



SUBDIVISION REPORT - CONCEPT/USE ON REVIEW

► **FILE #:** 1-SC-20-C
1-E-20-UR

AGENDA ITEM #: 20
AGENDA DATE: 1/9/2020

► **SUBDIVISION:** STEELE LANDING

► **APPLICANT/DEVELOPER:** HARDIN VALLEY LAND PARTNERS

OWNER(S): Hardin Valley Land Partners

TAX IDENTIFICATION: 117 027 AND PART OF 02508 & 02509 [View map on KGIS](#)

JURISDICTION: County Commission District 6

STREET ADDRESS: 11446 and 0 Hardin Valley Rd.

► **LOCATION:** Southeast of intersection of Hardin Valley Road & Steel Road.

SECTOR PLAN: Northwest County

GROWTH POLICY PLAN: Rural Area

WATERSHED: Conner Creek

► **APPROXIMATE ACREAGE:** 33.3 acres

► **ZONING:** PR (Planned Residential) & CA (General Business)

► **EXISTING LAND USE:** Vacant land

► **PROPOSED USE:** Attached Residential Subdivision

SURROUNDING LAND USE AND ZONING: North: Vacant land - CA (General Business)
South: Vacant land - A (Agricultural)
East: Vacant land - A (Agricultural)
West: Residences and vacant land - A (Agricultural) and CA (General Business)

► **NUMBER OF LOTS:** 133

SURVEYOR/ENGINEER: Fulghum MacIndoe & Associates, Inc.

ACCESSIBILITY: Access is via Hardin Valley Road, a minor arterial street with a 3-5 lane street section within an 88' right-of-way.

► **SUBDIVISION VARIANCES REQUIRED:** **VARIANCES REQUIRING PLANNING COMMISSION APPROVAL:**

1. Reduce the intersection radii for the right-of-way for Road A at Hardin Valley Rd., from 75' to 0'.
2. Reduce minimum horizontal curve radius from 250' to 150' for Road "A" from STA 1+00.19 to STA 2+92.51.
3. Reduce minimum horizontal curve radius from 250 ft to 150 ft for Road "A" from STA 13+47.12 to STA 15+82.74.
4. Reduce minimum K-value from K= 25 to K= 15 for Road "A" at STA 1+01.91.
5. Reduce minimum lot width from 25' to 20'.

WAIVER REQUIRING PLANNING COMMISSION APPROVAL:

1. Increase maximum road grade from 12% to 14% for Road "A" from

**APPROVED WAIVER BY THE KNOX COUNTY DEPARTMENT OF
ENGINEERING AND PUBLIC WORKS:**

1. Intersection grade waiver for Road A at Hardin Valley Road, from 1% up to 1.5%.

STAFF RECOMMENDATION:

- **APPROVE** variances 1-5 and waiver 1 because the site's topography and shape restrict compliance with the Subdivision Regulations and the proposed variances and waiver will not create a traffic hazard.

APPROVE the Concept Plan subject to 9 conditions.

1. Connection to sanitary sewer and meeting any other relevant requirements of the utility provider.
2. Provision of street names which are consistent with the Uniform Street Naming and Addressing System within Knox County (Ord 91-1-102).
3. Implementation of any recommended improvements identified in the Traffic Impact Study prepared by Fulghum MacIndoe & Associates, Inc., dated October 16, 2019 and as approved by the Knox County Department of Engineering and Public Works and Planning staff.
4. The final design and details for implementation of the intersection improvements for Road A at Hardin Valley Rd., including any traffic signal modification and pedestrian crossing improvements, shall be worked out between the applicant and the Knox County Department of Engineering and Public Works during the design plan stage for the subdivision.
5. Installation of sidewalks as identified on the concept plan. Sidewalks shall meet all applicable requirements of the Americans with Disabilities Act (ADA) and the Knox County Department of Engineering and Public Works. A bond shall be provided to the Knox County Department of Engineering and Public Works by the developer in an amount sufficient to guarantee the installation of the sidewalks.
6. At the design plan stage of the subdivision, the details and timing of the slope reforestation plan shall be worked out with the Knox County Department of Engineering and Public Works and Planning staff.
7. Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
8. Prior to certification of the final plat for the subdivision, establishing a homeowners association for the purpose of maintaining the private streets, storm water system, common area and any other commonly held assets.
9. Submitting to Planning staff prior to final plat review by the Planning Commission or Planning staff, the certification of design plan approval form as required by the Knoxville-Knox County Subdivision Regulations.

- **APPROVE the Development Plan for up to 133 attached dwelling units on individual lots, subject to 2 conditions.**

1. Meeting all applicable requirements of the Knox County Zoning Ordinance.
2. Providing documentation prior to final plat approval that the actual surveyed area that is zoned PR will allow the proposed number of dwelling units based on an approved zoning density of up to 4.4 du/ac.

With the conditions noted, this plan meets the requirements for approval in the PR zone and the other criteria for approval of a Use on Review.

COMMENTS:

The applicant is proposing to subdivide a 33.3 acre tract into 133 attached residential lots at a density of 4.36 du/ac. The density is based on the 30.5 acres that are zoned PR at a recently approved density of 4.4 du/ac. All the residential lots are located on the PR zoned property. The remaining 2.28 acres are zoned CA and include the realigned private right-of-way and proposed amenity area.

This is the fourth concept plan submitted for this site by the applicant with the last concept plan (5-SD-19-C / 5-G-19-UR) being approved on May 9, 2019 for 91 lots. This application has been submitted to add 42 lots as a result of the recent density increase approved by the Knox County Commission for this site changing the maximum density from 3 du/ac to 4.4 du/ac.

Under this new application, the proposed subdivision will be served by private streets with access out to Hardin Valley Rd. at the signalized intersection with Steele Rd. The private streets will have a 40' right-of-way with a pavement width of 22'. Pavers are proposed as the pavement surface.

The applicant has requested a variance from the Subdivision Regulations to reduce the minimum lot width for access from 25' to 20'. The proposed townhouse units would include a one car garage with a parking space in front of the garage. With the proposed site grading for the townhouse units and the reduced pavement width for the street, staff has expressed concern with the applicant that there may not be adequate parking for residents and guests on site.

The proposed subdivision will include sidewalks on one side of all streets that will allow for a connection to the proposed amenity area and the existing sidewalks located along Hardin Valley Rd.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE

1. The proposed attached residential subdivision will have minimal impact on local services since utilities are available to serve this site.
2. The proposed low density residential development is compatible with the scale and intensity of recent development that has occurred in this area.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

1. With the recommended conditions, the proposed residential development is consistent with all relevant requirements of the PR zoning, as well as other criteria for approval of a use on review.
2. The development is consistent with the following general standards for uses permitted on review: The proposal is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas since the development has access to a minor arterial street.
3. The proposed residential development at a density of 4.36 du/ac, is consistent in use and density with the PR zoning approved for this property.

CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

1. The Northwest County Sector Plan proposes low density residential development for this site. The proposed development at a density of 4.36 du/ac is consistent with the sector plan.
2. This site is located within the Rural Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: A traffic impact study was prepared by the applicant. The findings of that study were used in formulating the recommendations of this staff report.

