



# SUBDIVISION REPORT - CONCEPT

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▶ **FILE #:** 3-SA-20-C **AGENDA ITEM #:** 21  
POSTPONEMENT(S): 3/12/2020 **AGENDA DATE:** 4/9/2020

▶ **SUBDIVISION:** WESTLAND CREEK

▶ **APPLICANT/DEVELOPER:** S & E PROPERTIES  
OWNER(S): S & E Properties

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TAX IDENTIFICATION: 133 050 [View map on KGIS](#)  
JURISDICTION: County Commission District 5  
STREET ADDRESS: 8444 Westland Dr.

▶ **LOCATION:** Southeast side of Westland Dr., east of Gothic Manor Ln.  
SECTOR PLAN: Southwest County  
GROWTH POLICY PLAN: Planned Growth Area  
WATERSHED: Ten Mile Creek

▶ **APPROXIMATE ACREAGE:** 23.7 acres

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▶ **ZONING:** PR (Planned Residential)

▶ **EXISTING LAND USE:** Vacant land

▶ **PROPOSED USE:** Detached single family residential

SURROUNDING LAND USE AND ZONING: North: Railroad & Residences / A (Agricultural) & PR (Planned Residential)  
South: Residences & stables / A (Agricultural)  
East: Residences, utility substation, & vacant land / PR (Planned Residential) & A (Agricultural)  
West: Residences / PR (Planned Residential) & A (Agricultural)

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▶ **NUMBER OF LOTS:** 75  
SURVEYOR/ENGINEER: Fulghum MacIndoe & Associates, Inc.  
ACCESSIBILITY: Access is via Westland Drive, a minor arterial with approximately 18 ft pavement width and 88 ft right-of-way per the 2018 Major Road Plan.

▶ **SUBDIVISION VARIANCES REQUIRED:** 1. Reduction of the minimum double frontage lot depth of 150 ft for lots 70-75 to 113 ft minimum.

**ALTERNATIVE DESIGN STANDARDS REQUIRING PLANNING COMMISSION APPROVAL:**  
1. Road "C" road slope from 12% to 14% from STA 1+15 to STA 4+73.

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## STAFF RECOMMENDATION:

▶ **APPROVE variance 1 and alternate design standard 1 because topographic constraints and site conditions restrict compliance with the Subdivision Regulations, and the proposed variance will not create a traffic hazard.**

## APPROVE the concept plan subject to 11 conditions:

1. Meeting all applicable requirements of the Knox County Dept. of Engineering and Public Works.

2. Connection to sanitary sewer and meeting any other relevant requirements of the utility provider.
3. Provision of street names which are consistent with the Uniform Street Naming and Addressing System in Knox County (Ord. 91-1-102).
4. Installation of sidewalks as identified on the concept plan. Sidewalks shall meet all applicable requirements of the American with Disabilities Act (ADA) and the Knox County Department of Engineering and Public Works. A bond shall be provided to the Knox County Department of Engineering and Public Works by the developer in the amount sufficient to guarantee the installation of the sidewalks.
5. Implementation of the intersection improvements and recommendations outlined in the Transportation Impact Study (TIS) prepared by Fulgham MacIndoe & Associates, Inc. as revised on March 29, 2017. The design details and timing of the installation of the improvements shall be worked out with Knox County Department of Engineering and Public Works during the design plan stage for the subdivision.
6. Meeting all applicable requirements of Knox County Fire Marshal's office.
7. Prior to certification of the final plat for the subdivision, establishing a property owners association that will be responsible for maintenance of all common areas, amenities including sidewalks, and stormwater/drainage facilities. A maintenance agreement for the sidewalks will have to be agreed upon with Knox County Department of Engineering and Public Works prior to the bond release.
8. Submitting to Planning staff prior to final plat review by the Planning Commission or Planning staff, the certification of design plan approval form as required by the Knoxville-Knox County Subdivision Regulations.
9. The right-of-way of the cul-de-sacs at the ends of Roads A and B are made wide enough to allow for the creation of one or two lots from the adjoining tracts of land allowing access to the public streets.
10. Meeting all applicable requirements and obtaining all required permits from the Tennessee Department of Environment and Conservation.
11. Submitting to Planning staff prior to final plat review by the Planning Commission or Planning staff, the certification of design plan approval form as required by the Knoxville-Knox County Subdivision Regulations.

#### **COMMENTS:**

The applicant's concept plan had expired prior to a final plat being approved for the subdivision. Therefore, the applicant needed to update the concept plan with a new approval. The applicant is staying within the same general road structure as previously approved, but slightly modifying their lot layout on the site plan.

The applicant is proposing to subdivide this 23.7-acre tract into 75 detached residential lots and common area at a density of 3.16 du/ac. This property which is zoned PR at less than 5 du/ac (Low Density Residential) is located on the south side of Westland Drive just east of Gothic Manor Lane. The proposed subdivision will be served by public streets with one access out to Westland Drive. There is frontage for the rear portion of the property (not included in this application) out to Nubbin Ridge Road, but this future development area has severe grade issues with no proposed connection out to Nubbin Ridge Road. The proposed plan is currently showing a right-of-way dedication and access to this future development area within the proposed subdivision, thus, allowing for the subdivision to maintain internal connection from one subdivision entrance.

This site is not located within the parental responsibility zone (PRZ). The proposed subdivision will include sidewalks on one side of Road A. One of the general provisions for the PR zoning district is that it encourages open space for recreational use. The addition of sidewalks would in part meet that objective. When the previous concept plan for this proposed subdivision was approved (2017), there was no minimum double frontage lot depth. Since that time, the Subdivision Regulations have changed to require a minimum double frontage lot depth of 150 ft. Staff felt there was justification to allow lower than 150 ft since the subdivision was a previously approved plan and there was right-of-way (ROW) dedicated along Westland Drive to meet the Major Road Plan dedication requirements.

The previous proposed plan (4-SB-17-C & 4-G-17-UR) had a completed Transportation Impact Study (TIS) dated March 29, 2017. Although the TIS was dated 3 years ago, Knox County Engineering staff and Planning staff did not see the need to revise the TIS since there were 7 less lots than previously proposed in the study and the recommendations for the turn lane would not change. The project engineer certified in the TIS that over 400 ft of sight distance is available east and west along Westland Drive at the proposed subdivision entrance. This is required per Subdivision Regulations since the access is from a Minor Arterial road per the Major Road Plan. The study mentions the warrant for a westbound left-turn lane at the proposed entrance of the subdivision, which would be installed per Knox County Department of Engineering and Public Works requirements.

The applicant had requested a reduction of the peripheral setback from 35 ft to 25 ft in the 2017 concept plan. This was approved by the Planning Commission at the April 14, 2017 meeting, which is still valid for this concept plan.

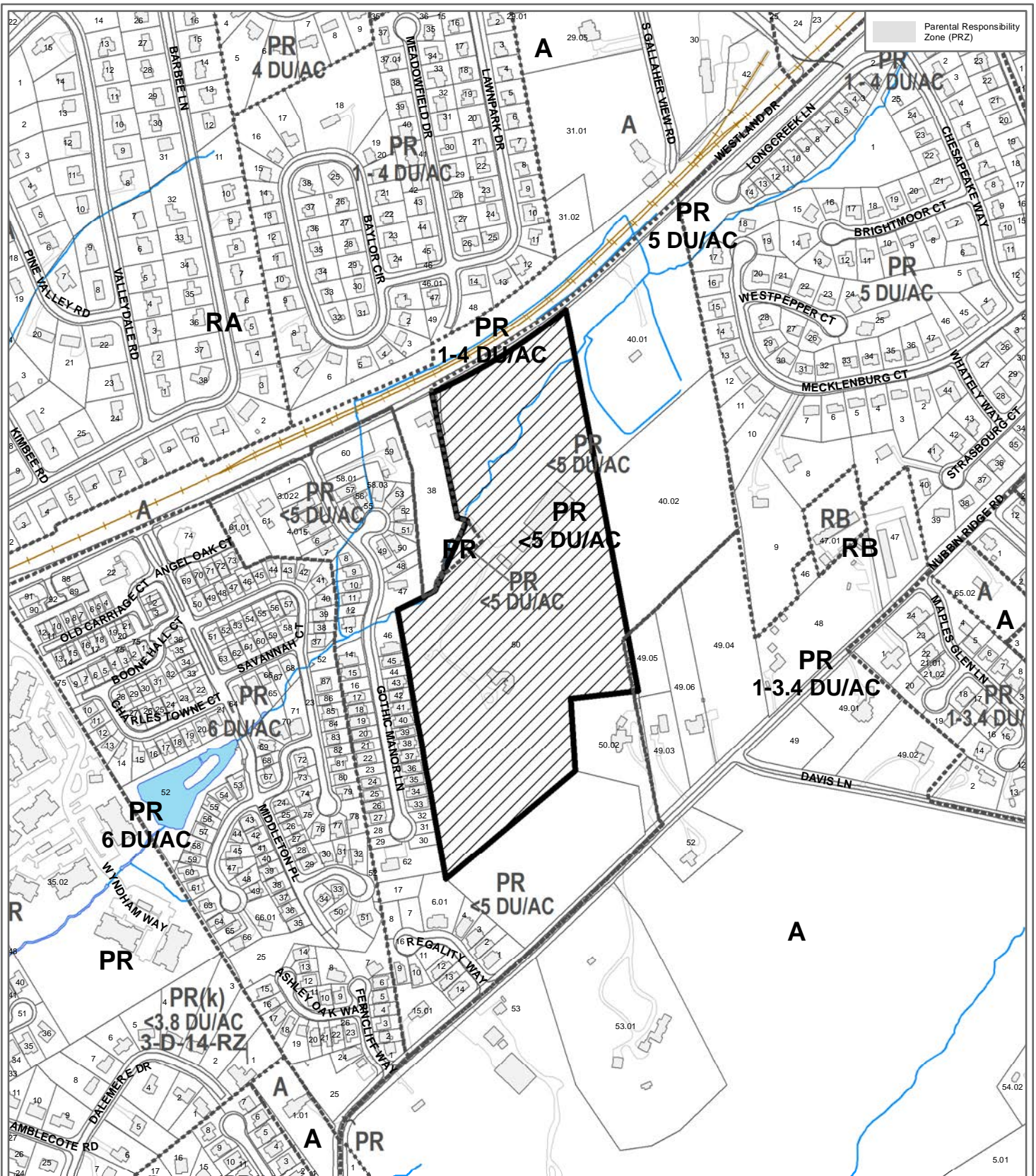
ESTIMATED TRAFFIC IMPACT: A traffic impact study was prepared by the applicant. The findings of that study were used in formulating the recommendations of this staff report.

ESTIMATED STUDENT YIELD: 31 (public school children, grades K-12)

Schools affected by this proposal: Blue Grass Elementary, West Valley Middle, and Bearden High.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

Knoxville-Knox County Planning Commission's approval or denial of this request is final, unless the action is appealed to Knox County Chancery Court. The date of the Knox County Chancery Court appeal hearing will depend on when the appeal application is filed.



**3-SA-20-C  
CONCEPT PLAN**

Subdivision: Westland Creek



Approval of Concept Plan

Map No: 133

Jurisdiction: County

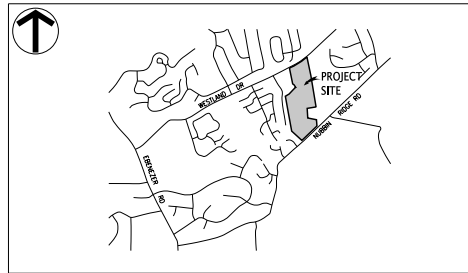
Original Print Date: 2/18/2020

Revised:

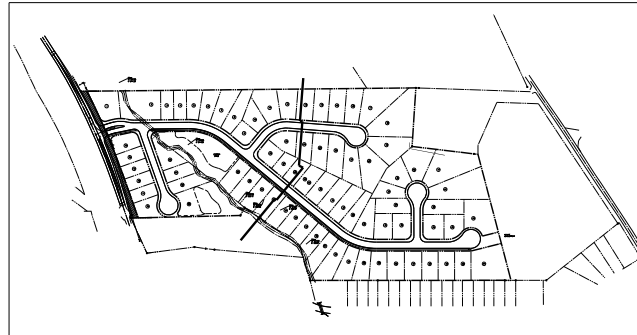
Knoxville - Knox County Planning Commission \* City / County Building \* Knoxville, TN 37902



# WESTLAND CREEK SUBDIVISION 8444 WESTLAND DRIVE KNOXVILLE, TENNESSEE 37923



LOCATION MAP  
(NOT TO SCALE)



OVERALL PLAN  
(NOT TO SCALE)

## DRAWING INDEX

SHEET NO.	REV. NO.	ISSUE DATE	TITLE
C1	14	03/23/20	COVER SHEET AND INDEX
C2	5	03/23/20	LAYOUT AND PAVING PLAN
C3	3	02/26/20	LAYOUT AND PAVING PLAN
C4	5	02/26/20	GRADING PLAN
C5	5	02/26/20	GRADING PLAN
C6	0	10/01/18	EPSC PLAN - STAGE 1
C7	0	08/24/18	EPSC PLAN - STAGE 1
C8	2	08/07/19	EPSC PLAN - STAGE 2
C9	1	08/07/19	EPSC PLAN - STAGE 2
C10	2	08/07/19	EPSC PLAN - STAGE 3
C11	1	08/07/19	EPSC PLAN - STAGE 3
C12	6	02/26/20	STORM DRAINAGE PLAN
C13	5	02/26/20	STORM DRAINAGE PLAN
C14	5	11/19/19	WATER PLAN
C15	4	08/07/19	WATER PLAN
C16	5	11/19/19	SANITARY SEWER PLAN
C17	4	08/07/19	SANITARY SEWER PLAN
C18	6	11/11/19	SANITARY SEWER PROFILES
C19	4	08/07/19	SANITARY SEWER PROFILES
C20	1	02/26/20	ROADWAY PROFILES
C21	2	02/26/20	ROADWAY PROFILES
C22	3	02/26/20	DETAILS
C23	0	08/24/18	DETAILS
C24	0	08/24/18	DETAILS
C25	2	08/07/19	DETAILS



WESTLAND CREEK  
SUBDIVISION  
8444 WESTLAND DRIVE  
KNOXVILLE, TENNESSEE 37923  
PLANNING FILE NO.: 35A20-C

S&E PROPERTIES, LLC  
1405 COLONIAL BLVD  
KNOXVILLE, TN 37919  
CONTACT: MR. ERIC MOSELEY  
TELEPHONE NO.: 865.639.1112  
EMAIL: ERICMOSELEY@BELLSOUTH.NET

COVER SHEET  
AND INDEX

PROJ. NO.	NO.	DESCRIBED BY	DATE	REVISION/ISSUE
330.012		REVISED PER COUNTY COMMENTS	03/23/20	REP
		REVISED PER COUNTY COMMENTS	02/26/20	
		REVISED PER OWNER COMMENTS	01/23/20	
		REVISED ENTRANCE	11/19/19	
		REVISED PER COMMENTS	11/11/19	

Project: 330.012  
Sheet: C1  
Date: 08/24/18  
Scale: NTS

3-SA-20-C  
Revised: 3/25/20

File Name: I:\15115\15017\15017\15017\15017.dwg  
Plot Date: 02/24/2020

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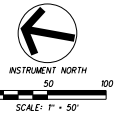


**WESTLAND CREEK SUBDIVISION**  
 8444 WESTLAND DRIVE  
 KNOXVILLE, TENNESSEE 37923  
 PLANNING FILE NO.: 55A2-01C

**S&E PROPERTIES, LLC**  
 1105 COLLEGE LANE  
 KNOXVILLE, TN 37919  
 CONTACT: MR. ERIC MOSELEY  
 TELEPHONE NO.: 865.539.1112  
 EMAIL: ERICMOSELEY@BELLSOUTH.NET

