



USE ON REVIEW REPORT

▶ **FILE #:** 5-K-20-UR **AGENDA ITEM #:** 19
 POSTPONEMENT(S): 5/14/2020 **AGENDA DATE:** 6/11/2020
 ▶ **APPLICANT:** INDEPENDENT HEALTHCARE PROPERTIES, LLC
 OWNER(S): Powell Medical Investors, LLC

TAX ID NUMBER: 47 03314 [View map on KGIS](#)
 JURISDICTION: County Commission District 7
 STREET ADDRESS: 7700 Dannaher Dr.
 ▶ **LOCATION:** Northeast side of Dannaher Dr., north of E. Emory Rd.
 ▶ **APPX. SIZE OF TRACT:** 8.41 acres
 SECTOR PLAN: North County
 GROWTH POLICY PLAN: Planned Growth Area
 ACCESSIBILITY: Access is via Dannaher Dr., a local street with a pavement width of 26' within a 60' right-of-way.
 UTILITIES: Water Source: Hallsdale-Powell Utility District
 Sewer Source: Hallsdale-Powell Utility District
 WATERSHED: Beaver Creek

▶ **ZONING:** OB (Office, Medical, and Related Services)
 ▶ **EXISTING LAND USE:** Assisted Living Facility
 ▶ **PROPOSED USE:** Memory Care Facility

HISTORY OF ZONING: The site was zoned OB (Office, Medical and Related Services) in May 2012.
 SURROUNDING LAND USE AND ZONING:
 North: Residences - A (Agricultural) and RA (Low Density Residential)
 South: Vacant lot - CA (General Business) & OB (Office, Medical, and Related Services)
 East: Residences - A (Agricultural) and RA (Low Density Residential)
 West: Medical office - CA (General Business)
 NEIGHBORHOOD CONTEXT: This site is located within a large CA and OB zoned area located along the east side of Conner Rd., north of E. Emory Rd. and the Tennova North Hospital campus.

STAFF RECOMMENDATION:

▶ **APPROVE the development plan for a memory care facility with up to 49 beds in a building with approximately 32,385 square feet, subject to the following 10 conditions.**

1. Connection to sanitary sewer and meeting any other relevant requirements of the utility provider.
2. Installation of all landscaping as shown on development plan within six months of the issuance of an occupancy permit, or posting a bond with the Knox County Department of Engineering and Public Works to guarantee such installation.

3. Prior to any site grading on Tax Parcel 047 04001, providing documentation to the Knox County Department of Engineering and Public Works that the applicant owns or has the appropriate easements or approvals to extend site work onto that property.
- 4.. If Tax Parcel 047 04001 is not acquired by the applicant and combined with Tax Parcel 047 03314, recording the revised access easement for Tax Parcel 047 04001.
5. Obtaining all applicable approvals for alteration to the small sinkhole that is located on the site in the area of the proposed building.
6. Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.
7. Meeting all applicable requirements of the Knox County Fire Prevention Bureau including access requirements of the International Fire Code for access around the buildings.
8. Meeting all applicable requirements and obtaining all required permits from the Tennessee Department of Health.
9. Any proposed signage will be required to meet all applicable requirements of the Knox County Zoning Ordinance.
10. Meeting all applicable requirements of the Knox County Zoning Ordinance.

With the conditions noted, this plan meets the requirements for approval of a memory care facility in the OB district and the other criteria for approval of a use on review.

COMMENTS:

The applicant is requesting approval of a memory care building addition for the Morning Pointe assisted living facility that is located on the northeast side of Dannaher Dr. just north of the Tennova North Hospital campus. The existing assisted living facility was approved for up to 80 beds in 2012. The proposed memory care building will be located on the northwest side of the existing facility and is one story building with 32,385 square feet and an additional 49 beds. Access to the site will be the existing driveway off of Dannaher Drive.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTIES AND THE COMMUNITY AS A WHOLE

1. Public utilities are available to serve the site.
2. The proposed memory care facility will have a minimal impact on the existing street system.
3. The proposed facility is compatible with the scale and intensity of the surrounding development and zoning pattern.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

1. With the recommended conditions, the proposed facility meets all requirements of the OB zoning district and the criteria for approval of a use on review.
2. The proposed facility is consistent with the general standards for uses permitted on review: The proposal is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas since the site is located on a minor collector street. No surrounding land uses will pose a hazard or create an unsuitable environment for the proposed use.