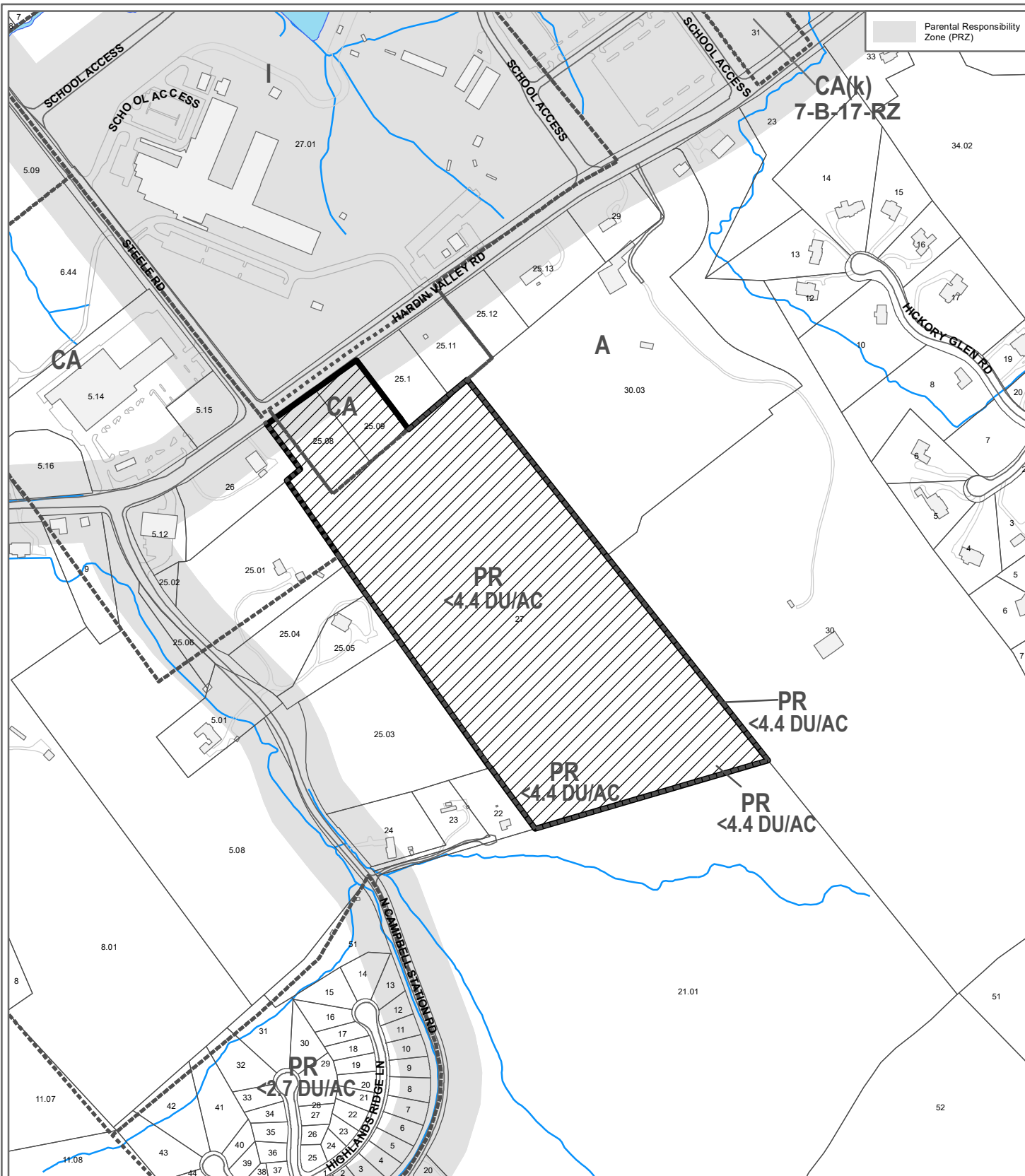
ESTIMATED STUDENT YIELD: 10 (public school children, grades K-12)

Schools affected by this proposal: Hardin Valley Elementary, Hardin Valley Middle, and Hardin Valley Academy.

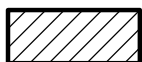
- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

Knoxville-Knox County Planning Commission's approval or denial of this concept plan request is final, unless the action is appealed to Knox County Chancery Court. The date of the Knox County Chancery Court hearing will depend on when the appeal application is filed.

Knoxville-Knox County Planning Commission's approval or denial of this use on review request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed.



**1-SC-20-C / 1-E-20-UR
CONCEPT PLAN/USE ON REVIEW**



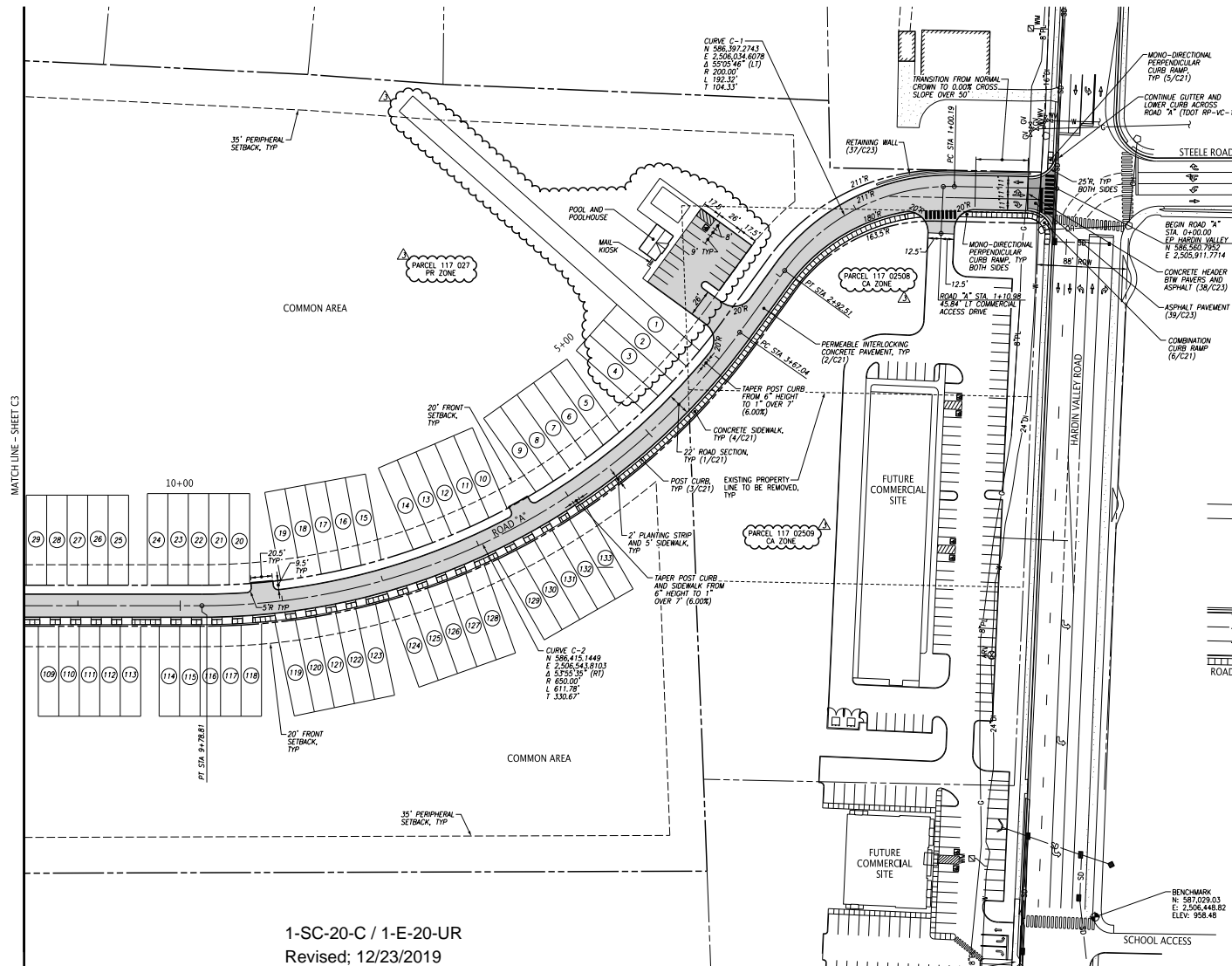
Attached Residential Subdivision in PR (Planned Residential) & CA (General Business)

Original Print Date: 12/18/2019 Revised:
Metropolitan Planning Commission * City / County Building * Knoxville, TN 37902

Petitioner: Hardin Valley Land Partners
Steele Landing

Map No: 117
Jurisdiction: County





GENERAL NOTES:

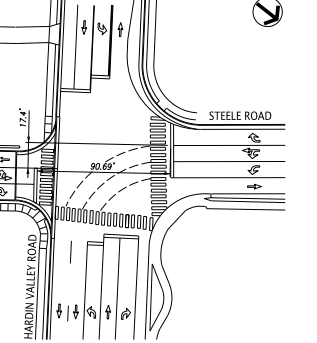
1. THE TOPOGRAPHIC & BOUNDARY DATA WAS TAKEN FROM BENCHMARK & ASSOCIATES, INC. DATED AUGUST 12, 2015.
2. UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM THE PROPERTY LINE, FACE OF CURB, EDGE OF PAVEMENT OR OUTSIDE FACE OF BUILDING.
3. THE MINERAL AGGREGATE BASE AND PERMEABLE INTERLOCKING CONCRETE PAVEMENT SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE SPECIFICATIONS AND THE KNOX COUNTY DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
4. CONCRETE CURB AND PAVEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. CONCRETE CURB AND PAVEMENT SHALL MEET THE MATERIALS, EQUIPMENT, AND CONSTRUCTION REQUIREMENTS OF THE KNOX COUNTY DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
5. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATIONS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
6. PROPERTY CONCERNED REFLECTS PARCELS 117.027, A PORTION OF PARCEL 117.02508, AND A PORTION OF PARCEL 117.02509 AS SHOWN ON KNOX PROPERTY CLT MAP 117. ZONING FOR PARCEL 117.027 IS PR, PLANNED RESIDENTIAL ZONE. ZONING FOR PARCELS 117.02508 AND 117.02509 IS CA, GENERAL BUSINESS ZONE. PARCEL 117.027 AREA = 30.54 AC. PARCEL 117.02508 AREA = 1.44 AC. PARCEL 117.02509 AREA = 1.44 AC. DISTURBED AREA = 34.32 AC.
7. BUILDING SETBACKS IN THE PR ZONE ARE 20'-FT. IN FRONT, 0'-FT. ON SIDE AND 15'-FT. IN REAR.
8. PLANNING COMMISSION CASE NUMBER: 1-SC-20-C/1-E-20-UR.
9. PROPOSED DENSITY: 1.33 DU/30.5 AC = 3.70 DU/AC.
10. MINIMUM LOT DIMENSIONS: 20'-FT. x 85'-FT. MINIMUM LOT AREA: 1,700 SF.

