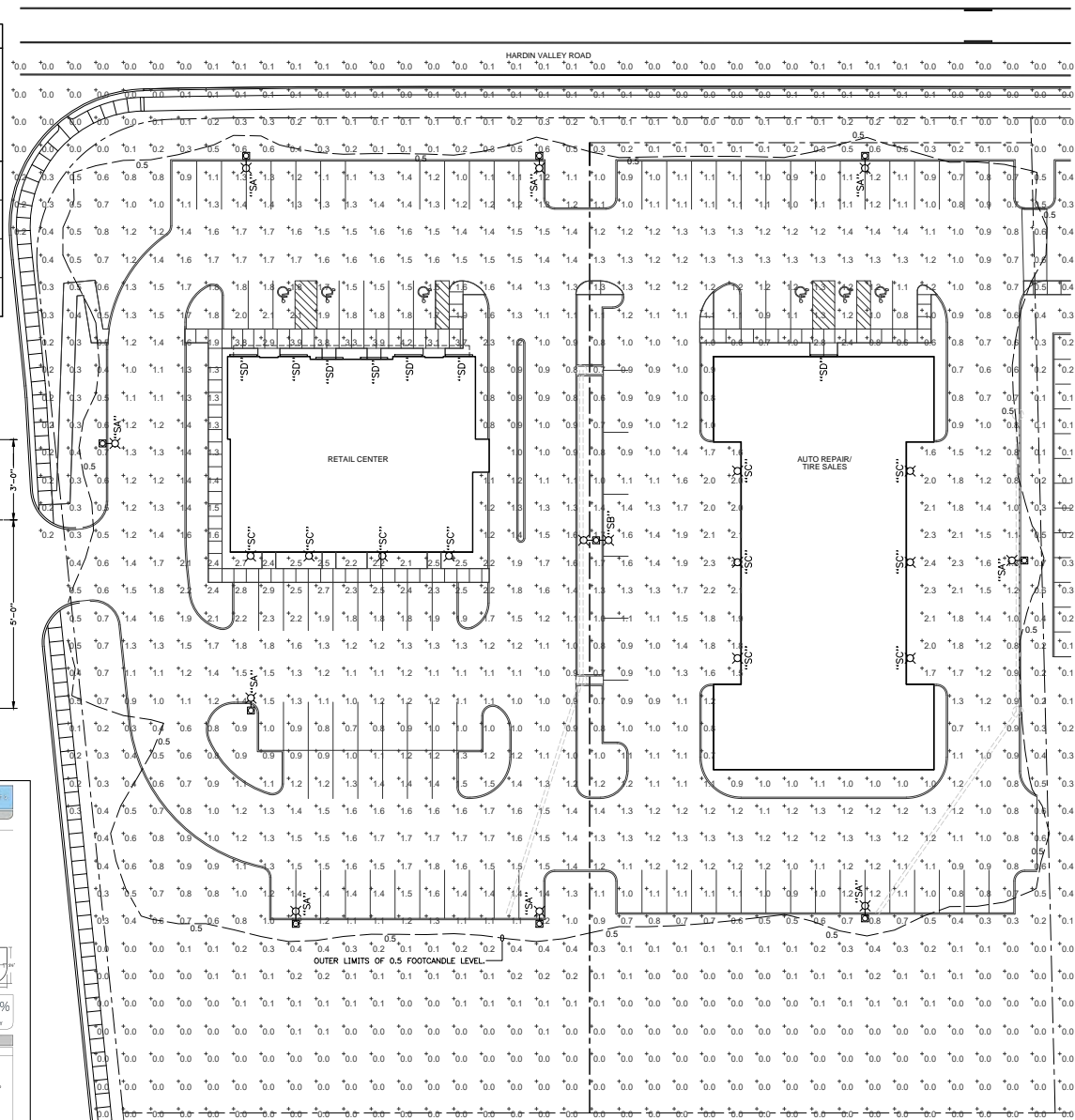
Specifications:

- Model: PS160
- Length: 16" (406mm)
- Width: 4" (102mm)
- Height: 1.5" (38mm)
- Weight: 1.5 lbs (0.7kg)

Example: PS160 LED 60C 1000 40K T4M RWA120 SPN DDB

Item	Qty	Unit	Description	Notes
1	1	ea	PS160 LED 60C 1000 40K T4M RWA120 SPN DDB	

LIGHTING FIXTURE CUT SHEET "SD"
NO SCALE



SIGNAGE NOTE:
ANY AND ALL EXTERIOR SIGNAGE FOR THE DEVELOPMENT SHALL COMPLY WITH TIGCA SIGNAGE REQUIREMENTS AND SHALL BE APPROVED AT A LATER DATE.

SITE PLAN - ELECTRICAL
SCALE: 1"=20'-0"

- NOTES:**
- VALUES INDICATE COMPUTER CALCULATED MAINTAINED ILLUMINATION LEVELS IN FOOTCANDLES.
 - FOOTCANDLE LEVELS SHOWN INDICATE CONTRIBUTIONS FROM NEW LUMINAIRES ILLUSTRATED ON THIS DRAWING ONLY.

Creeland Engineers Inc.

