



USE ON REVIEW REPORT

▶ **FILE #:** 9-B-19-UR

AGENDA ITEM #: 32

AGENDA DATE: 9/12/2019

▶ **APPLICANT:** **ELMINGTON CAPITAL GROUP**

OWNER(S): Kingston Pike, LLC

TAX ID NUMBER: 132 02704 & 02703

[View map on KGIS](#)

JURISDICTION: City Council District 2

STREET ADDRESS: 0 Moss Grove Blvd.

▶ **LOCATION:** **East & west sides of Moss Grove Blvd., south of Kingston Pike**

▶ **APPX. SIZE OF TRACT:** **14.5 acres**

SECTOR PLAN: Southwest County

GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)

ACCESSIBILITY: Access is via Moss Grove Blvd., a private Joint Permanent Easement with access out to Kingston Pike, a major arterial street with a four and five lane cross section within a required right-of-way of 100'.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Ten Mile Creek

▶ **ZONING:** **O-1 (Office, Medical, and Related Services) (k)**

▶ **EXISTING LAND USE:** **Vacant**

▶ **PROPOSED USE:** **Multi-dwelling development**

13.24 du/ac

HISTORY OF ZONING: Property was rezoned in 2007 from A-1 to O-1 (8-F-07-RZ).

SURROUNDING LAND USE AND ZONING: North: Commercial / PC-1 (Planned Commercial)

South: Assisted living, Apartment /

East:

West:

NEIGHBORHOOD CONTEXT: The Sherrill Hill mixed use development has residential development on three sides and commercial development to the north across Kingston Pike. Zoning in the area includes SC, SC-3, PC-1, RAE, PR, RP-1 and RB.

STAFF RECOMMENDATION:

▶ **APPROVE the development plan for a multi-dwelling development with up to 192 dwelling units, subject to 6 conditions.**

1. Connection to sanitary sewer and meeting any other relevant requirements of the utility provider.
2. Meeting all applicable requirements of the Knoxville Department of Engineering.
3. Meeting all applicable requirements of the Knoxville Zoning Ordinance, including but not limited to Article 8

(Signs, billboards, and other advertising structures).

4. Installation of all sidewalks and pedestrian crosswalks as identified on the development plan. Sidewalks and crosswalks shall meet all applicable requirements of the Americans with Disabilities Act (ADA) and the Knoxville Department of Engineering.

5. Meeting the requirements of the Knoxville Tree Protection Ordinance and all applicable requirements of the Knoxville Urban Forester.

6. Installation of landscaping as shown on the landscape plan within six months of the issuance of the first occupancy permit for the project. If the project is constructed in phases then the corresponding landscaping must be installed in conjunction with that phase.

With the conditions noted above, this request meets all criteria for a use-on-review in the O-1 zoning district.

COMMENTS:

This proposal is for a 192-unit apartment complex on 14.5 acres (13.24 du/ac) of O-1 (Office, Medical, and Related Services) district zoning in the Sherrill Hill development. The O-1 zone allows consideration of multi-dwelling developments (apartments) as a use permitted on review and uses the R-2 (General Residential) district standards. The development is split by Moss Grove Boulevard, with 8.34 acres on the west side and 6.16 acres on the east side. The west side contains 5 apartment buildings, a leasing office/amenity building, and a playground. The east side contains 3 apartment buildings and a playground. There are two building types, a 2/3-story split (Type B) and a 3/4-story split (Type A). The type A buildings are located on the north side of the lots (behind Academy Sports and Floor & Décor), with the 3-story portion of the building facing the inner parking lot and the 4-story portion facing the commercial uses. The type B buildings are located on the south side of the lots with the 3-story portion of the building facing the inner parking lot and the 2-story portion facing south.

Access to the site is from Moss Grove Boulevard which has access to a signal-controlled intersection with Kingston Pike. When the Sherrill Hill development was originally approved, a traffic impact study was developed that outlined the road improvements that were needed based on an assumed type and amount of development. The applicant for the subject development submitted a traffic impact letter that documents the existing uses, proposed apartment complex, and any additional land for development, will generate about 21.5% less weekday trips than what the original traffic study anticipated. Because of this, no new road improvements are required for this development, with the exception of installing sidewalks along Moss Grove Boulevard.

When the property was rezoned in 2007, there were several conditions that applied to the Sherrill Hill development. The conditions that apply to the subject properties are to the boundary adjacent to residential zoning; 50-foot undisturbed area, 75-foot building setback, and 1-story maximum within 100 feet of the boundary. The proposed development meets the conditions of the zoning and the general development standards of the O-1 zone.

A portion of the property is within the Hillside Area (4.77 of the 14.5 acres). The recommended land disturbance limitations of the Hillside and Ridgetop Protection Plan would allow 2.9 of the 4.77 acres to be disturbed (see Exhibit A and B), and the development proposes to disturb only 2.64 acres of the Hillside Area (see plan sheet C4-00). This will be done primarily by constructing retaining walls rather than clearing and re-grading the site with steep slopes. There will be additional portions of the property that are undisturbed but they are not located within the Hillside Area. The developer also proposes to revegetate the disturbed steep-slope areas on the south side of the property with a mix of tree saplings (see the landscape plan -- areas demarcated with wavy lines).

The amenities for the development include a workout facility in the leasing office building and two playgrounds (one on each side of the development).

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTIES AND THE COMMUNITY AS A WHOLE

1. The proposed residential development will have minimal impact on local services since utilities are available to serve this site.
2. The proposed development, in addition to the existing uses in the Sherrill Hill development, do not create more vehicular traffics than the traffic impact study projected when it was originally approved in 2007.
3. The development should have minimal impact on the adjacent residential uses because of the required 50' non-disturbance area and the access to the site being through the Sherrill Hill development only.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE CITY OF KNOXVILLE ZONING ORDINANCE

1. With the recommended conditions, the proposal meets all requirements of the O-1 zoning as well as the general criteria for approval of a use on review.
2. The proposed housing development with the recommended conditions is consistent with the following general standards for uses permitted on review: The proposal is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw substantial additional traffic through residential areas.

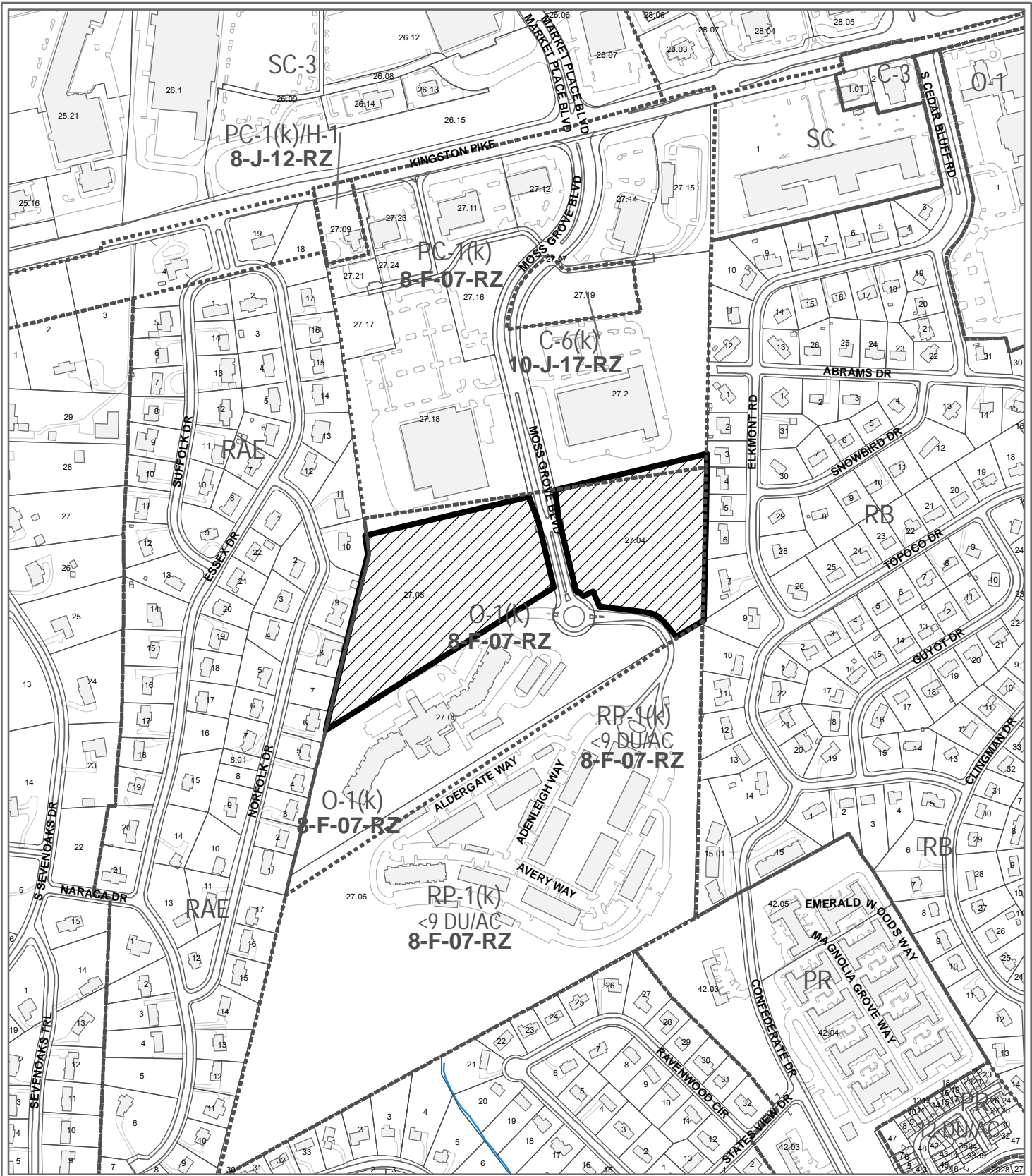
CONFORMITY OF THE PROPOSAL TO ADOPTED PLANS

1. The One Year Plan and Southwest County Sector Plan identify this site for office uses. The current zoning is O-1 district which allows multi-dwelling developments as a "use permitted on review", in accordance with the standards of the R-2 district. The proposed development complies with the One Year Plan and Sector Plan, and the current zoning of the site.
2. The site is located within the city limits on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal a Planning Commission decision in the City.



**9-B-19-UR
USE ON REVIEW**



192 unit multi-dwelling development in O-1 (Office, Medical, and Related Services) (k)

Original Print Date: 8/19/2019
Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

Revised:
Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

Petitioner: Elmginton Capital Group

Map No: 132
Jurisdiction: City



DISTURBANCE ANALYSIS
Moss Grove Knoxville (9-B-19-UR)

CATEGORY	ACRES	RECOMMENDED LAND DISTURBANCE FACTOR	ACRES OF DISTURBANCE
Non-Hillside (HRPA)	9.79	N/A	
0-15% Slope	1.53	100%	1.5
15-25% Slope	2.43	50%	1.2
25-40% Slope	0.37	20%	0.1
Greater than 40% Slope	0.44	10%	0.0
Ridgetops	0	50%	0.0
Maximum Disturbance Guideline within HRPA	4.77		<u>2.9</u>

From Hillside & Ridgetop Protection Plan, page 33

LOW DENSITY AND RURAL RESIDENTIAL USES

Density and Land Disturbance Guidelines

As proposals for changes to the zoning map and development plans/concept plans are considered, the following factors are recommended to determine the overall allowable density for residential rezonings and the overall land disturbance allowable in new development or subdivisions for those portions of parcels that are within the Hillside and Ridgetop Protection Area. These factors should be codified as regulations in the future. The areas of the Growth Policy Plan referenced below are presented on page 18.

