



USE ON REVIEW REPORT

▶ **FILE #:** 9-G-19-UR

AGENDA ITEM #: 36

AGENDA DATE: 9/12/2019

▶ **APPLICANT:** JACOB HARRIS

OWNER(S): Jacob Harris

TAX ID NUMBER: 71 M E 017

[View map on KGIS](#)

JURISDICTION: City Council District 4

STREET ADDRESS: 0 Crestwood Dr.

▶ **LOCATION:** North side of Crestwood Drive, north of Far Vista Lane

▶ **APPX. SIZE OF TRACT:** 40809 square feet

SECTOR PLAN: East City

GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)

ACCESSIBILITY: Access is via Crestwood Dr, a local street with a 18' pavement width within a 50' right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Holston and French Broad

▶ **ZONING:** EN-1 (Established Neighborhood)

▶ **EXISTING LAND USE:** Vacant

▶ **PROPOSED USE:** Accessory dwelling unit

2.13 du/ac

HISTORY OF ZONING: Property was zoned EN-1 in 2007 as part of a general rezoning for the neighborhood.

SURROUNDING LAND USE AND ZONING: North: Houses / EN-1 (Established Neighborhood)

South: Houses / EN-1 (Established Neighborhood)

East: Houses / EN-1 (Established Neighborhood)

West: Vacant lot, Houses / EN-1 (Established Neighborhood)

NEIGHBORHOOD CONTEXT: The property is within the Holston Hills neighborhood that is developed primarily with single family houses in the EN-1 zone.

STAFF RECOMMENDATION:

▶ **APPROVE the development plan for a detached accessory dwelling unit with approximately 880 sqft of habitable floor area, subject to 2 conditions.**

1. Meeting all applicable requirements of the City of Knoxville Department of Engineering.
2. Meeting all applicable requirements of the City of Knoxville Zoning Ordinance.

With the conditions noted, this plan meets the requirements for approval in the EN-1 zone and the other criteria for approval of a use on review.

COMMENTS:

This proposal is for a detached accessory dwelling unit (ADU) with approximately 880 sqft of habitable floor area and a 120 sqft covered porch. The EN-1 zone has use and building standards (see Exhibit A), and allows consideration of an ADU via the use on review process. The property owner must occupy either the primary dwelling or the ADU as their permanent residence.

The proposed ADU will have the appearance of a small single family house and will be located to the right (east) side of the primary dwelling, which will be constructed at the same time as the ADU. The ADU will face the side of the primary residence rather than the road, which is a requirement of the development standards so it does not have the appearance of a primary residence.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE

1. The proposed ADU is not located near any residences on adjacent lots.
2. The proposed ADU meets the standards of the EN-1 district.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE CITY OF KNOXVILLE ZONING ORDINANCE

1. The proposed ADU meets the standards for development within the EN-1 (Established Neighborhood) District and all other requirements of the Zoning Ordinance.
2. The proposed ADU is consistent with the general standards for uses permitted on review: The proposed development is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas.

CONFORMITY OF THE PROPOSAL TO ADOPTED PLANS

1. The East City Sector Plan and the One Year Plan designate this property for low density residential use with a maximum density of 6 du/ac. At a proposed density of 2.13 du/ac, the development is consistent with the Sector Plan and One Year Plan.
2. The site is located within the City of Knoxville on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: 28 (average daily vehicle trips)