3107 Sutherland Ave.
P.O. Box 10468
Knoxville, TN 37939
865-527-4455
1-800-385-9789
www.creeland-engineers.com

WILL ROBINSON & ASSOCIATES

131 Brentwood Dr.
Owensboro, KY 40360
(605) 386-4200



Matlock Tire

10810 Hardin Valley Road
Knox County, TN

REVISIONS:

9-A-19-UR
Revised: 8/27/19

DRAWN: VEI
CHECKED: CNL
DATE: 06-28-2019
FILE NAME:
PROJECT NO:

SE1

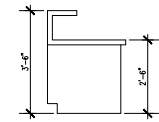
SITE ILLUMINATION PLAN, DETAILS

9-A-19-UR
Revised: 8/27/2019

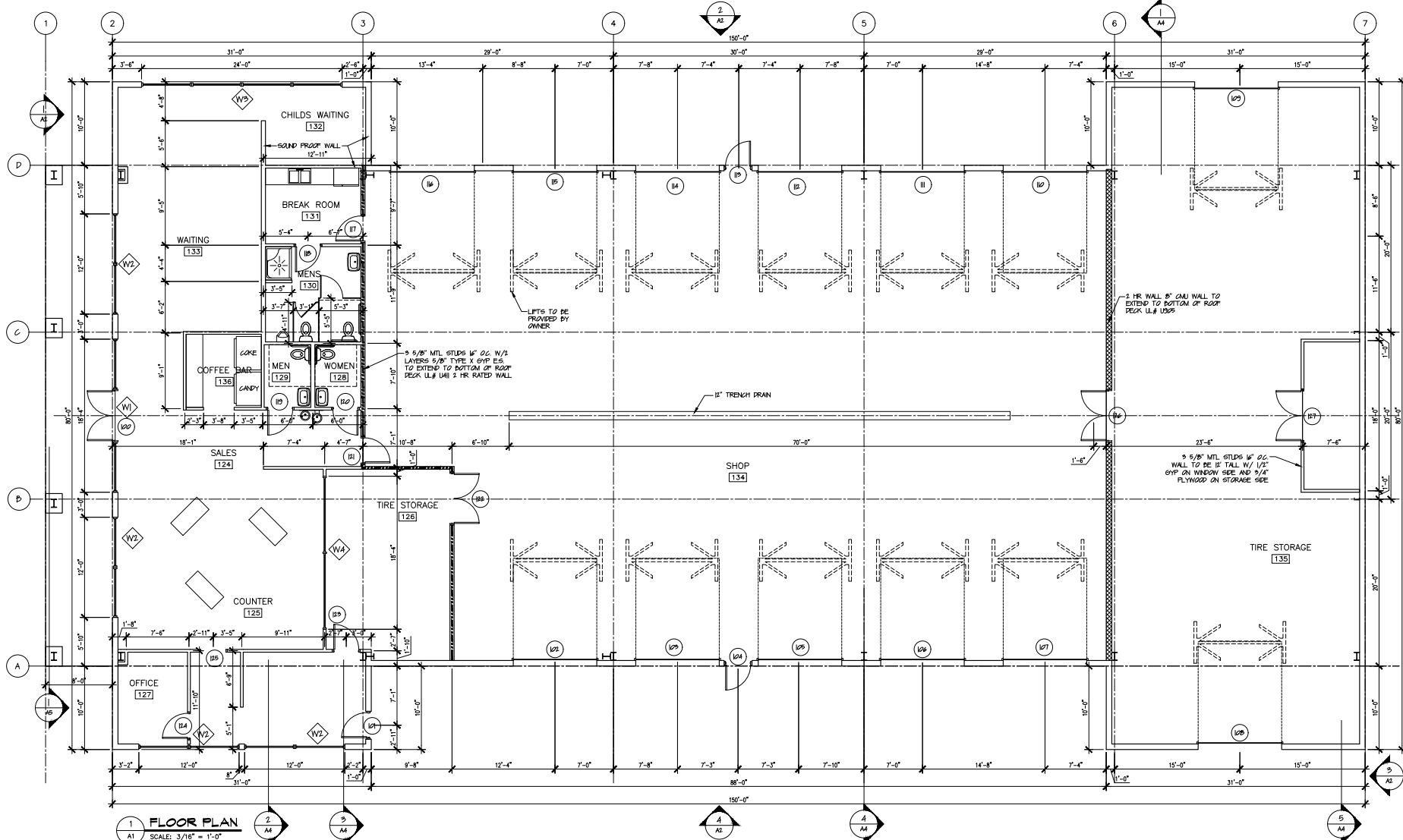
- 1 - ALL PAINTING AND STAINING SHALL BE PERFORMED BY QUALIFIED JOURNEYMEN AND SHALL BE FREE OF ANY BUBBLES AND DEBRIS.
- 2 - ALL PAINTING SHALL BE A 3 COAT PROCESS WITH A PRIMER COAT AND 2 FINISH COATS. PAINT TO BE SHERWIN WILLIAMS PRIMER SERIES.
- 3 - ALL STAINING SHALL BE A 3 COAT PROCESS WITH EACH COAT SANDING PRIOR TO THE NEXT COAT.
- 4 - ALL WALLS AND CEILING ARE TO RECEIVE PLAT PAINT WITH ALL DOORS AND TRIM TO RECEIVE A SEMI GLOSS LATEX ENAMEL.
- 5 - ALL SURFACES SHALL BE REASONABLY FREE OF DIRT, MARKS AND GRANGE FLEA.
- 6 - ALL COLORS ARE TO BE CHOSEN BY THE OWNER. SAMPLES OF STAIN COLORS ON THE PROPER WOOD WILL BE REQUIRED.
- 7 - ARCHITECT RESERVES THE RIGHT TO REQUEST A SAMPLE WALL TO BE PAINTED TO SHOW COLOR CHOICES.