Table 3: Residential Density and Land Disturbance Guidelines
 for Recommendations on Changes to the Zoning Map and Development Plan/
 Concept Plan Review within the Hillside and Ridgetop Protection Area
 that is within the Urban Growth and the Planned Growth Area

Percent of Slope	Recommended Maximum Density Factor*	Recommended Maximum Land Disturbance Factor**
0 - 15	Knox County: 5 dua City of Knoxville: 6 dua	100%
15 - 25	2 dua	50%
25 - 40	0.5 dua	20%
40 or more	0.2 dua	10%
Ridgetops***	***	***

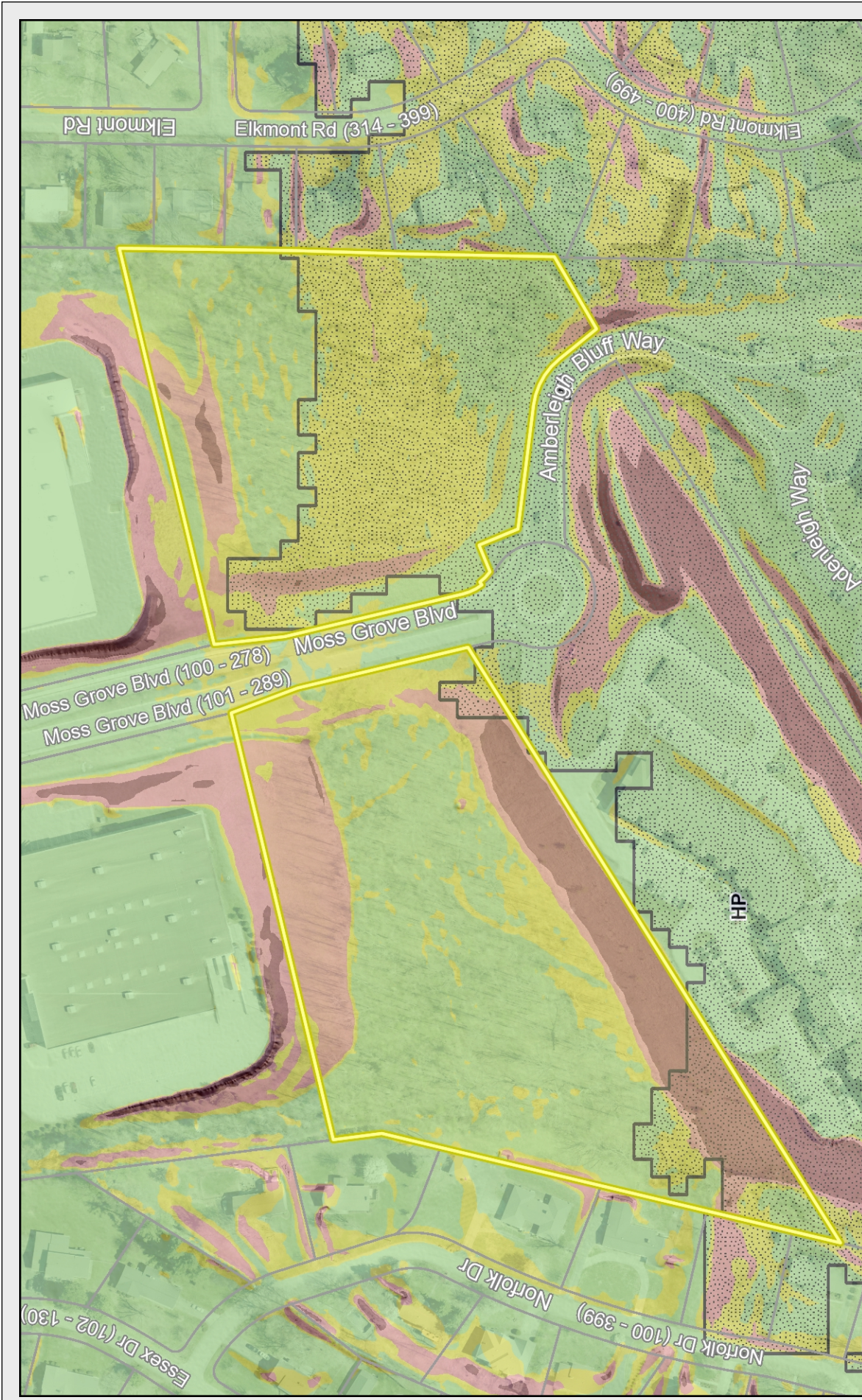
dua: dwelling units per acre

* These factors should be considered guidelines to determine an overall recommended residential density for requests for changes to the zoning map to planned residential (RP-1 in the city and PR in the county) zone districts that are considered by the Metropolitan Planning Commission prior to being considered by the appropriate legislative body. The resulting zone district development right would be considered a budget for dwelling units to be applied over the entire proposed development.

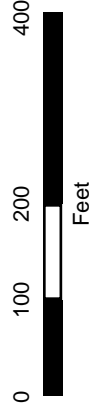
** Until such time as regulations are codified by the appropriate legislative body, these factors should be considered guidelines to determine an overall recommended land disturbance area for development plans and concept plans that are considered for approval by the Metropolitan Planning Commission. The overall land disturbance area would be considered a budget for land disturbance to be applied over the entire proposed development.

*** Ridgetops are generally the more level areas on the highest elevations of a ridge. Because the shapes of Knox County ridges are so varied (see pages 8 - 9), the ridgetop area should be determined on a case-by-case basis with each rezoning and related development proposal.

The Knoxville Knox County Hillside and Ridgetop Protection Plan — 33



Moss Grove Knoxville
9-B-19-UR
 Hillside Protection and Slope Map



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ARCHITECTURAL CODE ANALYSIS AND UNIT MATRIX

APPLICABLE CODES:
 CITY OF KNOXVILLE:
 2018 INTERNATIONAL BUILDING CODE
 2018 INTERNATIONAL MECHANICAL CODE
 2018 INTERNATIONAL PLUMBING CODE
 2017 NATIONAL ELECTRICAL CODE
 2018 INTERNATIONAL FUEL GAS CODE
 2018 INTERNATIONAL ENERGY CONSERVATION CODE
 2018 INTERNATIONAL FIRE CODE
 2009 IBC/ANSI 117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
 CITY OF KNOXVILLE ZONING ORDINANCE
 * WITH LOCAL AMENDMENTS

PROJECT DESCRIPTION:
 THE PROJECT CONSISTS OF EIGHT TOTAL RESIDENTIAL (R-2) BUILDINGS OF TYPE VA CONSTRUCTION AND A FREESTANDING AMENITY BUILDING (A-3), ALSO OF TYPE VA CONSTRUCTION OF THE EIGHT TOTAL BUILDINGS. THERE ARE TWO TYPICAL BUILDING TYPES: BUILDING 'A' IS A THREE/FOUR SPLIT LEVEL BUILDING AND BUILDING 'B' IS A THREE/TWO SPLIT LEVEL BUILDING. ALL BUILDINGS ARE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.2.

OCCUPANCY TYPES - IBC CHAPTER 3
 BUILDING 'A': GROUP R-2 (RESIDENTIAL)
 BUILDING 'B': GROUP R-2 (RESIDENTIAL)
 LEASING: GROUP A-3 (ASSEMBLY)

CONSTRUCTION TYPES - IBC 602
 TYPE VA (PROTECTED - FULLY SPRINKLERED IN ACCORDANCE WITH NFPA-13R.
 THE LEASING BUILDING WILL BE FULLY SPRINKLERED IN ACCORDANCE WITH NFPA-13)

STRUCTURAL FIRE RATINGS - IBC TABLE 601
 EXTERIOR BEARING WALLS 1-HOUR
 INTERIOR BEARING WALLS 1-HOUR
 FLOORS 1-HOUR
 ROOF 1-HOUR

FIRE SUPPRESSION SYSTEM - IBC 903
 FULLY SPRINKLERED (NFPA-13R AND NFPA-13 FOR THE LEASING BUILDING)

HEIGHT AND AREA - (ALLOWABLE PER IBC TABLE 504.3, 504.4, 506.2)
 (R-2) OCCUPANCY TYPE (TYPE VA)
 AREA 12,000 GSF
 STORES 4
 HEIGHT 60'
 (A-3) OCCUPANCY TYPE (TYPE VA)
 AREA 48,000 GSF
 STORES 3
 HEIGHT 17'

HEIGHT AND AREA - (ACTUAL)
 BUILDING 'A': (R-2) OCCUPANCY TYPE (TYPE VA)
 AREA 4,843 GSF
 LOWER LEVEL 4,843 GSF
 FIRST FLOOR 9,290 GSF
 SECOND FLOOR 9,124 GSF
 THIRD FLOOR 5,124 GSF
 STORES 3 AT FRONT AND 4 AT REAR
 HEIGHT 34' - 9 1/2" AVERAGE BLDG. HEIGHT AT FRONT
 48' AVERAGE BLDG. HEIGHT AT REAR

BUILDING 'B': (R-2) OCCUPANCY TYPE (TYPE VA)
 AREA 5,276 GSF
 FIRST FLOOR 5,276 GSF
 SECOND FLOOR 10,855 GSF
 THIRD FLOOR 10,700 GSF
 STORES 3 AT FRONT AND 2 AT REAR
 HEIGHT 34' - 10" AVERAGE BLDG. HEIGHT AT FRONT
 48' AVERAGE BLDG. HEIGHT AT REAR

LEASING: (A-3) OCCUPANCY TYPE (TYPE VA)
 AREA 2,617 GSF
 STORES 1
 HEIGHT 15' - 8" AVERAGE BLDG. HEIGHT

FIRE SEPARATION DISTANCE RATINGS - IBC TABLE 602

BUILDING 'A': GROUP R-2 OCCUPANCY				
FACADE	DISTANCE	REQUIRED	PROVIDED	
NORTH	30'	0	1	
SOUTH	30'	0	1	
EAST	20-30'	1	1	
WEST	20-30'	1	1	

BUILDING 'B': GROUP R-2 OCCUPANCY				
FACADE	DISTANCE	REQUIRED	PROVIDED	
NORTH	30'	0	1	
SOUTH	10-30'	1	1	
EAST	15'	1	1	
WEST	15'	1	1	

LEASING: GROUP A-3 OCCUPANCY				
FACADE	DISTANCE	REQUIRED	PROVIDED	
NORTH	30'	0	1	
SOUTH	20-30'	1	1	
EAST	30'	0	1	
WEST	20-30'	1	1	

OPENING PROTECTION IS NOT REQUIRED FOR OPENINGS WITHIN THE FIRE SEPARATION DISTANCES IN IBC TABLE 705.8 SINCE THE BUILDING IS FULLY SPRINKLERED PER NFPA 13R.

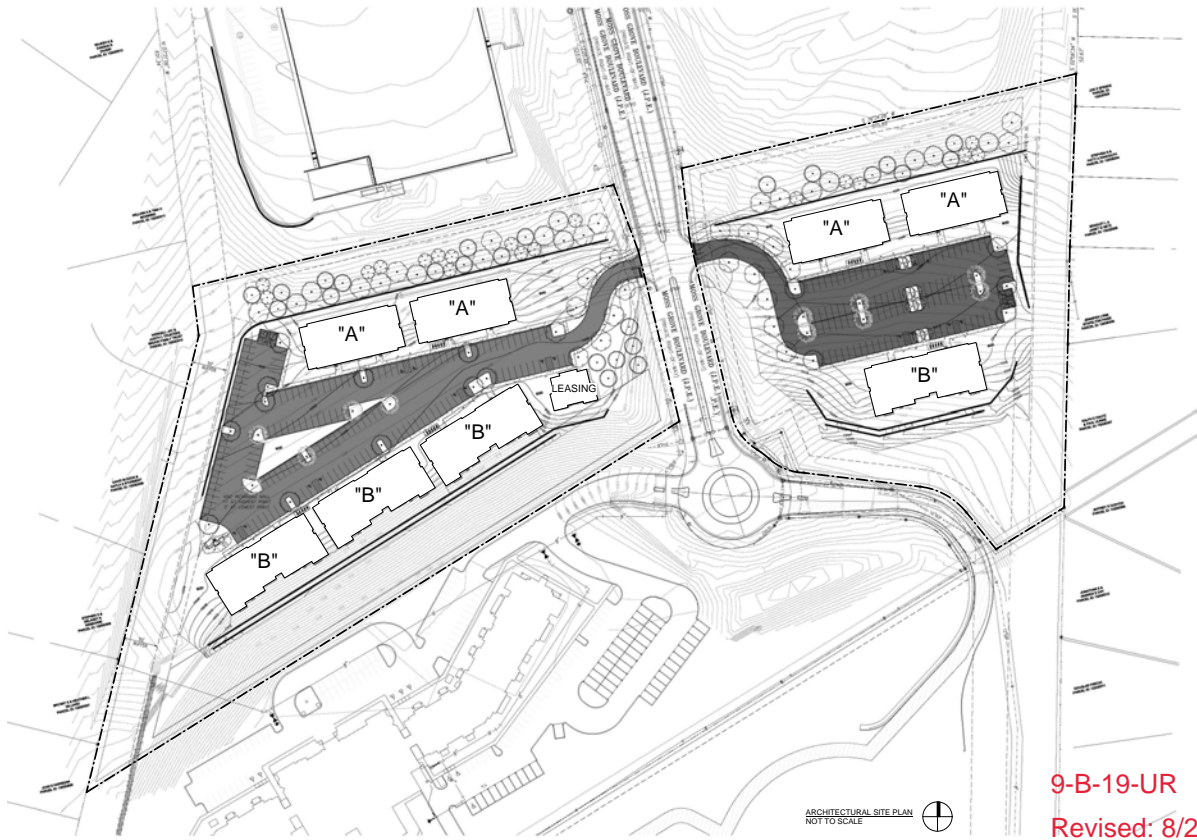
PROTECTED OPENING REQUIREMENTS - IBC TABLE 705.8

DISTANCE	ALLOWED
30'+	NO LIMIT
25-30'	NO LIMIT
20-25'	NO LIMIT
15-20'	75%
10-15'	45%

UNIT AND BUILDING MATRIX

BUILDING 'A':			BUILDING 'B':			TOTALS:		
LOWER LEVEL:	UNIT TYPE:	COUNT:	LEVEL 1:	UNIT TYPE:	COUNT:	UNIT TYPE:	COUNT:	
	A1r	1		A1	0	A1	0	
	B1r	1		A1r	0	A1r	0	
	B1r	2		B1	2	B1	2	
	B1r	1		B1r	2	B1r	2	
	C1	0		C1	0	C1	0	
	C2	0		C2	0	C2	0	
	C2r	0		C2r	0	C2r	0	
LEVEL 1:	UNIT TYPE:	COUNT:	LEVEL 1:	UNIT TYPE:	COUNT:	LEVEL 2:	UNIT TYPE:	COUNT:
	A1	2		A1	1		A1	1
	A1r	2		A1r	0		A1r	0
	B1	2		B1	2		B1	2
	B1r	2		B1r	2		B1r	2
	C1	0		C1	1		C1	1
	C2	0		C2	1		C2	1
	C2r	0		C2r	1		C2r	1
LEVEL 2:	UNIT TYPE:	COUNT:	LEVEL 2:	UNIT TYPE:	COUNT:	TOTAL:		
	A1	2		A1	1		28 UNITS	
	A1r	2		A1r	0		(7-A1, 7-A1r, 7-B1, 7-B1r)	
	B1	2		B1	2			
	B1r	2		B1r	2			
	C1	0		C1	1			
	C2	0		C2	1			
	C2r	0		C2r	1			
LEVEL 3:	UNIT TYPE:	COUNT:	LEVEL 3:	UNIT TYPE:	COUNT:	TOTAL:		
	A1	2		A1	1		20 UNITS	
	A1r	2		A1r	0		(2-A1, 6-B1, 6-B1r, 2-C1, 2-C2, 2-C2r)	
	B1	2		B1	2			
	B1r	2		B1r	2			
	C1	0		C1	1			
	C2	0		C2	1			
	C2r	0		C2r	1			

UNIT TYPE: COUNT:
 A1 28
 A1r 32
 B1 52
 B1r 8
 C1 8
 C2 8
 C2r 8
 152 UNITS
 (64 ONE BED, 104 TWO BED, 24 THREE BED)
 *4 UNITS SHALL BE ANSI TYPE A UNITS.