CONFORMITY OF THE PROPOSAL TO ADOPTED PLANS

I

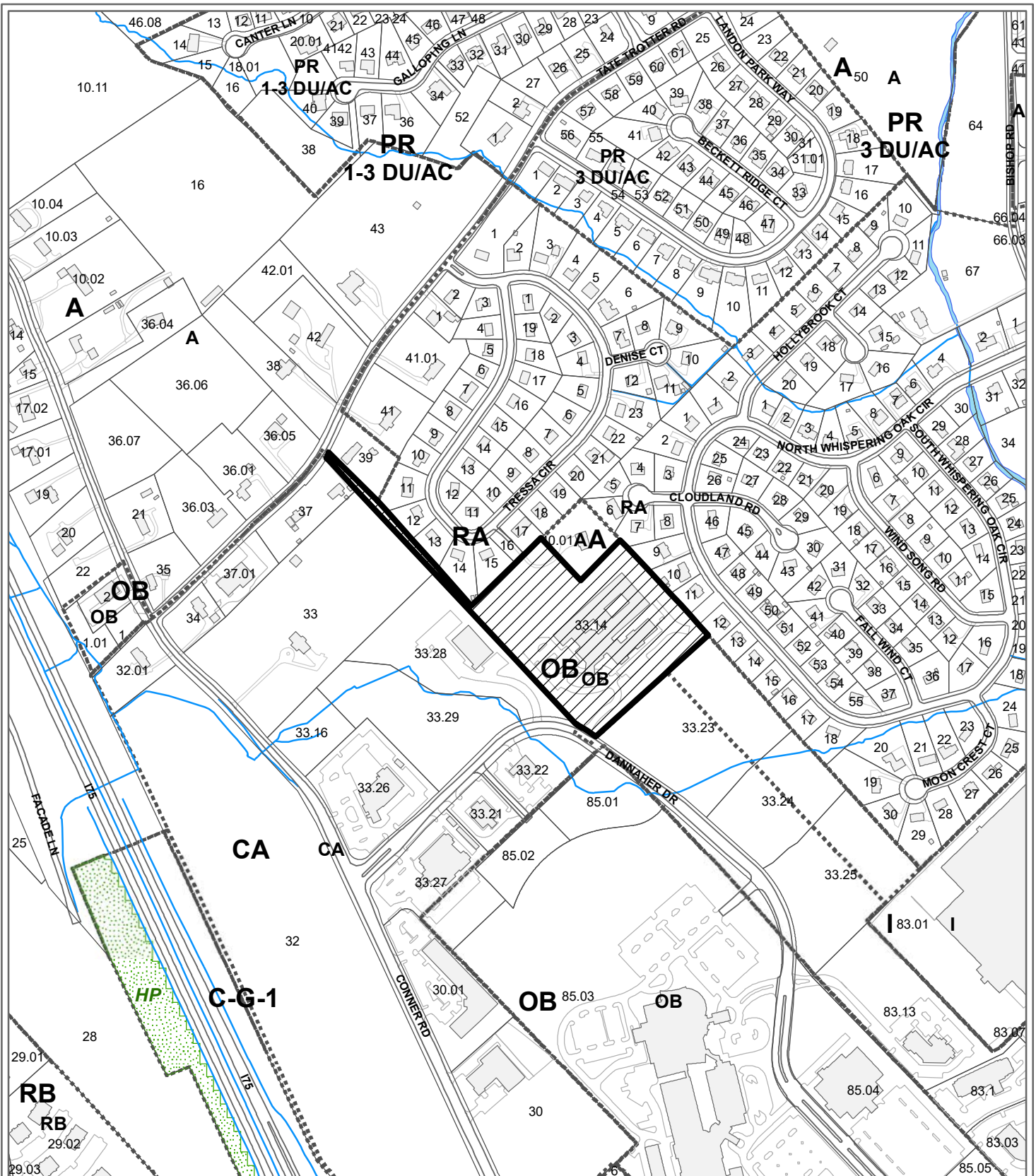
1. The North County Sector Plan identifies the property for mixed uses including medical and professional offices and medium density residential use. The proposed development is in compliance with the Sector Plan.
2. The site is identified as being within the Planned Growth Area on the Knoxville-Knox County-Farragut Growth Policy Plan.

ESTIMATED TRAFFIC IMPACT: 335 (average daily vehicle trips)

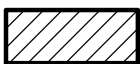
Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal a Planning Commission decision in the County.



**5-K-20-UR
USE ON REVIEW**



Memory Care Facility in OB (Office, Medical, and Related Services)

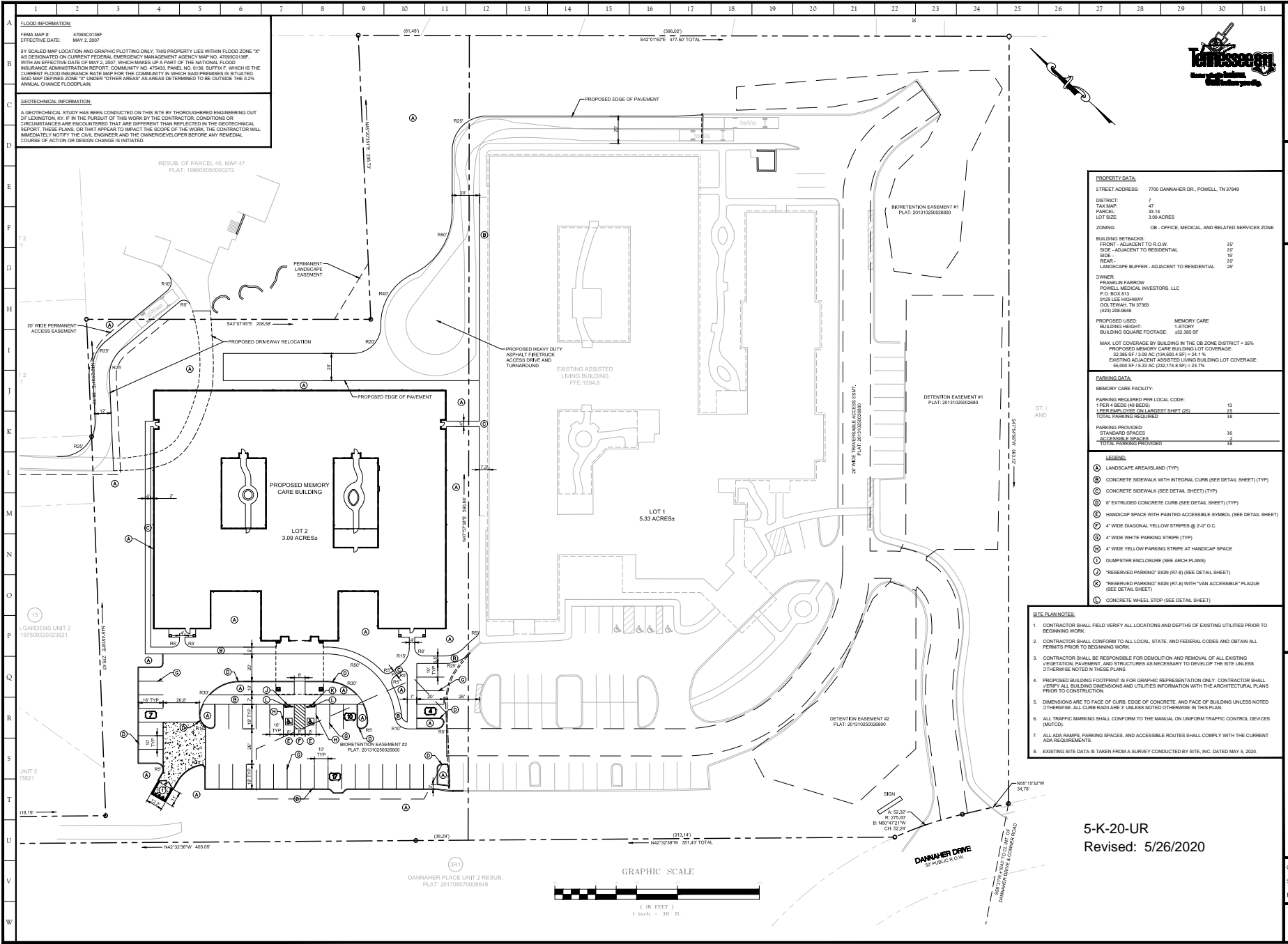
Petitioner: Independent Healthcare Properties, LLC