- 1 - ALL GYPSUM TO BE INSTALLED BY QUALIFIED JOURNEYMEN AND
INSTALLED TO MANUFACTURER SPECIFICATIONS.
- 2 - ALL HIGH TRAFFIC AREAS TO RECEIVE GOLD DOW FIRE-SHIELD HI-
IMPACT WALL BOARD PANELS OR EQUAL (SEE PLANS FOR THICKNESS)
- 3 - ALL OTHER AREAS TO RECEIVE GOLD DOW FIRE SHIELD (SEE
PLANS FOR THICKNESS REQUIREMENTS)
- 4 - ALL BATHROOMS AND RESTROOMS TO RECEIVE MOISTURE RESISTANT GYPSUM
- 5 - ALL EXTERIOR GYP SHEATHING IS TO BE DENS-GOLD GYPSUM SHEATHING
BY GYP GYPSUM CORP. OR EQUAL
- 6 - ALL GYP FROM MANUFACTURER MUST MEET ASTM C-84 STANDARDS
- 7 - ALL ACCESSORY PIECES SHALL BE MANUFACTURE BY UNITED STATES
GYPSUM COMPANY OR EQUAL

- 1 - ALL TOILET ENCLOSES TO BE METAPUR TYPE
PP-500 BAKED ENAMEL OVERHEAD BRAZED.
- 2 - MATERIAL TO BE DENDRIZED, GALVANIZED STEEL.
- 3 - DOORS ARE TO BE 22 GAUGE, FINISHED TO F.
- 4 - PANELS ARE TO BE 20 GAUGE FINISHED TO F.
- 5 - PLASTERS ARE TO BE 20 GAUGE FINISHED TO 1 1/4"
- 6 - FITTINGS ARE TO BE ANODIZED ALUM. B5" WALL THICKNESS.
- 7 - HARDWARE: EACH COMPARTMENT TO HAVE DOOR HINGES, LATCH,
STOP AND KEEPER, COT HOOK, AS WELL AS ALL FITTINGS AND
PASTENINGS FOR A COMPLETE INSTALLATION.
- 8 - FINISH ALL RUBBER GASKETS AND MATERIAL SHALL BE CHEMICALLY
CLEANED AND PAINTED WITH MULTIPLE COATS OF HIGH SOLID ENAMEL
AND APPLIED ELECTROSTATICALLY.
- 9 - COLOR TO BE CHOSEN BY OWNER.



2 COUNTER DETAIL
A1 SCALE: 1/2" = 1'-0"



The seal of the State of Tennessee is located in the top right corner. It features a circular design with the text "THE GREAT SEAL OF THE STATE OF TENNESSEE" around the perimeter. In the center is a shield with a plow, a sheaf of wheat, and a cotton plant, symbolizing agriculture. Above the shield is a banner with the word "AGRICULTURE".