ARCHITECTURAL SITE PLAN
 NOT TO SCALE

9-B-19-UR
 Revised: 8/26/2019



Southeast Venture
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 4011 ARMORY OAKS DRIVE
 NASHVILLE, TENNESSEE 37204
 (615) 833-8716

MOSS GROVE FLATS

0 MOSS GROVE BOULEVARD, KNOXVILLE, TN 37922



SEAL

ISSUED	DATE
USE ON REVIEW	07/25/19
No. Δ REVISED	DATE

PROJECT INFO

A001

DRAWN:	S.IY
CHECKED:	Checker
PROJECT:	SV - 19048



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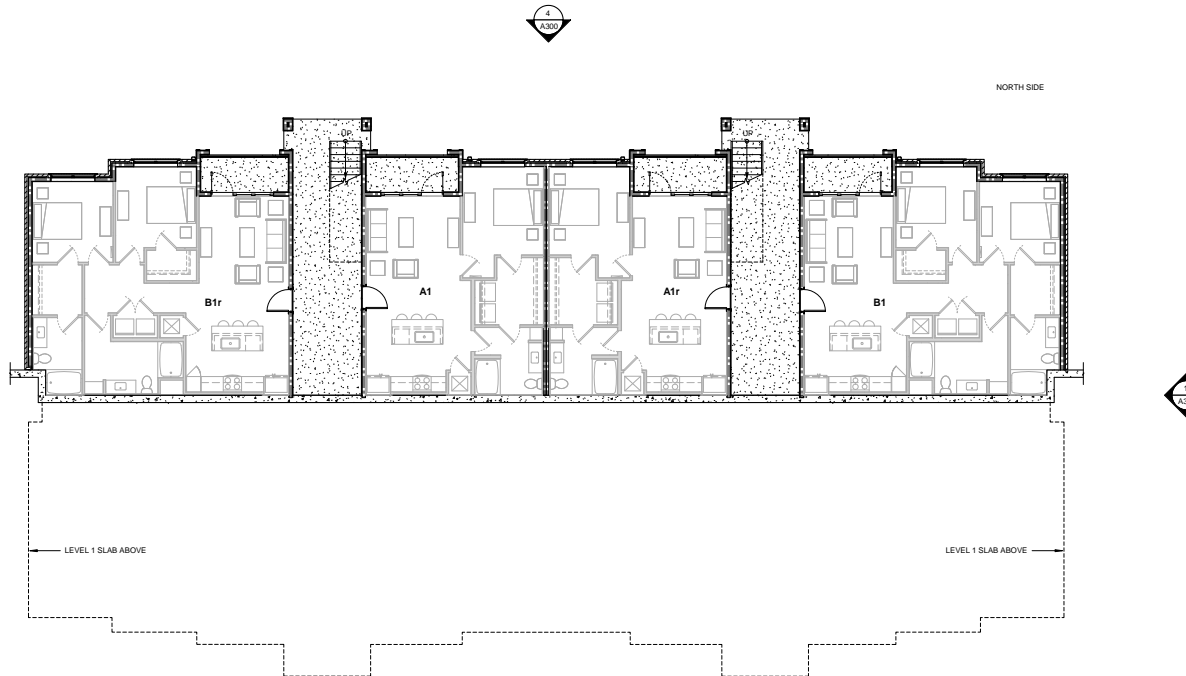
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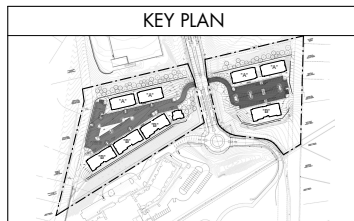
BLDG. A - LOWER
LEVEL FLOOR PLAN

A201

DRAWN:	S.IJ
CHECKED:	Checker
PROJECT	SV - 19048



BLDG. A - LOWER LEVEL
1/8" = 1'-0"



WALL LEGEND	
	INTERIOR WOOD STUD PARTITION PARTITION TYPE A
	INTERIOR WOOD STUD PARTITION PARTITION TYPE B
	1 HR RATED WOOD STUD PARTITION (UNIT SEPARATION) PARTITION TYPE C

PLAN GENERAL NOTES	
1.	REFERENCE SHEET A006 FOR PARTITION TYPES
2.	ALL DIMENSIONS ARE DESIGNATED AS FOLLOWS UNLESS SPECIFICALLY NOTED OTHERWISE: 2.1 WOOD STUDS: DIMENSIONED FROM FACE OF STUD TO FACE OF STUD 2.2 CMU: DIMENSIONED FROM FACE OF CMU BLOCK 2.3 EXTERIOR WALLS: DIMENSIONED FROM EXTERIOR FACE OF STUD
3.	PROVIDE BLOCKING IN WALLS FOR ALL WALL MOUNTED HANDRAILS, CASEWORK, TOILET ACCESSORIES, OR OTHER HUNG ITEMS.
4.	REFERENCE STRUCTURAL DRAWINGS FOR BEARING WALL CONDITIONS
5.	PROVIDE "SUPER ANCHOR" ROOF ANCHORS NO MORE THAN 30'-0" O.C. AND HALF WAY UP THE ROOF SLOPE FROM THE DRAINAGE VALLEY. INSTALL PER MANUFACTURER'S AND OSHA REQUIREMENTS. ROOFER TO FLASH PER MANUFACTURER'S REQUIREMENTS.
----- CONTROL JOINT LOCATION, SEE #A/XXXX FOR DETAILS	

9-B-19-UR
Revised: 8/26/2019



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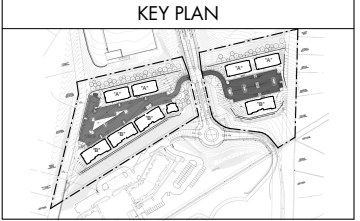
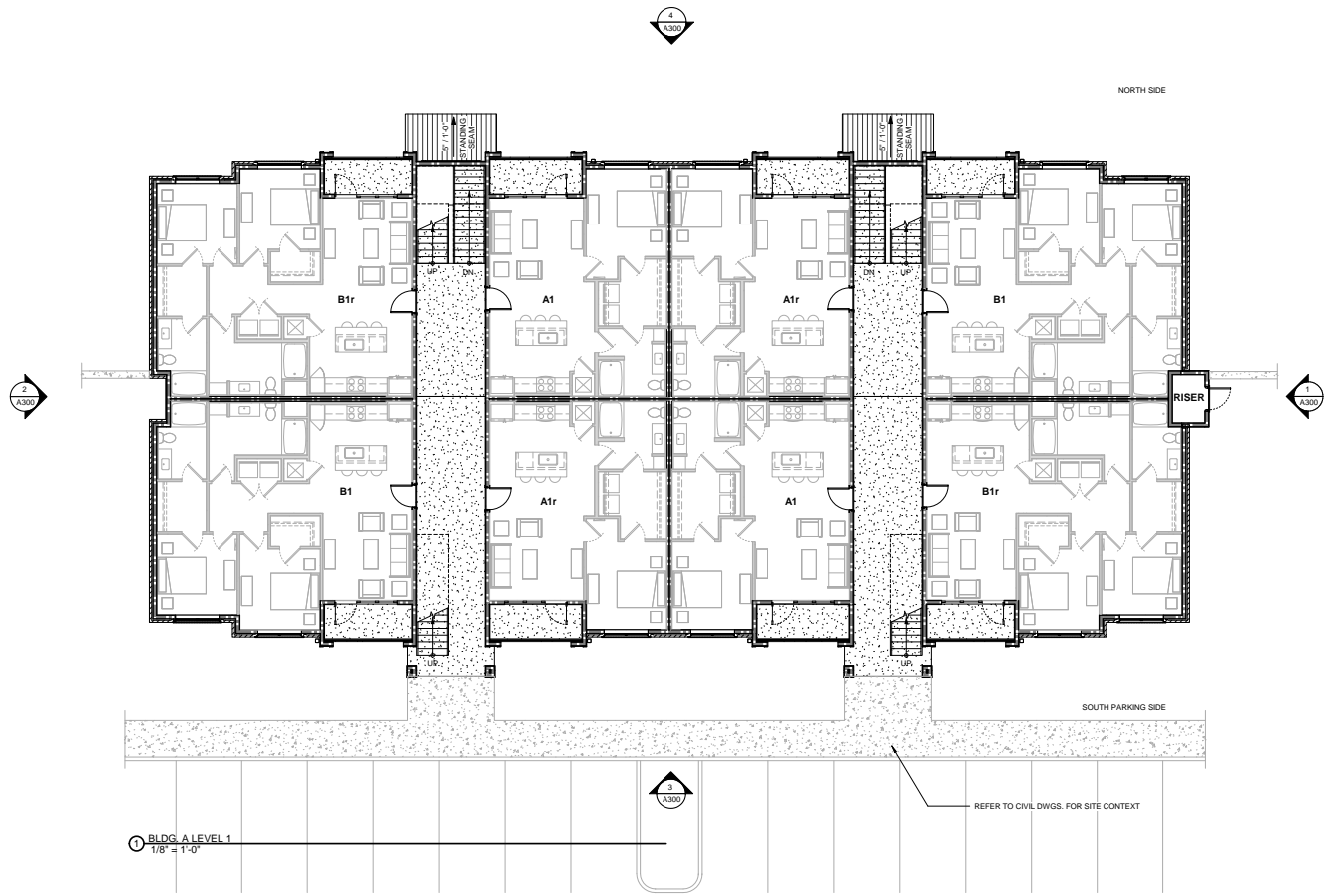
BLDG. A - FIRST FLOOR PLAN

A202

DRAWN:	S.IJ
CHECKED:	Checker
PROJECT	SV - 19048

9-B-19-UR

Revised: 8/26/2019



WALL LEGEND

	INTERIOR WOOD STUD PARTITION PARTITION TYPE A
	INTERIOR WOOD STUD PARTITION PARTITION TYPE B
	1 HR-RATED WOOD STUD PARTITION (UNIT SEPARATION) PARTITION TYPE C

- PLAN GENERAL NOTES**
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 - CMU: DIMENSIONED FROM FACE OF CMU BLOCK
 - EXTERIOR WALLS: DIMENSIONED FROM EXTERIOR FACE OF STUD
 - PROVIDE BLOCKING IN WALLS FOR ALL WALL MOUNTED HANDRAILS, CASEWORK, TOILET ACCESSORIES, OR OTHER HUNG ITEMS
 - REFERENCE STRUCTURAL DRAWINGS FOR BEARING WALL CONDITIONS
 - PROVIDE 'SUPER ANCHOR' ROOF ANCHORS NO GREATER THAN 36" O.C. AND HALF WAY UP THE ROOF SLOPE FROM THE DRAINAGE VALLEY. INSTALL PER MANUFACTURER'S AND OSHA REQUIREMENTS. ROOFER TO FLASH PER MANUFACTURER'S REQUIREMENTS.
- CONTROL JOINT LOCATION, SEE 4/XXXX FOR DETAILS