**LAYOUT AND PAVING PLAN**

NO.	PROJ. NO.	REVISED BY	DATE	REVISION/ISSUE
1	330.012	AMC	03/23/20	REVISION PER COUNTY COMMENTS
2	330.012	AMC	02/26/20	REVISION PER COUNTY COMMENTS
3	330.012	AMC	07/22/20	REVISION PER COUNTY COMMENTS
4	330.012	AMC	11/19/19	REVISION PER COUNTY COMMENTS
5	330.012	AMC	08/07/19	REVISION PER COUNTY COMMENTS



- GENERAL NOTES:**
- THE BOUNDARY DATA TAKEN FROM LYNCH SURVEYS LLC, TOPOGRAPHIC DATA WAS TAKEN FROM K.O.S. EXISTING CONTOURS ARE AT 2'-FT INTERVALS. VERTICAL DATUM IS BASED ON NAVD83.
  - UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM THE FENCE LINE, PROPERTY LINE, FACE OF CURB, EDGE OF PAVEMENT OR OUTSIDE FACE OF BUILDING.
  - THE MINERAL AGGREGATE BASE AND ASPHALTIC SURFACE COURSES SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE DRAWINGS AND THE CITY OF KNOXVILLE DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
  - CONCRETE CURBS AND PAVEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. CONCRETE CURBS AND PAVEMENT SHALL MEET THE MATERIALS, EQUIPMENT AND CONSTRUCTION REQUIREMENTS OF THE KNOX COUNTY DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
  - TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
  - PROPERTY CONCERNED REFLECTS PARCEL 133050 AS SHOWN IN KNOX COUNTY CIT MAP 133. ZONING FOR THE PROPERTY IS PR. PLANNED RESIDENTIAL ZONE. TOTAL AREA = 23.70± AC.
  - OWNER: SHADY OLEN, LLC  
 405 MONTBRIK LANE  
 KNOXVILLE, TN 37919
  - BUILDING SETBACKS INTERNAL TO SUBDIVISION ARE 20'-FT. IN FRONT, 5'-FT. ON SIDE, 15'-FT. REAR, AND 25'-FT. AT THE PERIPHERY.
  - ACCESS TO LOTS IS RESTRICTED TO INTERNAL STREETS.
  - PROPOSED IMPROVEMENTS INCLUDE 26" WIDE PUBLIC ROAD, EXTRUDED CURB, STORM SEWER, SANITARY SEWER, WATER, GAS, ELECTRIC, TELEPHONE, AND CABLE TV.
  - ROOF DRAIN AND FRONT YARD FOR ALL PROPOSED LOTS WILL BE CONNECTED TO PROPOSED STORM DRAINAGE SYSTEM.
  - RETAINING WALLS TO BE DESIGNED AND SEALED BY AN ENGINEER LICENSED IN THE STATE OF TENNESSEE AND SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A PERMIT. REFER TO VENDOR'S PLANS FOR RETAINING WALL AND DRAINING DETAILS. RAINING SHALL BE PROVIDED FOR RETAINING WALL HEIGHTS THAT EQUAL OR EXCEED 30 INCHES.
  - REMOVE OVER-PAVEMENT OF ASPHALT AND STONE FROM UNDERWEATH LANDSCAPE AREAS UP TO THE LIMITS THAT HAVE BEEN SPECIFIED (REFER TO THE CURB DETAIL) IN ORDER TO PROVIDE A SOLID BASE FOR THE CONCRETE CURBS.
  - PRIOR TO INSTALLING NEW PIPING, CONTRACTOR SHALL LOCATE EXISTING UTILITIES/STRUCTURES WHERE NEW PIPES CROSS BY POT-HOLES. AFTER EXPOSING EXISTING UTILITY/STRUCTURE, CONTRACTOR SHALL OBTAIN HORIZONTAL AND VERTICAL LOCATIONS BY FIELD SURVEY, AND RESOLVE ANY CONFLICTS BETWEEN UNDERGROUND UTILITIES/STRUCTURES AND NEW PIPING UNDER THE DIRECTION OF THE OWNER PRIOR TO INSTALLING NEW PIPING.

- ALTERNATIVE DESIGN STANDARDS PER KNOX COUNTY ENGINEERING:**
- BUILDING SETBACKS ON LOTS GREATER THAN 10% FROM 10' TO 5'.
  - ROAD SLOPE FROM 12% TO 14% FROM STA 1+15.00 ROAD "C" TO STA 4+73.00 ROAD "C".

- VARIANCE AND ZONING REQUEST:**
- REDUCTION OF MINIMUM LOT DEPTH OF 150' FOR LOTS 70-75.

**STREAM BUFFER INFORMATION:**

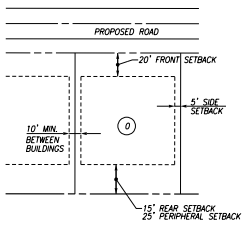
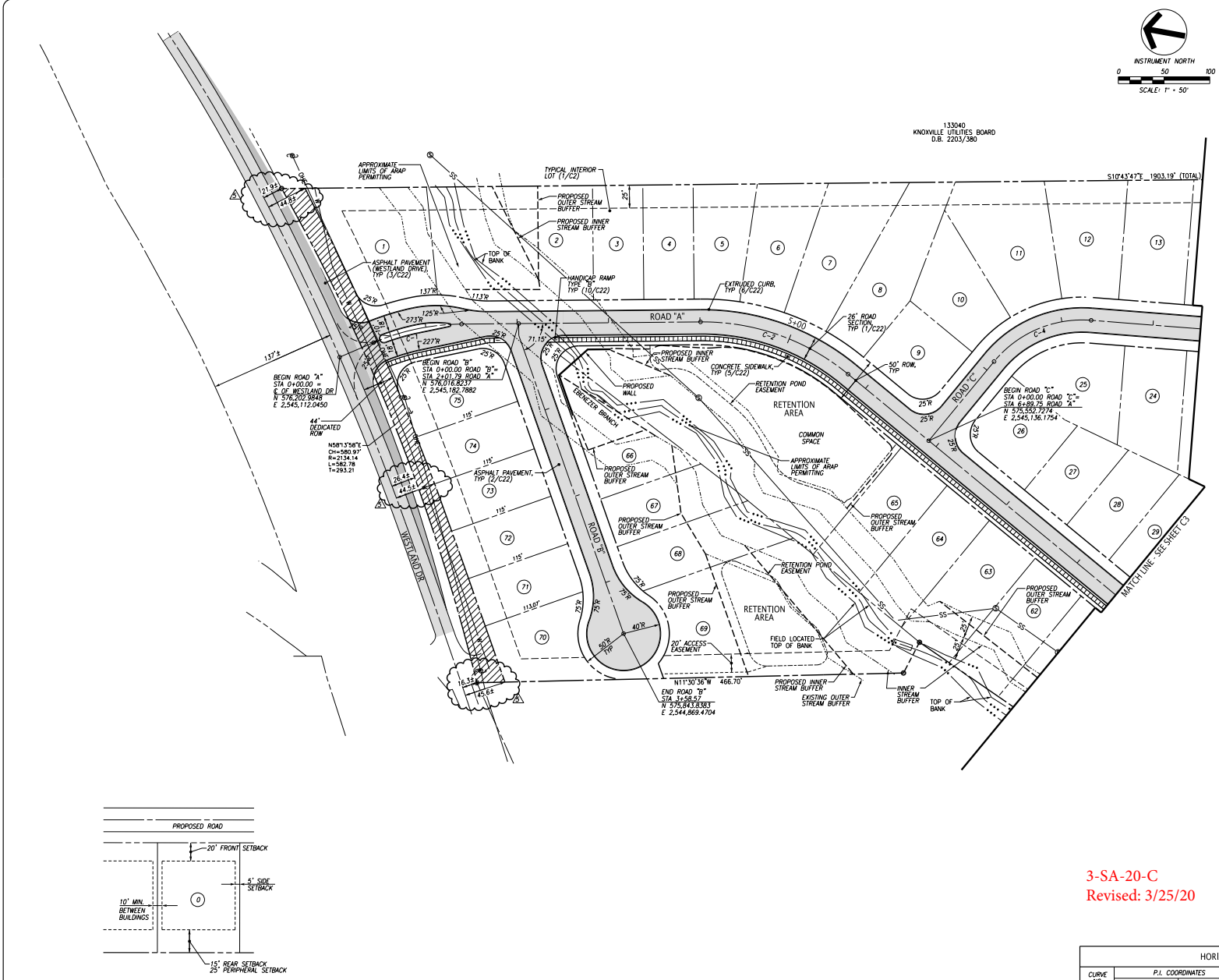
24' EAST BUFFER PRE-DEVELOPMENT	32,849.92 SF
25' WEST BUFFER PRE-DEVELOPMENT	19,386.72 SF
50' EAST BUFFER PRE-DEVELOPMENT	30,467.04 SF
50' WEST BUFFER PRE-DEVELOPMENT	19,976.22 SF
24' EAST BUFFER POST-DEVELOPMENT	32,968.14 SF
25' WEST BUFFER POST-DEVELOPMENT	20,053.64 SF
50' EAST BUFFER POST-DEVELOPMENT	30,518.84 SF
50' WEST BUFFER POST-DEVELOPMENT	20,000.92 SF

- LEGEND:**
- PROPOSED ASPHALT PAVEMENT (WESTLAND DRIVE)
  - PROPOSED ASPHALT PAVEMENT
  - PROPOSED CONCRETE SIDEWALK
  - PROPOSED LOT NUMBER
  - PROPOSED PROPERTY/ROW LINE
  - EXISTING PROPERTY LINE
  - PROPOSED BUILDING SETBACK
  - PROPOSED ROAD CENTER LINE
  - EXISTING CREEK
  - EXISTING STREAM BUFFER
  - PROPOSED STREAM BUFFER
  - DETAIL REF (DETAIL NO./SHT NO.)
  - TYPICAL

3-SA-20-C  
 Revised: 3/25/20

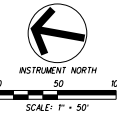
**HORIZONTAL CURVE DATA TABLE**

CURVE NO.	P.I. COORDINATES		DELTA ANGLE	RADIUS	TANGENT	LENGTH
	NORTHING	EASTING				
C-1	576,127.4345	2,545,161.8286	22° 39' 11" (RT)	250.00	50.08	98.84
C-2	575,731.9099	2,545,236.7762	40° 02' 29" (RT)	250.00	91.08	174.71
C-4	575,465.9659	2,545,290.7083	54° 57' 34" (RT)	125.00	65.01	119.90



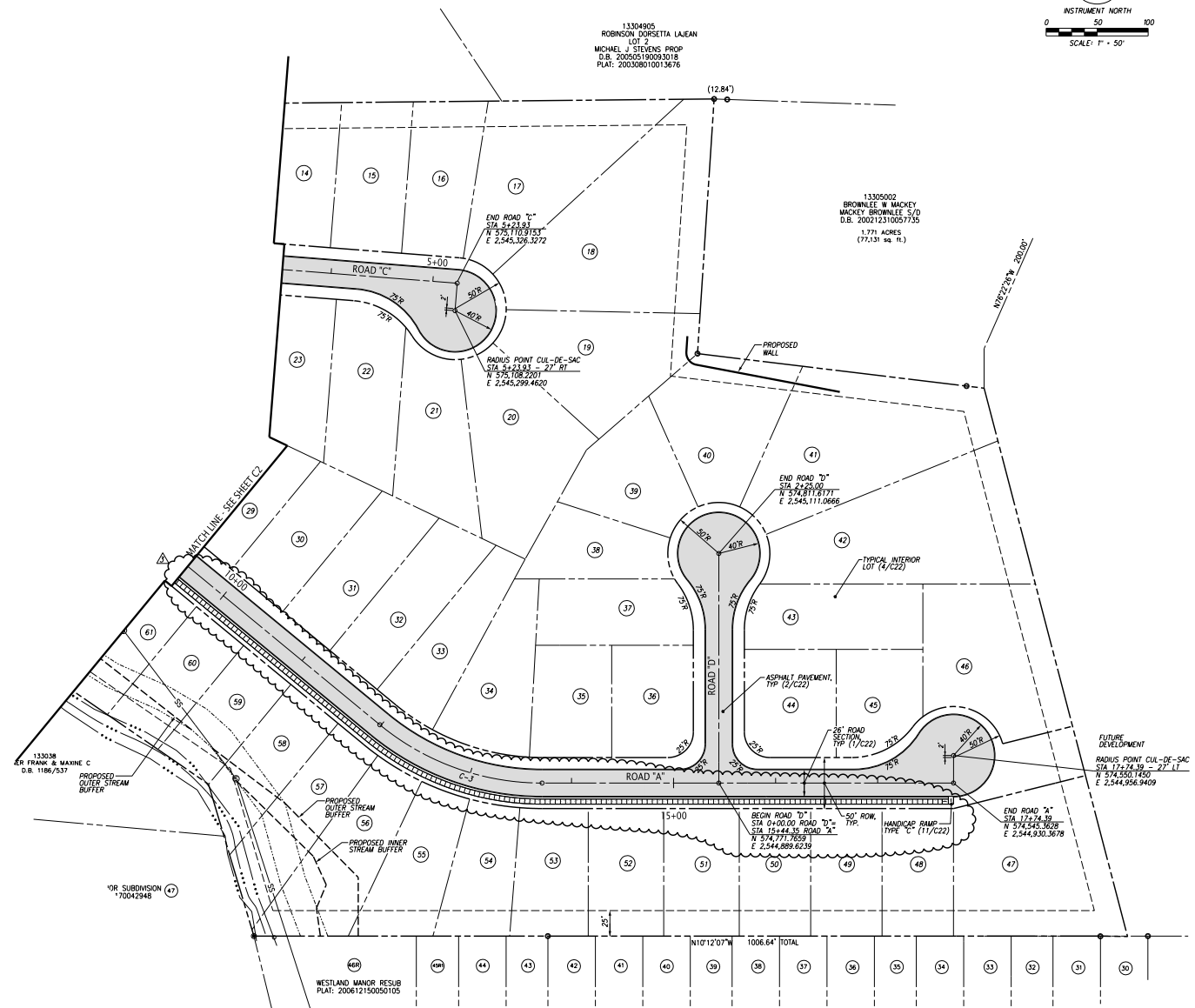
1 TYPICAL INTERIOR LOT  
 C2 NTS

File Name: I:\330.012\330.012\330.012\330.012.dwg  
 Plot Date: 3/25/2020



**NOTES:**

1. REFERENCE SHEET C2 FOR NOTES AND LEGEND.

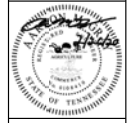


**3-SA-20-C**  
Revised: 3/25/20

HORIZONTAL CURVE DATA TABLE						
CURVE NO.	P.L. COORDINATES		DELTA ANGLE	RADIUS	TANGENT	LENGTH
	NORTHING	EASTING				
C-3	575,030.6177	2,544,843.0404	39° 30' 49" (LT)	250.00	89.79	172.41

**FULGHUM**  
**MACINDOE**  
ASSOCIATES, INC.

10330 HARDEN VALLEY ROAD  
SUITE 201  
KNOXVILLE, TN 37932  
OFFICE: 865.690.6419  
FAX: 865.690.6448  
www.fulghummacindoe.com



**WESTLAND CREEK**  
**SUBDIVISION**  
8444 WESTLAND DRIVE  
KNOXVILLE, TENNESSEE 37923  
PLANNING FILE NO.: 35A2-20-C

**S&E PROPERTIES, LLC**  
1 HOOPER LANE  
KNOXVILLE, TN 37919  
CONTACT: MR. ERIC MOSELEY  
TELEPHONE NO.: 865.539.1112  
EMAIL: ERICMOSELEY@BELLSOUTH.NET