VARIANCE REQUESTS:

1. REDUCE INTERSECTION RIGHT-OF-WAY RADIUS FROM 75'-FT. TO 0'-FT. FOR ROAD "A" AT HARDIN VALLEY ROAD.
2. REDUCE MINIMUM HORIZONTAL CURVE RADIUS FROM 250'-FT. TO 150'-FT. FOR ROAD "A" STA 1+00.19 TO STA 2+92.51.
3. REDUCE MINIMUM HORIZONTAL CURVE RADIUS FROM 250'-FT. TO 150'-FT. FOR ROAD "A" STA 13+47.12 TO STA 15+82.74.
4. REDUCE MINIMUM K-VALUE FROM K=25 TO K=15 FOR ROAD "A" STA 1+01.91.
5. REDUCE MINIMUM LOT WIDTH FROM 25'-FT. TO 20'-FT.

WAIVER REQUESTS:

1. INCREASE MAXIMUM ROAD GRADE FROM 12% TO 14% FOR ROAD "A" STA 1+03.75 TO STA 13+38.53.
2. INCREASE MAXIMUM ROAD GRADE AT INTERSECTION FROM 1.00% TO 1.50% FOR ROAD "A" AT HARDIN VALLEY ROAD.



INTERSECTION DETAIL

SCALE: 1"=40'

LEGEND:

	ASPHALT PAVEMENT
	PERMEABLE INTERLOCKING CONCRETE PAVEMENT
	CONCRETE PAVEMENT
	PROPERTY LINE
	ROAD CENTERLINE
	SETBACK
	PROPERTY LINE TO BE REMOVED
	TYPICAL
	DETAIL REF. (DETAIL NO./SHT. NO.)

FULGHUM & ASSOCIATES, INC.
 10330 HARDEN VALLEY ROAD
 SUITE 201
 KNOXVILLE, TN 37932
 OFFICE: 865.690.6419
 FAX: 865.690.6449
 www.fulghummacindoe.com

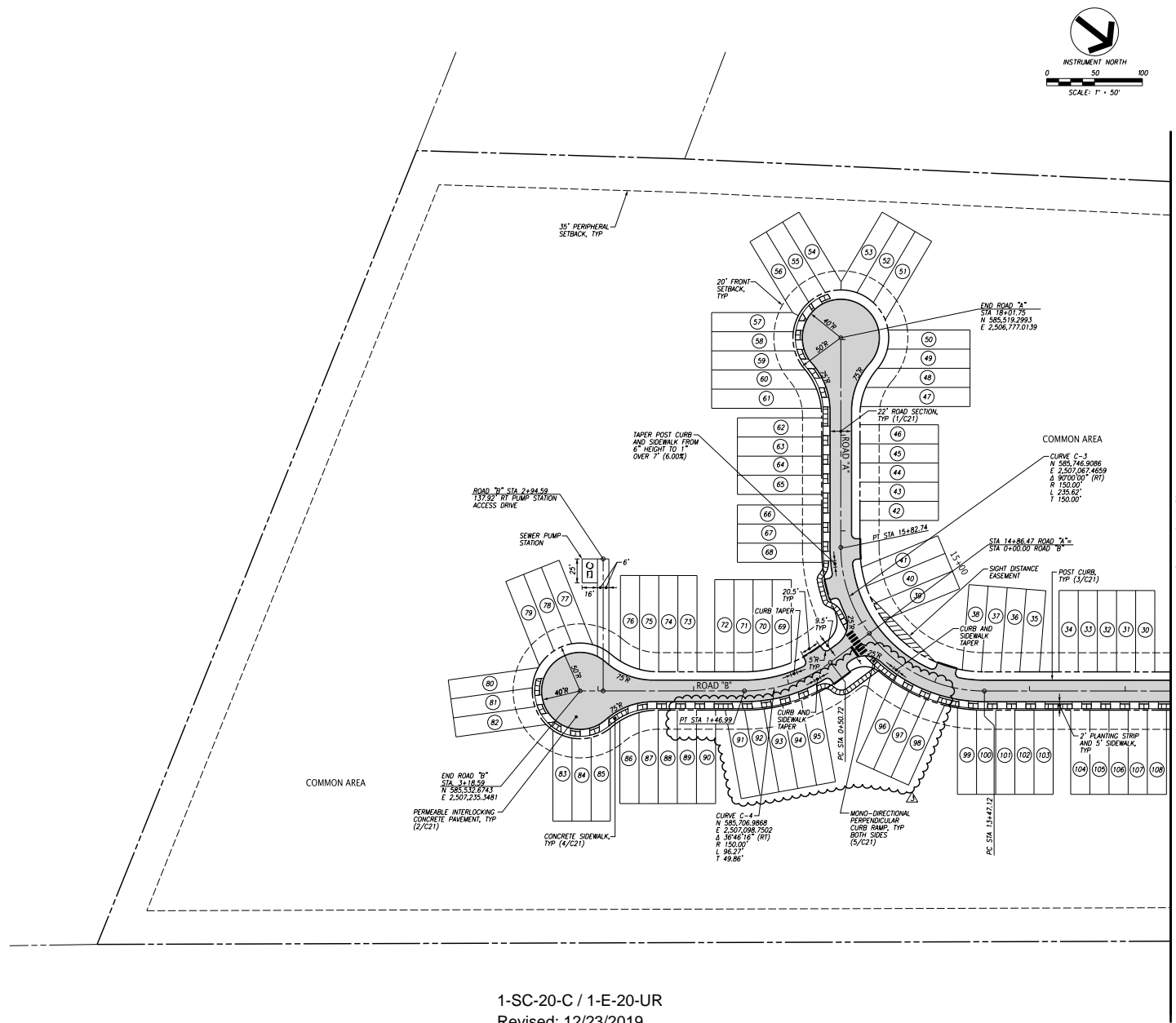
PRELIMINARY NOT FOR CONSTRUCTION

STEEL LANDING SUBDIVISION
 HARDIN VALLEY ROAD
 KNOXVILLE, TENNESSEE 37932

HARDIN VALLEY LAND PARTNERS, LLC
 10784 HARDIN VALLEY ROAD
 KNOXVILLE, TN 37932
 CONTACT: RUSTY BATTLE
 TELEPHONE NO.: 865.690.6449
 EMAIL: RUSTY@HARDINVALEYLAND.COM

LAYOUT AND PAVING PLAN

DESIGNED BY	DATE
JCM	12/23/19
REVISIONS	DATE
REVISED PER PLANNING STAFF COMMENTS	11/11/19
REVISED LOT NUMBERS	08/02/19
REVISED PER KNOX COUNTY COMMENTS	07/10/19
ISSUED FOR CONSTRUCTION	
Revision/Issue	No.
Project	548.001
Sheet	C2
Date	07/10/19
Scale	1"=50'



NOTES:



STEELE LANDING SUBDIVISION
HARDIN VALLEY ROAD
KNOXVILLE, TENNESSEE 37932

**HARDIN VALLEY LAND
PARTNERS, LLC**
10784 HARDIN VALLEY ROAD
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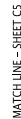
LAYOUT AND PAVING PLAN

PROJ. NO.	WC#	DESIGNED BY	WC#	DRAWN BY	JCM
Project	548.001	<div>REVISED PER PLANNING STAFF COMMENTS</div> <div>ADDED LOTS, REVISED LOT NUMBERS</div> <div>ADDED PARALLEL PARKING</div> <div>ISSUED FOR CONSTRUCTION</div>			
Date	07/10/19				
Scale	1"=50'				
				Sheet	
				C3	

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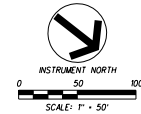
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1-SC-20-C / 1-E-20-UR
Revised: 12/23/2019