Original Print Date: 4/7/2020 Revised:
 Knoxville - Knoxville Planning Commission * City / County Building * Knoxville, TN 37902

Map No: 47
 Jurisdiction: County

0 500
Feet





FLOOD INFORMATION:
 FEMA MAP # 47093C015F
 EFFECTIVE DATE MAY 2, 2007

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN FLOOD ZONE "X" AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) MAP NO. 47093C015F, WITH AN EFFECTIVE DATE OF MAY 2, 2007, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT, COMMUNITY NO. 474343, PANEL NO. 0738, SHEET F, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE "X" UNDER "OTHER AREAS" AS AREAS DETERMINED TO BE OUTSIDE THE 1% ANNUAL CHANCE FLOODPLAIN.

GEOTECHNICAL INFORMATION:

A GEOTECHNICAL STUDY HAS BEEN CONDUCTED ON THIS SITE BY THOROUGHBRID ENGINEERING OUT OF LEADONTO, KY, IF IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THE GEOTECHNICAL REPORT, THESE PLANS, OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER AND THE OWNER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED.

RESUB. OF PARCEL 40, MAP 47
 PLAT: 10589050000272

PROPERTY DATA

STREET ADDRESS: 7700 DANNAPER DR., POWELL, TN 37849

DISTRICT: 7
 TAX MAP: 47
 PARCEL: 33 14
 LOT SIZE: 3.09 ACRES

ZONING: 08 - OFFICE, MEDICAL AND RELATED SERVICES ZONE

BUILDING SETBACKS

FRONT - ADJACENT TO R.O.W.	25'
SIDE - ADJACENT TO RESIDENTIAL	10'
SIDE	15'
REAR	10'
LANDSCAPE BUFFER - ADJACENT TO RESIDENTIAL	25'

OWNER:
 FRANKLIN FARROW
 POWELL MEDICAL INVESTORS, LLC
 P.O. BOX 813
 9128 LEE HIGHWAY
 COLETTA, TN 37849
 (423) 208-6648

PROPOSED USED:
 BUILDING HEIGHT: 1-STORY
 BUILDING SQUARE FOOTAGE: 432,385 SF

MEMORY CARE FACILITY:

MAX. LOT COVERAGE BY BUILDING IN THE 08 ZONE DISTRICT = 38%
 PROPOSED MEMORY CARE BUILDING LOT COVERAGE:
 32,385 SF / 3.09 AC (104,604 SF) = 24.1%
 EXISTING ADJACENT ASSISTED LIVING BUILDING LOT COVERAGE:
 58,000 SF / 5.33 AC (232,174.8 SF) = 23.7%

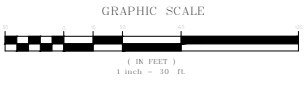
PARKING DATA:

MEMORY CARE FACILITY:	
PARKING REQUIRED PER LOCAL CODE:	
1 PER 4 BODIES (48 SECS)	13
1 PER EMPLOYEE ON LARGEST SHIFT (25)	25
TOTAL PARKING REQUIRED:	38
PARKING PROVIDED:	
STANDARD SPACES	38
ACCESSIBLE SPACES	2
TOTAL PARKING PROVIDED:	40

LEGEND:

- (A) LANDSCAPE AREAS/LAND (TYP)
- (B) CONCRETE SIDEWALK WITH INTEGRAL CURB (SEE DETAIL SHEET) (TYP)
- (C) CONCRETE SIDEWALK (SEE DETAIL SHEET) (TYP)
- (D) 6" EXTRUDED CONCRETE CURB (SEE DETAIL SHEET) (TYP)
- (E) HANDICAP SPACE WITH PAINTED ACCESSIBLE SYMBOL (SEE DETAIL SHEET)
- (F) 4" WIDE DIAGONAL YELLOW STRIPES @ 2'-0" O.C.
- (G) 4" WIDE WHITE PARKING STRIPE (TYP)
- (H) 4" WIDE YELLOW PARKING STRIPE AT HANDICAP SPACE
- (I) DUMPER ENCLOSURE (SEE ARCH PLANS)
- (J) "RESERVED PARKING" SIGN (RT-8) (SEE DETAIL SHEET)
- (K) "RESERVED PARKING" SIGN (RT-8) WITH "VAN ACCESSIBLE" PLAQUE (SEE DETAIL SHEET)
- (L) CONCRETE WHEEL STOP (SEE DETAIL SHEET)