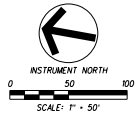
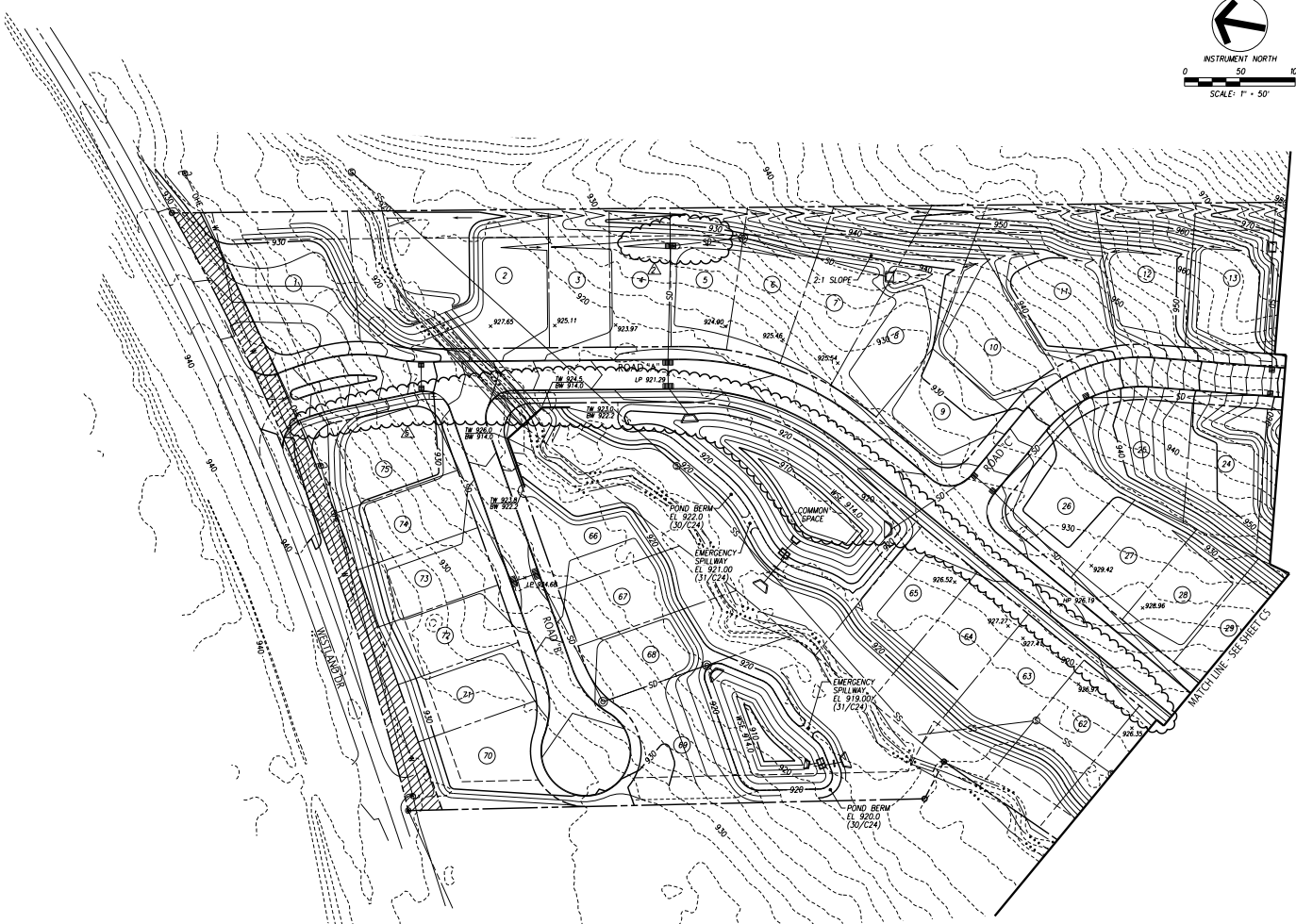
**LAYOUT AND**  
**PAVING PLAN**

PROJ. NO.	DATE	BY	REVISION/ISSUE
330.012	02/26/20	AWC	REVISED PER COUNTY COMMENTS
	07/22/20	AWC	REVISED PER OWNER COMMENTS
	08/07/19	AWC	REVISED LOTS
	08/29/18	AWC	ISSUED FOR CONSTRUCTION

Project	330.012
Sheet	C3
Date	08/24/18
Scale	1"=50'

File Name: 3-SA-20-C-180719.MXD; 1:00:11:00 AM  
Plot Name: 3-SA-20-C

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- GRADING NOTES:**
- UNLESS NOTED OTHERWISE, THE PROPOSED GRADES SHOWN ON THESE DRAWINGS ARE FINISHED GRADE. EXISTING AND PROPOSED CONTOURS ARE SHOWN AT 2'-FT. INTERVALS.
  - THE ACCURACY OF THE GRADES IS DEPENDANT ON THE DATA PROVIDED BY THE OWNER OR OWNER'S REPRESENTATIVE. FIELD VERIFY AS NECESSARY PRIOR TO CONSTRUCTION.
  - THE SITE SHALL BE CLEARED AND GRUBBED WITHIN THE LIMITS OF EXCAVATION. COMPLETELY DISPOSE OF ALL MATERIALS RESULTING FROM CLEARING AND GRUBBING. OFF-SITE BURNING SHALL NOT BE PERMITTED UNLESS PRIOR APPROVAL IS OBTAINED BY THE LOCAL FIRE DEPARTMENT. THE CONTRACTOR MUST OBTAIN A PERMIT AND MEET ALL OF THE REQUIREMENTS AS SPECIFIED BY THE FIRE DEPARTMENT.
  - ALL TREES, STUMPS, BOLLERS, AND OTHER OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF 2 FT BELOW THE SUBGRADE. ROCK SHALL BE SCARIFIED TO DEPTH OF 1 FT BELOW SUBGRADE.
  - STRIP TOPSOIL FULL DEPTH (6-IN. MIN.) AND TEMPORARILY STOCKPILE EXCAVATED MATERIALS. INSTALL SILT FENCE OR OTHER APPROPRIATE EROSION CONTROL STRUCTURES ON THE DOWN HILL SIDE OF THE STOCKPILE.
  - PROOF ROLL ALL AREAS TO RECEIVE FILL. PROOF ROLL WITH A FULLY LOADED TANDEN AXLE DUMP TRUCK USING A CROSS-CROSS PATTERN (4 PASSES MIN.) AREAS PAVING. THE PROOF ROLLING SHALL BE UNDERCUT AND BACKFILLED USING AN ENGINEERED FILL OR STABILIZED BY A METHOD APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
  - AREAS THAT EXHIBIT WEAK SOIL OR OTHERWISE UNSUITABLE CONDITIONS SHALL BE UNDERCUT TO A FIRM LEVEL OF SOIL FOLLOWED BY BACKFILLING THE UNDERCUT AREAS USING AN ENGINEERED FILL, T00T NO. 57, OR T00T NO. 67 STONE.
  - FILL MATERIAL SHALL BE SATISFACTORY MATERIAL, FREE FROM ROOTS AND OTHER ORGANIC MATERIAL, FROZEN MATERIAL, AND TRASH. FILL MATERIAL SHALL ALSO BE FREE OF STONE OR OTHER MATERIAL LARGER THAN 6 IN. AND LARGER THAN 4 IN. IN THE TOP 6 IN. OF AN EMBANKMENT.
  - FILL SOILS SHALL HAVE A PI LESS THAN 30 & A MAXIMUM DRY DENSITY OF 90 PCF OR GREATER.
  - UNSATISFACTORY SOILS INCLUDE MATERIALS THAT ARE TOO WET OR TOO SOFT, EXPANSIVE SOILS AND SOILS CLASSIFIED PI, OH, AND OL. LEGALLY DISPOSE OF UNSATISFACTORY SOILS OFF-SITE UNLESS OTHERWISE APPROVED BY THE OWNER OR GEOTECHNICAL ENGINEER.
  - FILL MATERIAL SHALL BE PLACED IN LOOSE, HORIZONTAL LIFTS NOT EXCEEDING 8 IN. THICKNESS. COMPACT EACH LAYER TO AT LEAST 98% MAXIMUM DRY DENSITY. COMPACT THE UPPER 24 IN. OF FILL BENEATH PAVEMENTS AND THE UPPER 12 IN. BENEATH BUILDING SLABS TO 100% MAXIMUM DRY DENSITY. MAINTAIN THE MOISTURE CONTENT TO WITHIN  $\pm 1$  TO  $\pm 3$  PERCENT OF THE OPTIMUM MOISTURE CONTENT.
  - A 6 IN. (MIN.) LAYER OF TOPSOIL SHALL BE PLACED OVER THE AREAS TO BE SEEDED AND TO THE FINISH GRADE ELEVATIONS AS SHOWN ON THE DRAWINGS.
  - DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS OR POND ON-SITE. PROVIDE NECESSARY MEASURES TO KEEP THE SITE FREE-DRAINING.
  - NO SLOPE SHALL EXCEED 2:1 UNLESS PROPER SLOPE STABILIZATION MEASURES ARE IMPLEMENTED.
  - PROTECT AND MAINTAIN SUBGRADES UNTIL PLACEMENT OF THE FINAL SURFACE IS ACHIEVED.
  - CONTRACTOR IS RESPONSIBLE TO ASSURE THAT THE FINISHED GRADES CONFORM WITH THE DETENTION POND DESIGN PARAMETERS. ONCE GRADING IS COMPLETE AND PRIOR TO FINAL SEEDING, SUBMIT AN AS-BUILT SURVEY FOR THE OWNER'S REVIEW.
  - SLOPE BOTTOM OF POND @ 2.0% (MIN.).
  - VERIFY GRADES WHEREVER NECESSARY TO BRING THE PROPOSED LINES, ELEVATIONS, SLOPES, AND CROSS-SECTIONS OF THE GRADING WORK TO WITHIN THE FOLLOWING TOLERANCES ABOVE OR BELOW THAT AS SHOWN ON THE PLANS: SUBGRADE 0.1', UNPAVED AREAS 0.1', SIDEWALKS 0.10', PAVEMENTS 0.04', AND BUILDINGS 0.04'.
  - SLOPES GREATER THAN 4:1 SLOPE AT A HEIGHT GREATER THAN 6'-FT. SHALL BE TESTED BY THE PROJECT GEOTECHNICAL ENGINEER TO DETERMINE STABILITY.
  - DISTURBED AREAS SHALL BE STABILIZED IN AN EXPEDIT MANNER TO MINIMIZE TIME OF EXPOSURE TO WEATHER.

**3-SA-20-C**  
**Revised: 3/25/20**

**LEGEND:**

1020	PROPOSED CONTOUR
1022	EXISTING CONTOUR
---	PROPERTY LINE
844.1	PROPOSED SPOT ELEVATION
TW 927.5	TOP OR WALL
BW 926.5	BOTTOM OF WALL
(1/C2)	DETAIL REFERENCE (DETAIL NO./SHT. NO.)
TYP.	TYPICAL

**FULGHUM**  
**MACINDOE**  
ASSOCIATES, INC.

10330 HAZEN VALLEY ROAD  
SUITE 200  
KNOXVILLE, TN 37932  
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FAX: 865.909.4449  
www.fulghummacindoe.com

**WESTLAND CREEK SUBDIVISION**  
8444 WESTLAND DRIVE  
KNOXVILLE, TENNESSEE 37923  
PLANNING FILE NO.: 55A2-29-C

**S&E PROPERTIES, LLC**  
1005 COLONIALE  
KNOXVILLE, TN 37919  
CONTACT: MR. ERIC MOSELEY  
TELEPHONE NO.: 865.539.1112  
EMAIL: ERICMOSELEY@BELLSTOUT.NET

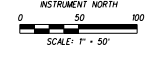
**GRADING PLAN**

NO.	PROJ. NO.	ISSUED BY	DATE	REVISION/ISSUE
1	330.012	AMC	02/26/20	REP
2	330.012	AMC	07/22/20	REVISED PER COUNTY COMMENTS
3	330.012	AMC	11/19/19	REVISED PER OWNER COMMENTS
4	330.012	AMC	08/07/19	REVISED ENTRANCE
5	330.012	AMC	09/26/18	REVISED PER COUNTY COMMENTS

Project: 330.012 Sheet: **C4**  
Date: 08/24/18  
Scale: 1"=50'

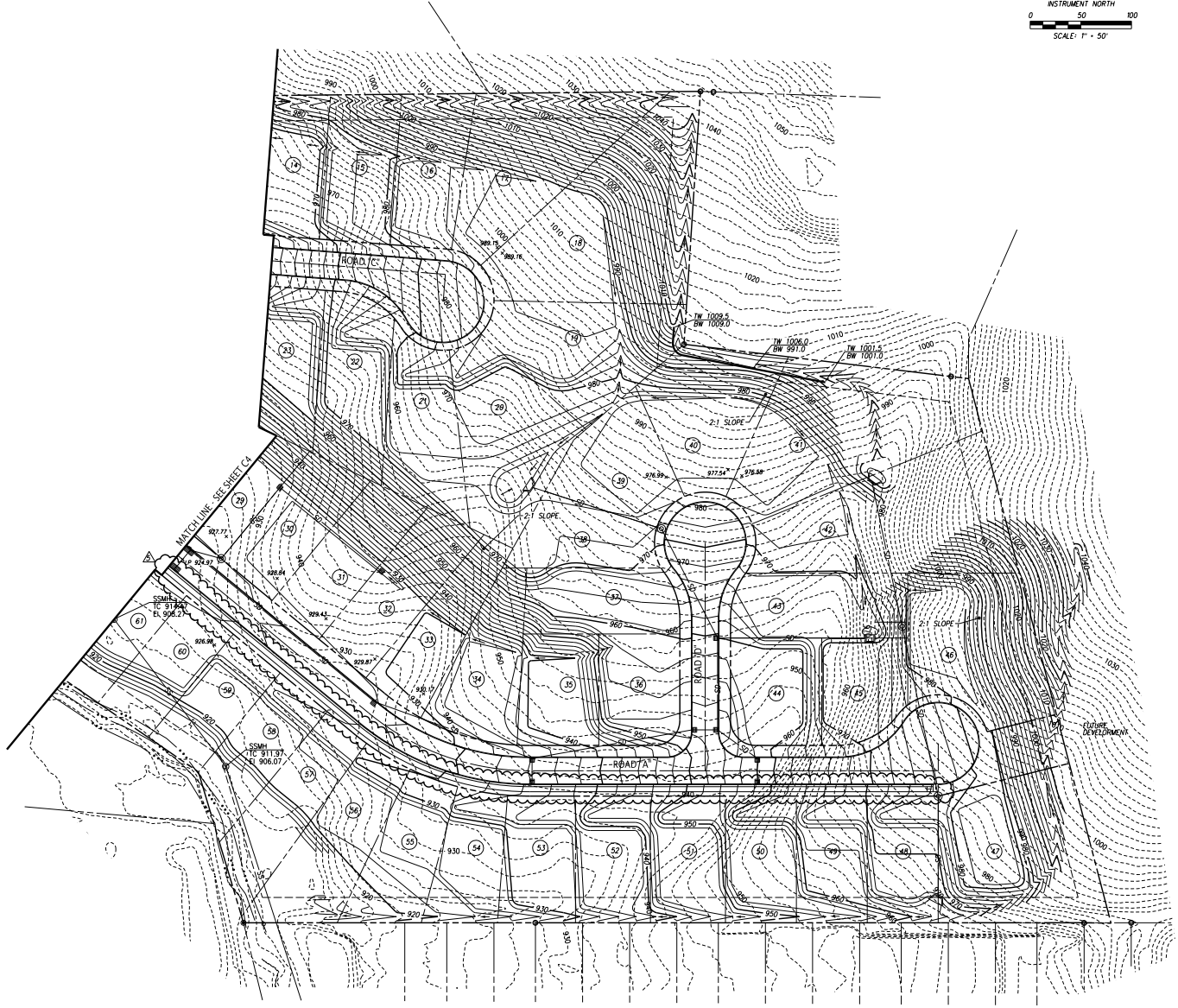
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 Plot Name: 3/24/2020