1-SC-20-C / 1-E-20-UR
Revised: 12/23/2019


 BENCHMARK
N: 587,029.03
E: 2,506,448.82
ELEV: 958.48



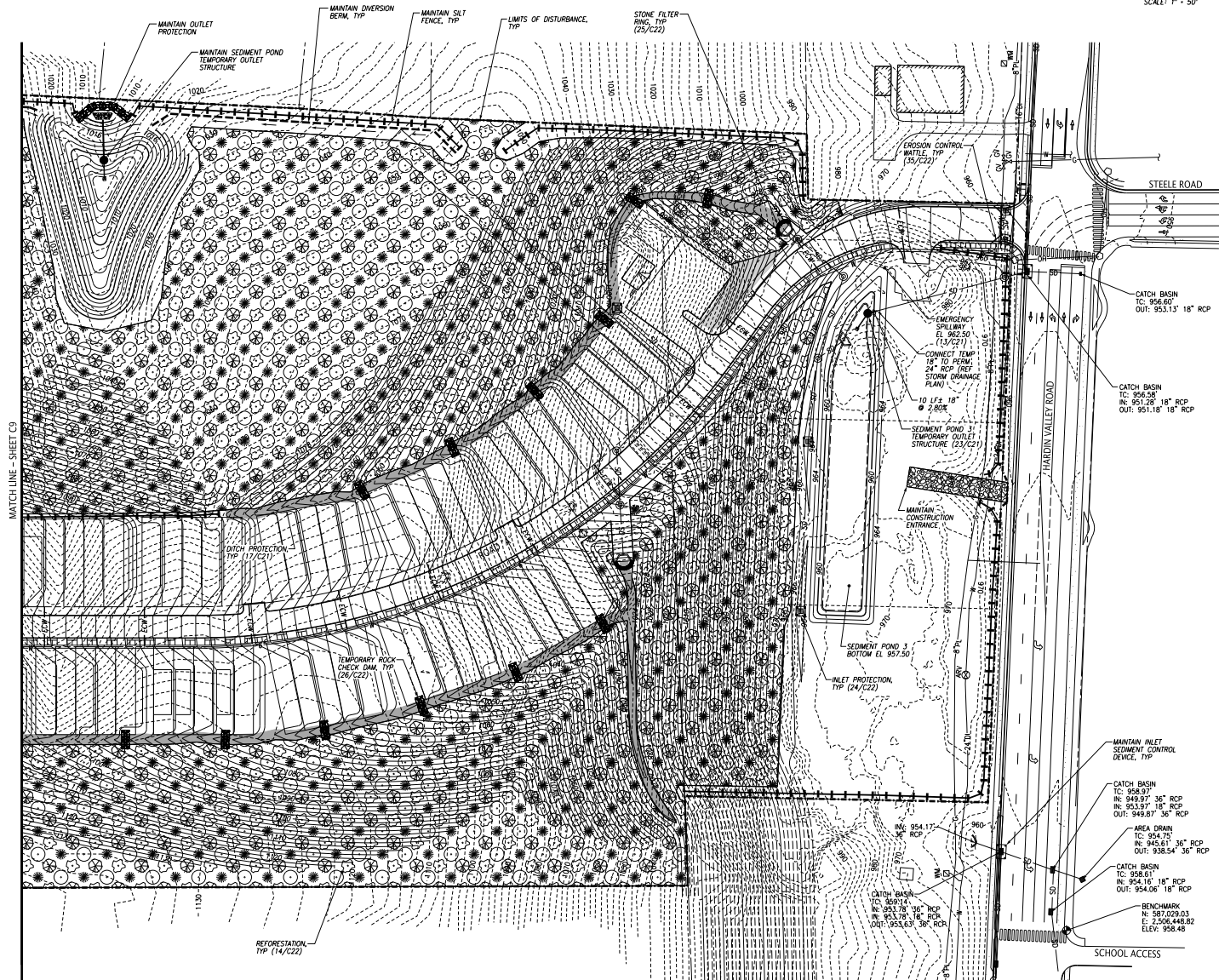
GRADING NOTES:

1. UNLESS NOTED OTHERWISE, THE PROPOSED GRADES SHOWN ON THESE DRAWINGS ARE FINISHED GRADE. EXISTING AND PROPOSED ELEVATIONS SHALL BE TO THE TOP OF THE CURB.
2. THE ACCURACY OF THE GRADES IS DEPENDANT ON THE DATA PROVIDED BY THE OWNER OR OWNER'S REPRESENTATIVE. THE ENGINEER HAS ACCEPTED THE DATA FOR CONSTRUCTION.
3. THE SITE SHALL BE CLEARED AND GROUND WITHIN THE LIMITS OF EXCAVATION, COMPLETELY DISPOSED OF ALL MATERIALS RESULTING FROM CLEARING. ALL EXISTING 18" TO 36" DIAMETER SPOOLS SHALL BE PERMITTED UNLESS PRIOR APPROVAL IS OBTAINED BY THE LOCAL FIRE DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO MEET ALL OF THE REQUIREMENTS AS SPECIFIED BY THE FIRE DEPARTMENT.
4. ALL TREES, STAMPS, BOLLERS, AND OTHER OBSTRUCTIONS SHALL BE REMOVED PRIOR TO EXCAVATION. ALL EXISTING SUBGRADE, ROCK SHALL BE SCARIFIED TO DEPTH OF 1 FT. TO 1 1/2" OF SUBGRADE.
5. STRIP TOPSOIL 6" TOPSOIL (6" IN MIN.) AND TEMPORARILY STOCKPILE EXCAVATED MATERIALS. INSTALL SILT FENCE OR OTHER APPROPRIATE EROSION CONTROL STRUCTURES ON THE DOWN HILL SIDE OF THE STOCKPILE.
6. PROOF ROLL ALL AREAS TO RECEIVE FILL. PROOF ROLL WITH A FULLY LOADED TANDEM AXLE DUMP TRUCK USING 100% OF THE STOCKPILE MATERIAL. THE PROOF ROLLING SHALL BE UNDERGOOT AND BACKFILLED WITH AN ENGINEERED FILL. THE PROOF ROLLING SHALL BE APPROVED BY THE PROJECT GEOLOGICAL ENGINEER.
7. AREAS THAT EXHIBIT BARE SOIL OR OTHERWISE UNSUITABLE FOR PLANTING SHALL BE COVERED WITH A LEVEL OF FILL FOLLOWED BY BACKFILL THE UNDERCUT AREAS WITH AN ENGINEERED FILL. T00T .50", T00T OR .60" FILL.
8. FILL MATERIAL SHALL BE SATISFACTORY MATERIAL FREE FROM ROCKS AND OTHER MATERIALS. THE SATISFACTORY MATERIAL AND 4" IN. TOPSOIL MATERIAL SHALL ALSO BE FREE FROM ROCKS AND OTHER MATERIALS. THE SATISFACTORY MATERIAL SHALL BE LARGER THAN 1/4" IN. THE TOP 6" IN. OF AN EMBANKMENT.
9. FILL SOILS SHALL HAVE A PI LESS THAN 30 & A MAXIMUM DRY DENSITY OF 120 PCF.
10. UNSATISFACTORY SOILS INCLUDE MATERIALS THAT ARE TOO TOOT OR TOO SOFT, EXPANSIVE SOILS AND SOILS CLASSIFIED PI, OH, AND/OR LEGALLY DEPOSED OF UNSATISFACTORY SOILS. THE CONTRACTOR SHALL BE RESPONSIBLE TO IMPROVE OR REMOVE THE UNSATISFACTORY SOILS TO THE SATISFACTION OF THE OWNER OR GEOLOGICAL ENGINEER.
11. FILL MATERIAL SHALL BE PLACED IN LOOSE, HORIZONTAL LAYERS NOT EXCEEDING 12" IN THICKNESS. IF OTHERWISE, COMPACT EACH LAYER TO AT LEAST 90% OF THE MAXIMUM DENSITY. THE MAXIMUM DRY DENSITY OF ALL FILL BENEATH THE SUBGRADE AND THE UPPER 12" IN. BENEATH THE SUBGRADE SHALL BE 95% OF THE MAXIMUM DRY DENSITY. THE MOISTURE CONTENT TO WITHIN -1" TO +3% OF THE OPTIMUM MOISTURE CONTENT.
12. A 6" IN. (MIN.) LAYER OF TOPSOIL SHALL BE PLACED OVER ALL AREAS OF BARE SOIL. THE TOPSOIL SHALL BE PLACED AT ELEVATIONS AS SHOWN ON THE DRAWINGS.
13. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS OR ON THE SITE. PROVIDE NECESSARY MEASURES TO KEEP THE SITE FREE-DRAINING.
14. NO SLOPE SHALL EXCEED 2:1 UNLESS PROPER SLOPE STABILIZATION MEASURES ARE IMPLEMENTED.
15. PROTECT AND MAINTAIN SURROUNDS UNTIL PLACEMENT OF FINAL TOPSOIL AND FILL.
16. CONTRACTOR IS RESPONSIBLE TO ASSURE THAT THE FINISHED GRADES CONFORM WITH THE DETERMINED POINT DATA PARAMETERS. THE CONTRACTOR SHALL BE RESPONSIBLE TO FINAL SEEDING, SUBMIT AN AS-BUILT DRAWING OF THE OWNER'S RECORD.
17. VERIFY GRADES WHEREVER NECESSARY TO BRING THE PROPOSED LINES, ELEVATIONS, SLOPES, AND CROSS-SECTIONS OF THE GRADING WORK TO WITHIN THE FOLLOWING TOLERANCES: 0.1" VERTICAL, 0.1" HORIZONTAL, 0.1" THE PLANS, SLOPES 0.1", UNPAVED AREAS 0.1", SIDEWALKS AND DRIVEWAYS 0.1".
18. SLOPES GREATER THAN 4:1 SLOPE AT A HIGHER GRADE THAN 6" TO 1" SHALL BE TESTED BY THE PROJECT GEOLOGICAL ENGINEER TO DETERMINE THE STABILITY OF THE SLOPE.
19. DISTURBED AREAS SHALL BE STABILIZED IN AN EXPEDIENT MANNER TO MINIMIZE TIME OF EXPOSURE TO WEATHER.