- SITE PLAN NOTES:**
1. CONTRACTOR SHALL FIELD VERIFY ALL LOCATIONS AND DEPTHS OF EXISTING UTILITIES PRIOR TO BEGINNING WORK.
 2. CONTRACTOR SHALL CONFORM TO ALL LOCAL, STATE, AND FEDERAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING VEGETATION, PAVEMENT, AND STRUCTURES AS NECESSARY TO DEVELOP THE SITE UNLESS OTHERWISE NOTED IN THESE PLANS.
 4. PROPOSED BUILDING FOOTPRINT IS FOR GRAPHIC REPRESENTATION ONLY. CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS AND UTILITIES INFORMATION WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.
 5. DIMENSIONS ARE TO FACE OF CURB, EDGE OF CONCRETE, AND FACE OF BUILDING UNLESS NOTED OTHERWISE. ALL CURB RADII ARE 7' UNLESS NOTED OTHERWISE IN THIS PLAN.
 6. ALL TRAFFIC MARKING SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
 7. ALL ADA RAMP, PARKING SPACES, AND ACCESSIBLE ROUTES SHALL COMPLY WITH THE CURRENT ADA REQUIREMENTS.
 8. EXISTING SITE DATA IS TAKEN FROM A SURVEY CONDUCTED BY SITE, INC. DATED MAY 5, 2020.



5-K-20-UR
 Revised: 5/26/2020



Use on Review - Site Layout Plan

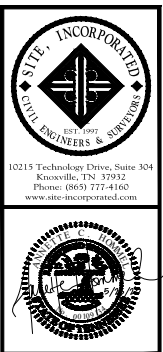
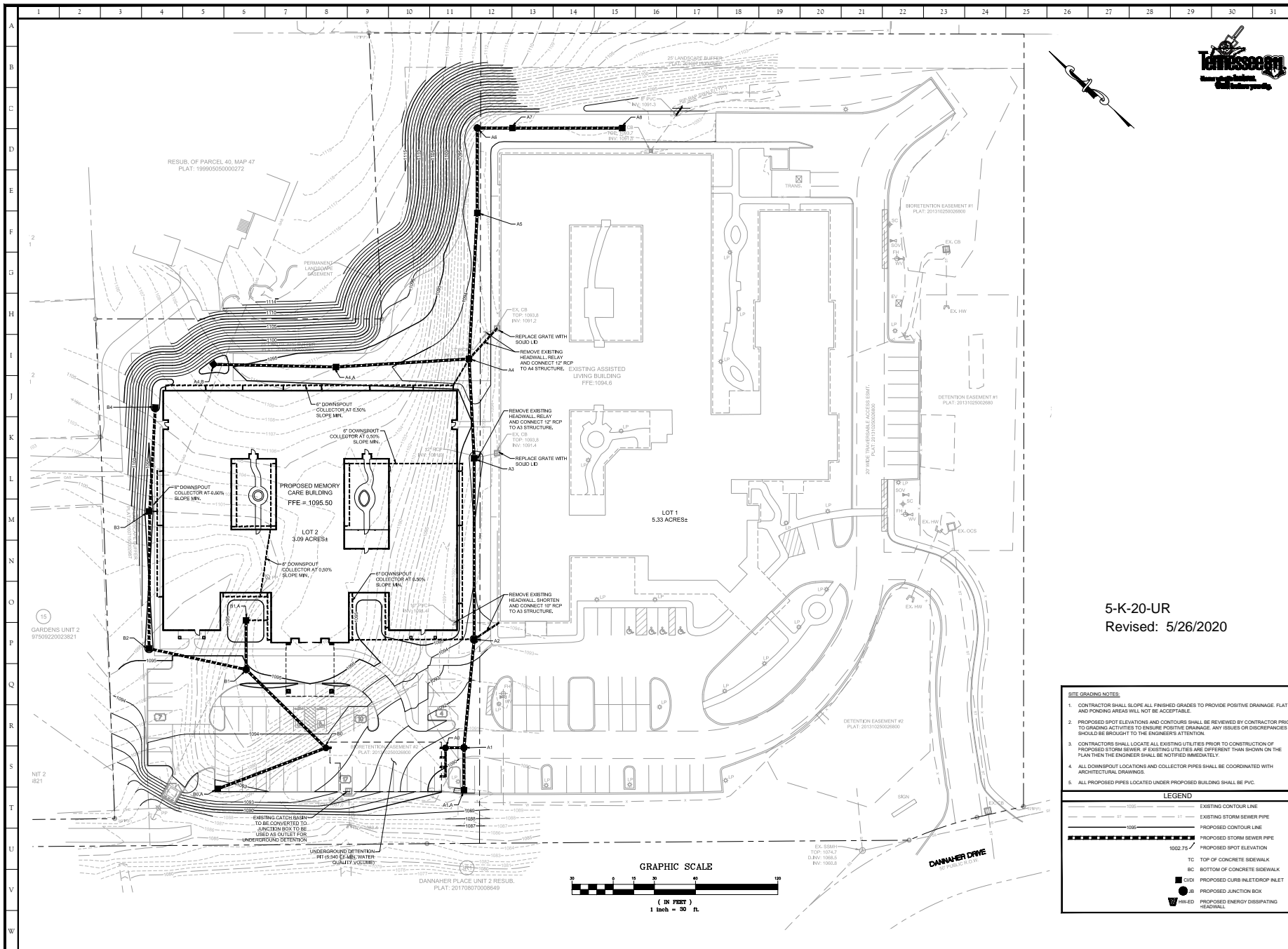
The Lantern of Powell
 7700 Dannaper Drive
 Knoxville, Tennessee 37849
 MPC Case No. 5-K-20-UR