**NOTES:**

1. REFERENCE SHEET C4 FOR NOTES AND LEGEND.



**FULGHUM**  
**MACINDOE**  
 & ASSOCIATES, INC.

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 www.fulghummacindoe.com



**WESTLAND CREEK**  
**SUBDIVISION**  
 8444 WESTLAND DRIVE  
 KNOXVILLE, TENNESSEE 37923  
 PLANNING FILE NO.: 35A2-0-C

**S&E PROPERTIES, LLC**  
 1405 COLON LANE  
 KNOXVILLE, TN 37819  
 CONTACT: MR. ERIC MOSELEY  
 TELEPHONE NO.: 865.539.1112  
 EMAIL: ERICMOSELEY@BELLSOUTH.NET

**GRADING PLAN**

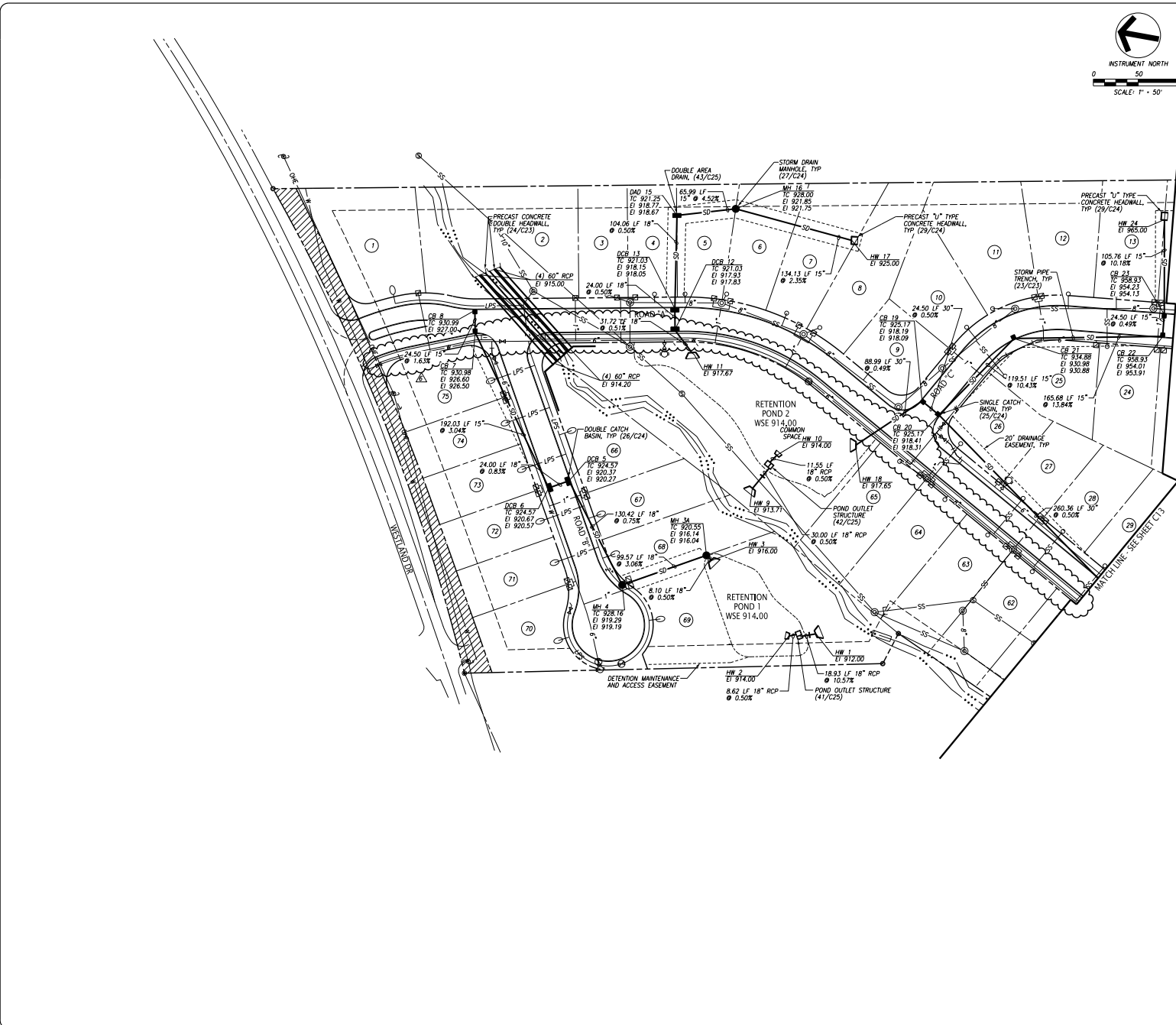
PROJ. NO.	DATE	BY	REVISION
330.012	02/26/20	AMC	REVISED PER COUNTY COMMENTS
	07/22/20	AMC	REVISED PER OWNER COMMENTS
	11/17/19	AMC	REVISED GRADING
	11/02/19	AMC	REVISED GRADING
	08/07/19	AMC	REVISED GRADING

3-SA-20-C  
 Revised: 3/25/20

Project: 330.012  
 Sheet: C5  
 Date: 08/24/18  
 Scale: 1"=50'

Full Name: 1501.100177/100151/100150054p  
 File Name: 3/24/2020

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**STORM PIPE NOTES:**

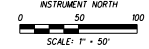
1. INSTALL STORM SEWER PIPING AND APPURTENANCES TO MEET THE MATERIALS, EQUIPMENT, AND CONSTRUCTION REQUIREMENTS OF THE CITY OF KNOXVILLE STANDARD SPECIFICATIONS.
2. TRENCH DESIGN AND SAFETY FOR PIPELINE CONSTRUCTION IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM WITH ALL APPLICABLE LOCAL, STATE, AND OSHA REGULATIONS.
3. UNLESS NOTED OTHERWISE, STORM SEWER PIPE SHALL BE EITHER GLASS REINFORCED CONCRETE PIPE (RCP) OR SMOOTH INTERIOR HIGH DENSITY POLYETHYLENE PIPE (HDPE). RCP SHALL BE INSTALLED IN ACCORDANCE WITH AASHTO M120 (ASTM C76). HDPE PIPE SHALL BE INSTALLED IN ACCORDANCE WITH AASHTO M294.
4. HOPE PIPE SHALL BE INSTALLED WITH WATERTIGHT (WT) JOINTS MEETING ALL AASHTO AND ASTM REQUIREMENTS. JOINTS SHALL BE MADE OF POLYISOPRENE AND INSTALLED AND COVERED WITH A REMOVABLE, PROTECTIVE WRAP BY THE MANUFACTURER.
5. PIPE DEFLECTION AND ALIGNMENT SHALL BE CHECKED AFTER BACKFILLING AND COMPACTION ARE COMPLETE AND PRIOR TO PLACING THE BASE. TEST DEFLECTION WITH A MANDREL OR OTHER APPROVED METHOD.
6. PIPE WITH DEFLECTION 5% OR GREATER OR WITH UNLIE, MISALIGNMENT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
7. PIPE/CULVERTS ARE MEASURED IN TERMS OF HORIZONTAL LENGTH COMPLETE IN PLACE REGARDLESS OF TYPE, DEPTH, CLASS, SHAPE AND SIZE, AS MEASURED ALONG THE CENTERLINE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE (NO DEDUCTIONS FOR STRUCTURES). ACTUAL QUANTITY OF PIPE MAY VARY. THE CONTRACTOR SHALL SUPPLY AND INSTALL THE NECESSARY QUANTITY OF PIPE TO CONSTRUCT THE COMPLETE SYSTEM AS SHOWN. INSTALLATION INCLUDES EXCAVATION, SHORING, FURNISHING AND INSTALLATION OF PIPES, JOINT MATERIALS, COUPLINGS, AND BACKFILL.
8. FOR RCP PIPE WITH SLOPES GREATER THAN 1% USE JOINT RIES OR JOINT FASTENERS AS SPECIFIED BY THE MANUFACTURER. FOR HOPE PIPE WITH SLOPES GREATER THAN 1% USE CONCRETE PIPE ANCHORS AS SPECIFIED BY THE MANUFACTURER.

3-SA-20-C  
 Revised: 3/25/20

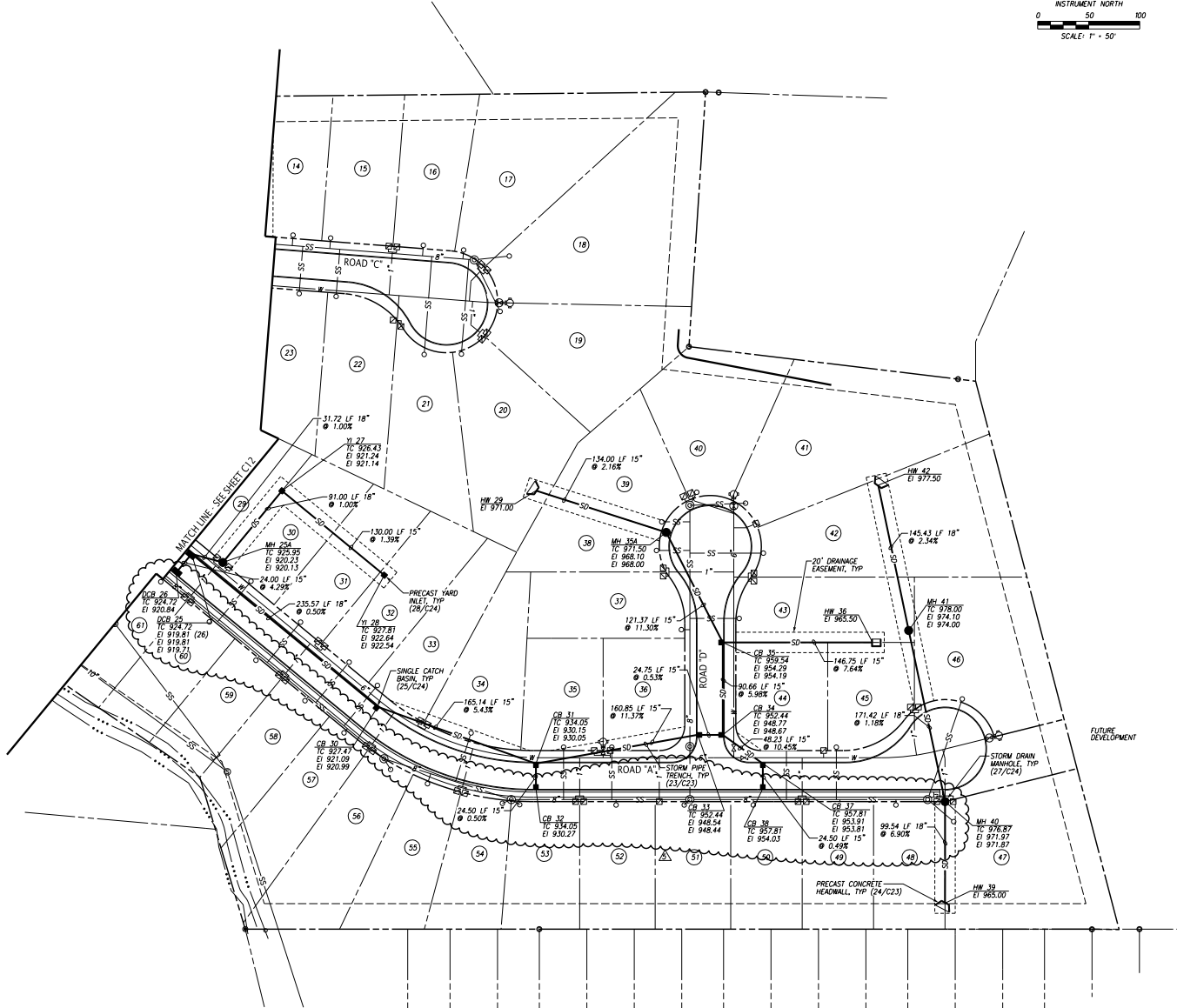
**LEGEND:**

SD	EXISTING STORM LINE
SD 15"	PROPOSED STORM LINE
---	PROPOSED STORM EASEMENT
●	PROPOSED STORM MANHOLE
■	PROPOSED SINGLE CATCH BASIN
□	PROPOSED DOUBLE CATCH BASIN
U	PROPOSED STORM U-HEADWALL
○	PROPOSED OUTLET STRUCTURE
○	PROPOSED WATER QUALITY STRUCTURE
MH	PROPOSED STORM MANHOLE
CB	PROPOSED SINGLE CATCH BASIN
DCB	PROPOSED DOUBLE CATCH BASIN
HW	PROPOSED STORM HEADWALL
OS	PROPOSED OUTLET STRUCTURE
TC	PROPOSED TOP OF CASTING
EI	PROPOSED ELEVATION AT INVERT
II	PROPOSED YARD INLET
(1/C2)	DETAIL REF (DETAIL NO./SHT NO.)
TYP	TYPICAL

<p>10330 HAZARD VALLEY ROAD                  SUITE 201                  KNOXVILLE, TN 37932                  OFFICE: 865.690.6419                  FAX: 865.690.6449                  www.fulghummacindoe.com</p>	
<p>WESTLAND CREEK SUBDIVISION                  8444 WESTLAND DRIVE                  KNOXVILLE, TENNESSEE 37923                  PLANNING FILE NO.: 55A26-0C</p>	
<p>S&amp;E PROPERTIES, LLC                  1000 COLLETT AVENUE                  KNOXVILLE, TN 37919                  CONTACT: MR. ERIC MOSELEY                  TELEPHONE NO.: 865.539.1112                  EMAIL: ERICMOSELEY@BELLSOUTH.NET</p>	
<p><b>STORM DRAINAGE PLAN</b></p>	
<p>DESIGNED BY: <b>AMC</b></p>	<p>DATE: 02/26/20</p>
<p>REVISED PER COUNTY COMMENTS</p>	<p>DATE: 11/19/19</p>
<p>REVISED ENTRANCE</p>	<p>DATE: 08/07/19</p>
<p>REVISED STORM DRAINAGE</p>	<p>DATE: 03/27/19</p>
<p>REVISED STORM DRAINAGE</p>	<p>DATE: 11/12/18</p>
<p>PROJECT: 330.012</p>	<p>SHEET: C12</p>
<p>DATE: 08/24/18</p>	<p>SCALE: 1"=50'</p>

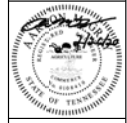


NOTES:  
 1. REFERENCE SHEETS C12 FOR NOTES AND LEGEND.