Best & Associates Architects

1720 W LAMAR PARKWAY, SUITE 100, INDIANAPOLIS, IN 46204
PHONE 865-977-1010 FAX 865-981-1078

MATLOCK TIRE
HARDIN VALLEY
KNOX COUNTY, TN

NO. 151015

0

DRAWN BY

CHECKED BY

DATE

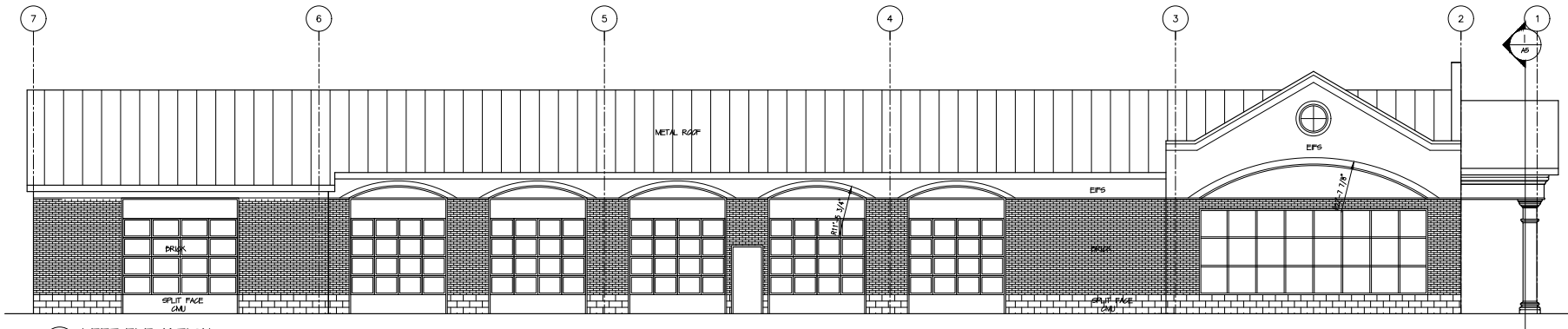
SCALE

DESCRIPTION

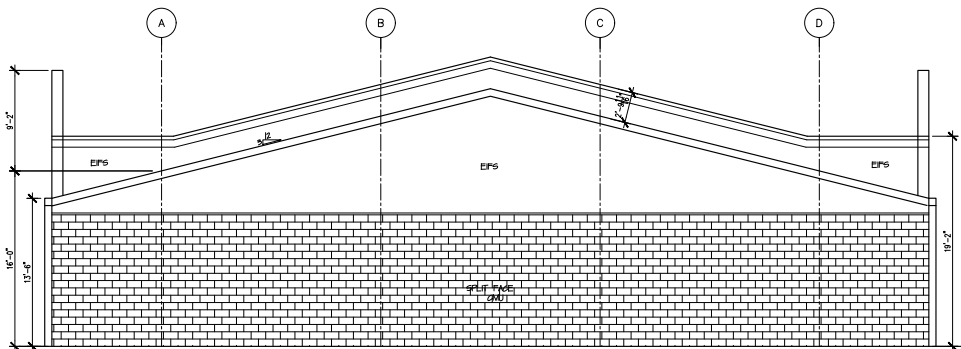
FLOOR PLAN

FLOOR PLAN

A 1



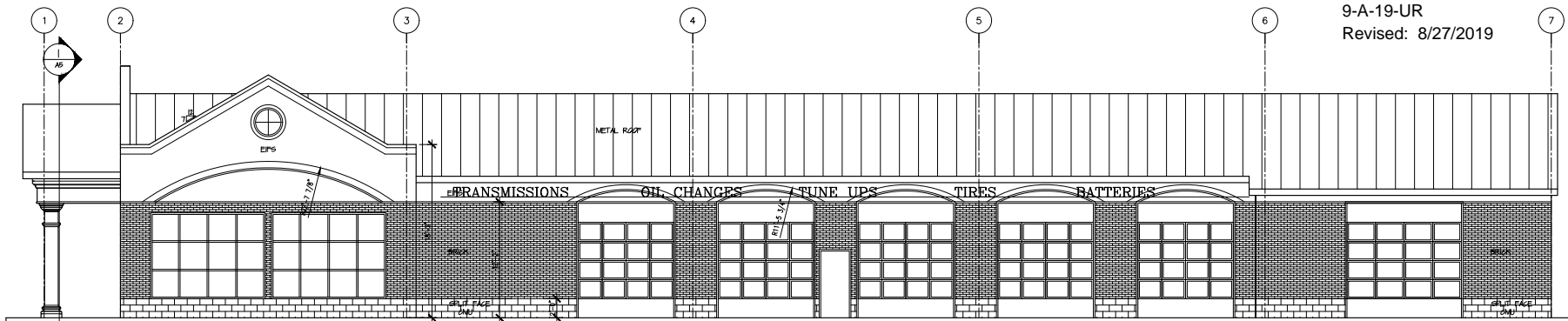
4 LEFT ELEVATION
SCALE: 3/16" = 1'-0"