REVISIONS

NO.	DATE	COMMENTS

ORIGINAL ISSUE: 05/26/20
 SITE PROJECT #: 2025
 FILE: 2025-Lanar

C4.0



12115 Technology Drive, Suite 304
Knoxville, TN 37932
Phone: (865) 277-4160
www.site-incorporated.com



Use on Review - Site Grading and Drainage Plan

The Lantern of Powell
7700 Dannaheer Drive
Knox County, Tennessee 37849
MPC Case No. 5-K-20-UR

5-K-20-UR
Revised: 5/26/2020

NO.	DATE	COMMENTS

ORIGINAL ISSUE: 25.26.20
SITE PROJECT #: 2020
FILE#: 2025/Casefile

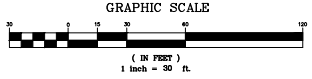
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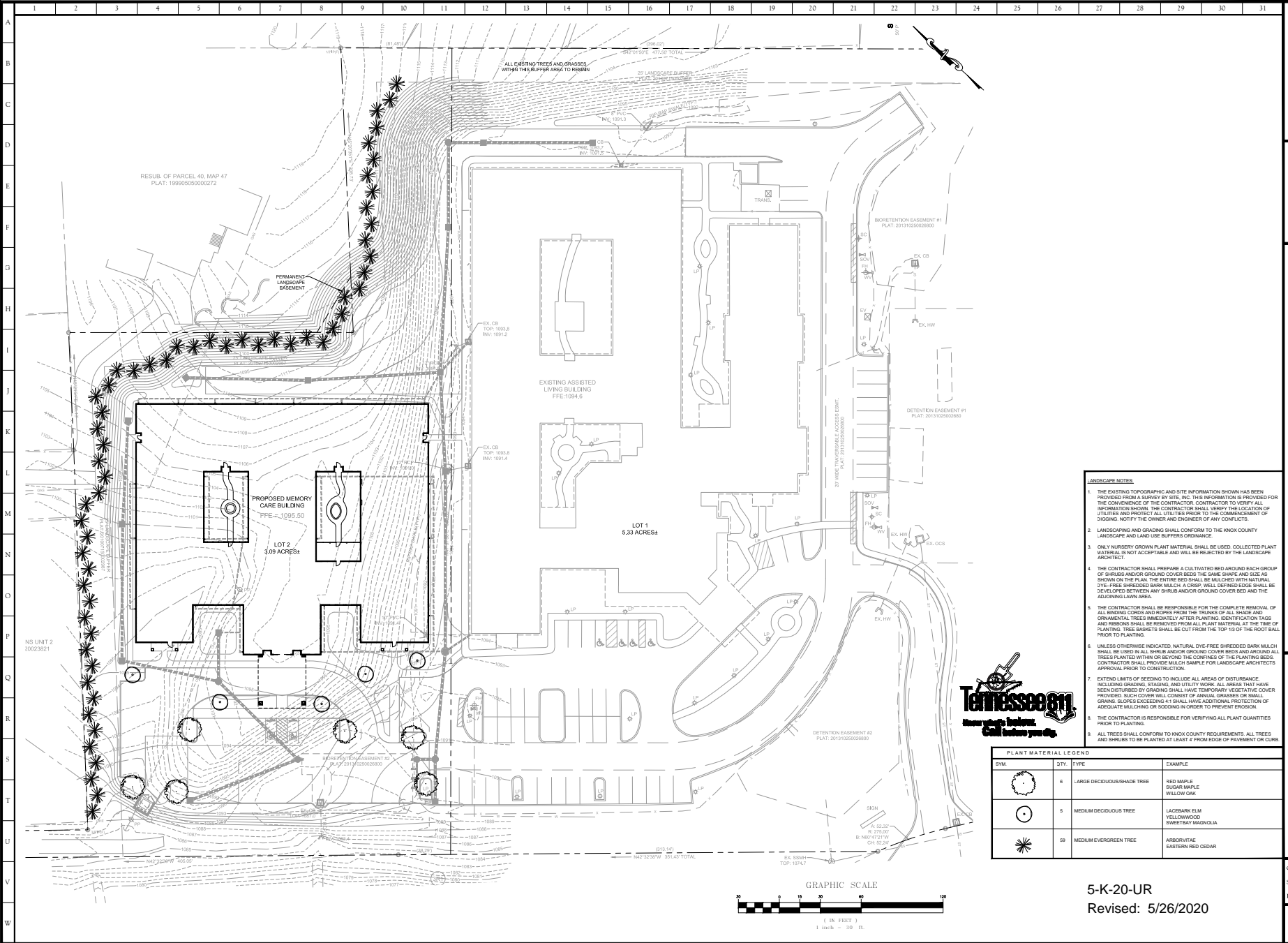
SITE GRADING NOTES:

- CONTRACTOR SHALL SLOPE ALL FINISHED GRADES TO PROVIDE POSITIVE DRAINAGE. FLAT AND POONDING AREAS WILL NOT BE ACCEPTABLE.
- PROPOSED SPOT ELEVATIONS AND CONTOURS SHALL BE REVIEWED BY CONTRACTOR PRIOR TO GRADING ACTIVITIES TO ENSURE POSITIVE DRAINAGE. ANY ISSUES OR DISCREPANCIES SHOULD BE BROUGHT TO THE ENGINEER'S ATTENTION.
- CONTRACTORS SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION OF PROPOSED STORM SEWER. IF EXISTING UTILITIES ARE DIFFERENT THAN SHOWN ON THE PLAN THEN THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- ALL DOWNSPOUT LOCATIONS AND COLLECTOR PIPES SHALL BE COORDINATED WITH ARCHITECTURAL DRAWINGS.
- ALL PROPOSED PIPES LOCATED UNDER PROPOSED BUILDING SHALL BE PVC.