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**WESTLAND CREEK**  
**SUBDIVISION**  
 8444 WESTLAND DRIVE  
 KNOXVILLE, TENNESSEE 37923  
 PLANNING FILE NO.: 35A20-C

**S&E PROPERTIES, LLC**  
 1400 HUNTERS LANE  
 KNOXVILLE, TN 37919  
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 TELEPHONE NO.: 865.539.1112  
 EMAIL: ERICMOSELEY@BELLSOUTH.NET

**STORM DRAINAGE PLAN**

PROJ. NO.	NO.	ISSUED BY	DATE	REVISION/ISSUE
330.012	1	AMC	02/26/20	R.P.
	2	AMC	11/11/19	REVISED PER COUNTY COMMENTS
	3	AMC	11/05/19	REVISED STORM DRAINAGE
	4	AMC	08/07/19	REVISED STORM DRAINAGE
	5	AMC	08/07/19	REVISED STORM DRAINAGE
	6	AMC	11/12/18	REVISED STORM DRAINAGE

3-SA-20-C  
 Revised: 3/25/20

Project: 330.012  
 Date: 08/24/18  
 Scale: 1"=50'

**C13**

File Name: 3-SA-20-C13.dwg  
 Plot Name: 3-SA-20-C13.plt

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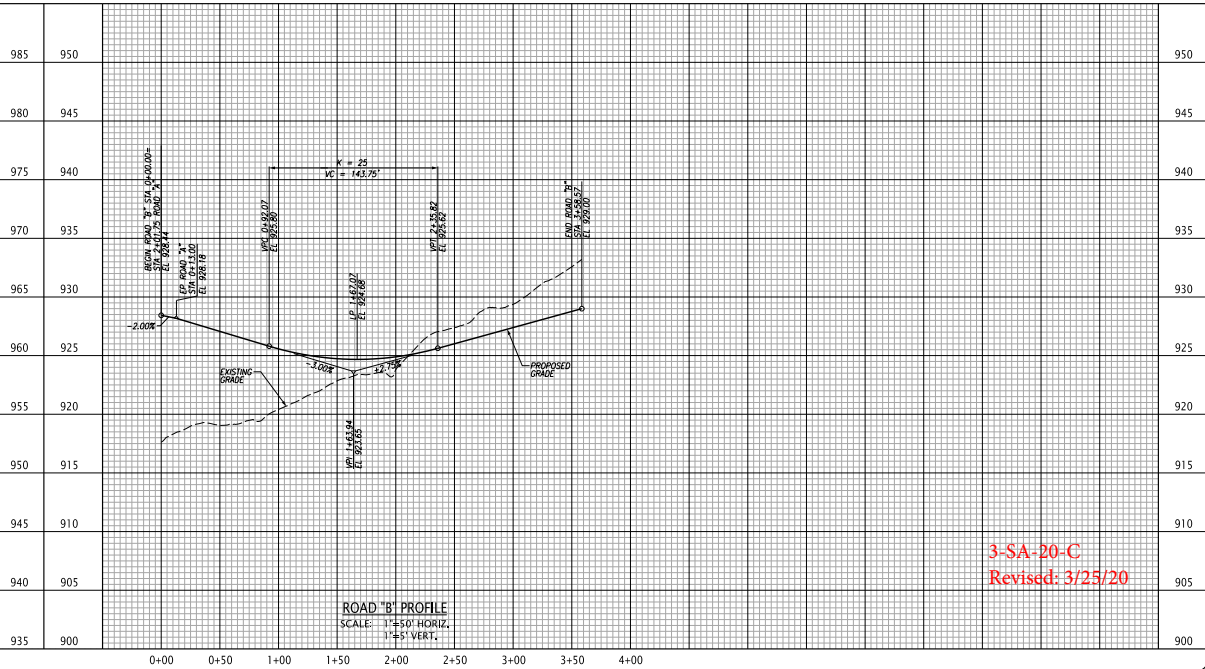
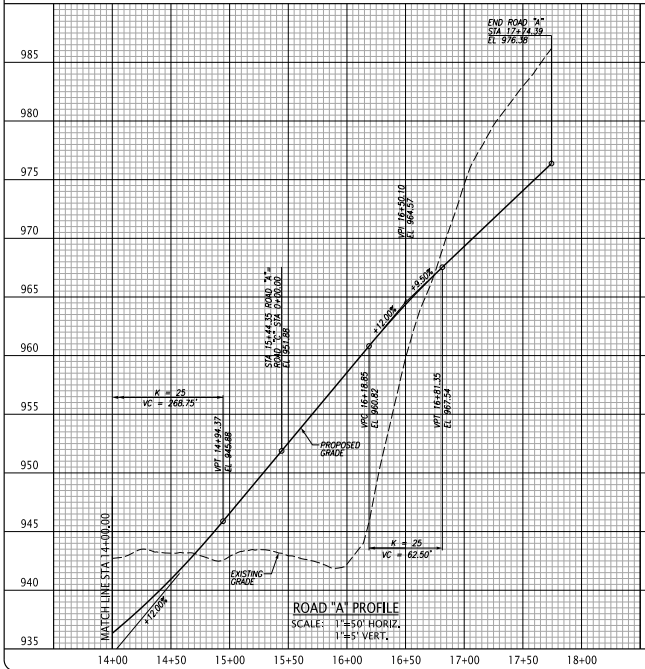
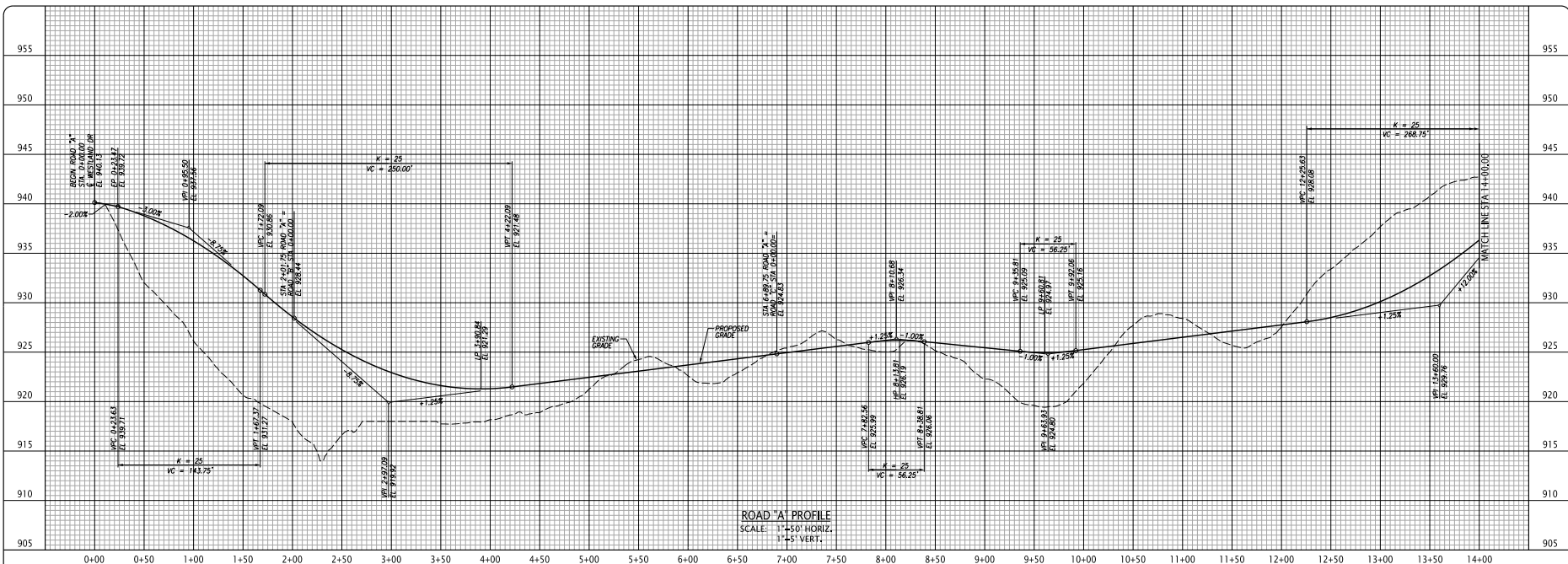
**WESTLAND CREEK  
SUBDIVISION**  
8444 WESTLAND DRIVE  
KNOXVILLE, TENNESSEE 37923  
PLANNING FILE NO.: 55A2-0-C

**S&E PROPERTIES, LLC**  
KNOXVILLE, TENNESSEE  
KNOXVILLE, TN 37919  
CONTACT: MR. ERIC MOSELEY  
TELEPHONE NO.: 865.539.1112  
EMAIL: ERICMOSELEY@BELLSOUTH.NET

**ROAD PROFILES**

PROJ. NO.	DATE	BY	REVISION/ISSUE
330.012	02/26/20	AMC	REVISED PER COUNTY COMMENTS
	08/29/18	AMC	ISSUED FOR CONSTRUCTION

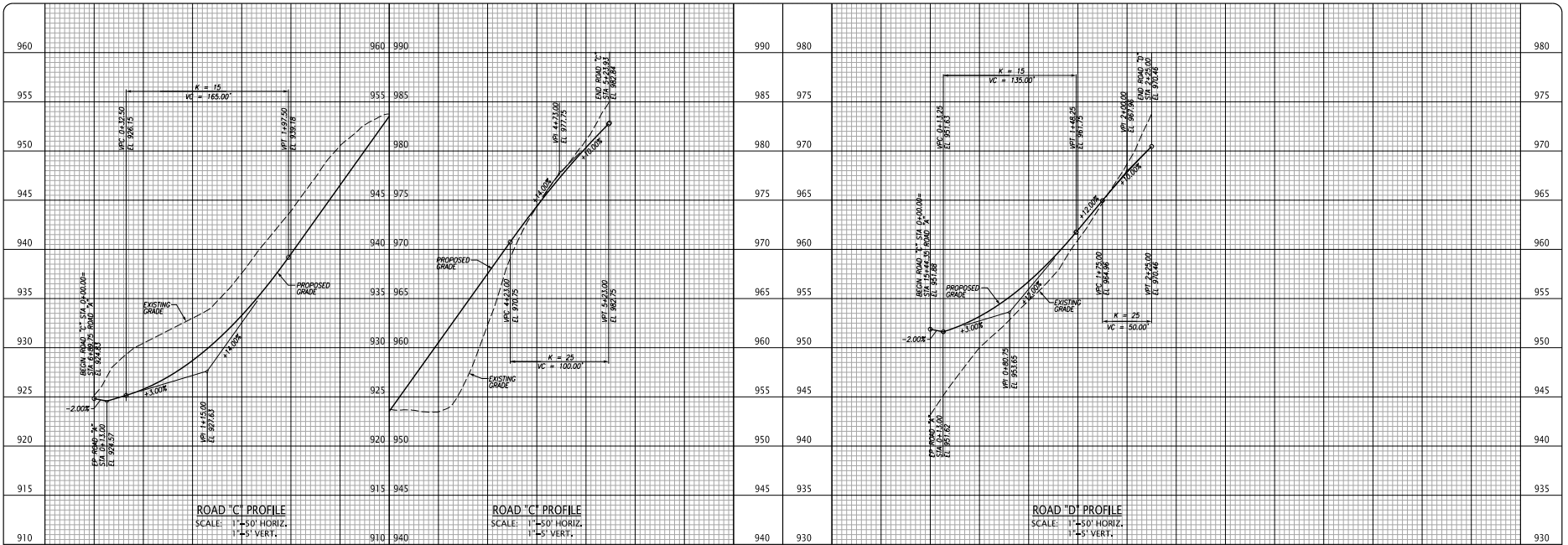
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Date: 08/24/18  
Scale: 1"=50'  
Sheet: **C20**



**3-SA-20-C**  
**Revised: 3/25/20**

PL Number: 11/11/18/17/18/05/18/001/1002/04p  
Rev. Number: 2/26/2020

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**WESTLAND CREEK SUBDIVISION**  
 8444 WESTLAND DRIVE  
 KNOXVILLE, TENNESSEE 37923  
 PLANNING FILE NO.: 55A2-0-C

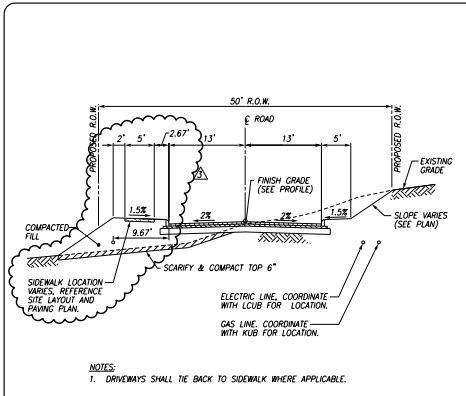
**S&E PROPERTIES, LLC**  
 1400 COLONY LANE  
 KNOXVILLE, TN 37919  
 CONTACT: MR. ERIC MOSELEY  
 TELEPHONE NO.: 865.539.1112  
 EMAIL: ERICMOSELEY@BELLSOUTH.NET

**ROAD PROFILES**

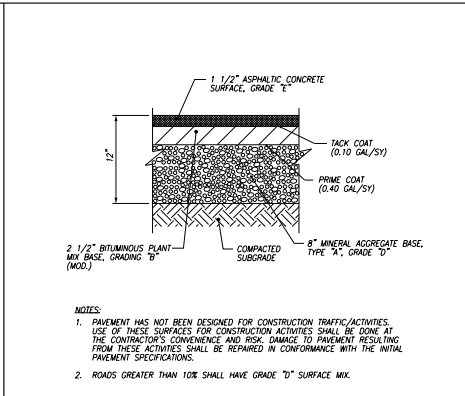
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330.012	AMC	02/26/20	REVISED PER COUNTY COMMENTS
	AMC	09/26/18	REVISED PER COUNTY COMMENTS
	AMC	08/24/18	ISSUED FOR CONSTRUCTION

3-SA-20-C  
 Revised: 3/25/20

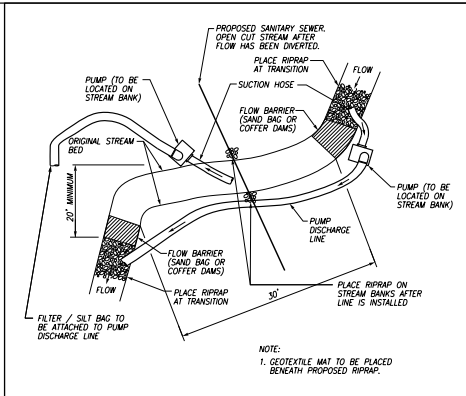
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Sheet	C21
Date	08/24/18
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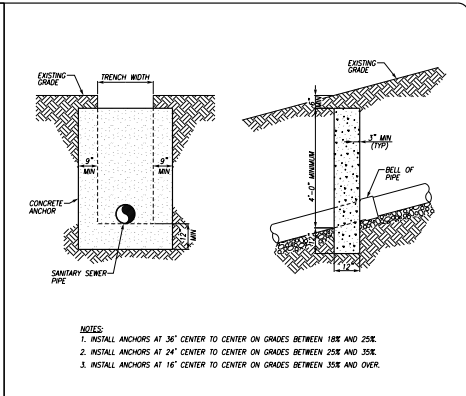
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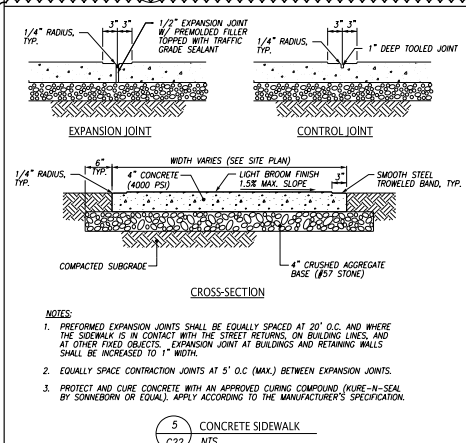
2 ASPHALT PAVEMENT SECTION  
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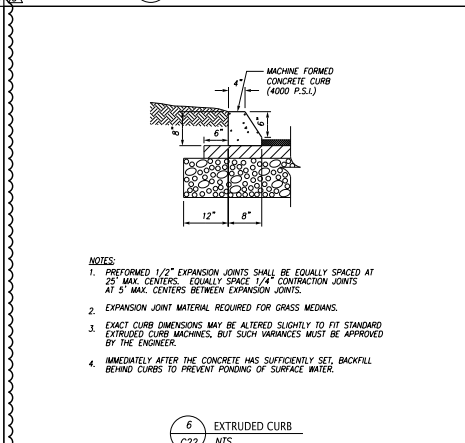
3 STREAM DIVERSION DETAIL  
C22 NTS