3 REAR ELEVATION
SCALE: 3/16" = 1'-0"



2 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



1 RIGHT ELEVATION
SCALE: 3/16" = 1'-0"

9-A-19-UR
Revised: 8/27/2019



Best & Associates Architects

1726 W LAMAR ALEX PKY, MARTINSVILLE, TN 37051
PHONE 662-977-5800 FAX 662-982-5838

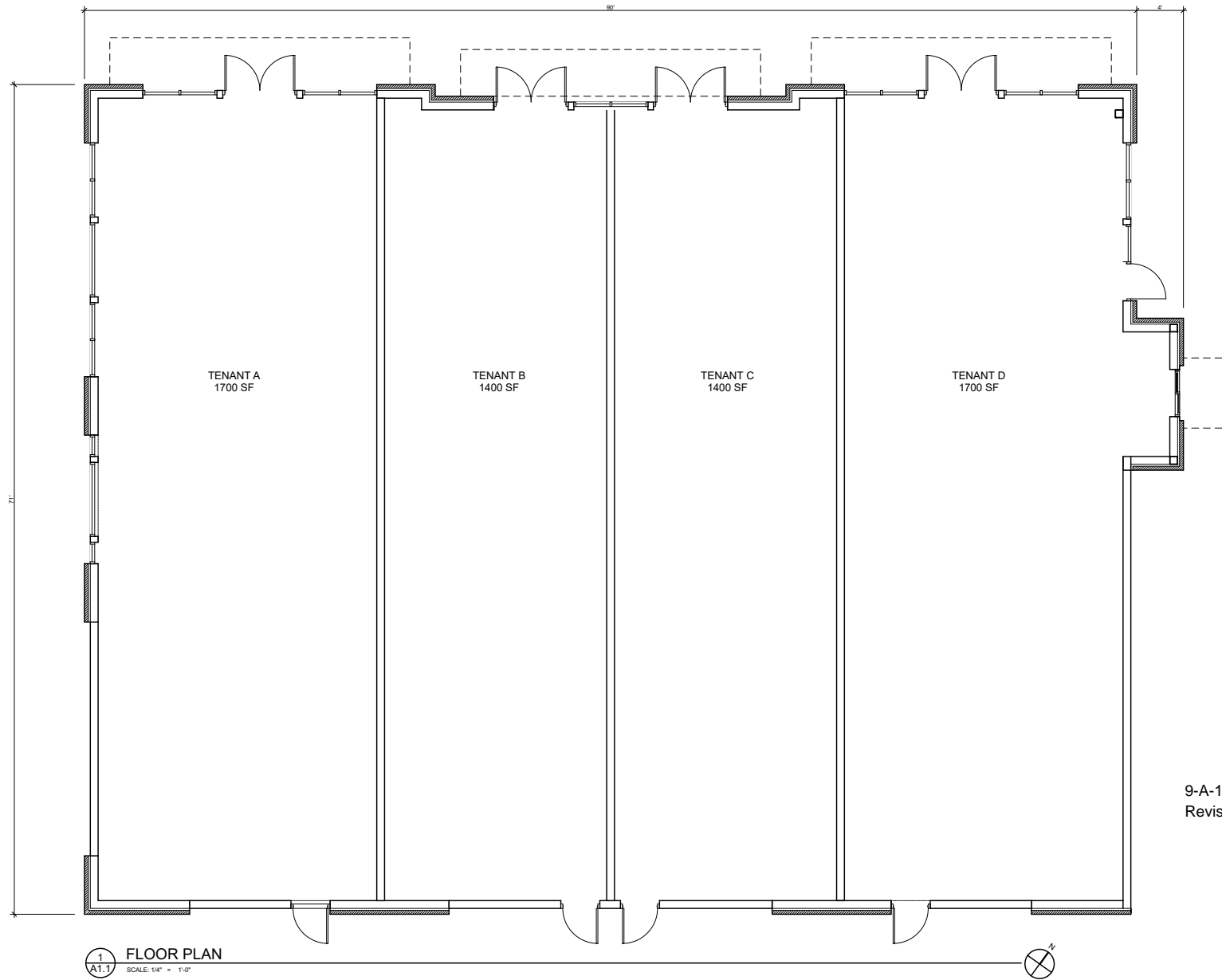


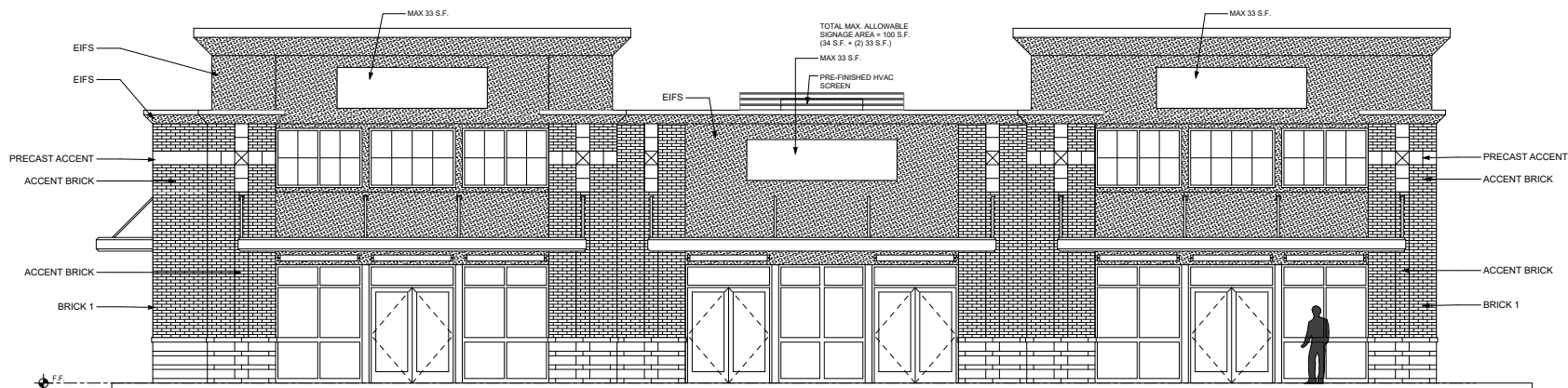
MATLOCK TIRE
HARDIN VALLEY,
KNOX COUNTY, TN