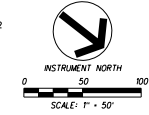
LEGEND:

- | | |
|---|-----------------------------------|
| — 1020 — | PROPOSED CONTOUR |
| --- 1020 --- | EXISTING CONTOUR |
|  1020.00 | PROPOSED SPOT ELEVATION |
| TYP | TYPICAL |
| (1/C2) | DETAIL REF. (DETAIL NO./SHT. NO.) |

		10330 HARDEN VALLEY ROAD SUITE 200 KNOXVILLE, TN 37932 OFFICE: 865.650.6419 FAX: 865.650.6448 www.fulghummacindoe.com	
PRELIMINARY NOT FOR CONSTRUCTION		STEEL LANDING SUBDIVISION HARDEN VALLEY ROAD KNOXVILLE, TENNESSEE 37932	
HARDEN VALLEY LAND PARTNERS, LLC 10784 HARDEN VALLEY ROAD KNOXVILLE, TN 37932 CONTACT: RUSTY BITHLE TELEPHONE NO. 865.670.7426 EMAIL: RUSTY@HARDENVALLEYLAND.COM		GRADING PLAN	
DESIGNED BY	DRAWN BY		
PROJECT NO.	NO.	NO.	NO.
Project	548.001	Sheet	C4
Date	07/10/19	Revised Per	12/25/19
Scale	1"=50'	Revised Grading At	ENTRANCE/PARKING
		Issued For	CONSTRUCTION
		Revision/Issue	07/10/19
		No.	Date



BENCHMARK
 N: 587.029.03
 E: 2,506.448.82
 ELEV: 958.48



EROSION CONTROL NOTES:

1. REFERENCE SHEET C6 FOR EROSION CONTROL NOTES.
2. MAINTAIN STAGE 1 CONSTRUCTION ENTRANCE/EXIT & OTHER EROSION & SEDIMENT CONTROL DEVICES.
3. INSTALL, ADJUST, AND MAINTAIN STAGE 2 EROSION & SEDIMENT CONTROLS AS SHOWN ON THIS PLAN INCLUDING INSTALLATION OF OTHER BMP'S NEEDED TO MEET TDC'S PERFORMANCE REQUIREMENTS. THESE BMP'S MAY INCLUDE SEDIMENT TRAPS, DIVERSION BERMS, SLOPE DRAINS, ETC.
4. NOTE THAT THE TYPICAL LIFESPAN OF SILT FENCE IS 9 MO. REPLACE OLD SILT FENCE. INCLUDE THE COST OF THIS IN THE MAINTENANCE OF EROSION & SEDIMENT CONTROLS PAY ITEM.
5. CLEAR AND GRUB THE AREA WITHIN THE LIMITS OF DISTURBANCE.
6. BEGIN MASS GRADING, STORMWATER SYSTEM, & UTILITY CONSTRUCTION.
7. INSTALL INLET PROTECTION AS DESCRIBED ON THIS PLAN. MAINTAIN INLET PROTECTION ALONG HARDIN VALLEY RD. AS SHOWN.
8. ONCE SUBGRADES ARE ACHIEVED APPLY TOPSOIL, SEEDING, MULCH, OR OTHER PROTECTION TO THE DISTURBED AREAS.
9. DO NOT DISTURB MORE THAN 25 ACRES AT ANY TIME WITHOUT STABILIZING PREVIOUSLY DISTURBED AREAS.

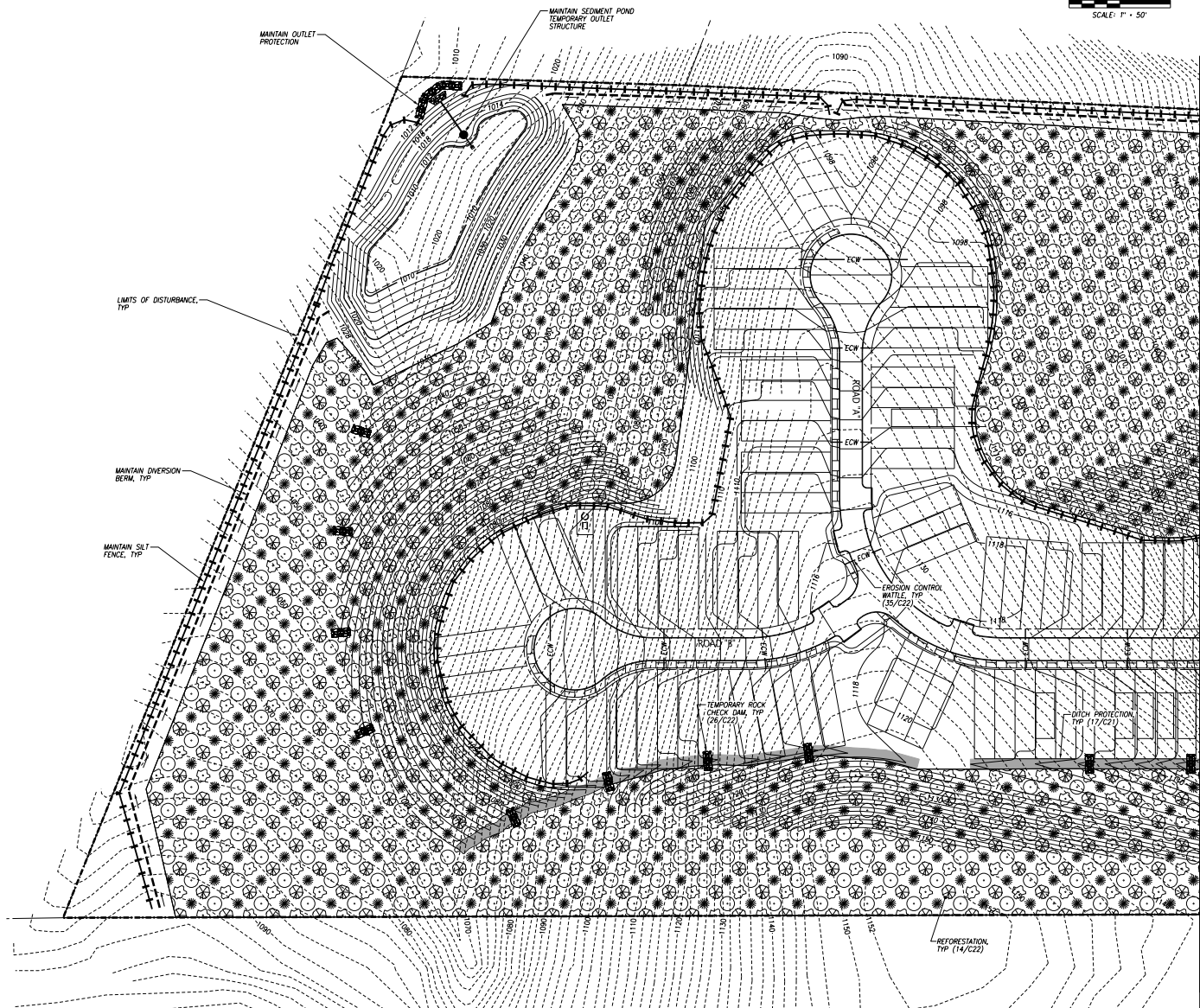
LEGEND:

- | | |
|--|-----------------------------------|
| | DITCH PROTECTION |
| | REFORESTATION |
| | EXISTING CONTOUR |
| | PROPOSED CONTOUR |
| | SILT FENCE |
| | EROSION CONTROL MATTE |
| | DIVERSION BERM |
| | DETAIL REF. (DETAIL NO./SHT. NO.) |
| | TYPICAL |
| | ROCK CHECK DAM |
| | INLET PROTECTION |