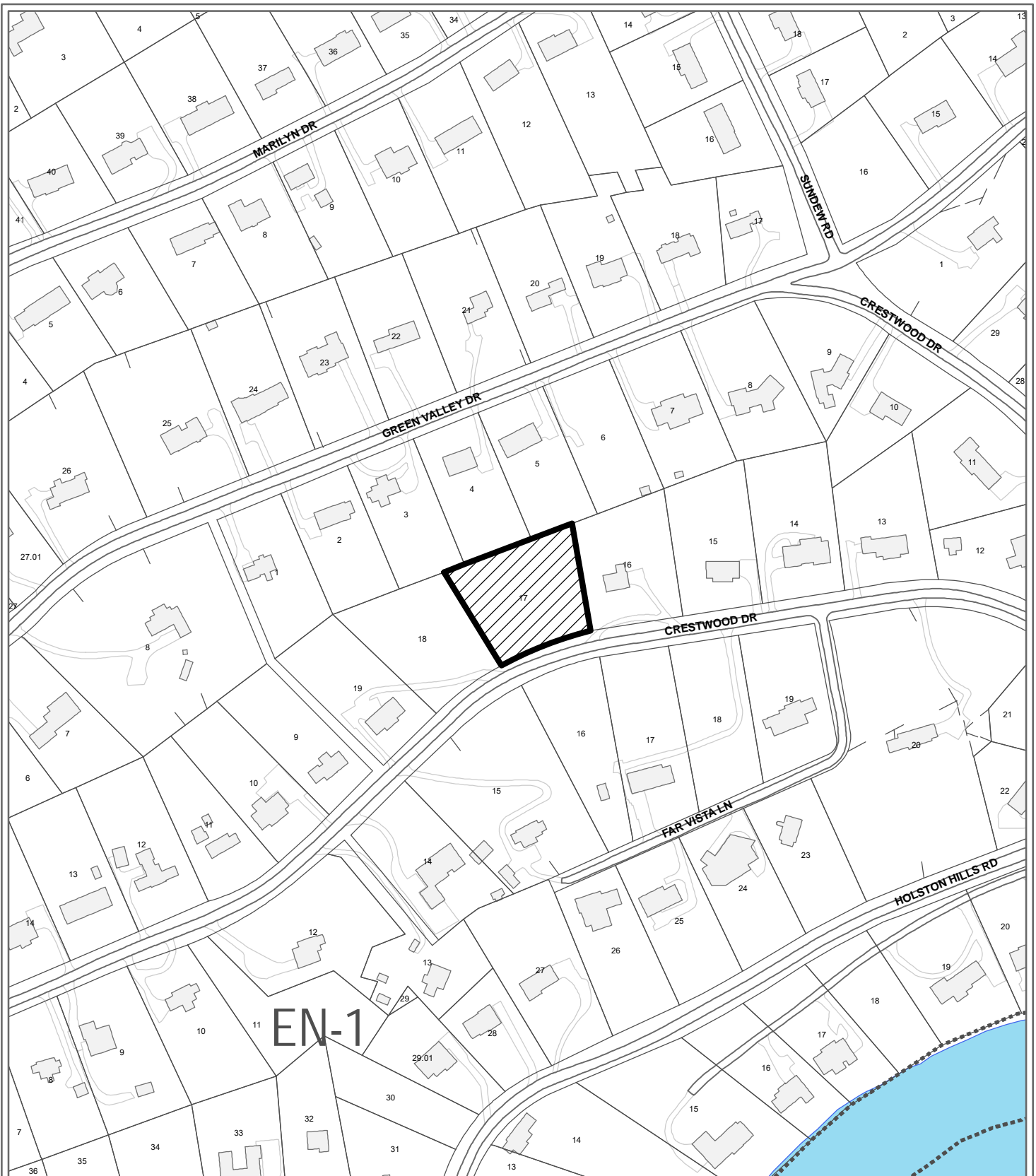
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: 1 (public school children, grades K-12)

Schools affected by this proposal: Sunnyview Pr/Chilhowee Int, Holston Middle, and Carter High.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal a Planning Commission decision in the City.



**9-G-19-UR
USE ON REVIEW**

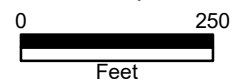


Accessory dwelling unit in EN-1 (Established Neighborhood)