LEGEND

	EXISTING CONTOUR LINE
	EXISTING STORM SEWER PIPE
	PROPOSED CONTOUR LINE
	PROPOSED STORM SEWER PIPE
	PROPOSED SPOT ELEVATION
	TC: TOP OF CONCRETE SIDEWALK
	BC: BOTTOM OF CONCRETE SIDEWALK
	C/I: PROPOSED CURB INLET OR DROP INLET
	J/B: PROPOSED JUNCTION BOX
	H/W: PROPOSED ENERGY DISSIPATING HEADWALL





- ### LANDSCAPE NOTES
- THE EXISTING TOPOGRAPHIC AND SITE INFORMATION HAS BEEN PROVIDED FROM A SURVEY BY SITE, INC. THIS INFORMATION IS PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR TO VERIFY ALL INFORMATION SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES AND PROTECT ALL UTILITIES PRIOR TO THE COMMENCEMENT OF DIGGING. NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
 - LANDSCAPING AND GRADING SHALL CONFORM TO THE KNOX COUNTY LANDSCAPE AND LAND USE BUFFER ORDINANCE.
 - ONLY NURSERY GROWN PLANT MATERIAL SHALL BE USED. COLLECTED PLANT MATERIAL NOT ACCEPTABLE AND WILL BE REJECTED BY THE LANDSCAPE ARCHITECT.
 - THE CONTRACTOR SHALL PREPARE A CULTIVATED BED AROUND EACH GROUP OF SHRUBS AND/OR GROUND COVER BEDS THE SAME SHAPE AND SIZE AS SHOWN ON THE PLAN. THE ENTIRE BED SHALL BE MULCHED WITH NATURAL DYE-FREE SHREDED BARK MULCH. A CRISP WELL-DEFINED EDGE SHALL BE DEVELOPED BETWEEN ANY SHRUB AND/OR GROUND COVER BED AND THE ADJOINING LAWN AREA.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE REMOVAL OF ALL BINDING CORDS AND ROPES FROM THE TRUNKS OF ALL SHARE AND ORNAMENTAL TREES IMMEDIATELY AFTER PLANTING. IDENTIFICATION TAGS AND RIBBONS SHALL BE REMOVED FROM ALL PLANT MATERIAL AT THE TIME OF PLANTING. TREE BASKETS SHALL BE CUT FROM THE TOP 1/3 OF THE ROOT BALL PRIOR TO PLANTING.
 - UNLESS OTHERWISE INDICATED, NATURAL DYE-FREE SHREDED BARK MULCH SHALL BE USED IN ALL SHRUB AND/OR GROUND COVER BEDS AND AROUND ALL TREES PLANTED WITHIN OR BEYOND THE CONFINES OF THE PLANTING BEDS. CONTRACTOR SHALL PROVIDE MULCH SAMPLE FOR LANDSCAPE ARCHITECTS APPROVAL PRIOR TO CONSTRUCTION.
 - EXTEND LIMITS OF SEEDING TO INCLUDE ALL AREAS OF DISTURBANCE, INCLUDING GRADING, STAGING, AND UTILITY WORK. ALL AREAS THAT HAVE BEEN DISTURBED BY GRADING SHALL HAVE TEMPORARY VEGETATIVE COVER PROVIDED. SUCH COVER WILL CONSIST OF ANNUAL GRASSES OR SMALL GRAINS. SLOPES EXCEEDING 4:1 SHALL HAVE ADDITIONAL PROTECTION OF ASSOCIATE MULCHING OR SODDING IN ORDER TO PREVENT EROSION.
 - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES PRIOR TO PLANTING.
 - ALL TREES SHALL CONFORM TO KNOX COUNTY REQUIREMENTS. ALL TREES AND SHRUBS TO BE PLANTED AT LEAST 4' FROM EDGE OF PAVEMENT OR CURB.



PLANT MATERIAL LEGEND		
SYM.	QTY.	TYPE / EXAMPLE
	6	LARGE DECIDUOUS SHADE TREE RED MAPLE SUGAR MAPLE WILLOW OAK
	5	MEDIUM DECIDUOUS TREE LACEBARK ELM YELLOWWOOD SWEETBAY MAGNOLIA
	50	MEDIUM EVERGREEN TREE ARBORVITAE EASTERN RED CEDAR

10215 Technology Drive, Suite 304
Knoxville, TN 37932
(865) 277-4140
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Use on Review - Landscape Plan