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SEAL

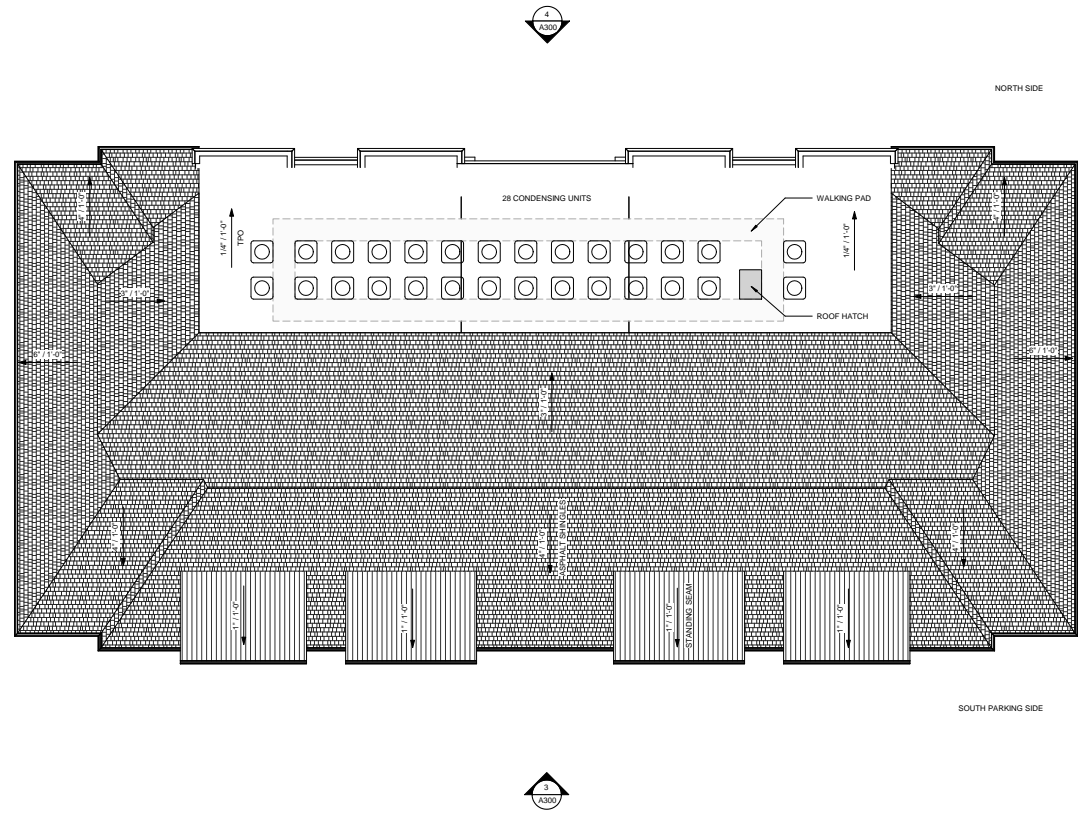
ISSUED	DATE
USE ON REVIEW	07/25/19
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BLDG. A - ROOF PLAN

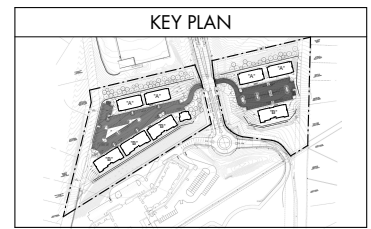
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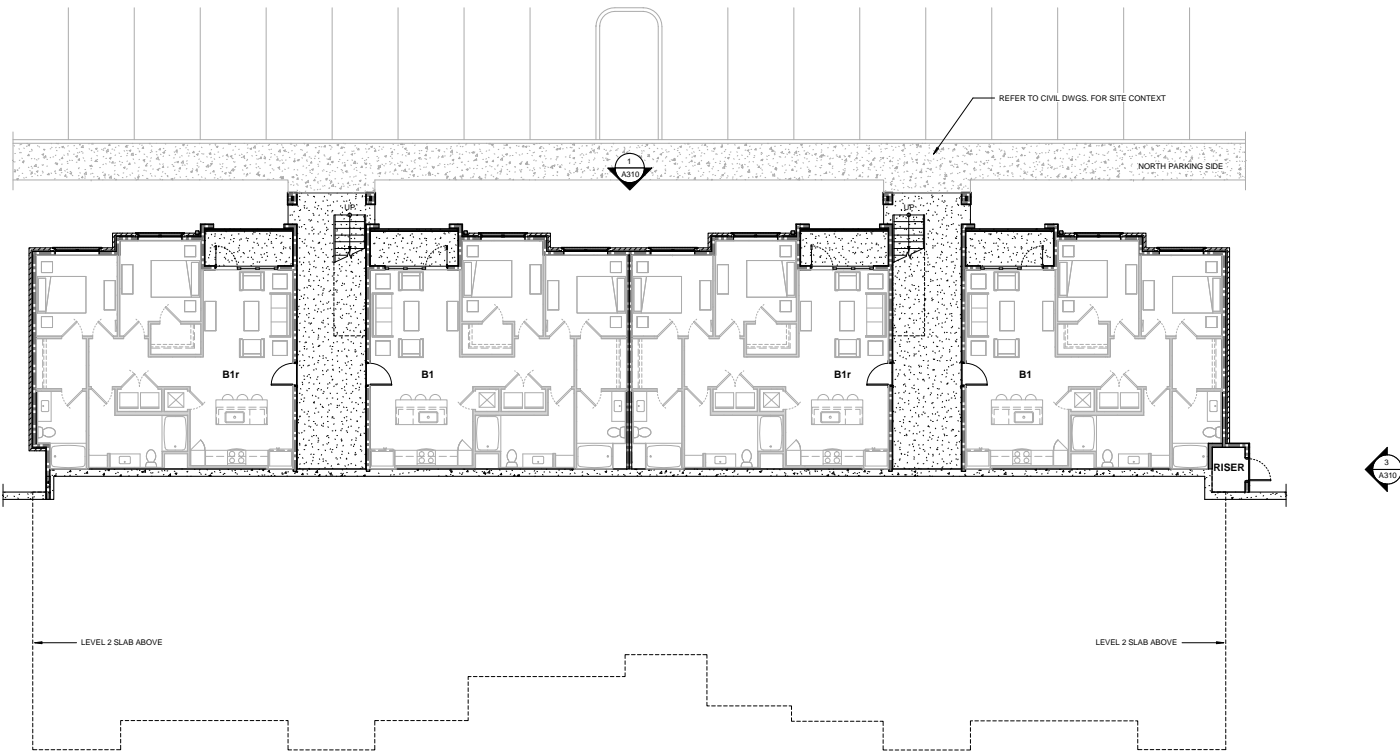
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PROJECT	SV - 19048

9-B-19-UR
 Revised: 8/26/2019

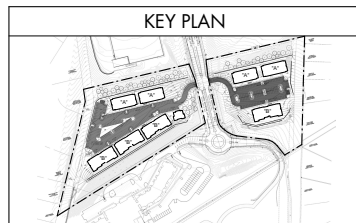


1 BLDG. A ROOF PLAN
 1/8" = 1'-0"





○ BLDG. B LEVEL 1
1/8" = 1'-0"



WALL LEGEND	
	INTERIOR WOOD STUD PARTITION PARTITION TYPE A
	INTERIOR WOOD STUD PARTITION PARTITION TYPE B
	1 HR. RATED WOOD STUD PARTITION (UNIT SEPARATION) PARTITION TYPE C

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- - - - - CONTROL JOINT LOCATION, SEE 4/AXXX FOR DETAILS	



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SEAL

ISSUED	DATE
USE ON REVIEW	07/25/19
No. Δ REVISED	DATE

BLDG. B - FIRST FLOOR
PLAN

A211

DRAWN:	S.J.O.
CHECKED:	Checker
PROJECT	SV - 19048

9-B-19-UR

Revised: 8/26/2019



Southeast Venture
DESIGN SERVICES
 4011 ARMORY OAKS DRIVE
 NASHVILLE, TENNESSEE 37204
 (615) 833-8716

MOSS GROVE FLATS
 0 MOSS GROVE BOULEVARD, KNOXVILLE, TN 37922



SEAL

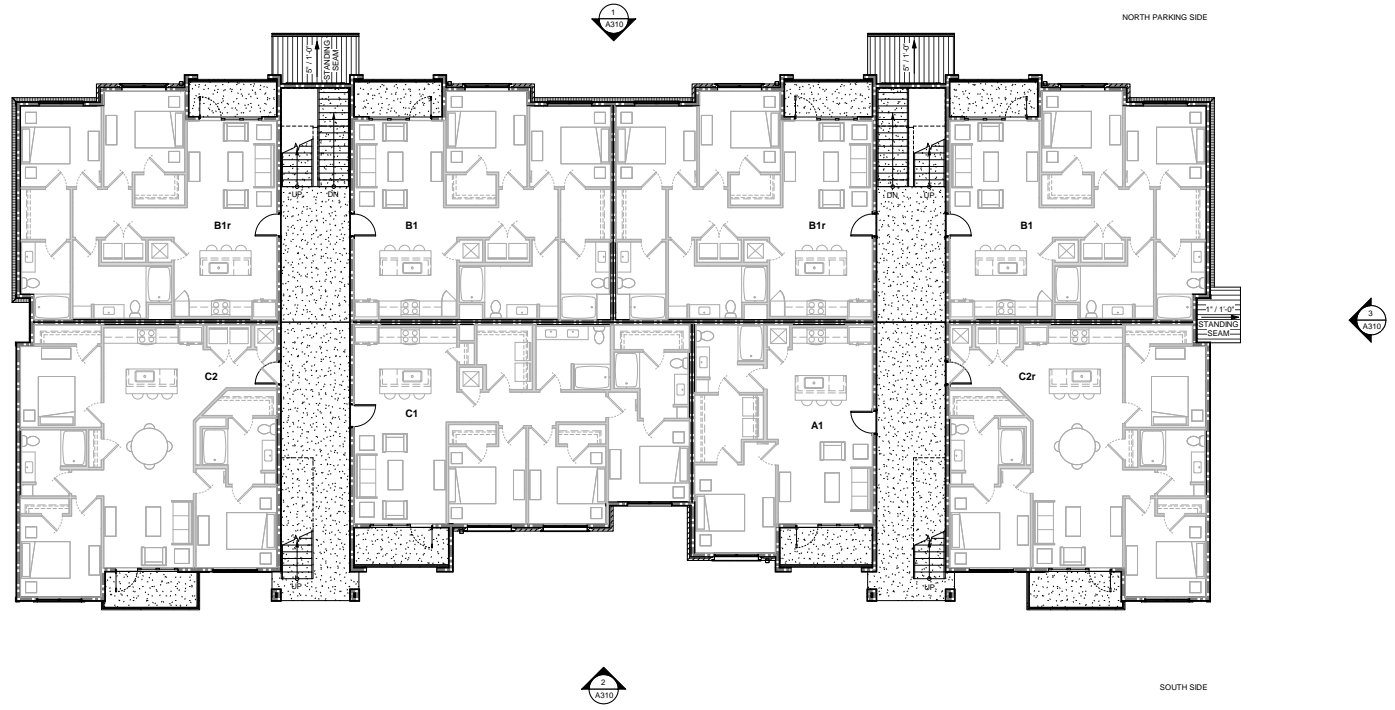
ISSUED	DATE
USE ON REVIEW	07/25/19
No. Δ REVISED	DATE

BLDG. B - SECOND FLOOR PLAN

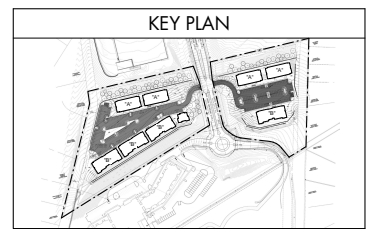
A212

DRAWN:	S.J.O.
CHECKED:	Checker
PROJECT	SV - 19048

9-B-19-UR
Revised: 8/26/2019



1 BLDG. B LEVEL 2
 1/8" = 1'-0"



WALL LEGEND	
	INTERIOR WOOD STUD PARTITION PARTITION TYPE A
	INTERIOR WOOD STUD PARTITION PARTITION TYPE B
	1 HR-RATED WOOD STUD PARTITION (UNIT SEPARATION) PARTITION TYPE C

PLAN GENERAL NOTES	
1.	REFERENCE SHEET A006 FOR PARTITION TYPES
2.	ALL DIMENSIONS ARE DESIGNATED AS FOLLOWS UNLESS SPECIFICALLY NOTED OTHERWISE: 2.1 WOOD STUDS: DIMENSIONED FROM FACE OF STUD TO FACE OF STUD 2.2 CMU: DIMENSIONED FROM FACE OF CMU BLOCK 2.3 EXTERIOR WALLS: DIMENSIONED FROM EXTERIOR FACE OF STUD
3.	PROVIDE BLOCKING IN WALLS FOR ALL WALL MOUNTED HANDRAILS, CASEWORK, TOILET ACCESSORIES, OR OTHER HUNG ITEMS.
4.	REFERENCE STRUCTURAL DRAWINGS FOR BEARING WALL CONDITIONS
5.	PROVIDE 'SUPER ANCHOR' ROOF ANCHORS NO MORE THAN 36" O.C. AND HALF WAY UP THE ROOF SLOPE FROM THE DRAINAGE VALLEY. INSTALL PER MANUFACTURER'S AND OSHA REQUIREMENTS. ROOFER TO FLASH PER MANUFACTURER'S REQUIREMENTS.
----- CONTROL JOINT LOCATION, SEE 4/AXXX FOR DETAILS	