Petitioner: Harris, Jacob

Map No: 71

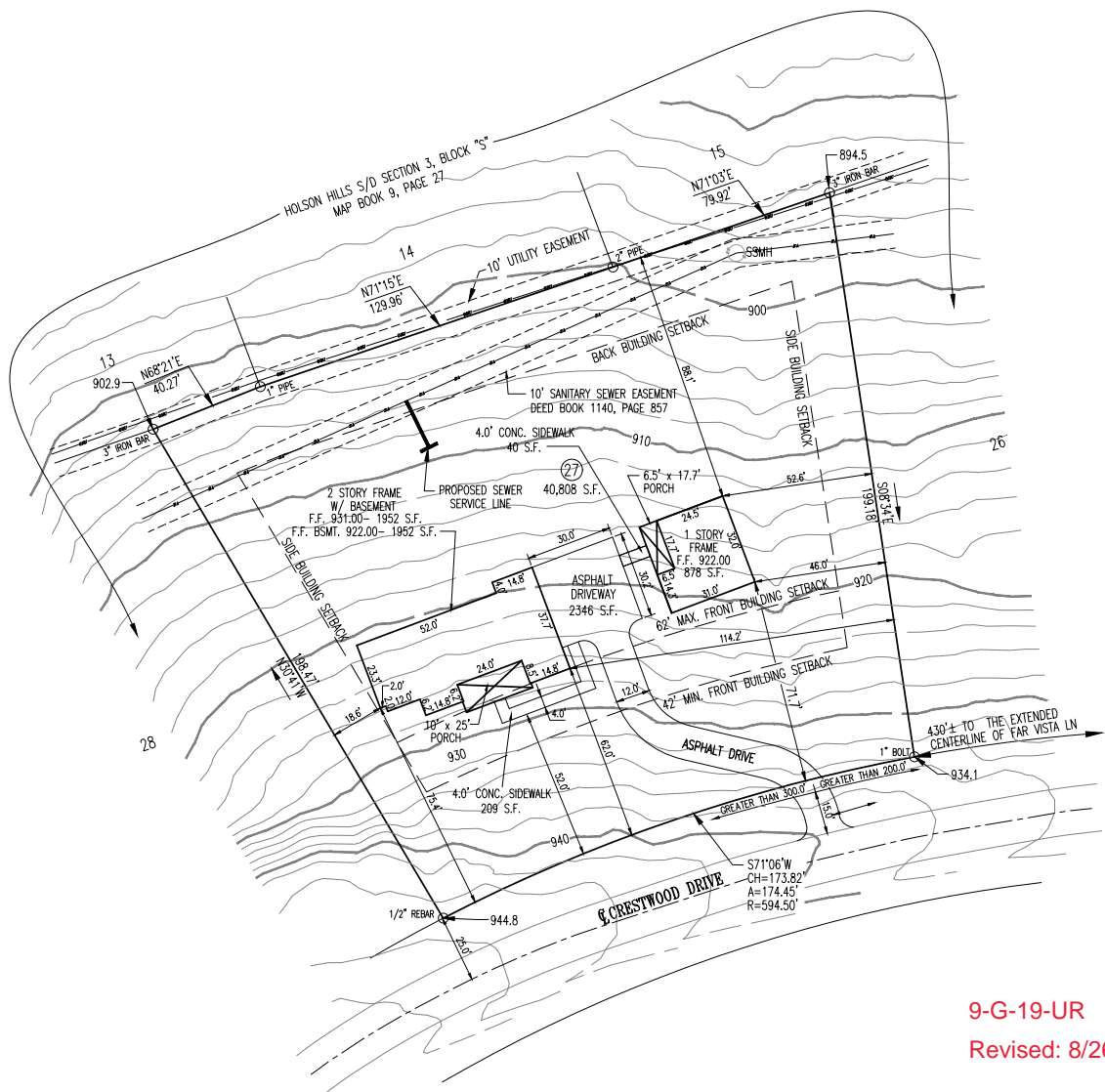
Jurisdiction: City



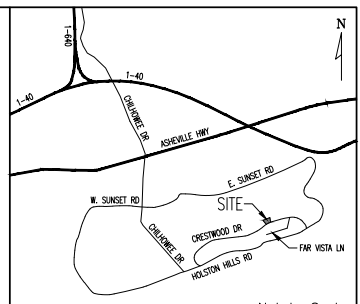
Original Print Date: 8/19/2019

Revised:

Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902



HOLSTON HILLS S/D SECTION 3, BLOCK "S"
 MAP BOOK 9, PAGE 27



Not to Scale
LOCATION MAP

- NOTES:**
- IRON PINS FOUND (IPF) SHOWN ON PLAT. ALL OTHERS SET BY BHN&P, UNLESS NOTED OTHERWISE ON PLAT.
 - ALL PROPERTY INFORMATION IS BASED ON A SURVEY BY ROTH LAND SURVEYING DATED NOV 8, 2018
 - SANITARY SEWER EASEMENT OF 10', 5' EACH SIDE OF SEWER AS INSTALLED (WHERE APPLICABLE).
 - THIS PROPERTY IS ZONED EN-1
 - SUBDIVISION CONTAINS 40,808 S.F.
 - BUILDING SETBACK LINES WILL BE AS FOLLOWS:
 FRONT...42'-62' (WITHIN 10' OF THE AVERAGE SETBACKS OF SAME SIDE OF THE STREET WITHIN 500 FEET OF THE PROPERTY)
 SIDES.....17.5'
 REAR.....25'
 - ALL TOPOGRAPHIC INFORMATION IS BASED ON KGIS DATA.
 - ALL UNDERGROUND UTILITIES ARE APPROXIMATE.
 - PERCENTAGE OF PERVIOUS SURFACE (EXCLUDING BUILDING) IS 93%.
 - THE HEIGHT OF THE MAIN BUILDING IS 27'-3". THE HEIGHT OF THE SECONDARY BUILDING IS 13'-2".
 - SIGHT DISTANCES ADEQUATE IN BOTH DIRECTIONS OF THE PROPOSED DRIVEWAY LOCATION.
 - MAXIMUM DRIVEWAY SLOPE SHALL BE 15.0%.

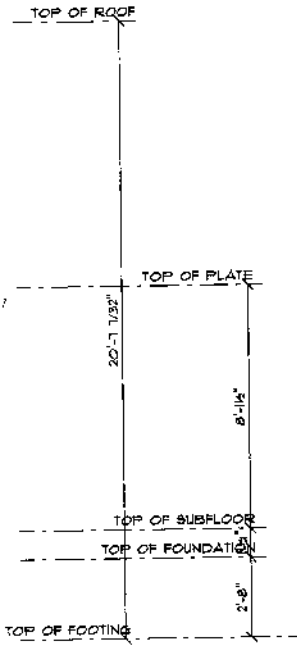
**USE ON REVIEW REQUEST
 APPROVE AN ACCESSORY DWELLING
 UNIT IN AN EN-1 ZONE**

USE ON REVIEW
 FOR
HOLSTON HILLS
SECTION 3
LOT 27, BLOCK "S"
 TAX MAP 71ME, PARCEL 17
 DISTRICT 7, KNOX COUNTY, TENNESSEE
 CITY BLOCK 31470, 31ST WARD, CITY OF KNOXVILLE
 SCALE: 1" = 30' DATE: 7-25-19
 30 15 0 30 60

9-G-19-UR
 Revised: 8/26/2019

DEVELOPER:
JACOB HARRIS
 118 ADAIR DR.
 KNOXVILLE, TENNESSEE 37914
 PHONE: (615)-374-8007

BATSON, HIMES, NORVELL & POE
 REGISTERED ENGINEERS & LAND SURVEYORS
 4334 PAPERMILL DRIVE
 KNOXVILLE, TENNESSEE 37909
 PHONE (865) 588-6472
 FAX (865) 588-6473
 email@bhn-p.com



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

AREA SCHEDULE	
NAME	AREA
MAIN FLOOR	880.6 sq ft.
COVERED PORCHES	120.9 sq ft.