The Lantern of Powell

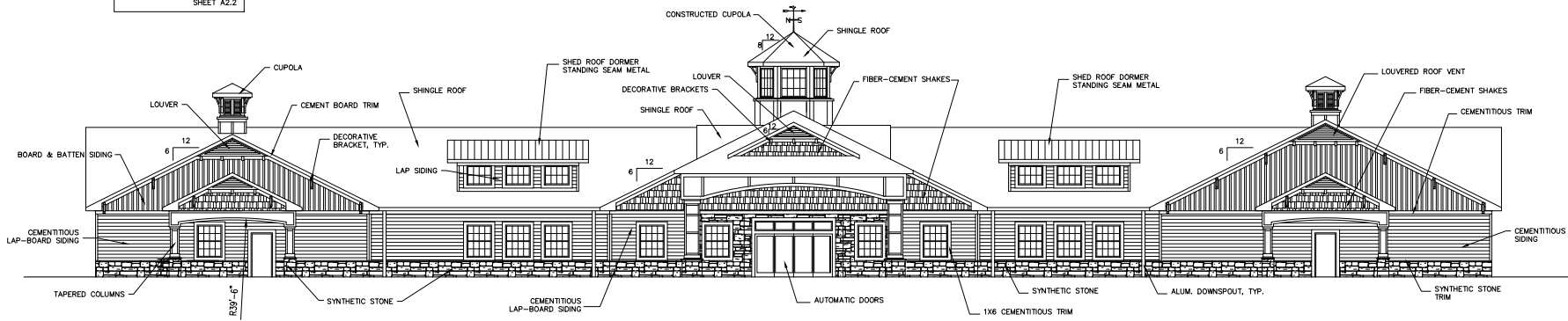
7700 Damner Drive
Knox County, Tennessee 37849
MPC Case No. 5-K-20-UR

NO.	DATE	REVISIONS	COMMENTS

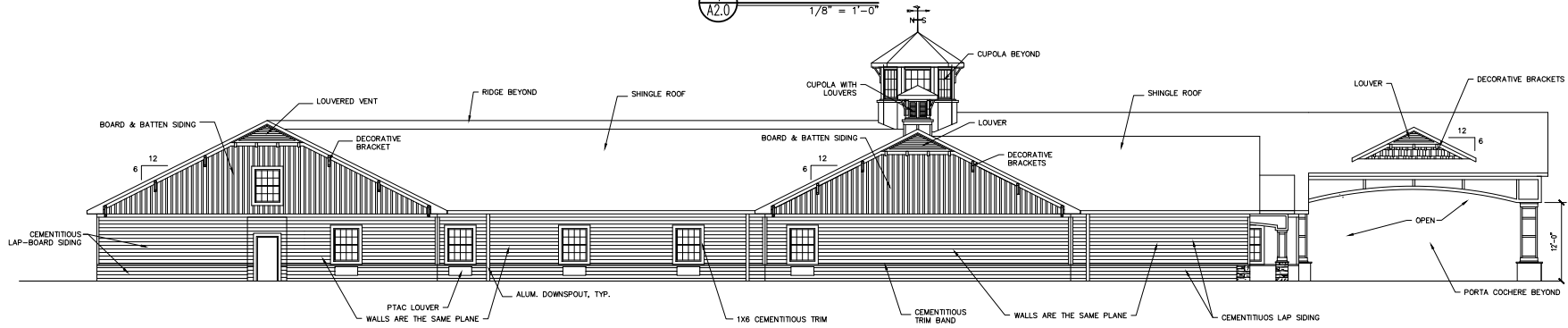
ORIGINAL ISSUE: 05/26/20
SITE PROJECT #: 2005
FILE: 2005 Landscape

C7.0

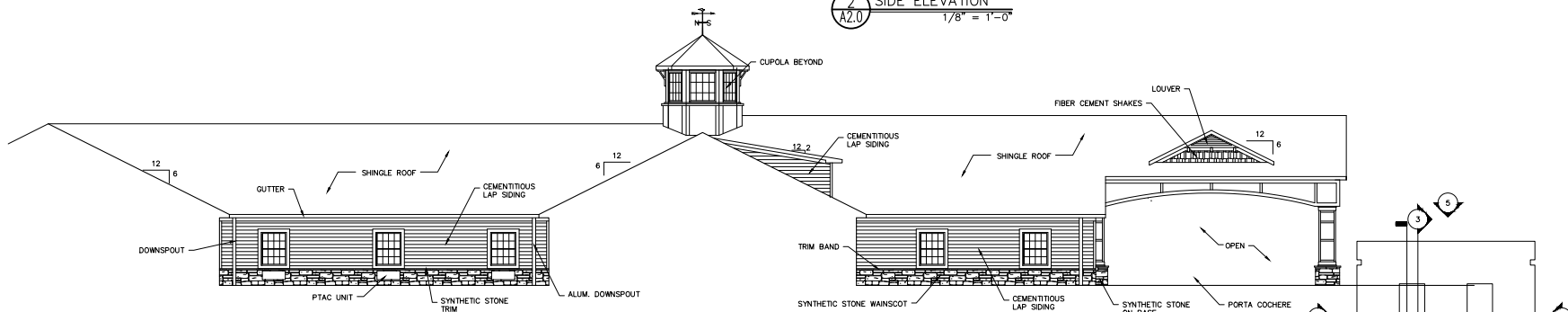
NOTE: SEE GENERAL NOTES ON SHEET A2.2



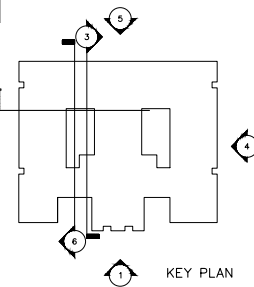
1 FRONT ELEVATION
A2.0
1/8" = 1'-0"