1-SC-20-C / 1-E-20-UR
 Revised: 12/23/2019

 10330 HARDEN VALLEY ROAD SUITE 201 KNOXVILLE, TN 37932 OFFICE: 865.690.6419 FAX: 865.690.6448 www.fulghummacindoe.com	
PRELIMINARY NOT FOR CONSTRUCTION	
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HARDIN VALLEY LAND PARTNERS, LLC 10784 HARDIN VALLEY ROAD KNOXVILLE, TN 37932 CONTACT: RUSTY BITTLE TELEPHONE NO.: 865.650.0000 EMAIL: RUSTY@HARDINVALLEYLAND.COM	
EPSC PLAN - STAGE 2	
DRAWN BY: JCM DESIGNED BY: WCF PROJ. NO.: 1548.001	DATE: 12/23/19 REVISED PER LAYOUT CHANGES: 08/05/19 ADDED DITCH BASINS: 07/10/19 ISSUED FOR CONSTRUCTION: 07/10/19
Project: 1548.001 Date: 07/10/19 Scale: 1"=50'	Sheet: C8

File Name: 1-SC-20-C / 1-E-20-UR
Plot Date: 12/23/2019



EROSION CONTROL NOTES:

1. REFERENCE SHEET C6 FOR EROSION CONTROL NOTES.
2. REFERENCE SHEET C8 FOR STAGE 2 SEQUENCING NOTES AND LEGEND.

1-SC-20-C / 1-E-20-UR
Revised: 12/23/2019



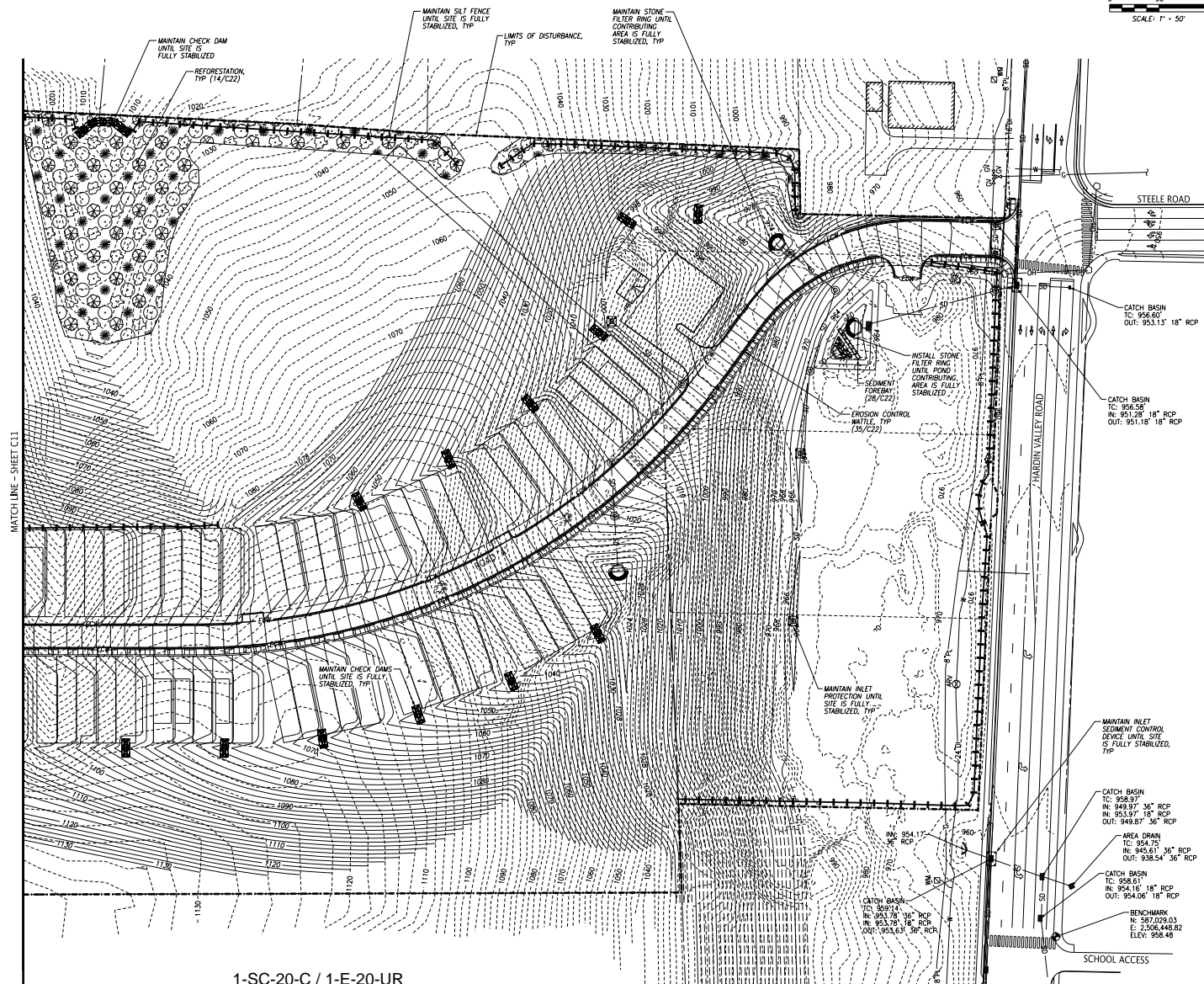
PRELIMINARY
NOT FOR
CONSTRUCTION

STEELE LANDING SUBDIVISION
HARDIN VALLEY ROAD
KNOXVILLE, TENNESSEE 37932

HARDIN VALLEY LAND
PARTNERS, LLC
10784 HARDIN VALLEY ROAD
KNOXVILLE, TN 37932
CONTACT: RUSTY BITTLE
TELEPHONE NO.: 865.657.0145
EMAIL: RUSTY@HARDINVALLEYLAND.COM

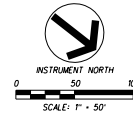
EPSC PLAN - STAGE 2

Proj. No.	Scale	Revised	Issued	Revision/Issue	Date
546.001	1"=50'	12/23/19	07/10/19		
C9					



1-SC-20-C / 1-E-20-UR
 Revised: 12/23/2019

BENCHMARK
 N: 587,029.03
 E: 2,506,448.82
 ELEV: 958.48



EROSION CONTROL NOTES:

1. REFERENCE SHEET C6 FOR EROSION CONTROL NOTES.

STAGE 3 SEQUENCING NOTES:

1. STAGE 3 BEGINS AFTER THE PAVEMENT (BINDER COURSE, MIN.) IS READY TO TURN OVER TO THE GENERAL CONTRACTOR.
2. THE GENERAL CONTRACTOR & OTHER SUB-CONTRACTORS SHALL SUBMIT A NOI TO KNOX COUNTY PRIOR TO BEGINNING WORK.
3. THROUGHOUT STAGE 3, ADJUST, MAINTAIN, & REPLACE SILT FENCE, ROCK CHECK DAMS, & INLET PROTECTION AS NECESSARY TO MEET DEC AND KNOX COUNTY'S PERFORMANCE STANDARDS.
4. INSTALL ADDITIONAL EROSION PROTECTION & SEDIMENT CONTROL DEVICES TO PREVENT EROSION AT THE PAVEMENT AND SOIL INTERFACE AND TO PREVENT SEDIMENT RUNOFF ONTO THE NEW PAVEMENT.
5. FOR TEMPORARY SEDIMENT PONDS 1 AND 2, ONCE THE CONTRIBUTING AREA IS FULLY STABILIZED, REMOVE THE BERM AND TEMPORARY OUTLET CONTROLS, AND REFOREST THE AREAS AS SHOWN ON THIS PLAN.
6. FOR TEMPORARY SEDIMENT POND 3, ONCE THE CONTRIBUTING AREA IS FULLY STABILIZED, CLEAN OUT ANY ACCUMULATED SEDIMENT FROM THE SEDIMENT POND, PERFORM ANY GRADING, RE-SPREADING OF TOPSOIL AND SEEDING NECESSARY TO CONVERT THE TEMPORARY SEDIMENT POND INTO PERMANENT DRY EXTENDED DETENTION POND AS SHOWN ON THE GRADING PLAN.
7. BEGIN HOUSE CONSTRUCTION & INSTALL REMAINING SITE UTILITIES.
8. AS SOON AS PRACTICAL, RE-SPREAD TOPSOIL AND APPLY SEEDING & MATTING OR MULCH TO DISTURBED AREAS.
9. REMOVE AND DISPOSE OF REMAINING EROSION & SEDIMENT CONTROL DEVICES ONCE THE SITE IS FULLY STABILIZED.
10. THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (NOTI) AFTER THE COMPLETE INSTALLATION AND SUCCESSFUL ESTABLISHMENT OF THE FINAL STABILIZATION ACTIVITIES HAVE OCCURRED AT THE SITE.
11. DO NOT DISTURB MORE THAN 25 ACRES AT ANY TIME WITHOUT STABILIZING PREVIOUSLY DISTURBED AREAS.