DRAWING SCHEDULE

FRONT ELEVATION	1
ELEVATIONS	2
CRAWL SPACE	3
MAIN FLOOR	4
SECTION DETAILS	5



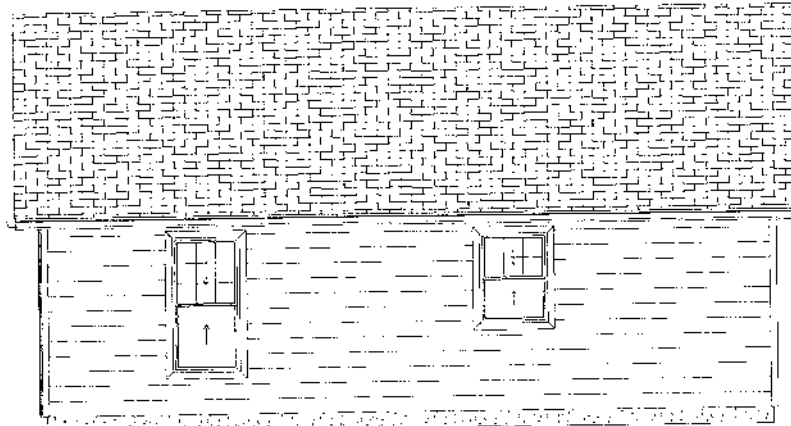
9-G-19-UR

HARRIS HOME

DRAWN BY: WJGF
 SCALE: As Noted
 DATE: 6/20/2019
 PAGE: 1 / 5
 FRONT ELEVATION

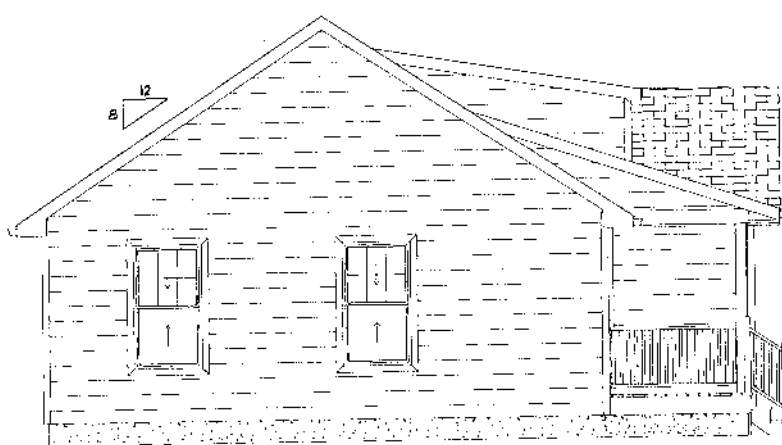
GREY FISHER DRAWING
 PHONE: 828-713-2586
 greyfisher@ymail.com

GENERAL NOTES: 1. THE CONTRACTOR/BUILDER SHALL VERIFY ALL ROUGH OPENINGS AND SIZES IN REGARD TO APPLICABLE ENERGY AND EGRESS CODE. 2. WRITTEN DIMENSIONS SHALL PREDDOMINATE OVER SCALE OF DRAWINGS AND ARE FACE AND/OR CENTER OF STUDS, MASONRY, AND SLAB EDGES OF ANY/ALL ALTERATIONS/DEVIATIONS FROM THE PLAN. THE CONTR./BLDR. SHALL PROVIDE ADEQUATE BRACING OR OTHER REQUIRED SUPPORT TO MAINTAIN STRUCTURE INTEGRITY UNTIL ALL MEMBERS HAVE BEEN PERMANENTLY ERECTED, THE CONTRACTOR/BUILDER SHALL BE RESPONSIBLE FOR MEETING ALL LOCAL AND STATE BUILDING CODES. GREY FISHER DESIGN AND DRAFTING SHALL NOT BE RESPONSIBLE FOR ANY PART OF BUILDING PROCESS.



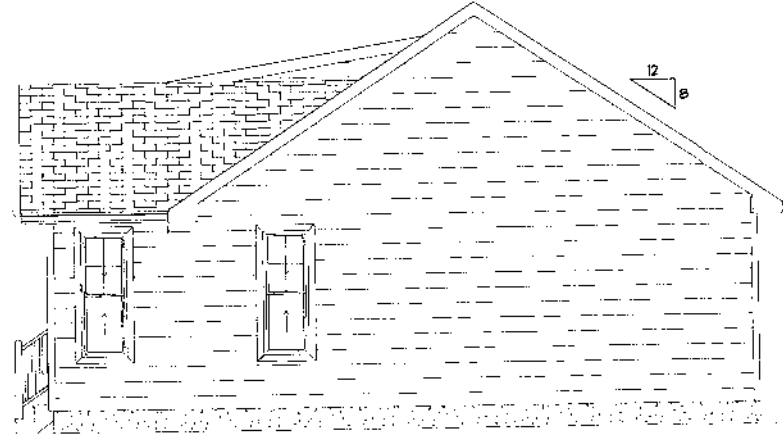
REAR ELEVATION

SCALE: 3/16" = 1'-0"