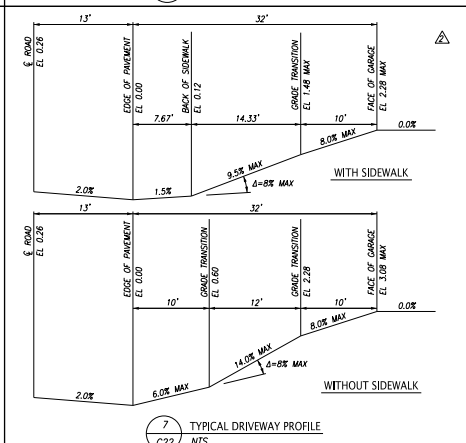
4 CONCRETE ANCHOR DETAIL  
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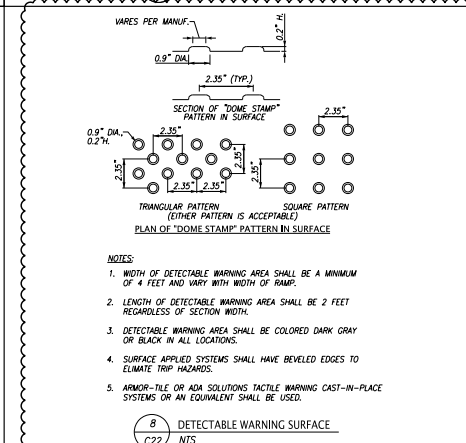
5 CONCRETE SIDEWALK  
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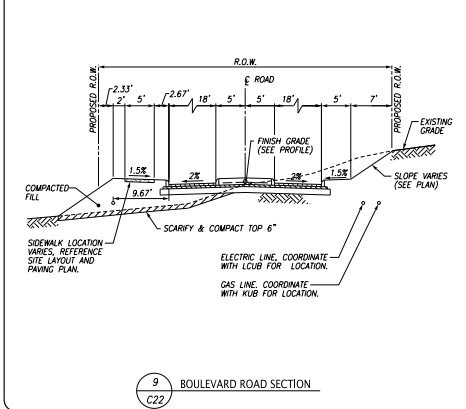
6 EXTRUDED CURB  
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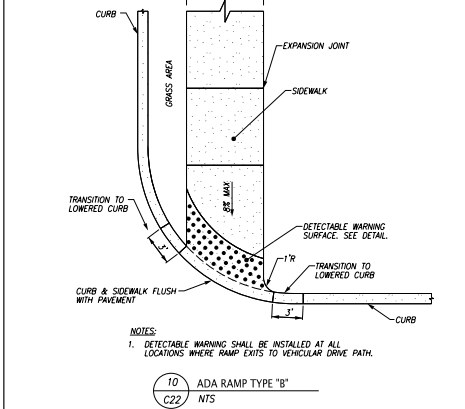
7 TYPICAL DRIVEWAY PROFILE  
C22 NTS



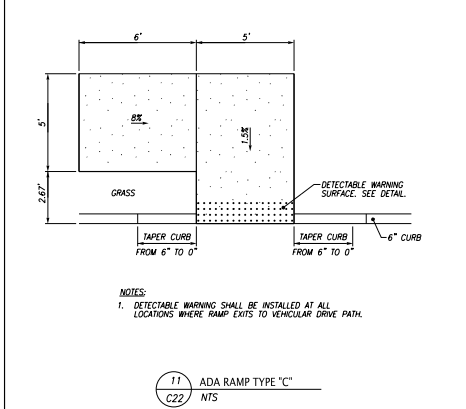
8 DETECTABLE WARNING SURFACE  
C22 NTS



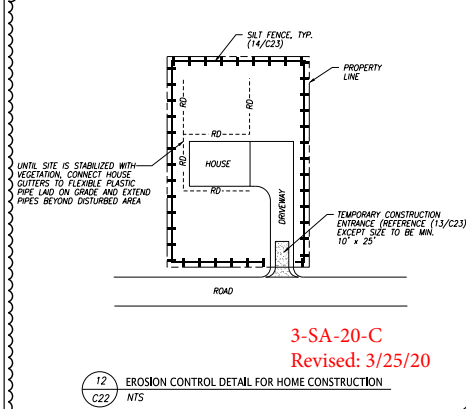
9 BOULEVARD ROAD SECTION  
C22 NTS



10 ADA RAMP TYPE "B"  
C22 NTS



11 ADA RAMP TYPE "C"  
C22 NTS



12 EROSION CONTROL DETAIL FOR HOME CONSTRUCTION  
C22 NTS

**FULGHUM MACINDOE ASSOCIATES, INC.**  
10330 HARDEN VALLEY ROAD SUITE 200 KNOXVILLE, TN 37932 OFFICE: 865.596.6419 FAX: 865.498.6448 www.fulghummacindoe.com

**WESTLAND CREEK SUBDIVISION**  
8444 WESTLAND DRIVE KNOXVILLE, TENNESSEE 37923 PLANNING FILE NO.: 55A20-C

**S&E PROPERTIES, LLC**  
1000 COLONY LANE KNOXVILLE, TN 37919 CONTACT: MR. ERIC MOSELEY TELEPHONE NO.: 865.539.1112 EMAIL: ERICMOSELEY@BELLSOUTH.NET

**DETAILS**

PROJ. NO.	ISSUED BY	AMC	REVISION	DATE
			REVISED PER COUNTY COMMENTS	02/26/20
			REVISED PER OWNER COMMENTS	07/22/20
			REVISED PER COUNTY COMMENTS	10/07/18
			ISSUED FOR CONSTRUCTION	08/29/18

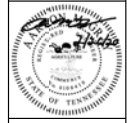
Project: 330.012 Sheet: C22  
Date: 08/24/18 Scale: NTS

3-SA-20-C  
Revised: 3/25/20



**FULGHUM**  
**MACINDOE**  
ASSOCIATES, INC.

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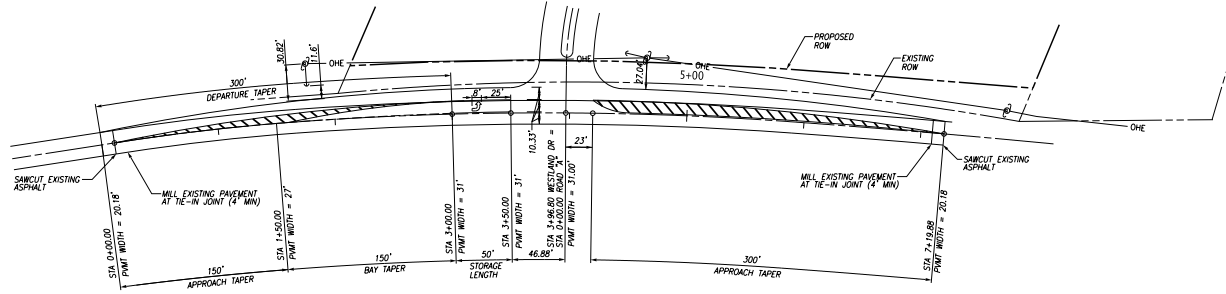
**WESTLAND CREEK SUBDIVISION**  
**TURN LANE DESIGN**  
8444 WESTLAND DRIVE  
KNOXVILLE, TENNESSEE 37923  
PLANNING FILE NO.: 35A2420C

**S&E PROPERTIES, LLC**  
1405 COLON LANE  
KNOXVILLE, TN 37919  
CONTACT: MR. ERIC MOSELEY  
TELEPHONE NO.: 865.539.1112  
EMAIL: ERICMOSELEY@BELLSOUTH.NET

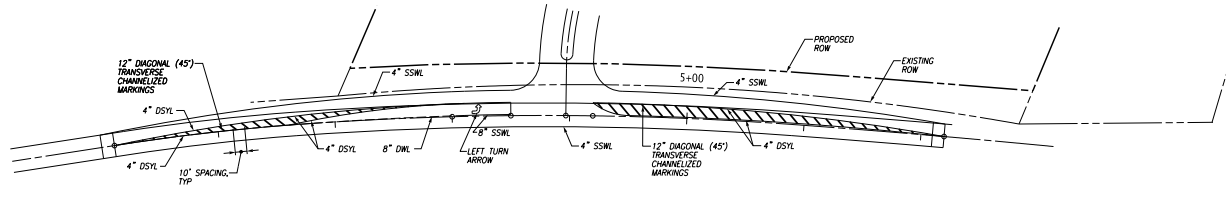
**PROPOSED LAYOUT  
AND STRIPING PLAN**

PROJ. NO.	AMC	DESIGNED BY	AMC	DRAWN BY	R/P
		REVISED PER COUNTY COMMENTS	02/26/20		
		REVISED ROAD	11/19/19		
		REVISED PER COUNTY COMMENTS	10/17/18		
		ISSUED FOR CONSTRUCTION	10/08/18		
No.		Revision/Issue			Date

Project	330.012	Sheet	C1
Date	10/08/18		
Scale	1"=50'		



**PROPOSED LAYOUT**  
SCALE: 1" = 50'



**STRIPING PLAN**  
SCALE: 1" = 50'

- LEGEND:**
- PROPOSED PROPERTY/ROW LINE
  - EXISTING PROPERTY LINE
  - ROAD CENTER LINE
  - PROPOSED CHANNELIZED MARKINGS
  - SSWL SINGLE SOLID WHITE LINE
  - DWL DOTTED WHITE LINE
  - DSYL DOUBLE SOLID YELLOW LINE
  - TYP TYPICAL

**3-SA-20-C**  
**Revised: 3/25/20**

File Name: 15101.00171\PROJECTS\330012\012.dwg  
Plot Date: 3/24/2020

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**TRAFFIC CONTROL NOTES:**

1. ALL TEMPORARY WORK ZONE TRAFFIC CONTROL, SIGNAGE, DEVICES, AND PROCEDURES TO BE IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. THE CONTRACTOR IS TO IMPLEMENT THIS TRAFFIC CONTROL PLAN AS SHOWN AND IS RESPONSIBLE FOR MAKING ANY FIELD ADJUSTMENTS DEEMED NECESSARY IN ACCORDANCE WITH THE MUTCD. THIS PLAN DOES NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITIES TO THE SAFETY OF THE TRAVELING PUBLIC AND RESIDENTS ALONG THE CONSTRUCTION AREA.
3. WHEN NOT NEEDED FOR ONGOING WORK ACTIVITIES, TRAFFIC CONTROL SIGNS AND DEVICES SHALL BE REMOVED FROM THE AREA COVERED OR OTHERWISE POSITIONED IN A MANNER THAT MAKES IT OBVIOUS THAT THEY ARE NOT IN USE.
4. CHANNELIZING DEVICES TO BE STANDARD MUTCD DRUMS OR MIN. 28" TALL CONES WITH WEIGHTED BASES AND SHALL BE REFLECTORIZED.
5. CONTRACTOR TO MAINTAIN ACCESS TO SIDE ROADS AND DRIVEWAYS AT ALL TIMES.
6. CONTRACTOR TO CONTACT KNOX COUNTY ENGINEERING AT 865.215.5860 AT LEAST ONE DAY PRIOR TO REDUCING TRAFFIC.
7. ALL SIGNS AND CHANNELIZING DEVICES SHALL HAVE A MEANS OF RETROREFLECTION FOR USE AT NIGHT. REFERENCE MUTCD FOR VARIOUS MEANS OF RETROREFLECTION.
8. LANE CLOSURES ON WESTLAND DRIVE SHALL BE ALLOWED ONLY BETWEEN THE HOURS OF 9 A.M. AND 3 P.M.
9. CONTRACTOR SHALL KEEP WORK ZONE LENGTHS TO A MINIMUM BY SHIFTING THE WORK ZONE AS WORK PROGRESSES WHERE PRACTICAL.
10. ADVANCE WARNING SIGNS SHALL NOT BE DISPLAYED MORE THAN 48 HOURS BEFORE PHYSICAL CONSTRUCTION BEGINS. SIGNS MAY BE ERRECTED UP TO ONE WEEK BEFORE NEEDED IF THE SIGN FACE IS FULLY COVERED.
11. LONG TERM BUT SPORADIC USE WARNING SIGNS MAY REMAIN IN PLACE WHEN NOT REQUIRED PROVIDED THE SIGN FACE IS FULLY COVERED.
12. TRAFFIC CONTROL DEVICES SHALL NOT BE DISPLAYED OR ERRECTED UNLESS RELATED CONDITIONS ARE PRESENT NECESSITATING WARNING.
13. USE OF BARRICADES AND DRUMS SHALL BE LIMITED TO THE IMMEDIATE AREA OF CONSTRUCTION WHERE A HAZARD IS PRESENT. THESE DEVICES SHALL NOT BE STORED ALONG THE ROAD WITHIN 10 FEET OF THE EDGE OF TRAVEL WAY BEFORE OR AFTER USE. THESE DEVICES SHALL BE REMOVED FROM THE CONSTRUCTION WORK ZONE WHEN THEY ARE NO LONGER NEEDED. WHERE THERE IS INSUFFICIENT RIGHT-OF-WAY TO PROVIDE FOR THIS STORAGE, THE CONTRACTOR SHALL DETERMINE ALTERNATE LOCATIONS SUBJECT TO APPROVAL BY THE RESPONSIBLE AGENCY.
14. DURING PERIODS OF INACTIVITY, THE CONTRACTOR SHALL NOT BE PERMITTED TO PARK ANY VEHICLES OR CONSTRUCTION EQUIPMENT WITHIN TEN FEET OF THE EDGE OF PAVEMENT WHILE THE LANE IS OPEN TO TRAFFIC. PRIVATELY OWNED VEHICLES SHALL NOT BE ALLOWED TO BE PARKED WITHIN TEN FEET OF AN OPEN TRAFFIC LANE AT ANY TIME. WHERE THERE IS INSUFFICIENT RIGHT-OF-WAY TO PROVIDE FOR THIS STORAGE, THE CONTRACTOR SHALL DETERMINE ALTERNATE LOCATIONS SUBJECT TO APPROVAL BY THE RESPONSIBLE AGENCY.
15. PORTABLE BARRIER RAIL WILL BE REQUIRED WHERE DROP OFFTS EXCEED 18 INCHES. PORTABLE BARRIER RAIL MAY BE USED WHERE DROP OFFTS EXCEED 6 INCHES. FOR MORE SPECIFIC INFORMATION SEE TDOT DROP-OFF POLICY.

**GENERAL NOTES:**

1. THE BOUNDARY DATA TAKEN FROM LYNCH SURVEYS LLC. TOPOGRAPHIC DATA WAS TAKEN FROM A.G.S. EXISTING CONTOURS ARE AT 1 FT INTERVALS. VERTICAL DATUM IS BASED ON NAVD83.
2. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATIONS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
3. REFERENCE ASHTO AND TDOT STANDARD SPECIFICATIONS AND DETAILS FOR ROADWAY CONSTRUCTION AND STRIPING DESIGN INFORMATION.
4. CONTRACTOR TO COORDINATE WITH KNOX COUNTY ENGINEERING AND PUBLIC WORKS FOR PERMITTING PRIOR TO CONSTRUCTION.
5. CONTRACTOR TO MAINTAIN A 4'-FT MINIMUM CLEAR ZONE FROM THE EDGE OF PAVEMENT AT A MAXIMUM OF A 4:1 SLOPE.