LEGEND:

	REFORESTATION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	SILT FENCE
	DETAIL REF. (DETAIL NO./SHT. NO.)
	TYPICAL
	ROCK CHECK DAM
	INLET PROTECTION

FULGHUM
MACINDOE
 ASSOCIATES, INC.
 10330 HARDEN VALLEY ROAD
 SUITE 201
 KNOXVILLE, TN 37932
 OFFICE: 865.690.6419
 FAX: 865.690.6448
 www.fulghummacindoe.com

PRELIMINARY
NOT FOR
CONSTRUCTION

STEEL LANDING SUBDIVISION
 HARDEN VALLEY ROAD
 KNOXVILLE, TENNESSEE 37932

HARDIN VALLEY LAND
PARTNERS, LLC
 10784 HARDIN VALLEY ROAD
 KNOXVILLE, TN 37932
 CONTACT: RUSTY BITTLE
 TELEPHONE NO.: 865.657.1155
 EMAIL: RUSTY@HARDINVALLEYLAND.COM

EPSC PLAN - STAGE 3

DESIGNED BY	DATE	BY	DATE
JCM	12/23/19		
REVISION	DATE	BY	DATE
REVISED PER LAYOUT CHANGES	08/05/19		
ADDED CATCH BASINS	07/10/19		
ISSUED FOR CONSTRUCTION			
Revision/Issue	No.	Date	

Project
 548.001

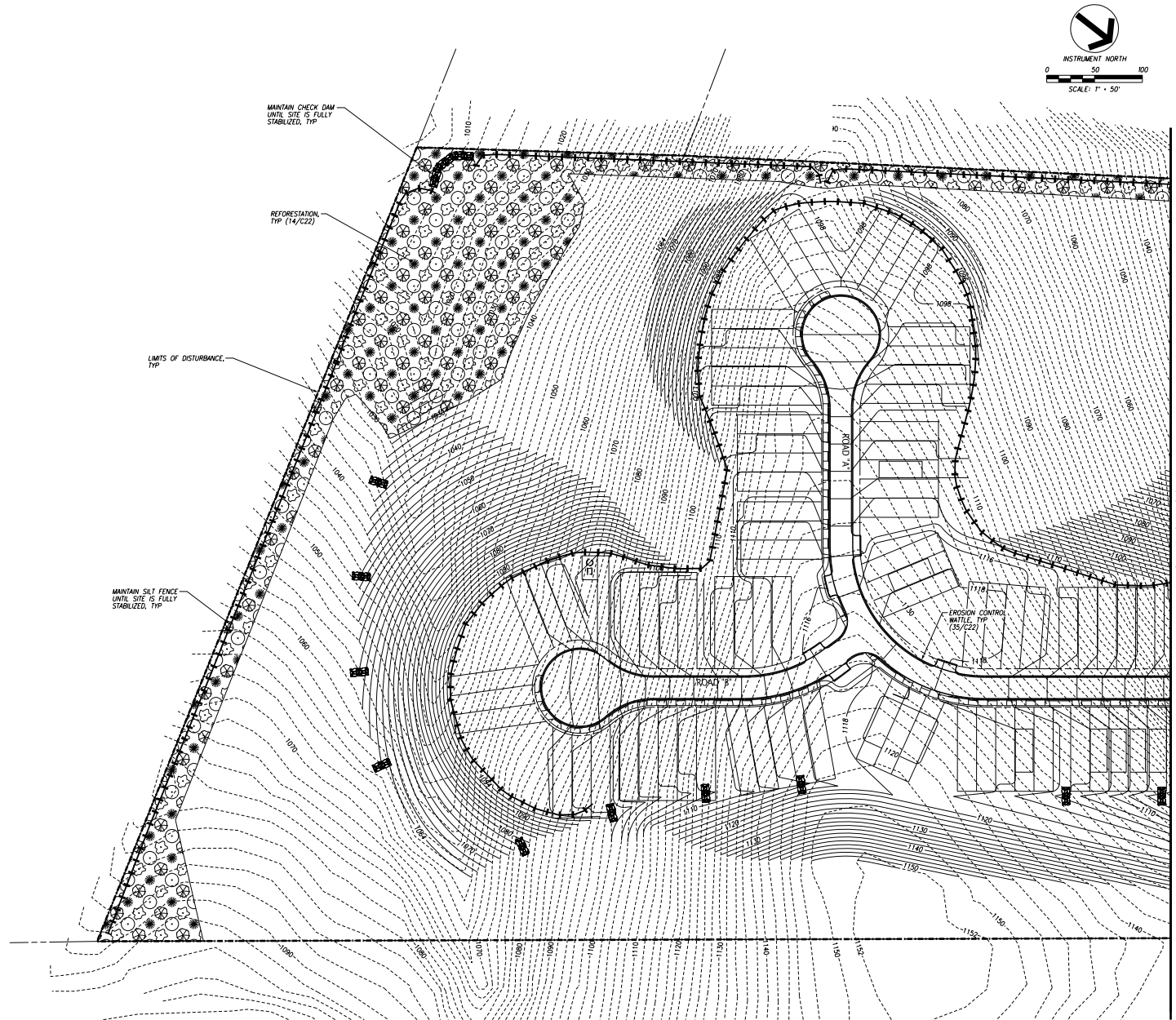
Date
 07/10/19

Scale
 1"=50'

C10

File Name: 1-SC-20-C / 1-E-20-UR
Plot Name: 12/23/2019

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- GRADING NOTES:
1. REFERENCE SHEET C6 FOR EROSION CONTROL NOTES.
 2. REFERENCE SHEET C10 FOR STAGE 3 SEQUENCING NOTES AND LEGEND.

1-SC-20-C / 1-E-20-UR
Revised: 12/23/2019

FULGHUM MACINDOE & ASSOCIATES, INC. 10330 HARDEN VALLEY ROAD SUITE 201 KNOXVILLE, TN 37932 OFFICE: 865.690.6419 FAX: 865.690.6448 www.fulghummacindoe.com	
PRELIMINARY NOT FOR CONSTRUCTION	
STEELE LANDING SUBDIVISION HARDIN VALLEY ROAD KNOXVILLE, TENNESSEE 37932	
HARDIN VALLEY LAND PARTNERS, LLC 10784 HARDEN VALLEY ROAD KNOXVILLE, TN 37932 CONTACT: RUSTY BITTLE TELEPHONE NO.: 865.690.6448 EMAIL: RUSTY@HARDINVALLEYLAND.COM	
EPSC PLAN - STAGE 3	
PROJECT NO.	548.001
DATE	07/10/19
SCALE	1"=50'
DESIGNED BY	WCF
CHECKED BY	JCM
ISSUED FOR CONSTRUCTION	12/23/19
REVISION/ISSUE	07/10/19
NO.	Date
C11	



DEVELOPMENT REQUEST



DEVELOPMENT

- ☐ Development Plan
☐ Use on Review / Special Use

SUBDIVISION

- ☒ Concept Plan
☐ Final Plat

ZONING

- ☐ Plan Amendment
☐ Rezoning

Hardin Valley Land Partners

Applicant

11-25-19

Date Filed

01/09/2020

Meeting Date (if applicable)

1-SC-20-C / 1-E-20-UR

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☒ Applicant ☐ Owner ☐ Option Holder ☐ Project Surveyor ☐ Engineer ☐ Architect/Landscape Architect

Rusty Bittle

Hardin Valley Land Partners

Name

Company

10780 Hardin Valley Road

Knoxville

TN

37932

Address

City

State

Zip

865-670-7426

rusty@hardinvalleyland.com

Phone

Email

CURRENT PROPERTY INFO

Hardin Valley Land Partners

10780 Hardin Valley Road

865-670-7426

Owner Name (if different)

Owner Address

0 Hardin Valley Road & 11446 Hardin Valley Road

117 027 & 117 02508

Owner Phone

and 117 02509

Property Address

Parcel ID

Intersection of Steele Road and Hardin Valley Road

30.48 ac & 1.41 ac

General Location

Tract Size

6th

PR & CA

Jurisdiction (specify district above)

☐ City ☒ County

Zoning District

Northwest County

LDR + RC

Rural Area

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

AgForVac

No

WKUD

WKUD

Existing Land Use

Septic (Y/N)

Sewer Provider

Water Provider

31.89
total

VARIANCES REQUESTED



1. Reduce minimum horizontal curve radius from 250-ft to 200-ft for Road "A" from STA 1+00.19 to STA 2+92.51

Justify variance by indicating hardship: Site topography

2. Reduce minimum horizontal curve radius from 250-ft to 150-ft for Road "A" from STA 13+47.12 to STA 15+82.74

Justify variance by indicating hardship: Site topography

3. Reduce minimum lot width from 25-ft to 20-ft

Justify variance by indicating hardship: Site topography

4. Increase maximum road grade from 12% to 14% for Road "A" from STA 1+01.91 to STA 13+38.53

Justify variance by indicating hardship: Site topography

5. Reduce minimum K-value from K=25 to K=15 for Road "A" at STA 1+01.91

Justify variance by indicating hardship: Site topography

6. _____

Justify variance by indicating hardship: _____

7. _____

Justify variance by indicating hardship: _____

I certify that any and all variances needed to meet regulations are requested above, or are attached. I understand and agree that no additional variances can be acted upon by the legislative body upon appeal and none will be requested. I hereby waive the requirement for approval or disapproval of the plat within sixty (60) days after its submission, in accordance with the provisions of Tennessee Code Annotated 13-3-404.