REVISIONS	DATE	BY	APP
1	8/19/19	MB	GP
2	9/16/19		

ELEVATIONS

A2





1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

Bittle Retail
KNOX COUNTY, TN

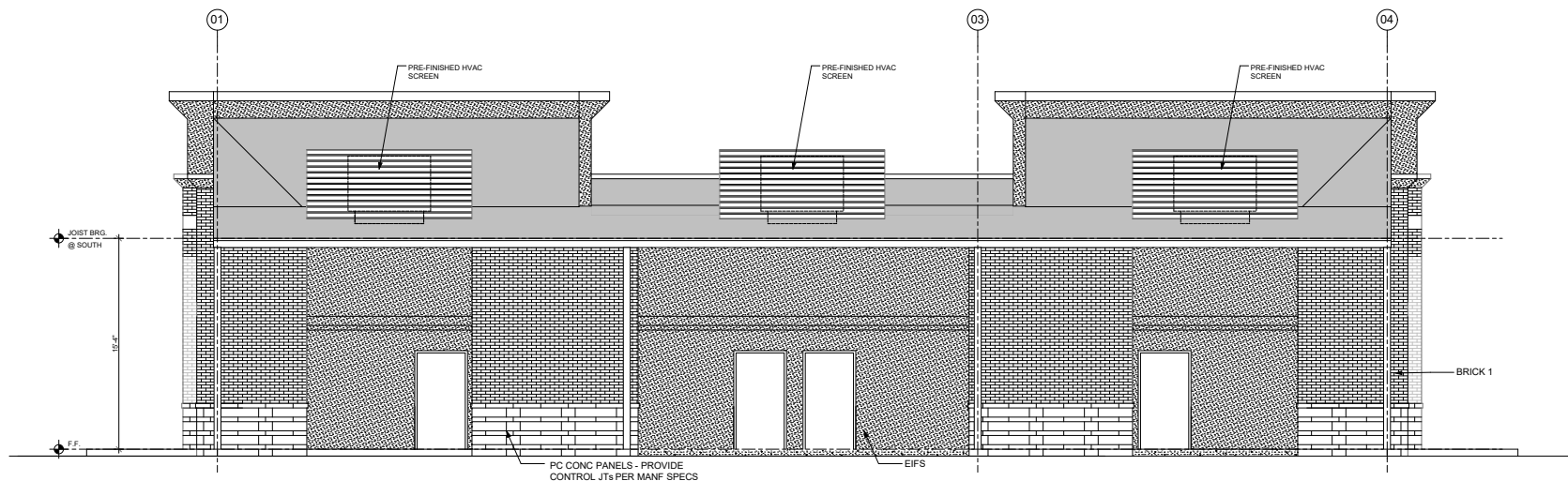


FOR TDOA REVIEW ONLY

EXTERIOR ELEVATIONS

DATE: 27 AUG 2019
PROJECT NO.: 19100
PROJECT MGR.: RMH

A4.1

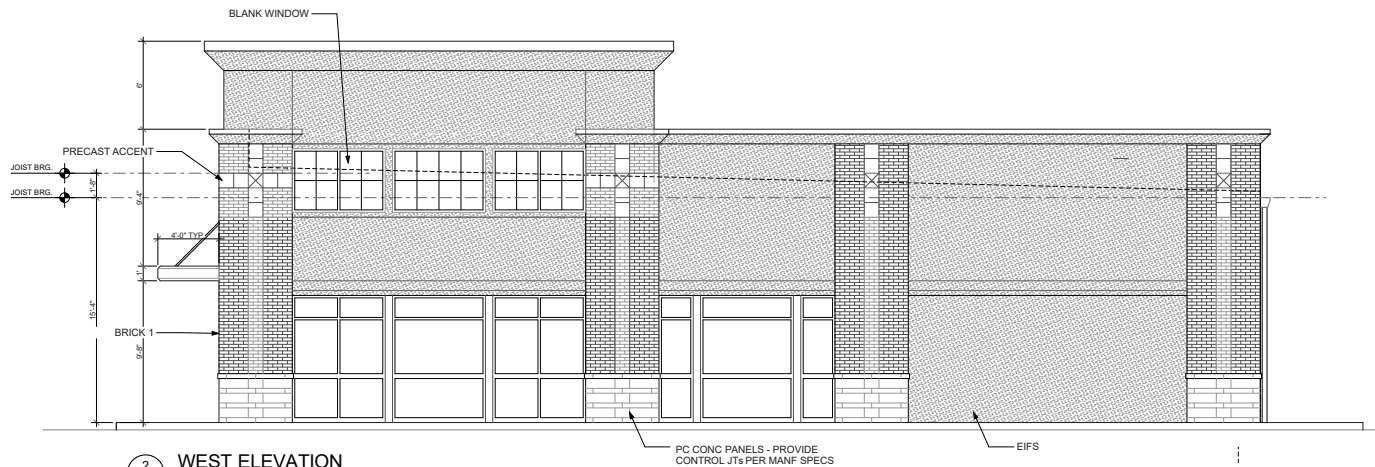


2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

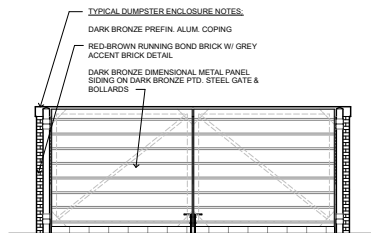
9-A-19-UR
Revised: 8/27/2019



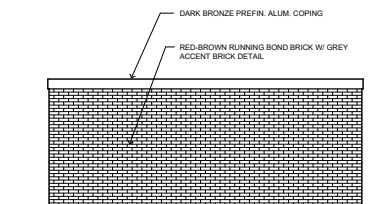
1
A4.2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