LEFT ELEVATION

SCALE: 3/16" = 1'-0"



RIGHT ELEVATION

SCALE: 3/16" = 1'-0"

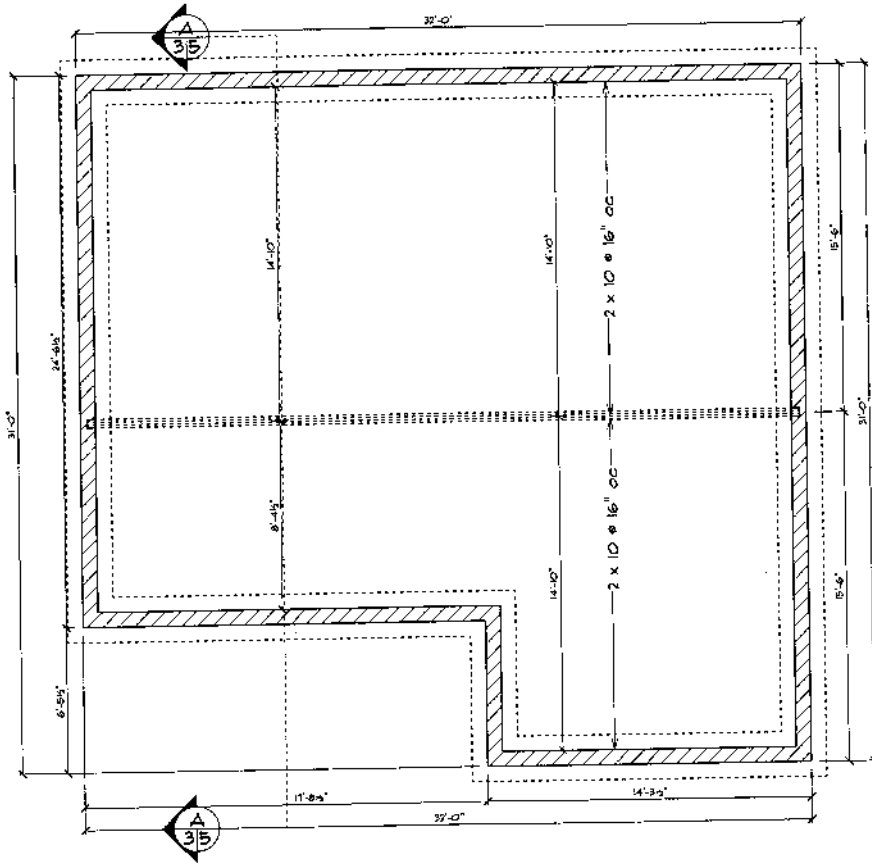
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HARRIS HOME

DRAWN BY: WGF	PAGE: 2/5
SCALE: 3/16" = 1'-0"	ELEVATIONS
DATE: 6/20/2019	

GREY FISHER DRAWING

PHONE: 828-713-2586
greyfisher@gmail.com



CRAWL SPACE
SCALE: 3/16" = 1'-0"

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HARRIS HOME

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PAGE: 3/5

SCALE: 3/16" = 1'-0"