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 (615) 833-8716

MOSS GROVE FLATS

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SEAL

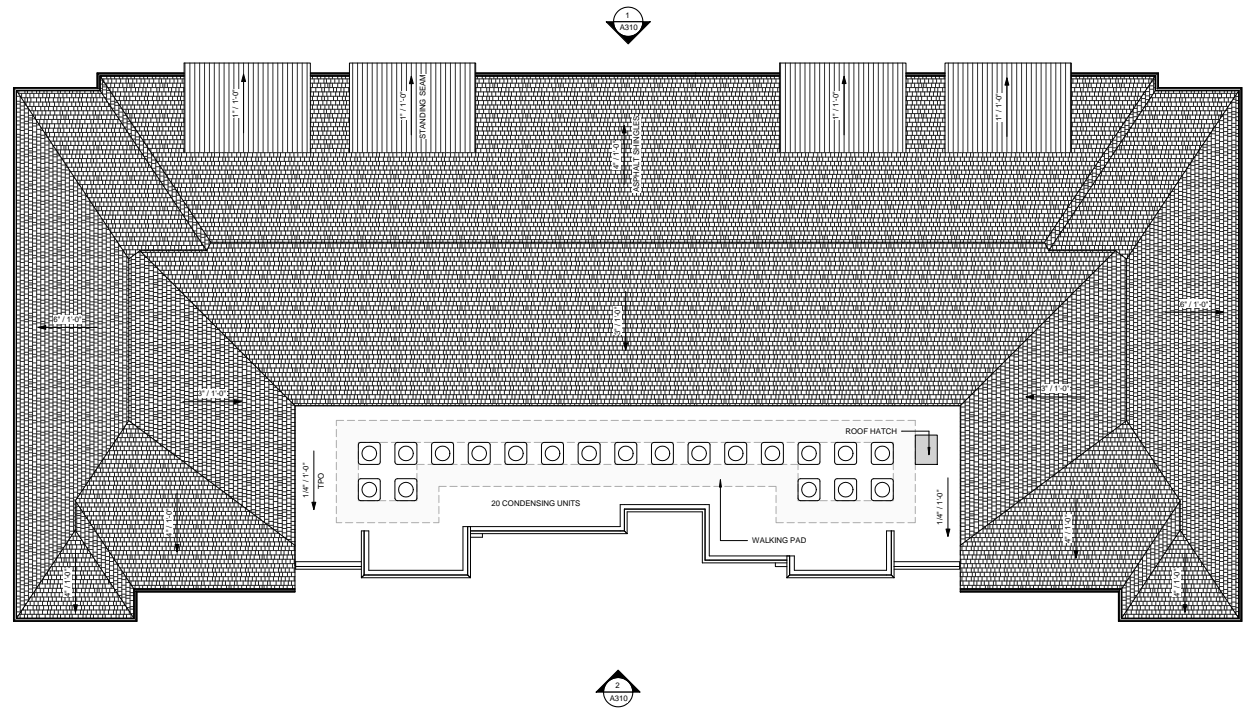
ISSUED	DATE
USE ON REVIEW	07/25/19
No. Δ REVISED	DATE

BLDG. B - ROOF PLAN

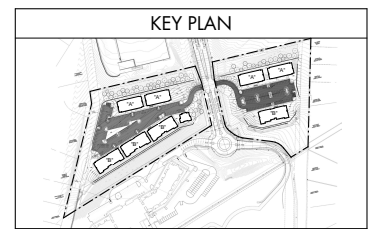
A214

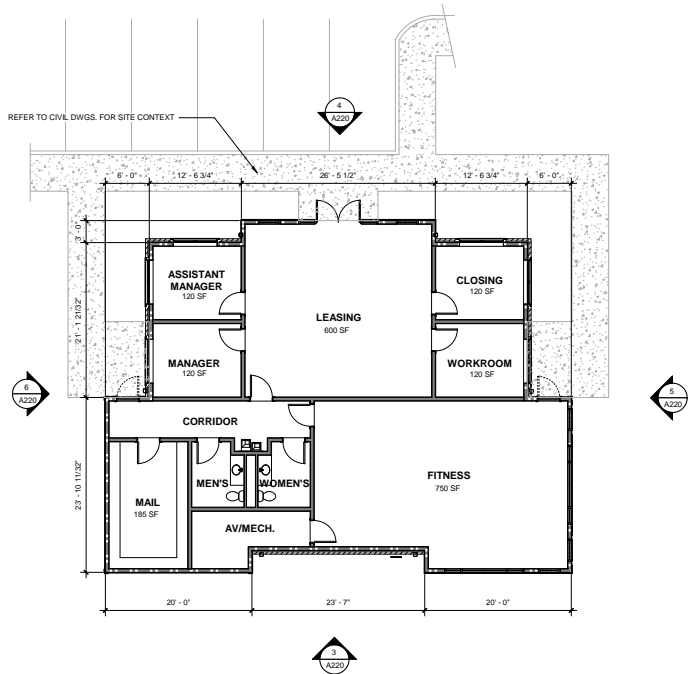
DRAWN:	S.IJ
CHECKED:	Checker
PROJECT	SV - 19048

9-B-19-UR
 Revised: 8/26/2019

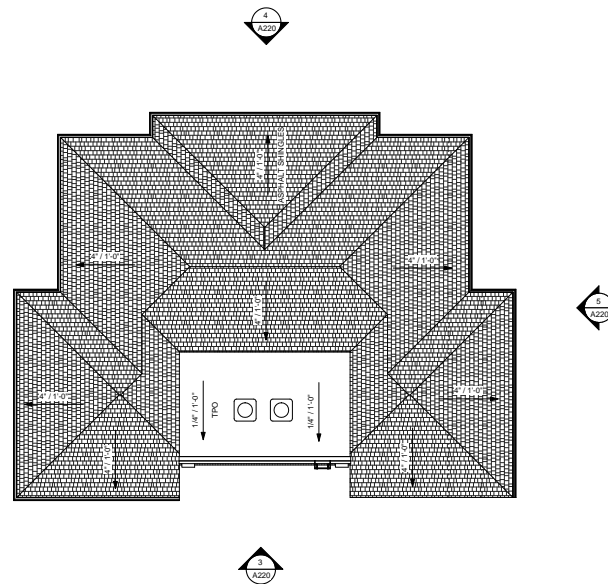


BLDG. B ROOF PLAN
 1/8" = 1'-0"





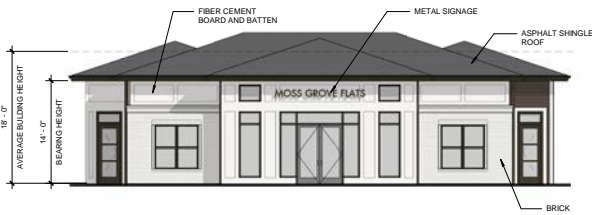
1 LEASING LEVEL 1
1/8" = 1'-0"



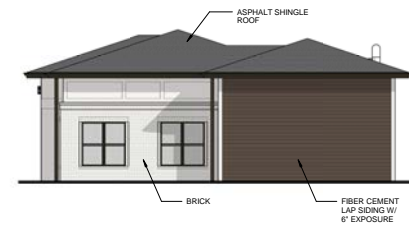
2 LEASING ROOF PLAN
1/8" = 1'-0"



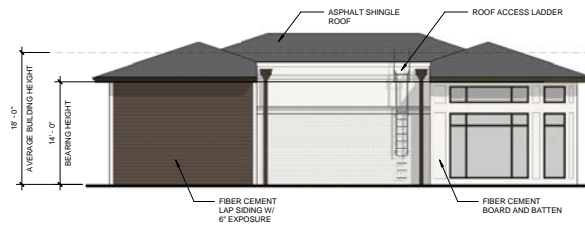
3 LEASING EAST ELEVATION
1/8" = 1'-0"



4 LEASING NORTH ELEVATION
1/8" = 1'-0"



5 LEASING WEST ELEVATION
1/8" = 1'-0"



6 LEASING SOUTH ELEVATION
1/8" = 1'-0"



Southeast Venture

DESIGN SERVICES

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NASHVILLE, TENNESSEE 37204
(615) 833-8716

MOSS GROVE FLATS

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ELMINGTON

SEAL

ISSUED DATE

USE ON REVIEW 07/25/19

No. REVISED DATE

LEASING FLOOR PLAN

A220

9-B-19-UR

Revised: 8/26/2019

DRAWN: S.I.T.
CHECKED: Checker
PROJECT: SV-19048



Southeast Venture
DESIGN SERVICES
 4011 ARMORY OAKS DRIVE
 NASHVILLE, TENNESSEE 37204
 (615) 833-8716

MOSS GROVE FLATS

0 MOSS GROVE BOULEVARD, KNOXVILLE, TN 37922



SEAL

ISSUED	DATE
USE ON REVIEW	07/25/19
No Δ REVISED	DATE

BLDG. A - ELEVATIONS

A300

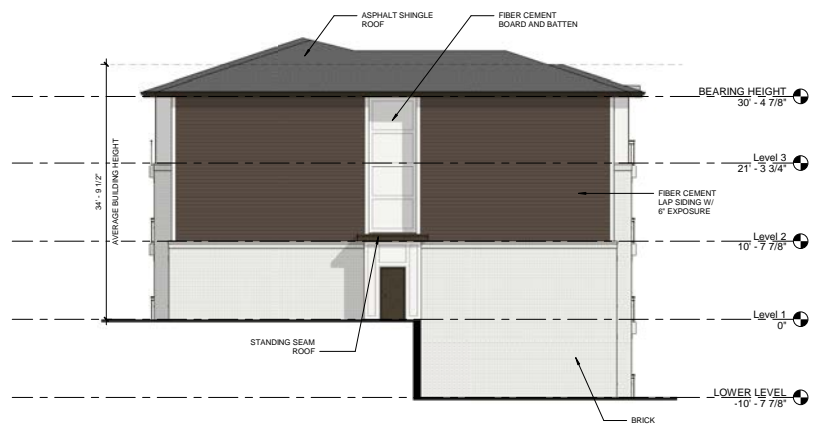
DRAWN:	S.I.O
CHECKED:	Checker
PROJECT	SV - 19048



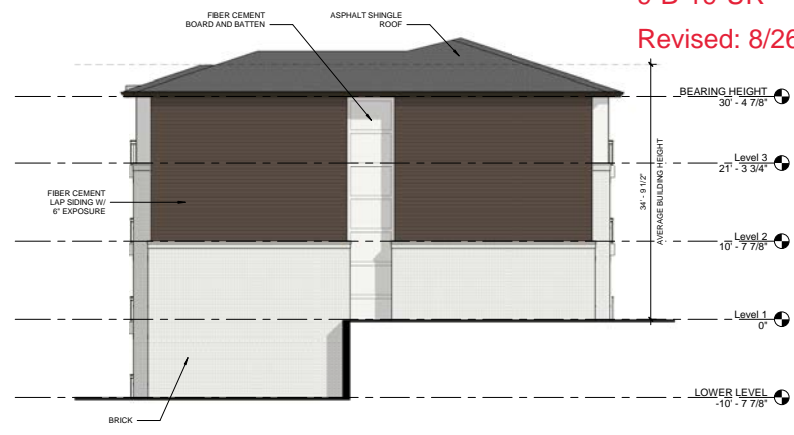
1 BLDG. A NORTH ELEVATION
 1/8" = 1'-0"



2 BLDG. A SOUTH ELEVATION
 1/8" = 1'-0"



3 BLDG. A EAST ELEVATION
 1/8" = 1'-0"

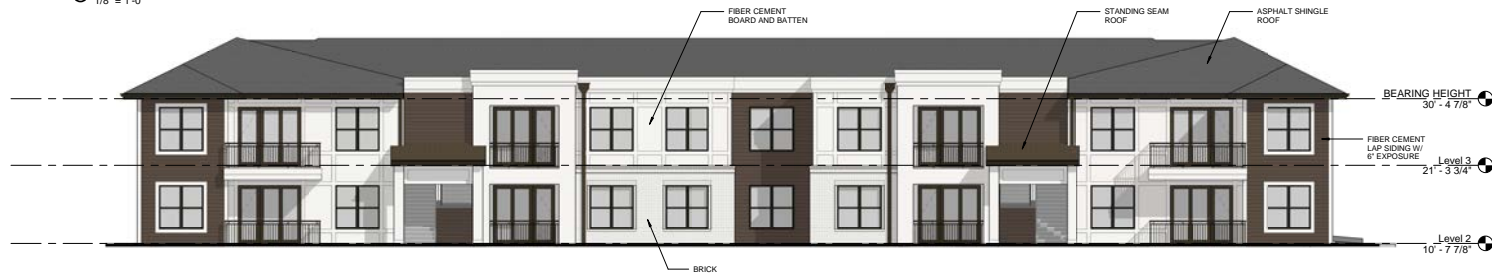


4 BLDG. A WEST ELEVATION
 1/8" = 1'-0"

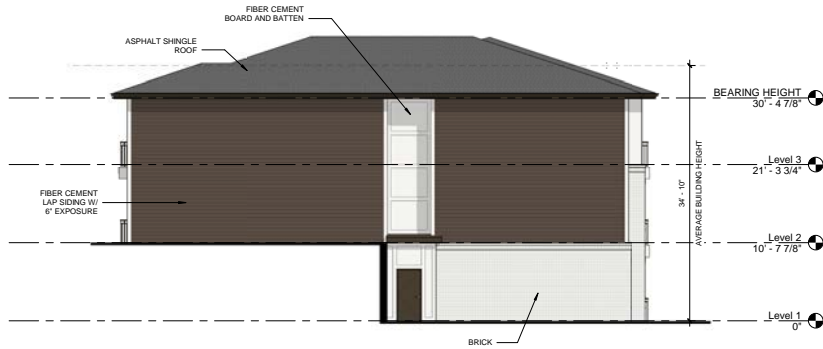
9-B-19-UR
 Revised: 8/26/2019



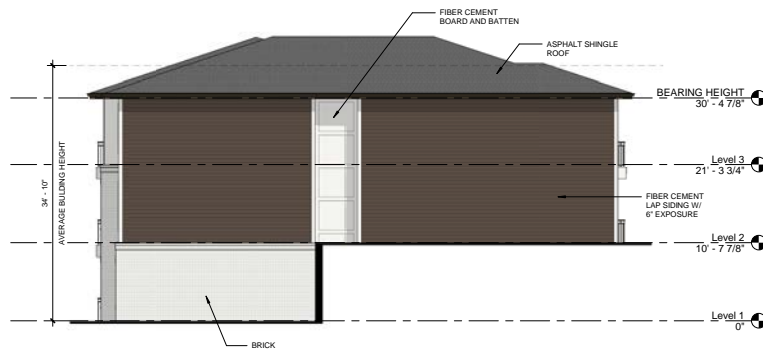
1 BLDG. B NORTH ELEVATION
1/8" = 1'-0"