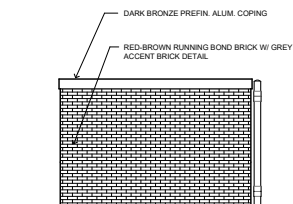
2
A4.2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



3
A4.2 DUMPSTER ENCLOSURE - FRONT
SCALE: 1/4" = 1'-0"



4
A4.2 DUMPSTER ENCLOSURE - BACK
SCALE: 1/4" = 1'-0"



5
A4.2 DUMPSTER ENCLOSURE - SIDES, TYP.
SCALE: 1/4" = 1'-0"

9-A-19-UR
Revised: 8/27/2019



DEVELOPMENT REQUEST

DEVELOPMENT

- ☐ Development Plan
☒ Use on Review / Special Use

SUBDIVISION

- ☐ Concept Plan
☐ Final Plat

ZONING

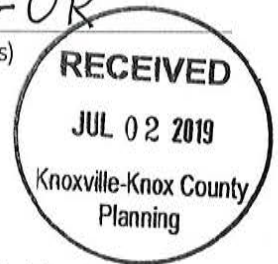
- ☐ Plan Amendment
☐ Rezoning

Applicant Harley E. Bittle III

Date Filed 7/02/19

Meeting Date (if applicable) Sept 12

File Numbers(s) 9-A-19-UR



CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☐ Applicant ☐ Owner ☐ Option Holder ☐ Project Surveyor ☒ Engineer ☐ Architect/Landscape Architect

Name Will Robinson

Company Will Robinson & Associates

Address 1248 N. Shorewood Ln.

City Caryville

State TN

Zip 37714

Phone 865.386.4200

Email wrassociates@bellsouth.net

CURRENT PROPERTY INFO

Owner Name (if different) Harley E. Bittle III

Owner Address 10784 Hardin Valley Rd
Knoxville, TN 37923

Owner Phone 865.202.0136

Property Address 10838 Hardin Valley Rd

10850 Hardin Valley Rd - temp

10311508

10311509 Parcel ID

General Location Hardin Valley

10311508: 1.33ac
10311509: 1.5ac

Jurisdiction (specify district above) Knox Co

- ☐ City ☒ County

Zoning District PC/TO

Planning Sector MU-SD NWCO-5

Sector Plan Land Use Classification MU-SD NWCO-5

Growth Policy Plan Designation

Existing Land Use unused / Vacant

Septic (Y/N) N

Sewer Provider WestKnox Utility

Water Provider WestKnox Utility

REQUEST

DEVELOPMENT

☐ Development Plan ☒ Use on Review / Special Use

☐ Residential ☒ Non-Residential

☐ Home Occupation (specify): _____

☒ Other (specify): commercial; retail business (unknown + matlock +ve)

SUBDIVISION

☐ Proposed Subdivision Name _____ Unit / Phase Number _____

☐ Parcel Change

☐ Combine Parcels ☐ Divide Parcel Total Number of Lots Created: _____

☐ Other (specify): _____

☐ Attachments / Additional Requirements

ZONING

☐ Zoning Change: _____
Proposed Zoning _____

☐ Plan Amendment Change: _____
Proposed Plan Designation(s) _____

☐ Proposed Property Use (specify) _____ Proposed Density (units/acre) _____ Previous Rezoning Requests _____

☐ Other (specify): _____

STAFF USE ONLY

PLAT TYPE

☐ Administrative ☐ Meeting

ATTACHMENTS

☐ Property Owners / Option Holders ☐ Variance Request

ADDITIONAL REQUIREMENTS

☐ Design Plan Certification (*Final Plat only*)

☐ Use on Review / Special Use (*Concept Plan only*)

☐ Traffic Impact Study

FEE 1:

\$1,500

TOTAL:

FEE 2:

\$1,500

FEE 3:

AUTHORIZATION

James Reed
Staff Signature

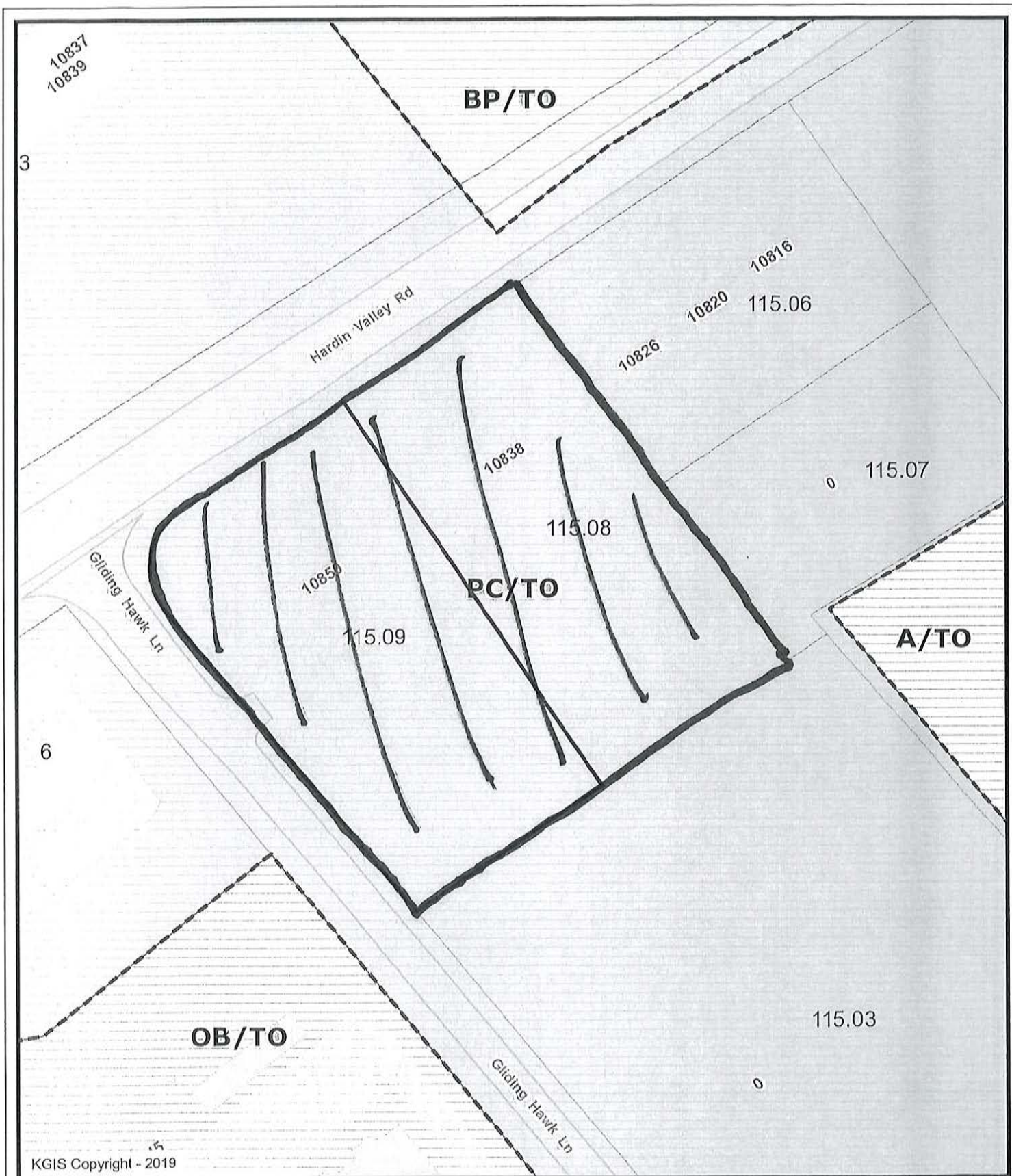
James Reed
Please Print

7/2/19
Date

NAIRP
for Rusty Bittle
Applicant Signature

Will Robinson
Please Print
for
Rusty Bittle - Owner

7/02/19
Date

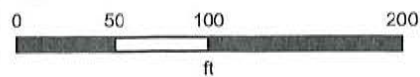


Letter Portrait

Knoxville - Knox County - KUB Geographic Information System



Printed: 7/2/2019 at 12:45:25 PM



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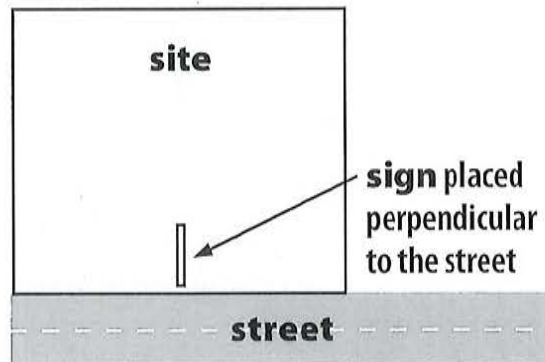
REQUIRED SIGN POSTING AGREEMENT

For all rezoning, plan amendment, concept plan, use on review, right-of-way closure, and street name change applications, a sign must be posted on the subject property, consistent with the adopted MPC Administrative Rules and Procedures.

At the time of application, MPC staff will provide a sign(s) to post on the property as part of the application process. If the sign(s) go missing for any reason and need to be replaced, then the applicant will be responsible for picking up a new sign(s) from the MPC offices. The applicant will be charged a fee of \$10 for each replacement sign.

LOCATION AND VISIBILITY

The sign must be posted in a location that is clearly visible from vehicles traveling in either direction on the nearest adjacent/frontage street. If the property has more than one street frontage, then the sign should be placed along the street that carries more traffic. MPC staff may recommend a preferred location for the sign to be posted at the time of application.



TIMING

The sign(s) must be posted 15 days before the scheduled MPC public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted 15 days before the next MPC meeting.

I hereby agree to post and remove the sign(s) provided on the subject property consistent with the above guidelines and between the dates of:

8/28

(15 days before the MPC meeting)

and

9/13

(the day after the MPC meeting)

Signature: _____

Wendy Robinson

Printed Name: _____

Wendy Robinson

Phone: _____

865-386-4201

Email: _____

wendyrobinsone@bellsouth.net

Date: _____

7/2/19

MPC File Number: _____

9-SA-19-UR