Signature



11/12/19
Date

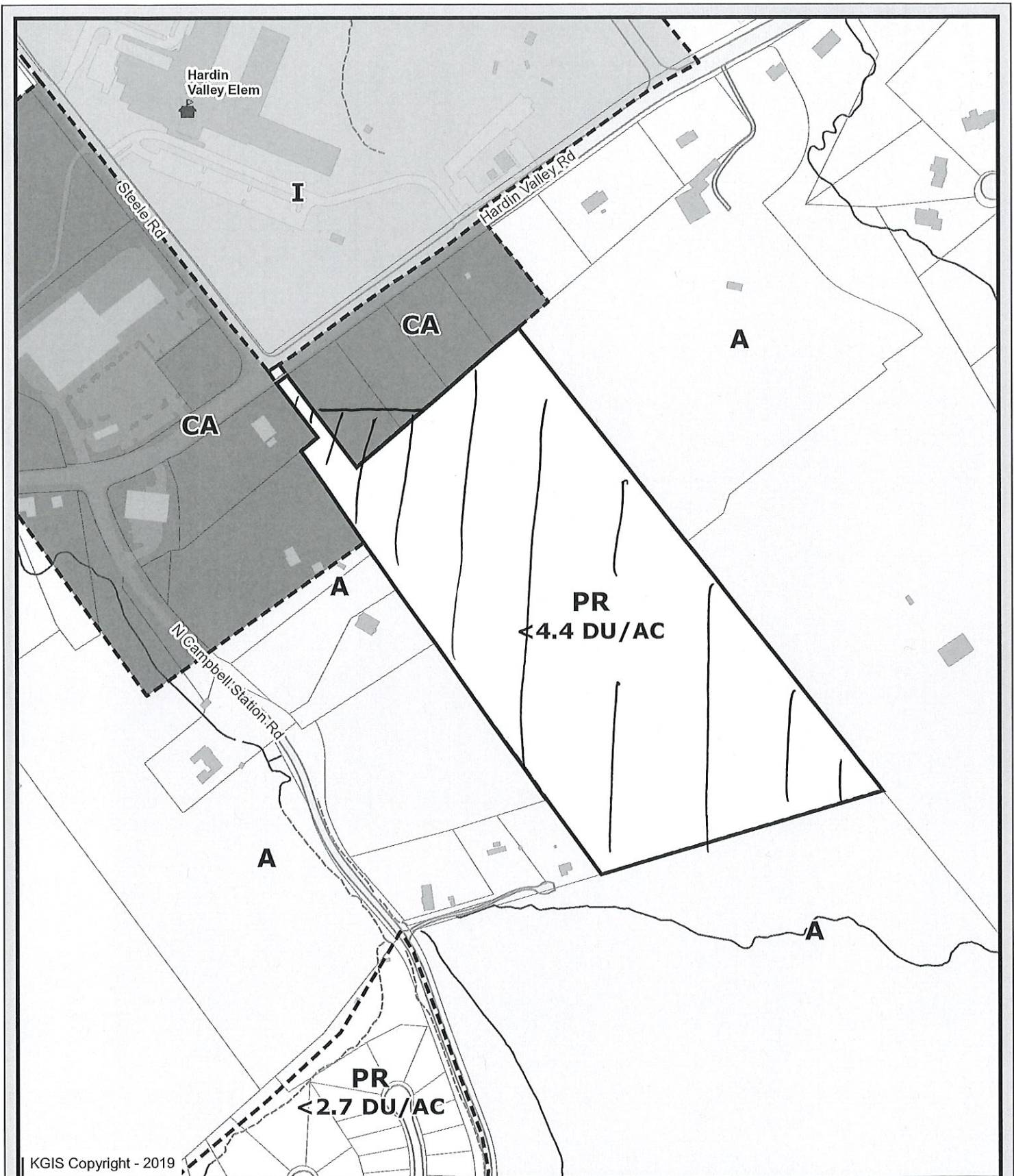
REQUEST

DEVELOPMENT	<input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Use on Review / Special Use <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Non-Residential <input checked="" type="checkbox"/> Home Occupation (specify): <u>Single family residential - attached townhomes</u> <input type="checkbox"/> Other (specify): _____		
	SUBDIVISION	<u>Steele Landing</u> <input checked="" type="checkbox"/> Proposed Subdivision Name _____ Unit / Phase Number _____ <input checked="" type="checkbox"/> Parcel Change <input type="checkbox"/> Combine Parcels <input checked="" type="checkbox"/> Divide Parcel Total Number of Lots Created: <u>133</u> <input type="checkbox"/> Other (specify): <u>Attached Residential Subdivision</u> <input checked="" type="checkbox"/> Attachments / Additional Requirements _____	
		ZONING	<input type="checkbox"/> Zoning Change: _____ Proposed Zoning _____ <input type="checkbox"/> Plan Amendment Change: _____ Proposed Plan Designation(s) _____
<input type="checkbox"/> Proposed Property Use (specify) _____ Proposed Density (units/acre) _____ Previous Rezoning Requests _____ <input type="checkbox"/> Other (specify): _____			

STAFF USE ONLY	PLAT TYPE <input type="checkbox"/> Staff Review <input type="checkbox"/> Planning Commission	FEE 1:	TOTAL: <u>\$4490⁰⁰</u>
	ATTACHMENTS <input type="checkbox"/> Property Owners / Option Holders <input checked="" type="checkbox"/> Variance Request	<u>0108</u> <u>4490⁰⁰</u> FEE 2:	
	ADDITIONAL REQUIREMENTS <input type="checkbox"/> Design Plan Certification (Final Plat only) <input checked="" type="checkbox"/> Use on Review / Special Use (Concept Plan only) <input checked="" type="checkbox"/> Traffic Impact Study	FEE 3:	

AUTHORIZATION

 Staff Signature	<u>Thomas Brechko</u> Please Print	<u>11/25/19</u> Date
 Applicant Signature	<u>Rusty Bittle</u> Please Print	<u>11/12/19</u> Date



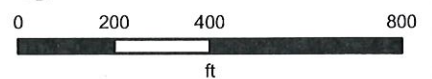
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Knoxville - Knox County - KUB Geographic Information System



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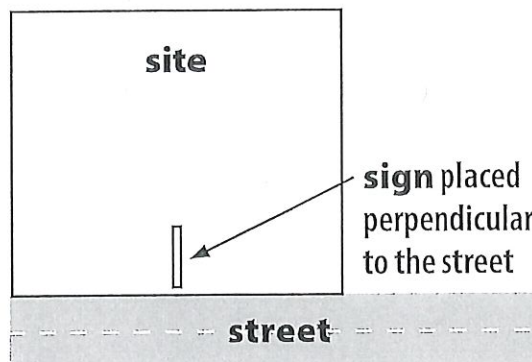
REQUIRED SIGN POSTING AGREEMENT

For all rezoning, plan amendment, concept plan, use on review, right-of-way closure, and street name change applications, a sign must be posted on the subject property, consistent with the adopted Administrative Rules and Procedures.

At the time of application, staff will provide a sign(s) to post on the property as part of the application process. If the sign(s) go missing for any reason and need to be replaced, then the applicant will be responsible for picking up a new sign(s) from the Planning offices. The applicant will be charged a fee of \$10 for each replacement sign.

LOCATION AND VISIBILITY

The sign must be posted in a location that is clearly visible from vehicles traveling in either direction on the nearest adjacent/frontage street. If the property has more than one street frontage, then the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.



TIMING

The sign(s) must be posted 15 days before the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted 15 days before the next Planning Commission meeting.

I hereby agree to post and remove the sign(s) provided on the subject property consistent with the above guidelines and between the dates of:

December 24, 2019

(15 days before the Planning Commission meeting)

and January 10, 2020

(the day after the Planning Commission meeting)

Signature: Hayden Jordan

Printed Name: Hayden Jordan

Phone: 865-690-6419 Email: Jordan@fulghummacindoe.com

Date: 11/25/19

File Number: 1-SC-20-C/1-E-20-UR