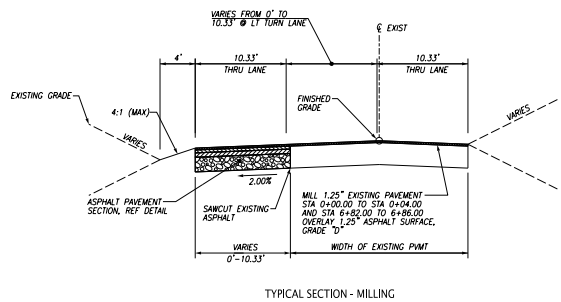
**PAVEMENT EDGE DROP-OFF TRAFFIC CONTROL NOTES:**

- A. DIFFERENCES IN ELEVATION BETWEEN ADJACENT TRAFFIC LANES OR TRAFFIC LANE AND SHOULDER WHERE THE TRAFFIC LANE IS BEING TRAFFIC CAUSED BY LANE, CAUSED BY BASE, PAVING OR RESURFACING:
  1. DIFFERENCES IN ELEVATION BETWEEN ADJACENT ROADWAY ELEMENTS GREATER THAN 0.75" INCH AND NOT EXCEEDING 2 INCHES:
    - a. WARNING SIGNS (WB-11) AND/OR SHOULDER DROP-OFF WITH FLAG (WB-17) AND WB-17P), SHALL BE PLACED IN ADVANCE OF AND THROUGHOUT THE EXPOSED AREA. MAXIMUM SPACING BETWEEN SIGNS SHALL BE 200 FEET WITH A MINIMUM OF 2 SIGNS PER EXPOSED AREA. WHERE UNEVEN PAVEMENT IS ENCOUNTERED, SIGNS SHALL BE PLACED ON EACH SIDE OF THE ROADWAY.
    - b. DIFFERENCES IN ELEVATION BETWEEN ADJACENT TRAFFIC LANES BEING UTILIZED BY TRAFFIC CAUSED BY ADDED PAVEMENT SHALL BE ELIMINATED WITHIN THREE WORKDAYS.
    - c. DIFFERENCES IN ELEVATION BETWEEN ADJACENT TRAFFIC LANES BEING UTILIZED BY TRAFFIC CAUSED BY COLD PLANING SHALL BE ELIMINATED WITHIN THREE WORKDAYS.
    - d. WHEN THE DIFFERENCE IN ELEVATION IS BETWEEN THE TRAFFIC LANE BEING UTILIZED BY TRAFFIC AND SHOULDER THE DIFFERENCE IN ELEVATION SHALL BE ELIMINATED WITHIN SEVEN WORKDAYS AFTER THE CONDITION IS CREATED.
  2. DIFFERENCES IN ELEVATION BETWEEN ADJACENT ROADWAY ELEMENTS GREATER THAN 2 INCHES AND NOT EXCEEDING 6 INCHES. TRAFFIC IS NOT TO BE ALLOWED TO TRAVERSE THIS DIFFERENCE IN ELEVATION.
    - a. SEPARATION SHALL BE ACCOMPLISHED BY DRUMS, BARRICADES OR OTHER APPROVED DEVICES IN ACCORDANCE WITH THE FOLLOWING:
      - (1) WHERE POSTED SPEEDS ARE 50 MPH OR GREATER, SPACING OF THE PROTECTIVE DEVICES SHALL NOT EXCEED 100 FEET.
      - (2) WHERE POSTED SPEEDS ARE LESS THAN 50 MPH, THE MAXIMUM SPACE OF THE PROTECTIVE DEVICES IN FEET SHALL NOT EXCEED TWICE THE POSTED SPEED IN MILES PER HOUR OR 50 FEET, WHICHEVER SPACING IS GREATER.
    - b. IF THE DIFFERENCE IN ELEVATION IS ELIMINATED OR DECREASED TO 2 INCHES OR LESS BY THE END OF EACH WORKDAY, CONES MAY BE USED DURING DAYLIGHT HOURS IN L&U OF DRUMS, BARRICADES OR OTHER APPROVED PROTECTIVE DEVICES MENTIONED IN PARAGRAPH (a). PROVIDED WARNING SIGNS ARE ERRECTED. WARNING SIGNS (UNEVEN LANES AND/OR SHOULDER DROP-OFF) SHALL BE PLACED IN ADVANCE OF AND THROUGHOUT THE EXPOSED AREA. MAXIMUM SPACING BETWEEN SIGNS SHALL BE 200 FEET WITH A MINIMUM OF 2 SIGNS PER EXPOSED AREA. WHERE UNEVEN PAVEMENT IS ENCOUNTERED, SIGNS SHALL BE PLACED ON EACH SIDE OF THE ROADWAY.
    - c. WHEN THE DIFFERENCE IN ELEVATION IS BETWEEN THE THROUGH TRAFFIC LANE AND THE SHOULDER AND THE ELEVATION DIFFERENCE IS LESS THAN 3.5 INCHES, THE CONTRACTOR MAY USE WARNING SIGNS AND/OR PROTECTIVE DEVICES AS APPLICABLE AND APPROVED BY THE ENGINEER. SET PARAGRAPH (a) REGARDING USE OF DRUMS, BARRICADES OR OTHER APPROVED PROTECTIVE DEVICES. WARNING SIGNS (UNEVEN LANES AND/OR SHOULDER DROP-OFF) WILL BE PLACED IN ADVANCE OF AND THROUGHOUT THE EXPOSED AREA. MAXIMUM SPACING BETWEEN SIGNS SHALL BE 200 FEET WITH A MINIMUM OF 2 SIGNS PER EXPOSED AREA. WHERE UNEVEN PAVEMENT IS ENCOUNTERED, SIGNS SHALL BE PLACED ON EACH SIDE OF THE ROADWAY.

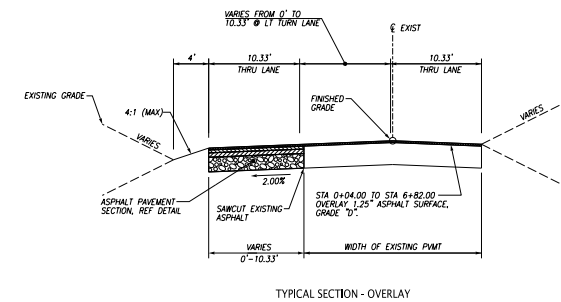
IN THESE SITUATIONS, THE CONTRACTOR SHALL LIMIT HIS OPERATIONS TO ONE WORK ZONE NOT EXCEEDING 2 MILES IN LENGTH UNLESS OTHERWISE NOTED ON THE PLANS OR APPROVED BY THE ENGINEER. ONCE THE CONTRACTOR BEGINS WORK IN A WORK ZONE, A CONTINUOUS OPERATION SHALL BE MAINTAINED UNTIL THE DIFFERENCE IN ELEVATION IS ELIMINATED. SIMULTANEOUS WORK ON SEPARATE ROADWAYS OF DIVIDED HIGHWAYS WILL BE CONSIDERED INDEPENDENTLY IN REGARD TO RESTRICTION OF WORK ZONE ACTIVITY.

3. DIFFERENCES IN ELEVATION BETWEEN ADJACENT ROADWAY ELEMENTS GREATER THAN 6 INCHES BUT NOT EXCEEDING 18 INCHES, THE CONTRACTOR WITH THE ENGINEER'S APPROVAL, MAY UTILIZE ONE OF THE FOLLOWING:
  - a. THE CONTRACTOR SHALL ACCOMPLISH SEPARATION BY DRUMS, BARRICADES OR OTHER APPROVED DEVICES IN ACCORDANCE WITH THE FOLLOWING:
    - (1) WHERE POSTED SPEEDS ARE 50 MPH OR GREATER, SPACING OF THE PROTECTIVE DEVICES SHALL NOT EXCEED 100 FEET.
    - (2) WHERE POSTED SPEEDS ARE LESS THAN 50 MPH, THE MAXIMUM SPACE OF THE PROTECTIVE DEVICES IN FEET SHALL NOT EXCEED TWICE THE POSTED SPEED IN MILES PER HOUR OR 50 FEET, WHICHEVER SPACING IS GREATER.
 IN ORDER TO USE THIS METHOD, THE CONTRACTOR MUST REDUCE THE DIFFERENCE IN ELEVATION TO 6 INCHES OR LESS BY THE END OF THE WORKDAY THAT THE CONDITION IS CREATED.
  - b. THE CONTRACTOR SHALL PROVIDE DRUMS, BARRICADES OR OTHER APPROVED SEPARATION DEVICES AS SPECIFIED IN PARAGRAPH (a) AND CONSTRUCT A STONE WEDGE WITH A 4:1 SLOPE OR FLATTER, TO ELIMINATE THE VERTICAL OFFSET IF THE LOWER ELEVATION IS AT OR BELOW SUBGRADE AT THE END OF EACH DAY.
  - c. THE CONTRACTOR SHALL PROVIDE DRUMS, BARRICADES OR OTHER APPROVED SEPARATION DEVICES AS SPECIFIED IN PARAGRAPH (a) AND IF THE LOWER ELEVATION IS BASE STONE OR ASPHALT PAVEMENT, PLACEMENT OF SUBSEQUENT LAYERS OF PAVEMENT MUST BEYOND THE NEXT WORK DAY AND PROGRESS CONTINUOUSLY UNTIL THE DIFFERENCE IN ELEVATION IS ELIMINATED OR REDUCED TO SIX INCHES OR LESS.
  - d. THE CONTRACTOR SHALL PROVIDE SEPARATION BY PORTABLE BARRIER RAIL FOR PRECEDING CONDITIONS (a) AND (c). THE CONTRACTOR SHALL USE THE SHOULDER DROP-OFF WARNING SIGN (WB-17 AND WB-17P). IT SHALL BE PLACED IN ADVANCE OF AND THROUGHOUT THE EXPOSED AREA. MAXIMUM SPACING BETWEEN SIGNS SHALL BE 200 FEET WITH A MINIMUM OF 2 SIGNS PER EXPOSED AREA. IN THESE SITUATIONS, THE CONTRACTOR SHALL LIMIT HIS OPERATIONS TO ONE WORK ZONE NOT EXCEEDING 1 MILE IN LENGTH UNLESS OTHERWISE NOTED ON THE PLANS OR APPROVED BY THE ENGINEER. ONCE THE CONTRACTOR BEGINS WORK IN A WORK ZONE, A CONTINUOUS OPERATION SHALL BE MAINTAINED UNTIL THE DIFFERENCE IS ELIMINATED. SIMULTANEOUS WORK ON SEPARATE ROADWAYS OF DIVIDED HIGHWAYS WILL BE CONSIDERED INDEPENDENTLY IN REGARD TO RESTRICTION OF WORK ZONE ACTIVITY.
4. FOR DIFFERENCES IN ELEVATION BETWEEN ADJACENT ROADWAY ELEMENTS GREATER THAN 18 INCHES, THE CONTRACTOR SHALL LIMIT HIS OPERATIONS TO ONE WORK ZONE NOT EXCEEDING 1 MILE IN LENGTH UNLESS OTHERWISE NOTED ON THE PLANS OR APPROVED BY THE ENGINEER. ONCE THE CONTRACTOR BEGINS WORK IN A WORK ZONE, A CONTINUOUS OPERATION SHALL BE MAINTAINED UNTIL THE DIFFERENCE IN ELEVATION IS ELIMINATED. SIMULTANEOUS WORK ON SEPARATE ROADWAYS OF DIVIDED HIGHWAYS WILL BE CONSIDERED INDEPENDENTLY IN REGARD TO RESTRICTION OF WORK ZONE ACTIVITY.

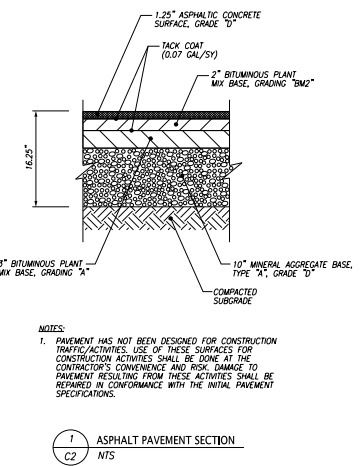
- B. IF THE DIFFERENCE IN ELEVATION IS WITHIN 30 FEET OF THE NEAREST TRAFFIC LANE BEING USED BY TRAFFIC CAUSED BY GRADING, EXCAVATION FOR UTILITIES, DRAINAGE STRUCTURES, UNDERCUTTING, ETC.:
  1. IF THE DIFFERENCE IN ELEVATION IS WITHIN 8 FEET OF THE NEAREST TRAFFIC LANE WITH DIFFERENCE IN ELEVATION GREATER THAN 3/4 INCH AND NOT EXCEEDING 2 INCHES:
    - a. WARNING SIGNS (UNEVEN LANES AND/OR SHOULDER DROP-OFF) SHALL BE 2000 FEET WITH A MINIMUM OF 2 SIGNS PER EXPOSED AREA. WHERE UNEVEN PAVEMENT IS ENCOUNTERED, SIGNS SHALL BE PLACED ON EACH SIDE OF THE ROADWAY.
    2. IF THE DIFFERENCE IN ELEVATION IS WITHIN 8 FEET OF THE NEAREST TRAFFIC LANE WITH DIFFERENCE IN ELEVATION GREATER THAN 2 INCHES AND NOT EXCEEDING 6 INCHES:
      - a. SEPARATION SHALL BE ACCOMPLISHED BY DRUMS, BARRICADES OR OTHER APPROVED DEVICES IN ACCORDANCE WITH THE FOLLOWING:
        - (1) WHERE POSTED SPEEDS ARE 50 MPH OR GREATER, SPACING OF THE PROTECTIVE DEVICES SHALL NOT EXCEED 100 FEET.
        - (2) WHERE POSTED SPEEDS ARE LESS THAN 50 MPH, THE MAXIMUM SPACE OF THE PROTECTIVE DEVICES IN FEET SHALL NOT EXCEED TWICE THE POSTED SPEED IN MILES PER HOUR OR 50 FEET, WHICHEVER SPACING IS GREATER.
      - b. ELIMINATE VERTICAL OFFSET BY CONSTRUCTING A STONE WEDGE OR GRADING TO A 4:1 SLOPE, OR FLATTER, OR USED PORTABLE BARRIER RAIL. THE CONTRACTOR SHALL SCHEDULE THE WORK SO AS TO MINIMIZE THE TIME TRAFFIC IS EXPOSED TO AN ELEVATION DIFFERENCE. ONCE THE CONTRACTOR BEGINS AN ACTIVITY THAT CREATES AN ELEVATION DIFFERENCE WITHIN 8 FEET OF A TRAFFIC LANE, THE ACTIVITY SHALL BE PURSUED AS A CONTINUOUS OPERATION UNTIL THE ELEVATION DIFFERENCE IS ELIMINATED.
    3. IF THE DIFFERENCE IN ELEVATION IS WITHIN 8 FEET OF THE NEAREST TRAFFIC LANE WITH DIFFERENCE IN ELEVATION GREATER THAN 6 INCHES:
      - a. THE CONTRACTOR SHALL ACCOMPLISH SEPARATION BY DRUMS, BARRICADES OR OTHER APPROVED DEVICES IN ACCORDANCE WITH THE FOLLOWING:
        - (1) WHERE POSTED SPEEDS ARE 50 MPH OR GREATER, SPACING OF THE PROTECTIVE DEVICES SHALL NOT EXCEED 100 FEET.
        - (2) WHERE POSTED SPEEDS ARE LESS THAN 50 MPH, THE MAXIMUM SPACE OF THE PROTECTIVE DEVICES IN FEET SHALL NOT EXCEED TWICE THE POSTED SPEED IN MILES PER HOUR OR 50 FEET, WHICHEVER SPACING IS GREATER.
      - b. ELIMINATE VERTICAL OFFSET BY CONSTRUCTING A STONE WEDGE OR GRADING TO A 4:1 SLOPE, OR FLATTER, OR USED PORTABLE BARRIER RAIL. THE CONTRACTOR SHALL SCHEDULE THE WORK SO AS TO MINIMIZE THE TIME TRAFFIC IS EXPOSED TO AN ELEVATION DIFFERENCE. ONCE THE CONTRACTOR BEGINS AN ACTIVITY THAT CREATES AN ELEVATION DIFFERENCE, THE ACTIVITY SHALL BE PURSUED AS A CONTINUOUS OPERATION UNTIL THE ELEVATION DIFFERENCE IS ELIMINATED.



TYPICAL SECTION - MILLING



TYPICAL SECTION - OVERLAY



- NOTES:
1. PAVEMENT HAS NOT BEEN DESIGNED FOR CONSTRUCTION TRAFFIC/ACTIVITIES. USE OF THESE SURFACES FOR CONSTRUCTION ACTIVITIES SHALL BE DONE AT THE CONTRACTOR'S CONVENIENCE AND RISK. THE ACTIVITY SHALL BE PURSUED AS A CONTINUOUS OPERATION UNTIL THE PAVEMENT RESULTING FROM THESE ACTIVITIES SHALL BE REPAIRED IN CONFORMANCE WITH THE INITIAL PAVEMENT SPECIFICATIONS.