2 BLDG. B SOUTH ELEVATION
1/8" = 1'-0"



3 BLDG. B EAST ELEVATION
1/8" = 1'-0"



4 BLDG. B WEST ELEVATION
1/8" = 1'-0"



Southeast Venture
DESIGN SERVICES
4011 ARMORY OAKS DRIVE
NASHVILLE, TENNESSEE 37204
(615) 833-8716

MOSS GROVE FLATS

0 MOSS GROVE BOULEVARD, KNOXVILLE, TN 37922



SEAL

ISSUED	DATE
USE ON REVIEW	07/25/19
No Δ REVISED	DATE

BLDG. B - ELEVATIONS

A310

DRAWN:	S.IJ
CHECKED:	Checker
PROJECT	SV - 19048

9-B-19-UR

Revised: 8/26/2019

User Friendly

Radius Edges

3-D Appearance

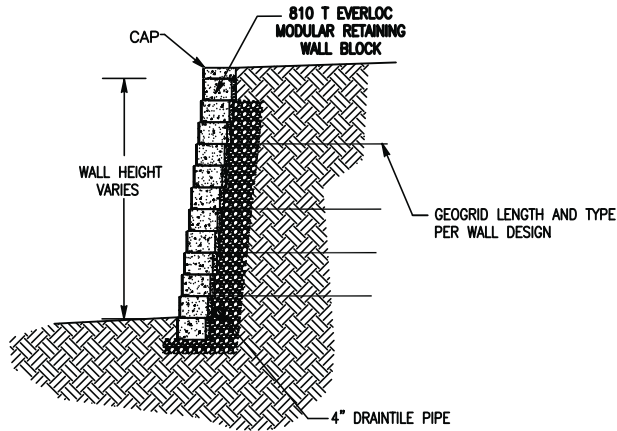
Self Aligning Corners

No Sawing At Corners

Eliminates The Need To Stay On Bond

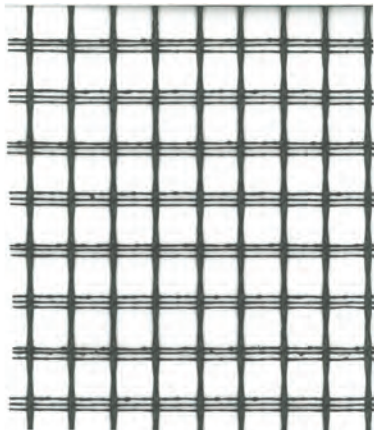
Random Look Without Multiple Sizes

Guaranteed Speedy Delivery And Service



810 T RETAINING WALL DETAIL
N.T.S.

For reinforced walls, ask about Geogrid reinforcement. Geogrid can be purchased from E. Dillon & Company and delivered to your jobsite along with **EVERLOC**® units.



9-B-19-UR

Revised: 8/26/2019

AVAILABLE COLORS



Sienna



Redwood



Copper



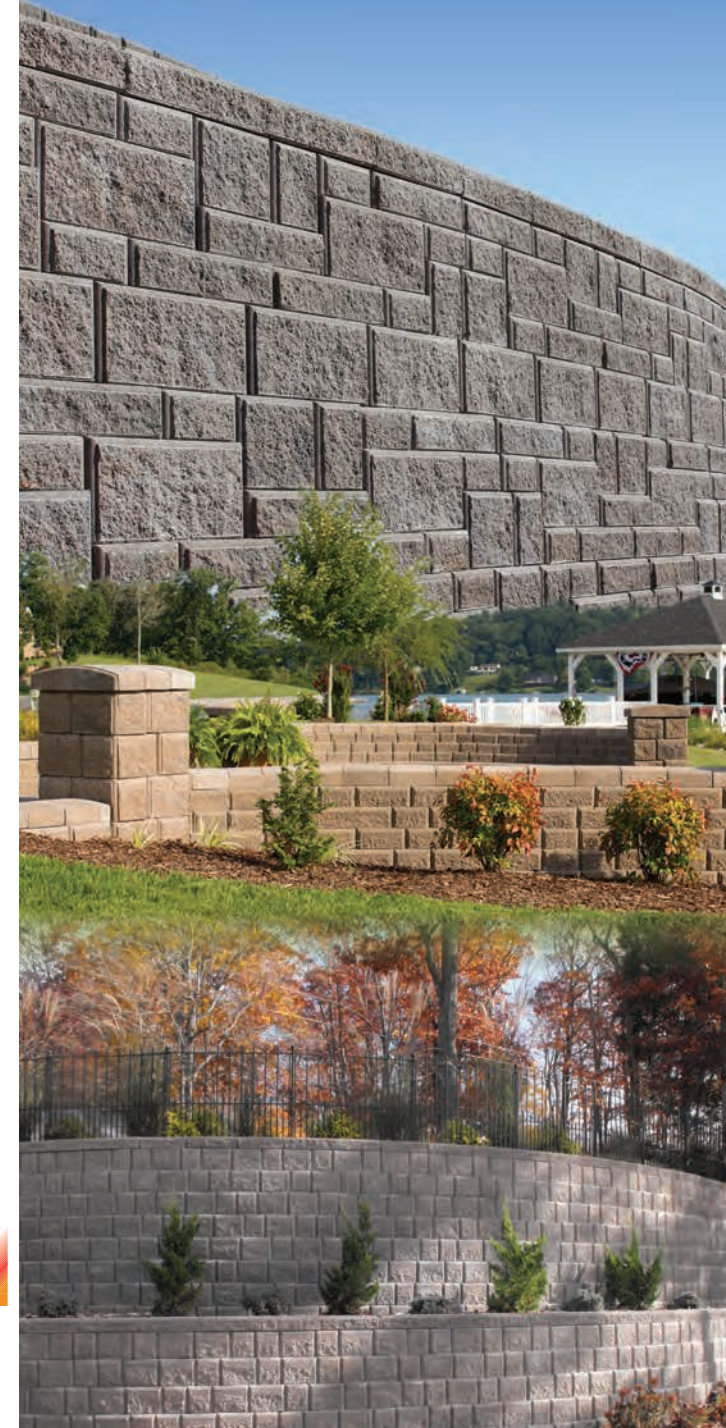
Ash Gray

TO PLACE ORDERS OR TO INQUIRE ABOUT SHIPMENTS PLEASE CONTACT:
EVERLOC® RETAINING WALLS
CUSTOMER SERVICE CENTER
P O BOX 160
SWORDS CREEK, VA 24649
PH: (877) 622-9255
FAX: (276) 873-5688
EMAIL - EVERLOC@EDILLON.COM

WEBSITE:
WWW.EVERLOCRETAININGWALLS.COM



EVERLOC®
 RETAINING WALLS



EVERLOC®

RETAINING WALLS

WALL UNITS



833 Utility
8" h x 12" d x 6" l
72 block / cube
.33 ft²



850 Half
8" h x 12" d x 9" l
48 block / cube
.5 ft²



Corner
8" h x 9" d x 12" l
setback 3/4"
45 block / cube
1.2 ft²



810T and 810F
8" h x 12" d x 18" l
setback 3/4"
34 block / cube
1.0 ft²



Cap
4" h x 12" d x 18" l
32 block / cube
.5 ft²



450T and 450F
4" h x 12" d x 18" l
setback 3/8"
64 block / cube
.5 ft²



425 Half
4" h x 12" d x 9" l
setback 3/8"
96 block / cube



417 Utility
4" h x 12" d x 6" l
144 block / cube
.17 ft²



Half High Corner
4" h x 9" d x 12" l
setback 3/8"
90 block / cube
0.6 ft²

EVERLOC EXPRESS™ UNITS



**810T and 810F
Everloc Express™**
8" h x 9" d x 18" l
setback 3/4"
40 block / cube
1.0 ft²



**450T and 450F
Everloc Express™**
4" h x 9" d x 18" l
setback 3/8"
80 block / cube
.5 ft²



**WeatherDome™
Fence Cap**
3-3/4" h x 16-1/3" d x 9" l
48 block / cube
.19 ft²x2



**WeatherDome™
Column Cap**
4-5/8" h x 23" d x 7-1/2" l
45 block / cube
.16 ft²x2



WeatherDome™ Wall Cap
3-3/4" h x 12" d x 9" l,
80 block / cube, .19ft²x2

WEATHERDOME™ UNITS

9-B-19-UR

Revised: 8/26/2019



DEVELOPMENT REQUEST

DEVELOPMENT

- Development Plan
- Use on Review / Special Use

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
- Rezoning



Elmington Capital Group
Applicant

7/26/2019 9/12/2019 9-B-19-WR
Date Filed Meeting Date (if applicable) File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

John Richard Patterson, P.E. Kimley-Horn & Associates
Name Company

214 Oceanside Drive Nashville TN 37204
Address City State Zip

615-564-2706 john.patterson@kimley-horn.com
Phone Email

CURRENT PROPERTY INFO

Kingston Pike LLC 3400 (Suite 1400) Peachtree Rd NE Atlanta, GA 30326 N/A
Owner Name (if different) Owner Address Owner Phone

East & W/S Moss Grove Blvd, South of Kingston Pk.
0 Moss Grove Boulevard 13202704, 13202703
Property Address Parcel ID

Moss Grove Boulevard, +/-1400 LF South from Kingston Pike 14.5 Acres (total)
General Location Tract Size

Knoxville 2 O-1 (K)
Jurisdiction (specify district above) City County Zoning District

Southwest County O (Office) N/A
Planning Sector Sector Plan Land Use Classification Growth Policy Plan Designation

Vacant Land No First Utility District First Utility District
Existing Land Use Septic (Y/N) Sewer Provider Water Provider

REQUEST

DEVELOPMENT

- Development Plan Use on Review / Special Use
 Residential Non-Residential

Home Occupation (specify): _____

Other (specify): _____

SUBDIVISION

Sherrill Hill _____ Unit / Phase Number

Proposed Subdivision Name

Parcel Change

Combine Parcels Divide Parcel Total Number of Lots Created: _____

Other (specify): _____

Attachments / Additional Requirements

ZONING

Zoning Change: _____
Proposed Zoning

Plan Amendment Change: _____
Proposed Plan Designation(s)

Multifamily _____ 14 _____

Proposed Property Use (specify) Proposed Density (units/acre) Previous Rezoning Requests

Other (specify): _____

STAFF USE ONLY

PLAT TYPE

- Administrative Meeting

ATTACHMENTS

- Property Owners / Option Holders Variance Request

ADDITIONAL REQUIREMENTS

- Design Plan Certification (*Final Plat only*)
 Use on Review / Special Use (*Concept Plan only*)
 Traffic Impact Study

FEE 1:

1500.00

FEE 2:

FEE 3:

TOTAL:

\$1500.00

AUTHORIZATION

Sherry Michienzi
Staff Signature

SHERRY MICHIEZI

7-26-19
Date

Cochrane Jamison
Vice President of Development Services

Elmington Capital Group

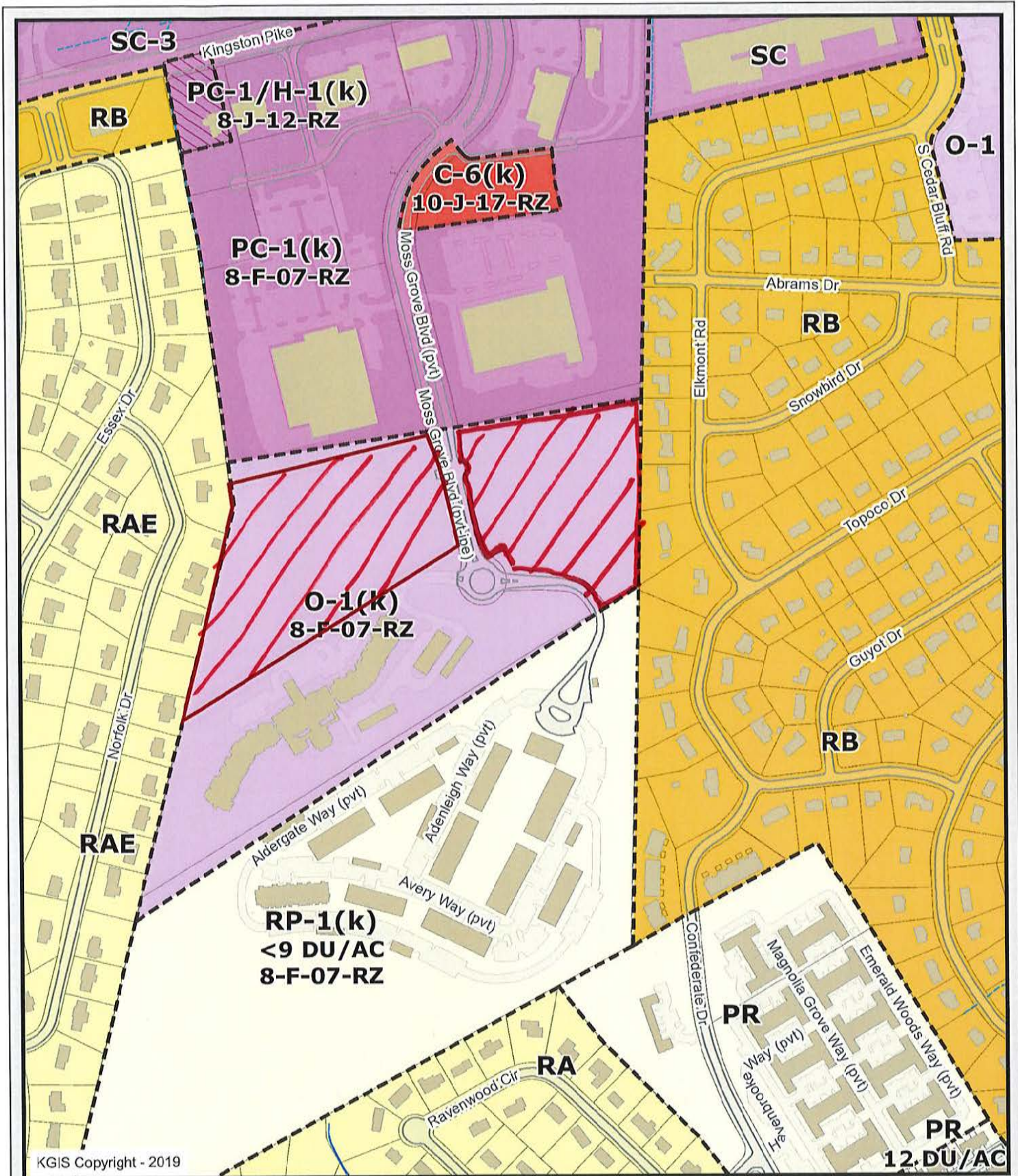
Cochrane Jamison
Applicant Signature

118 16th Ave South, Suite 200, Nashville, TN 37203

7/18/2019
Date

O: 629.800.5463 | C: 205.886.5881

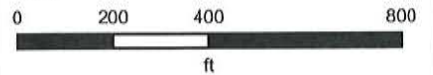
cjamison@elmingtoncapital.com



KGIS Copyright - 2019

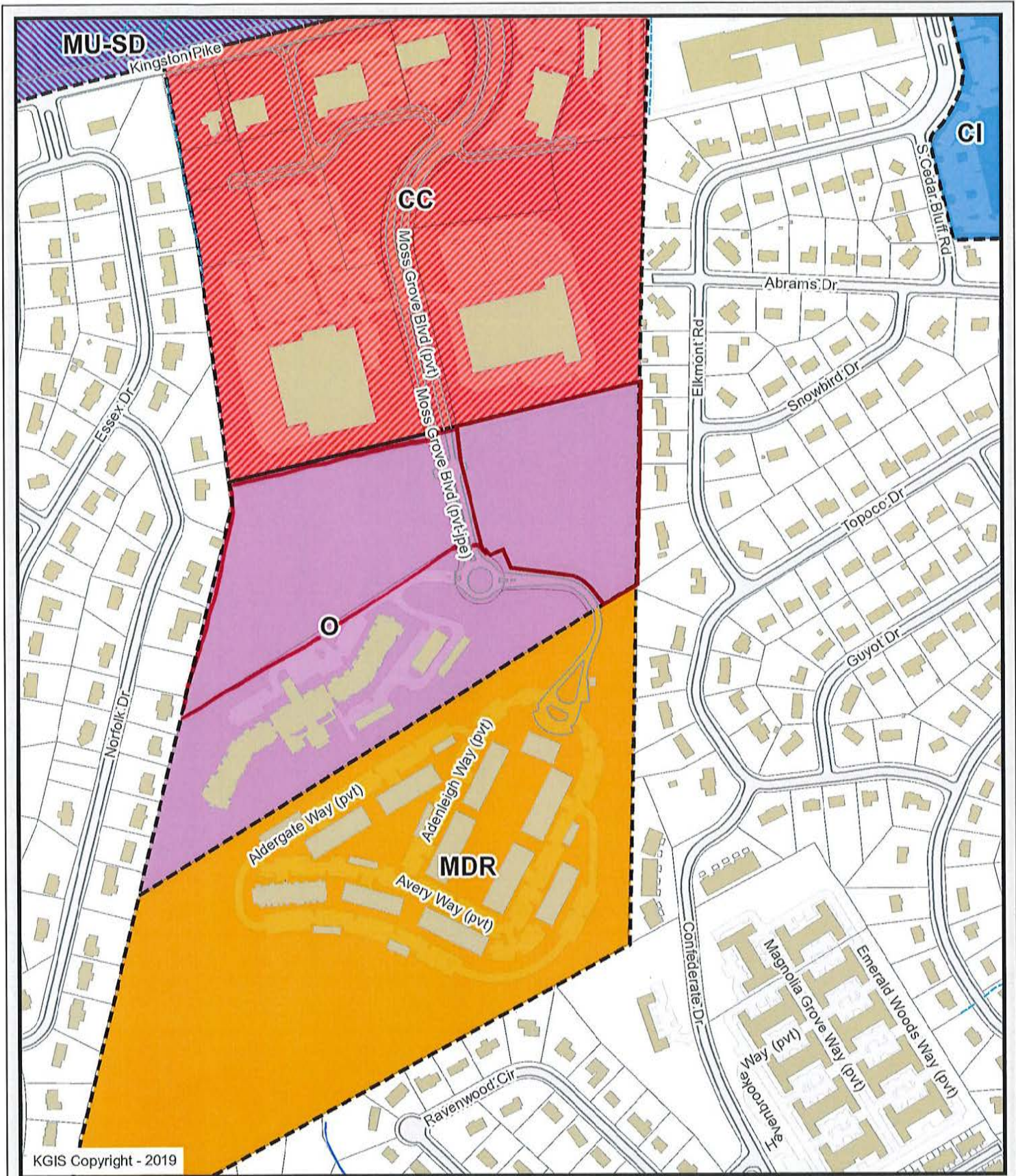
Letter Portrait

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Knoxville - Knox County - KUB Geographic Information System

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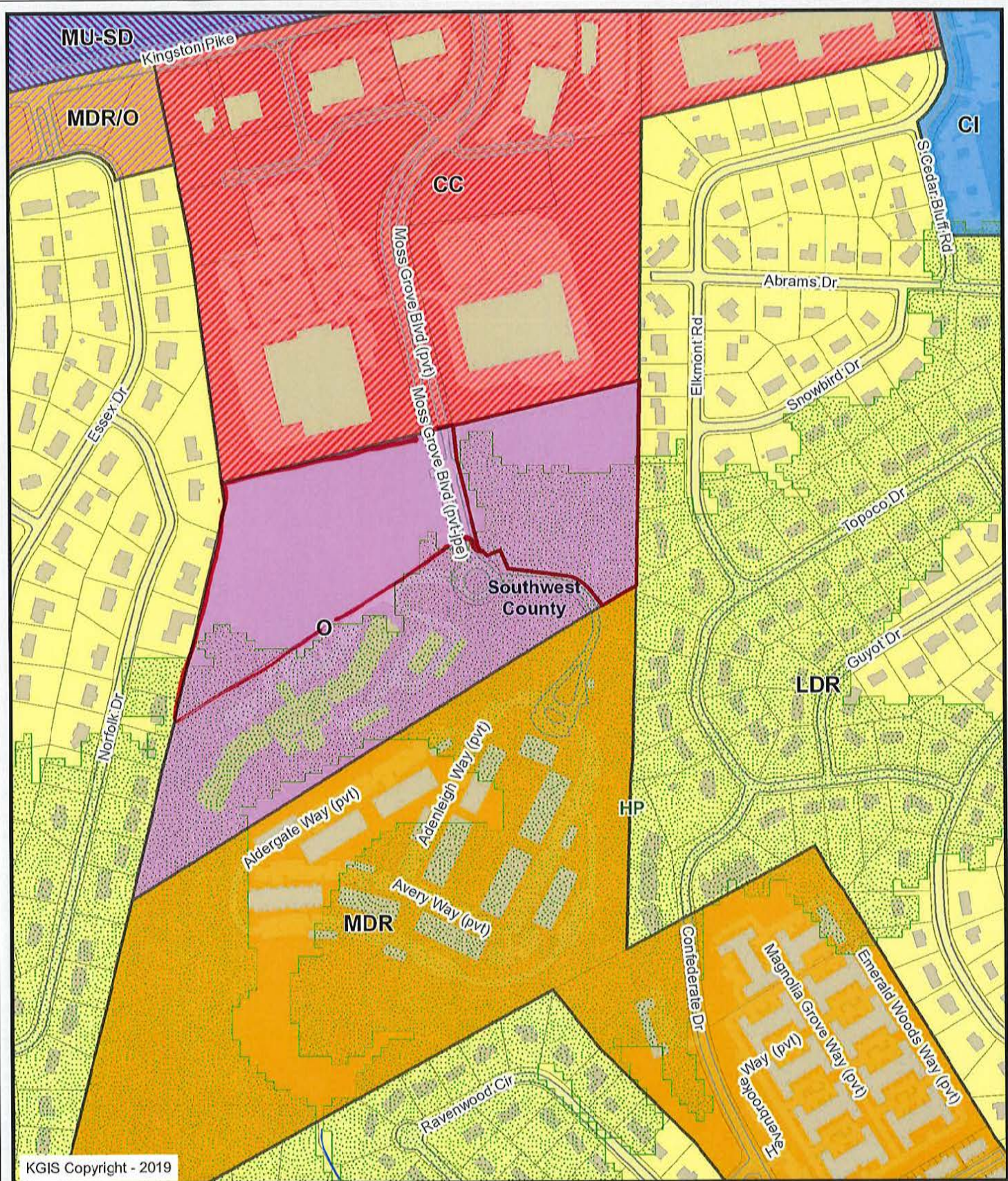


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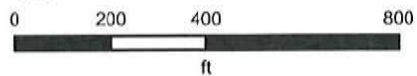
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**AGREEMENT FOR PURCHASE AND SALE OF REAL PROPERTY
(LOTS 3 AND 4R1)**

THIS AGREEMENT FOR PURCHASE AND SALE OF REAL PROPERTY (the "Agreement") is made and entered into this 13th day of June, 2019, by and between ECG ACQUISITIONS, LLC, a Tennessee limited liability company ("Buyer") and KINGSTON PIKE, LLC, a Georgia limited liability company ("Seller").

RECITALS:

A. Seller desires to sell to Buyer, and Buyer desires to buy from Seller, all of Seller's right, title and interest in and to (i) those certain tracts of real property located in District No. Six (6) of Knox County, Tennessee, and within the 47th Ward, Block No. 46346 of the City of Knoxville, and being shown and identified as Lot 3 of Sherrill Hill, Kingston Pike ("Lot 3"), on that certain Corrected Plat of Sherrill Hill, drawn by Michael Brady, Inc., certified by John S. Patteson (Tennessee Registration No. 1829), dated December 16, 2008, last revised January 15, 2009, being Instrument No. 200901260045671 (the "Lot 3 Recorded Plat"), and Lot 4R1 of Sherrill Hill, Kingston Pike ("Lot 4R1"), on that certain Resubdivision of Lots 6R and 4R of Sherrill Hill, drawn by Cannon & Cannon, Inc., certified by Roger G. Lusby (Tennessee Registration No. 1332), dated October 19, 2011, being Instrument No. 201103170055135 (the "Lot 4R1 Recorded Plat") (Lot 3 and Lot 4R1 being sometimes collectively referred to as the "Land", and the Lot 3 Recorded Plat and Lot 4R1 Recorded Plat being sometimes collectively referred to as the "Recorded Plats"), which Recorded Plats depict Lots 3 and 4R1, respectively, as shown on "Exhibit A-1" and "Exhibit A-2", attached hereto and incorporated herein by reference, and (ii) the following (but only to the extent belonging, serving and/or directly related to the Land, and only if Seller has any right, title and interest in the following): (1) all tenements, hereditaments, easements, privileges, appurtenances and rights, and (2) all development rights, governmental approvals, licenses and permits (collectively, the "Property").

B. Seller and Buyer desire to enter into this Agreement to set forth the terms and conditions of the purchase and sale of the Property.

AGREEMENTS:

NOW, THEREFORE, FOR AND IN CONSIDERATION OF THE MUTUAL PROMISES SET FORTH HEREIN AND OTHER GOOD AND VALUABLE CONSIDERATION, THE RECEIPT AND SUFFICIENCY OF WHICH ARE HEREBY ACKNOWLEDGED, SELLER AND BUYER AGREE AS FOLLOWS:



J.A.