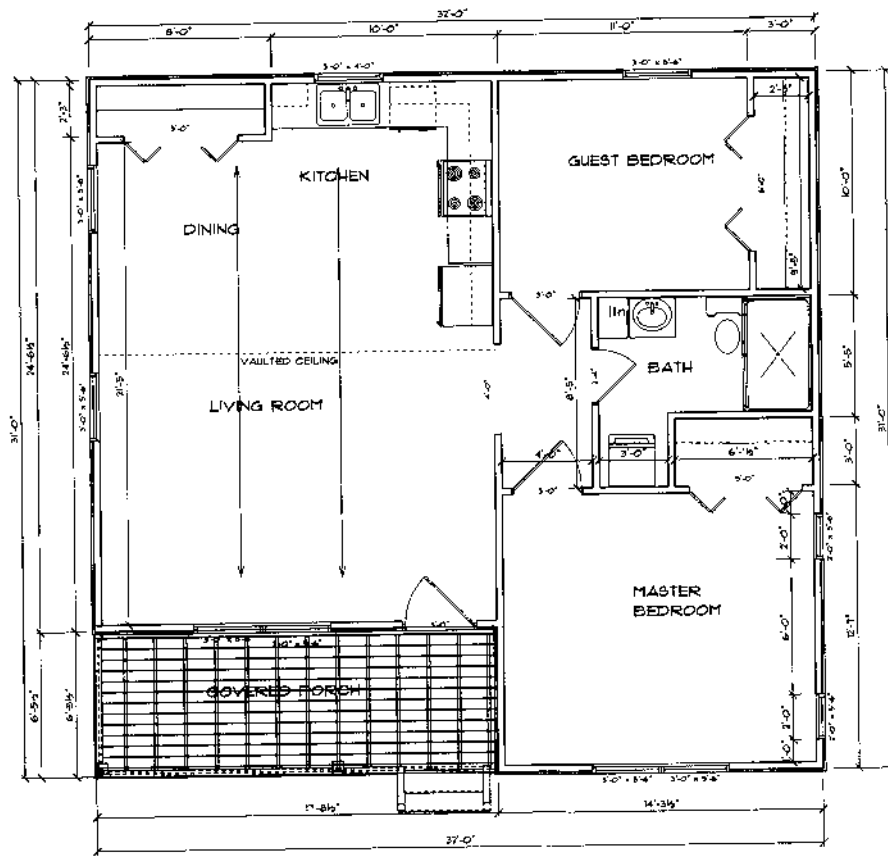
DATE: 6/20/2019

CRAWL SPACE

GREY FISHER DRAWING

PHONE: 828-713-2586

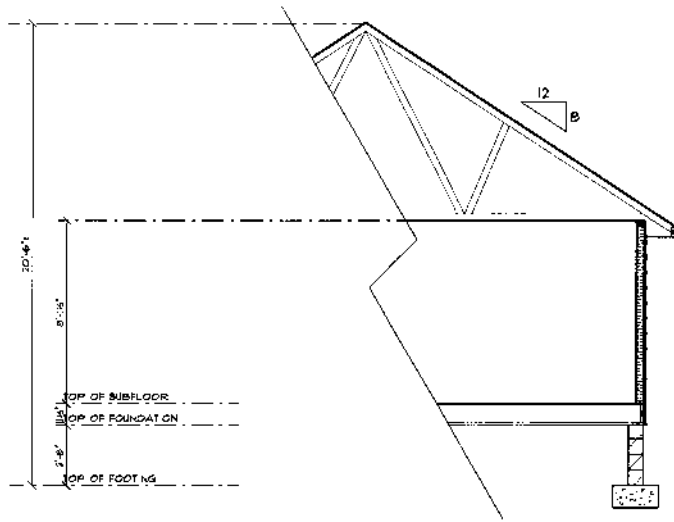
greyfisher@gmail.com



MAIN FLOOR
SCALE: 3/16" = 1'-0"

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HARRIS HOME	
GREY FISHER DRAWING	HARRIS HOME
PHONE: 828-713-2586 greyfisher@gmail.com	DRAWN BY: WGF
	SCALE: 3/16" = 1'-0"
	DATE: 6/20/2019
	PAGE: 4 / 5
	MAIN FLOOR



CONTINUOUS RIDGE VENTING
 ASPHALT SHINGLES
 PRE-MANF. ROOF TRUSSES
 R-38 OVERHEAD

WALLS TYPICAL 2x4 @ 16" OC
 1/16" OSB SHEATHING
 HOUSE WRAP
 SIDING, HOME OWNER CHOICE
 R-13 OR BETTER
 DRYWALL TAPED AND SANDED

FLOOR SYSTEM
 2 x 10 STP @ 16" oc OR BETTER
 3/4" ADVANTECH SUB-FLOOR
 GLUED AND NAILED

CRAWL SPACE FOUNDATION
 8" C.M.U. walls
 2 x 8 PT SILL PLATE
 ANCHOR BOLTS PER CODE
 PROPERLY VENTED
 CONTINUOUS DRAIN J-DRAIN OR EQUAL
 SCRATCH COAT OR MORTAR FINISH
 WITH 6mil POLY
 R-13 UNDERNEATH
 FOOTINGS TYPICAL 1'8" x 8"
 WITH 2 #4 REBAR
 18" FROST LINE

OPENING SCHEDULE		
PRODUCT CODE	SIZE	COUNT
36X80 COUNTRY B 1	3'-0"	1
60X80 BIFOLD COLONIAL 2-MODIFIED	5'-0"	1
60X80 BIFOLD COLONIAL 2	5'-0"	1
72x80 BIFOLD COLONIAL 2	6'-0"	1
28X80 COLONIAL A 1	2'-4"	1
36X80 COLONIAL A 1	3'-0"	2
24X24 CASEMENT 1	2'-0" x 2'-0"	3
24X56 DOUBLE HUNG 1	2'-0" x 5'-6"	2
36X48 DOUBLE HUNG 1	3'-0" x 4'-0"	1
36X66 DOUBLE HUNG 1	3'-0" x 5'-6"	7

A
3/5

CROSS SECTION A

SCALE: 3/16" = 1'-0"

HARRIS HOME

PAGE: 5 / 5

DRAWN BY: WJF

SCALE: As Noted

DATE: 6/20/2019

SECTION DETAILS

GREY FISHER DRAWING

PHONE: 828-713-2586

greyfisher@ymail.com

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- a. Within any new street right of way or joint permanent easement, street trees (species and minimum size approved by MPC) shall be provided at a rate of one (1) tree per fifty (50) lineal feet of street or easement frontage.
 - b. On residential lots, canopy trees (species and minimum size approved by MPC) shall be provided at a rate of one (1) tree per two thousand five hundred (2,500) square feet of lot area.
 - c. Within required open space, canopy and ornamental trees (species and minimum size approved by MPC) shall be provided at a rate of one (1) tree per 1,000 square feet of lot area. Existing trees with dbh greater than six (6) inches may be preserved and counted toward this requirement.
6. *Building orientation.*
- a. Houses located on lots adjacent to existing streets shall be oriented toward the existing street in accordance with subsection F.2, rather than toward any newly created street or easement.
 - b. Multi-dwelling structures, duplexes or attached houses located on lots adjacent to existing streets shall provide a façade with a single entrance oriented toward the existing street in accordance with subsection F.2. Additional entrances may be located elsewhere on the structure.
 - c. Residential structures located on lots which rely on a newly created street or easement for access to an existing street shall orient the structure toward said street or easement in accordance with subsection F.2.
7. *New street or easement location.*
- a. New streets or access easements within an infill parcel that are located so that no residence is between the street or easement and adjoining property shall provide Type A screening and landscaping per MPC guidelines in order to buffer the street or easement from the adjoining property.