1 ASPHALT PAVEMENT SECTION  
C2 NTS

3-SA-20-C  
Revised: 3/25/20

**FULGHUM**  
**MACINDOE**  
ASSOCIATES, INC.

10330 HAZEN VALLEY ROAD  
SUITE 1201  
KNOXVILLE, TN 37932  
OFFICE: 865.690.6419  
FAX: 865.690.6448  
www.fulghummacindoe.com

**WESTLAND CREEK SUBDIVISION**  
**TURN LANE DESIGN**  
8044 WESTLAND DRIVE  
KNOXVILLE, TENNESSEE 37923  
PLANNING FILE NO.: 55A20-C

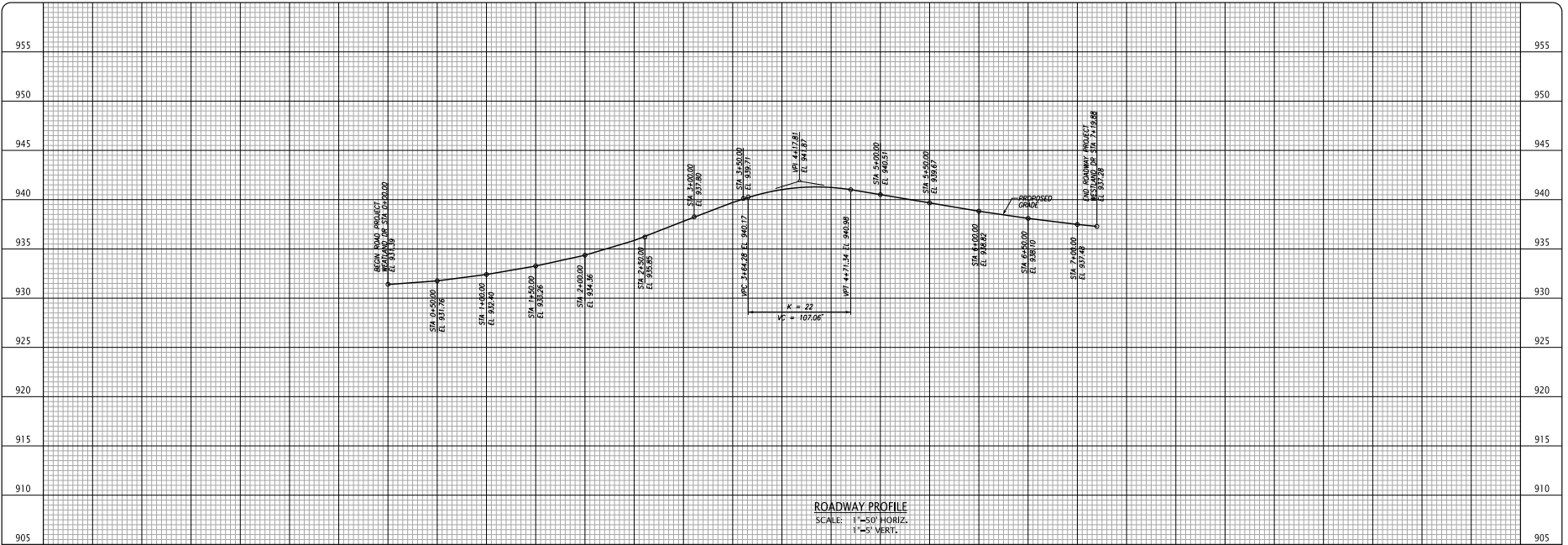
**S&E PROPERTIES, LLC**  
10000 WOODS LAKE  
KNOXVILLE, TN 37919  
CONTACT: MR. ERIC MOSELEY  
TELEPHONE NO.: 865.539.1112  
EMAIL: ERICMOSELEY@BELLSETHNET

PROJ. NO.	SCALE	DATE	BY	CHKD BY	APP. BY	DATE
3-SA-20-C	AS SHOWN	02/26/20	AMC	AMC	AMC	02/26/20
		10/17/18	AMC	AMC	AMC	10/17/18
		10/08/18	AMC	AMC	AMC	10/08/18

Project: 330.012  
Date: 10/08/18  
Scale: NTS

C2





ROADWAY PROFILE  
 SCALE: 1"=50' HORIZ.  
 1"=5' VERT.



WESTLAND CREEK SUBDIVISION  
 TURN LANE DESIGN  
 8444 WESTLAND DRIVE  
 KNOXVILLE, TENNESSEE 37923  
 PLANNING FILE NO.: 35A2-20-C

S&E PROPERTIES, LLC  
 1405 COLONY LANE  
 KNOXVILLE, TN 37919  
 CONTACT: MR. ERIC MOSELEY  
 TELEPHONE NO.: 865.539.1112  
 EMAIL: ERICMOSELEY@BELLSOUTH.NET

ROADWAY PROFILE

PROJ. NO.	AMC	DESIGNED BY	AMC	DRAWN BY	R/P
		REVISED PER COUNTY COMMENTS			02/26/20
		REVISED ROAD			11/19/19
		ISSUED FOR CONSTRUCTION			10/08/18
No.				Revision/Issue	Date

Project: 330.012  
 Sheet: C5  
 Date: 10/08/18  
 Scale: NOTED

3-SA-20-C  
 Revised: 3/25/20



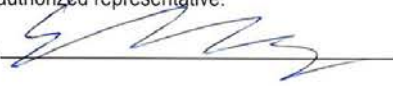
# Request to Postpone • Table • Withdraw

Name of Applicant: S & E Properties  
AS IT APPEARS ON THE CURRENT PLANNING COMMISSION AGENDA

Original File Number(s): 3-SA-20-C

Date Scheduled for Planning Review: March 12, 2020

Date Request Filed: Feb. 28, 2020 Request Accepted by: Tarren Barrett

<p align="center"><b>REQUEST</b></p> <p><input checked="" type="checkbox"/> <b>Postpone</b>  Please postpone the above application(s) until:  <u>April 9, 2020</u>  <small>DATE OF FUTURE PUBLIC MEETING</small></p> <p><input type="checkbox"/> <b>Table</b>  Please table the above application(s).</p> <p><input type="checkbox"/> <b>Withdraw</b>  Please withdraw the above application(s).</p> <hr/> <p><b>State reason for request:</b></p> <p><b>Need more time to address comments staff</b></p> <hr/> <p><b>Eligible for Fee Refund?</b>    <input type="checkbox"/> Yes    <input checked="" type="checkbox"/> No  Amount: _____  Approved by: _____  Date: _____</p> <hr/> <p align="center"><b>APPLICATION AUTHORIZATION</b></p> <p>I hereby certify that I am the property owner, applicant, or applicant's authorized representative.</p> <p>Signature: <u></u></p> <p>PLEASE PRINT  Name: <u>Eric Moseley</u></p> <p>Address: _____</p> <p>City: _____ State: _____ Zip: _____</p> <p>Telephone: _____</p> <p>E-mail: _____</p>	<p align="center"><b>PLEASE NOTE</b></p> <p>Consistent with the guidelines set forth in Planning's <i>Administrative Rules and Procedures</i>:</p> <p><b>POSTPONEMENTS</b>  Any first time (new) Planning application is eligible for one automatic postponement. This request is for 30 days only and does not require Planning approval if received no later than 3:30 p.m. on the Monday prior to the Planning Commission meeting. All other postponement requests must be acted upon by Planning before they can be officially postponed to a future public meeting.</p> <p><b>TABLINGS</b>  Any item requested for tabling must be acted upon by the Planning Commission before it can be officially tabled.</p> <p><b>WITHDRAWALS</b>  Any item is eligible for automatic withdrawal. A request for withdrawal must be received no later than 3:30p.m. on the Monday prior to the Planning Commission meeting. Withdrawal requests that do not meet these guidelines must be acted upon by Planning Commission before they can be officially withdrawn.</p> <p>Any new item withdrawn may be eligible for a fee refund according to the following:  Application withdrawal with fee refund will be permitted only if a written request is received prior to public notice. This request must be approved by either the Executive Director, or the Planning Services Manager. Applications may be withdrawn after this time, but without fee refund.</p>
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# DEVELOPMENT REQUEST

## DEVELOPMENT

- Development Plan
- Use on Review / Special Use

## SUBDIVISION

- Concept Plan
- Final Plat

## ZONING

- Plan Amendment
- Rezoning

*S+E Properties*

Applicant

*January 24, 2020*

Date Filed

*March 12, 2020*

Meeting Date (if applicable)

*3-SA-20-C*

File Number(s)

*(4-G-17-UR)*

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

*Eric Moseley*

Name

Company

*405 Montbrook*

Address

*Knoxville*

City

*TN*

State

*37923*

Zip

*865-454-3727*

Phone

*ericmoseley@icloud.com*

Email

## CURRENT PROPERTY INFO

*S and E Properties LLC 405 Montbrook Ln Knoxville, TN 37919*

Owner Name (if different)

Owner Address

Owner Phone

*454-3727*

*8444 Westland Dr, Knoxville, TN 37923*

Property Address

Parcel ID

*133 050*

*Southeast side of Westland Dr, east of Gothic Manor Ln*

General Location

Tract Size

*23.70 ac.*

*County Commission 5th District*

Jurisdiction (specify district above)

- City
- County

Zoning District

*PR*

*Southwest County*

Planning Sector

*LDR and HP*

Sector Plan Land Use Classification

*Planned*

Growth Policy Plan Designation

*Vacant land*

Existing Land Use

*N*

Septic (Y/N)

*First Utility*

Sewer Provider

*First Utility*

Water Provider

# REQUEST

DEVELOPMENT

- Development Plan     Use on Review / Special Use
- Residential     Non-Residential

Home Occupation (specify): \_\_\_\_\_

Other (specify): \_\_\_\_\_

SUBDIVISION

Westland Creek \_\_\_\_\_ Unit / Phase Number

Proposed Subdivision Name

Parcel Change

Combine Parcels     Divide Parcel    Total Number of Lots Created: 76

Other (specify): \_\_\_\_\_

Attachments / Additional Requirements

ZONING

Zoning Change: \_\_\_\_\_

    Proposed Zoning

Plan Amendment Change: \_\_\_\_\_

    Proposed Plan Designation(s)

Proposed Property Use (specify)                      Proposed Density (units/acre)                      Previous Rezoning Requests

Other (specify): \_\_\_\_\_

STAFF USE ONLY

**PLAT TYPE**

- Staff Review     Planning Commission

**ATTACHMENTS**

- Property Owners / Option Holders     Variance Request

**ADDITIONAL REQUIREMENTS**

- Design Plan Certification (Final Plat only)
- Use on Review / Special Use (Concept Plan only)
- Traffic Impact Study

<b>FEE 1:</b> 76 lots	2,780.00	<b>TOTAL:</b> \$ 2,780.00
<b>FEE 2:</b> 0108		
<b>FEE 3:</b>		

## AUTHORIZATION

Thomas Brechko  
Staff Signature

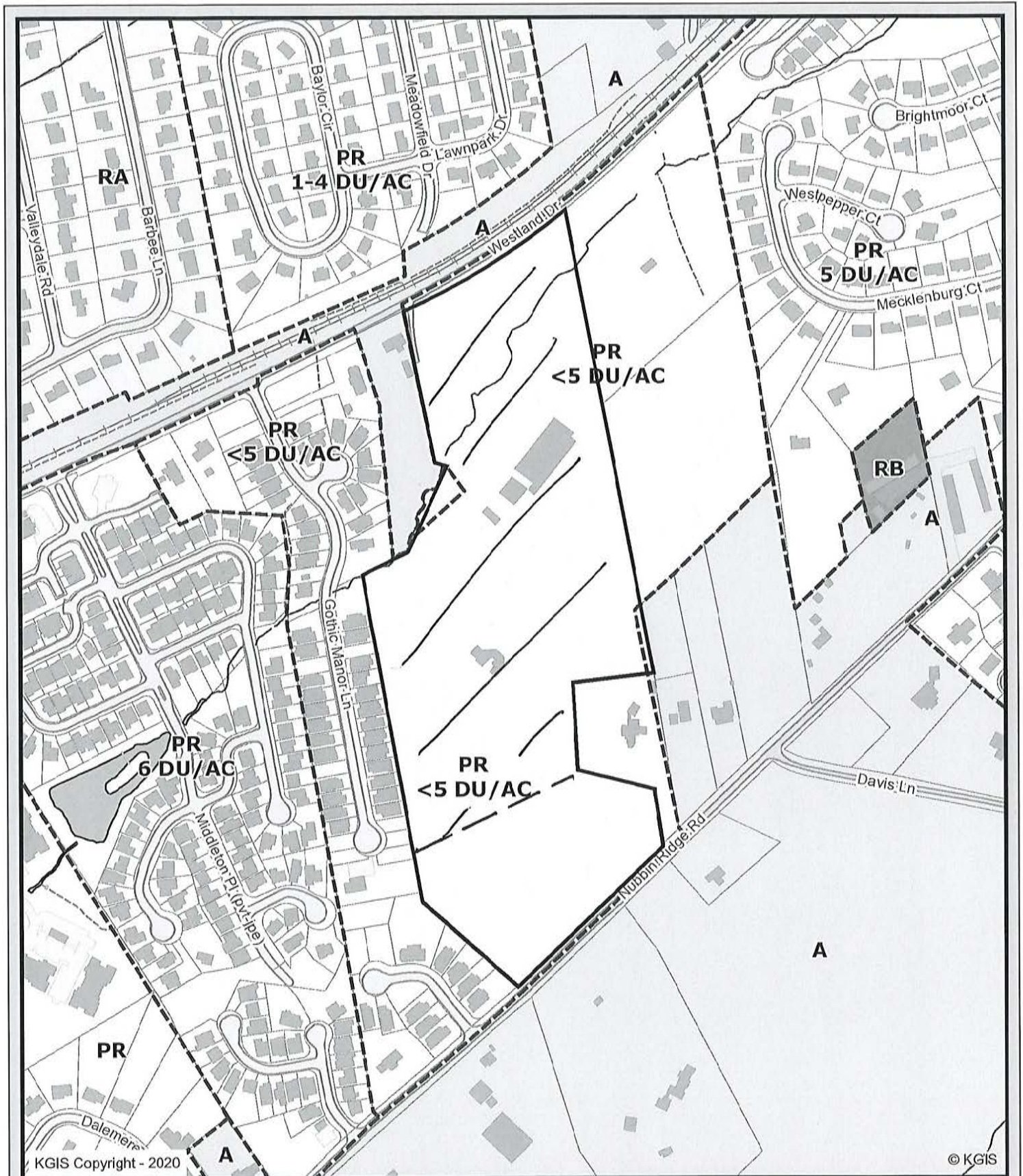
Thomas Brechko  
Please Print

1-24-2020  
Date

[Signature]  
Applicant Signature

Eric Moseley  
Please Print

Date

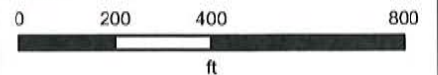


Letter Portrait

Knoxville - Knox County - KUB Geographic Information System



Printed: 1/24/2020 at 9:10:10 AM



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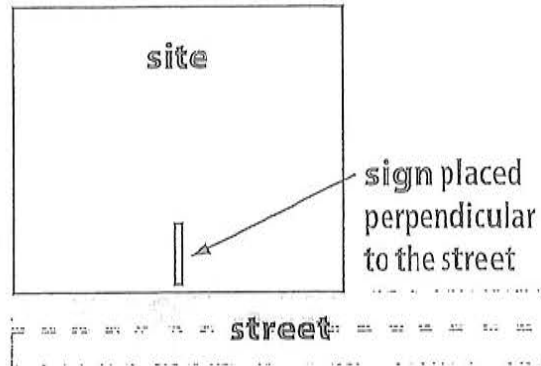
## REQUIRED SIGN POSTING AGREEMENT

For all rezoning, plan amendment, concept plan, use on review, right-of-way closure, and street name change applications, a sign must be posted on the subject property, consistent with the adopted Administrative Rules and Procedures.

At the time of application, staff will provide a sign(s) to post on the property as part of the application process. If the sign(s) go missing for any reason and need to be replaced, then the applicant will be responsible for picking up a new sign(s) from the Planning offices. The applicant will be charged a fee of \$10 for each replacement sign.

### LOCATION AND VISIBILITY

The sign must be posted in a location that is clearly visible from vehicles traveling in either direction on the nearest adjacent/frontage street. If the property has more than one street frontage, then the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.



### TIMING

The sign(s) must be posted 15 days before the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted 15 days before the next Planning Commission meeting.

I hereby agree to post and remove the sign(s) provided on the subject property consistent with the above guidelines and between the dates of:

February 26, 2020 and March 13, 2020  
 (15 days before the Planning Commission meeting) (the day after the Planning Commission meeting)

Signature: 

Printed Name: Eric Mosdy

Phone: 454-3727 Email: \_\_\_\_\_

Date: 1/23/20

File Number: 3-SA-20-C