**[BUYER'S SIGNATURE PAGE TO AGREEMENT FOR
PURCHASE AND SALE OF REAL PROPERTY (LOTS 3 AND 4R1)]**

BUYER:

ECG ACQUISITIONS, LLC,
a Tennessee limited liability company

Actual date of Execution:

June 14th, 2019

BY: 

C. HUNTER NELSON

Title: Secretary

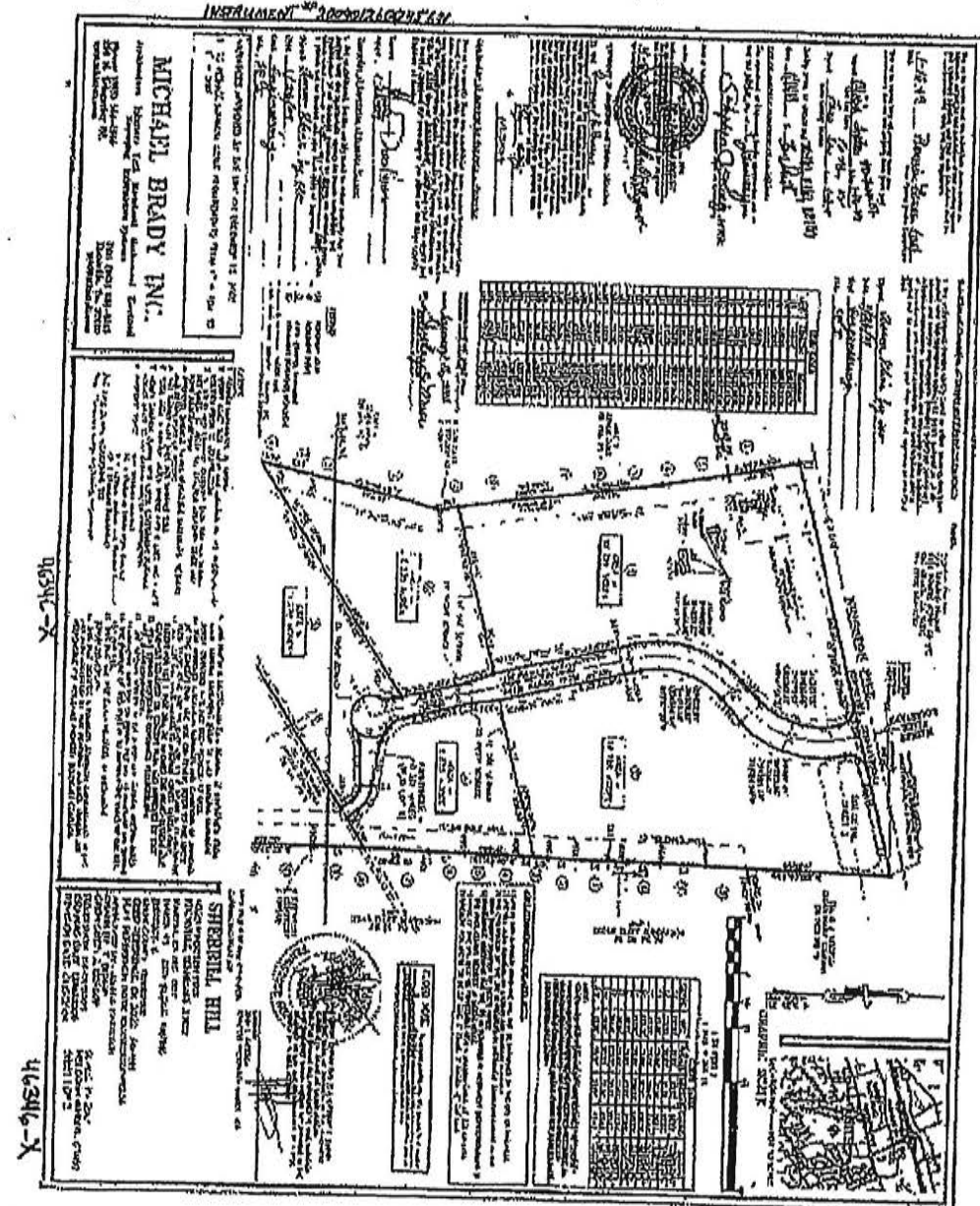
[DULY AUTHORIZED, EMPOWERED AND DIRECTED
TO EXECUTE AND DELIVER THIS AGREEMENT FOR
PURCHASE AND SALE OF REAL PROPERTY]

*C.H.N.
J.G.*

EXHIBIT A-1

[LOT 3 RECORDED PLAT]

46346-X



Handwritten signature/initials

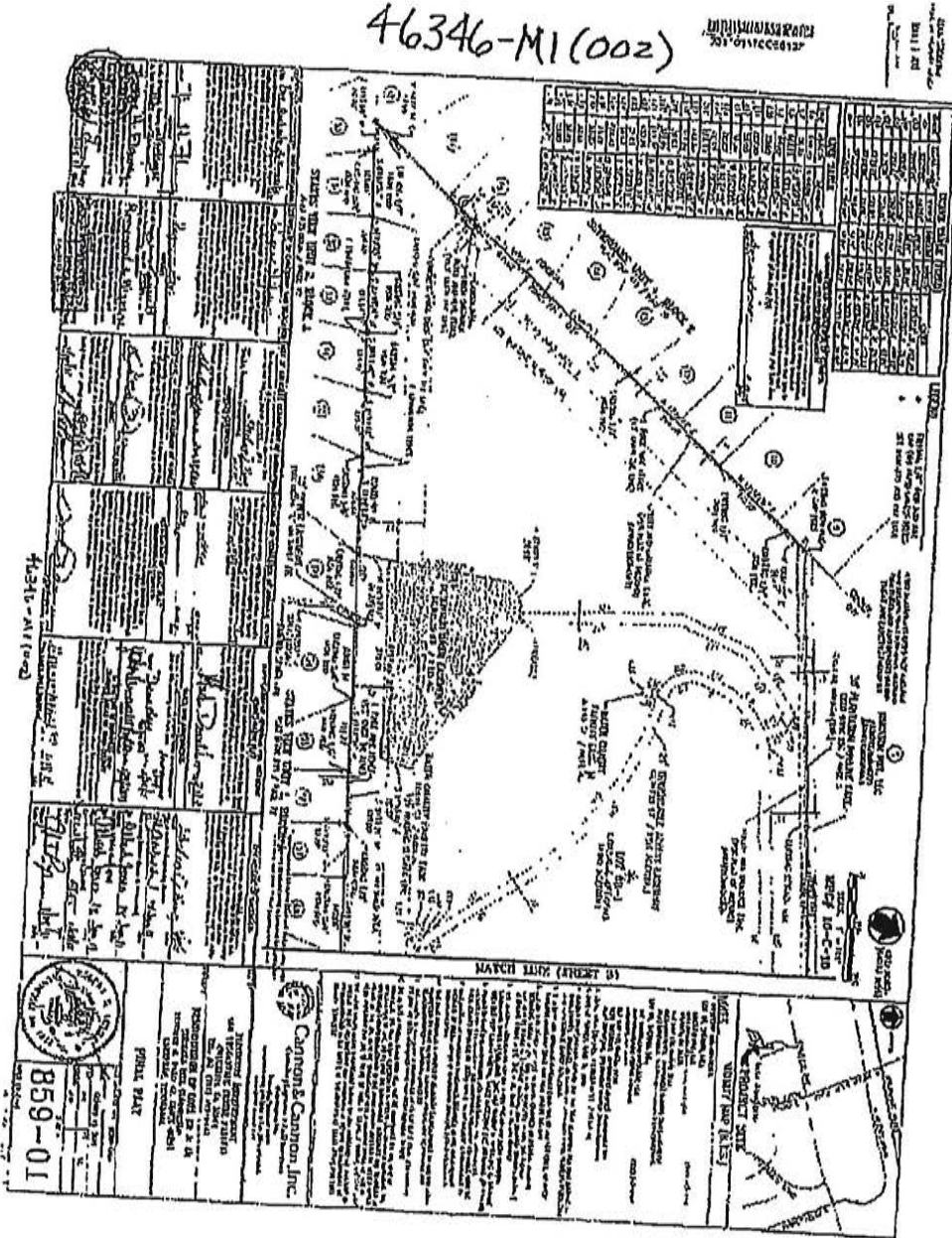
*CHW
J.H.*

EXHIBIT A-2

[LOT 4R1 RECORDED PLAT]

46346-M1(002)

MISSISSIPPI
RECORDS

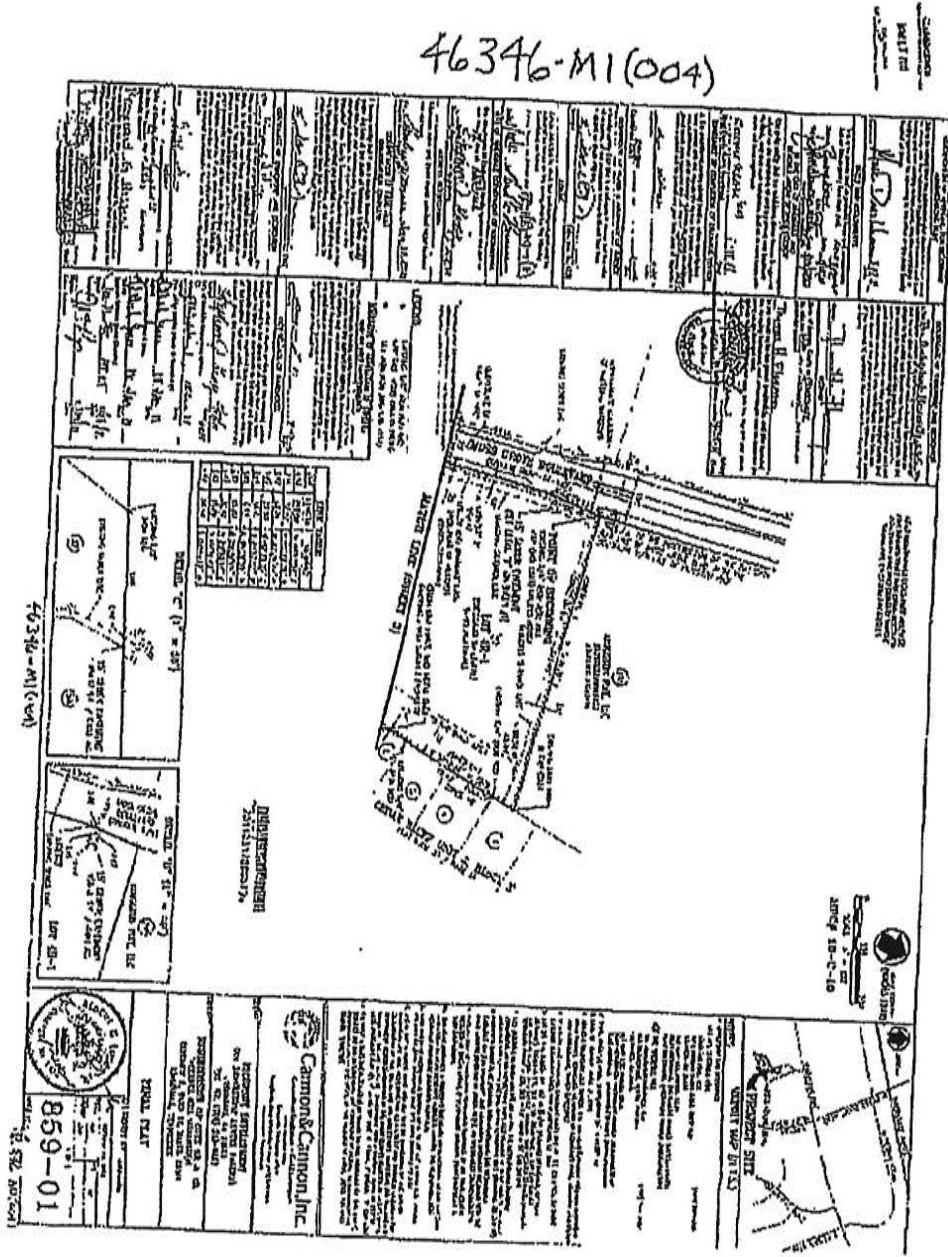


Handwritten signature or initials

EXHIBIT A-2

[LOT 4R1 RECORDED PLAT]

46346-M1(004)



CHW
J.H.

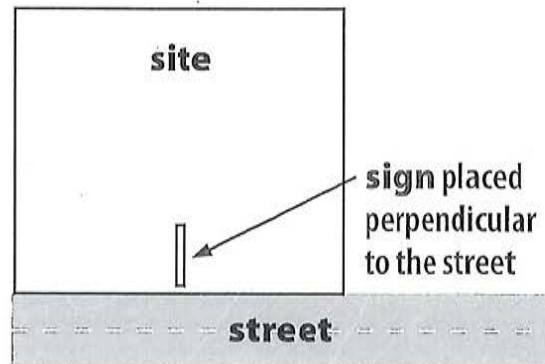
REQUIRED SIGN POSTING AGREEMENT

For all rezoning, plan amendment, concept plan, use on review, right-of-way closure, and street name change applications, a sign must be posted on the subject property, consistent with the adopted MPC Administrative Rules and Procedures.

At the time of application, MPC staff will provide a sign(s) to post on the property as part of the application process. If the sign(s) go missing for any reason and need to be replaced, then the applicant will be responsible for picking up a new sign(s) from the MPC offices. The applicant will be charged a fee of \$10 for each replacement sign.

LOCATION AND VISIBILITY

The sign must be posted in a location that is clearly visible from vehicles traveling in either direction on the nearest adjacent/frontage street. If the property has more than one street frontage, then the sign should be placed along the street that carries more traffic. MPC staff may recommend a preferred location for the sign to be posted at the time of application.



TIMING

The sign(s) must be posted 15 days before the scheduled MPC public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted 15 days before the next MPC meeting.

I hereby agree to post and remove the sign(s) provided on the subject property consistent with the above guidelines and between the dates of:

(Wed) Aug 28th and (Fri) Sept 13th
(15 days before the MPC meeting) (the day after the MPC meeting)

Signature: Matt Harton

Printed Name: Elmington Capital Group

Phone: _____ Email: _____

Date: 7-26-19

MPC File Number: 9-B-19-UR