- J. *Established neighborhood accessory dwelling unit standards.* These standards shall apply to applications for use-on-review of proposed accessory dwelling units within an EN zone district.
1. *Ownership.* The property owner must occupy either the primary dwelling or the ADU as their permanent residence.
 2. *Applicability of building codes.* The design and size of the accessory dwelling unit (ADU) shall conform to all applicable building codes. When there are practical difficulties involved in carrying out the provisions of the building codes, the building official may grant modifications for individual cases.
 3. *Water, sewer and other utilities.* Building officials shall certify that utilities are adequate for the ADU.
 4. *Number of ADU per lot.* Only one ADU may be created per lot in an EN district, except that lots with an existing duplex may not add any additional ADU.
 5. *Location.* The ADU may be within, attached to, or detached from the primary dwelling structure and may be a part of a detached accessory structure. An ADU may be developed within an existing structure or as new development.
 6. *Lot coverage and yards.* Any additions to an existing building shall not exceed the allowable lot coverage or encroach into required yards.
 7. *Size of ADU.* In no case shall an ADU exceed forty (40) percent of the primary dwelling habitable floor area, nor more than one thousand (1,000) square feet or less than three hundred (300) square feet, nor more than 2 bedrooms, unless warranted by the circumstances of the particular building.
 8. *Appearance.* The ADU shall be designed so that the appearance of the primary structure remains that of a house. The entrance to the ADU shall be located in such a manner as to be unobtrusive from the same view of the structure which encompasses the entrance to the principal dwelling.
 9. *Parking.* One parking space per bedroom, in addition to those required for the primary dwelling, shall be created for the ADU. This space shall be located behind the front of the primary structure and shall not obstruct access to any garage openings of the primary dwelling, whether required or not.

- K. *Established neighborhood bed and breakfast inn standards.* In specified EN districts, a bed and breakfast inn is an

REQUEST

DEVELOPMENT	<input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Use on Review / Special Use <input type="checkbox"/> Residential <input type="checkbox"/> Non-Residential		
	<input type="checkbox"/> Home Occupation (specify): _____ <input checked="" type="checkbox"/> Other (specify): <u>approve an accessory dwelling unit in an EN-1 zone</u>		
SUBDIVISION	<input type="checkbox"/> Proposed Subdivision Name _____		Unit / Phase Number _____
	<input type="checkbox"/> Parcel Change <input type="checkbox"/> Combine Parcels <input type="checkbox"/> Divide Parcel Total Number of Lots Created: _____		
	<input type="checkbox"/> Other (specify): _____		
	<input type="checkbox"/> Attachments / Additional Requirements _____		
ZONING	<input type="checkbox"/> Zoning Change: _____ Proposed Zoning _____		
	<input type="checkbox"/> Plan Amendment Change: _____ Proposed Plan Designation(s) _____		
	<input type="checkbox"/> Proposed Property Use (specify) _____	Proposed Density (units/acre) _____	Previous Rezoning Requests _____
	<input type="checkbox"/> Other (specify): _____		

STAFF USE ONLY

PLAT TYPE

- Administrative Meeting

ATTACHMENTS

- Property Owners / Option Holders Variance Request

ADDITIONAL REQUIREMENTS

- Design Plan Certification (*Final Plat only*)
 Use on Review / Special Use (*Concept Plan only*)
 Traffic Impact Study

FEE 1:	\$ 450	TOTAL:
FEE 2:		
FEE 3:		
		\$ 450

AUTHORIZATION

James Reed
Staff Signature

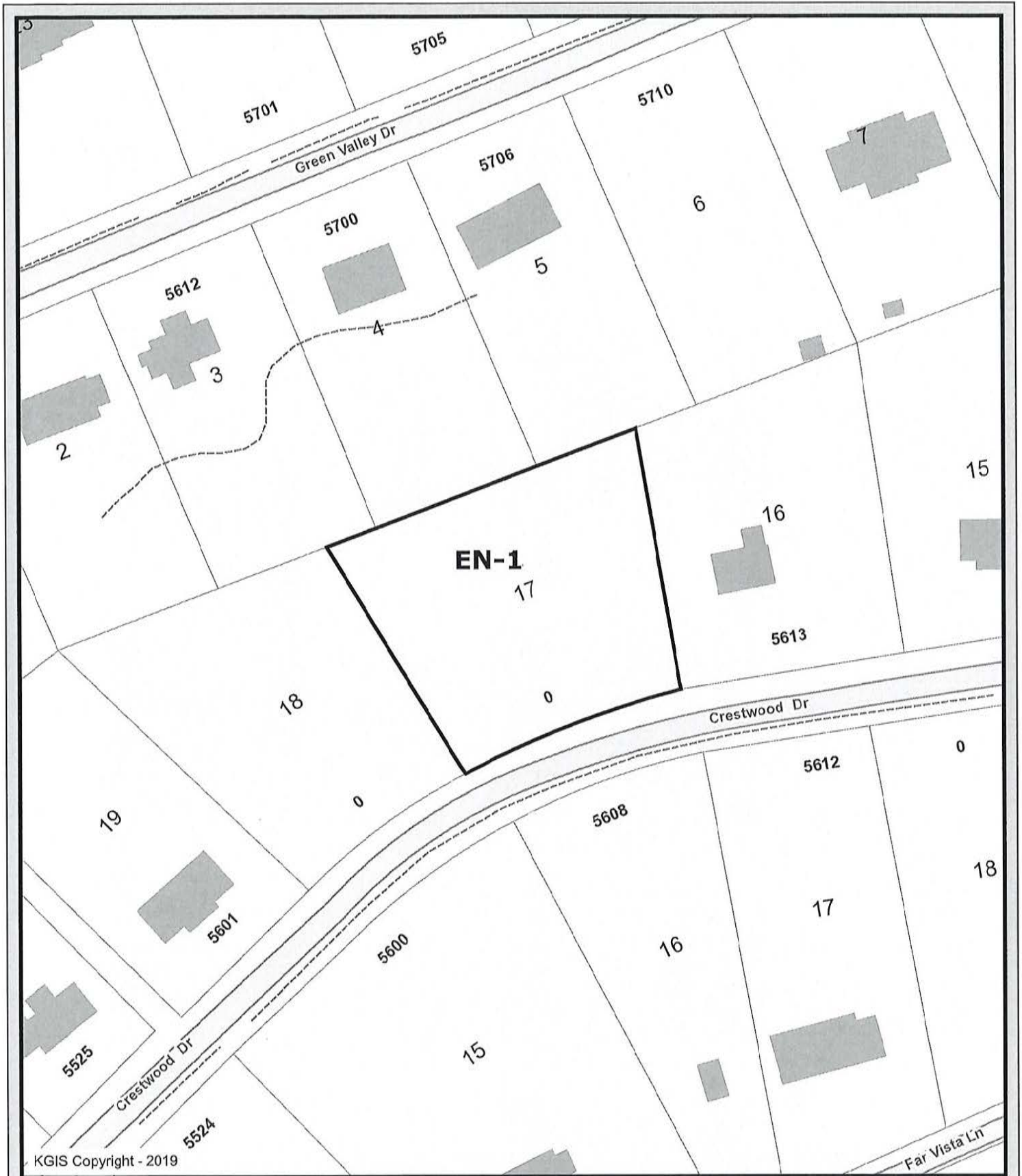
James Reed
Please Print

7/29/19
Date

David Herbish
Applicant Signature

David Herbish
Please Print

7/29/19
Date



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Letter Portrait

Knoxville - Knox County - KUB Geographic Information System



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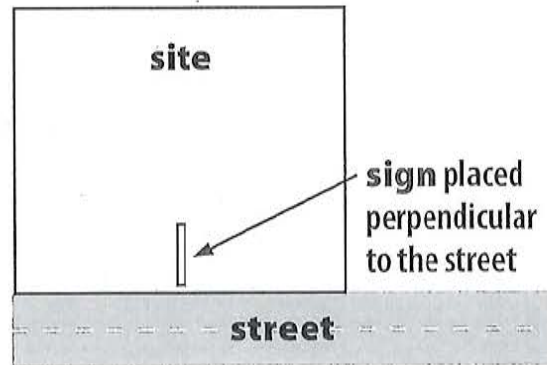
REQUIRED SIGN POSTING AGREEMENT

For all rezoning, plan amendment, concept plan, use on review, right-of-way closure, and street name change applications, a sign must be posted on the subject property, consistent with the adopted MPC Administrative Rules and Procedures.

At the time of application, MPC staff will provide a sign(s) to post on the property as part of the application process. If the sign(s) go missing for any reason and need to be replaced, then the applicant will be responsible for picking up a new sign(s) from the MPC offices. The applicant will be charged a fee of \$10 for each replacement sign.

LOCATION AND VISIBILITY

The sign must be posted in a location that is clearly visible from vehicles traveling in either direction on the nearest adjacent/frontage street. If the property has more than one street frontage, then the sign should be placed along the street that carries more traffic. MPC staff may recommend a preferred location for the sign to be posted at the time of application.



TIMING

The sign(s) must be posted 15 days before the scheduled MPC public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted 15 days before the next MPC meeting.

I hereby agree to post and remove the sign(s) provided on the subject property consistent with the above guidelines and between the dates of:

Wed (Aug. 28th) and Fri (Sept. 13th)
(15 days before the MPC meeting) (the day after the MPC meeting)

Signature: Jacob Harris

Printed Name: Jacob Harris

Phone: 615-374-8007 Email: _____

Date: 7-29-19

MPC File Number: 9-G-19-WR