2 SIDE ELEVATION
A2.0
1/8" = 1'-0"



3 COURTYARD ELEVATION
A2.0
1/8" = 1'-0"



5-K-20-UR
3/30/2020

NO.	REVISIONS

688 DALLAS ROAD
CHATTAHOOCHEE, TN 37405
(423) 285-5272
FAX (423) 286-5902

NEUHOFF
TAYLOR
ARCHITECTS

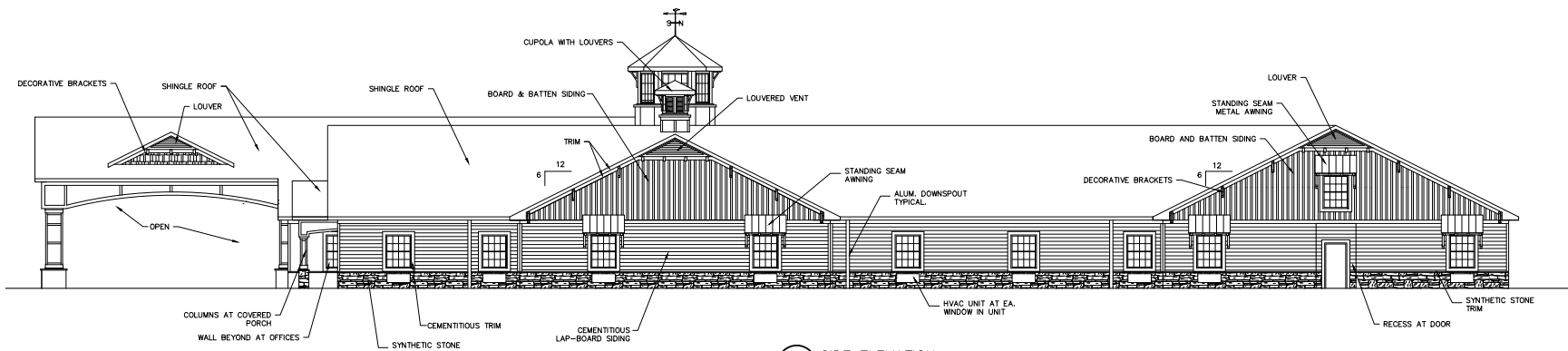
THE LANTERN AT MORNING POINTE
ALZHEIMER'S CENTER OF EXCELLENCE
POWELL, TENNESSEE

PROJECT #
19-64

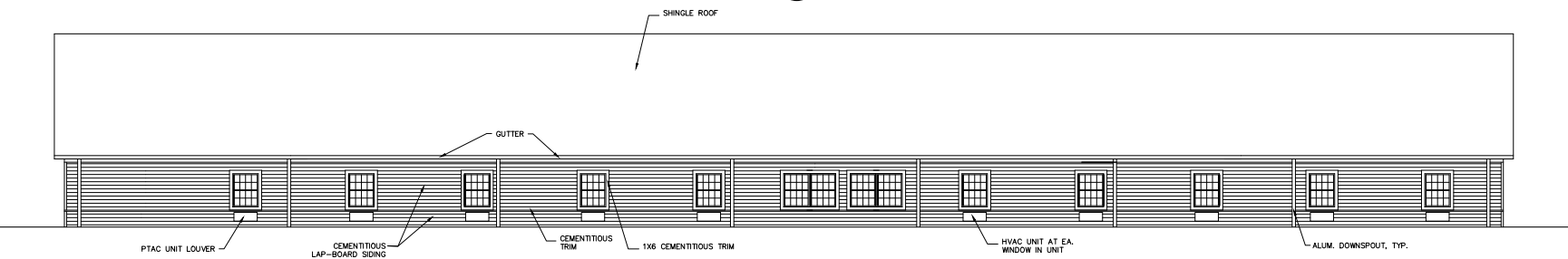
DATE
EXTERIOR ELEVATIONS

SHEET #

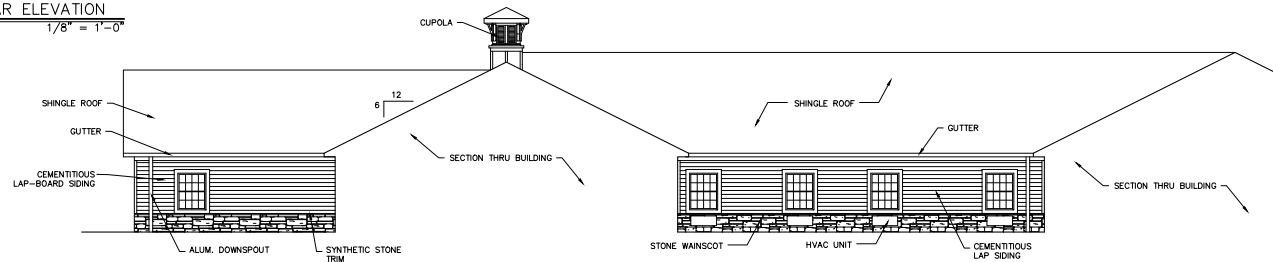
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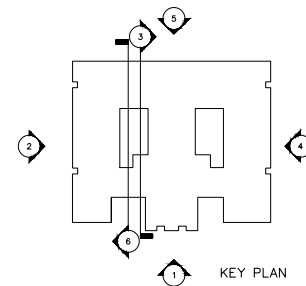
4 SIDE ELEVATION
A2.1 1/8" = 1'-0"



5 REAR ELEVATION
A2.1 1/8" = 1'-0"



6 COURTYARD ELEVATION
A2.1 1/8" = 1'-0"



5-K-20-UR
3/30/2020

REVISIONS

699 DALLAS ROAD
CHATTANOOGA, TN 37405
(423) 286-3272
FAX (423) 286-5902

NEUHOFF
TAYLOR
ARCHITECTS

THE LANTERN AT MORNING POINTE
ALZHEIMER'S CENTER OF EXCELLENCE

POWELL, TENNESSEE

PROJECT #
19-64

DATE
EXTERIOR ELEVATIONS

SHEET #

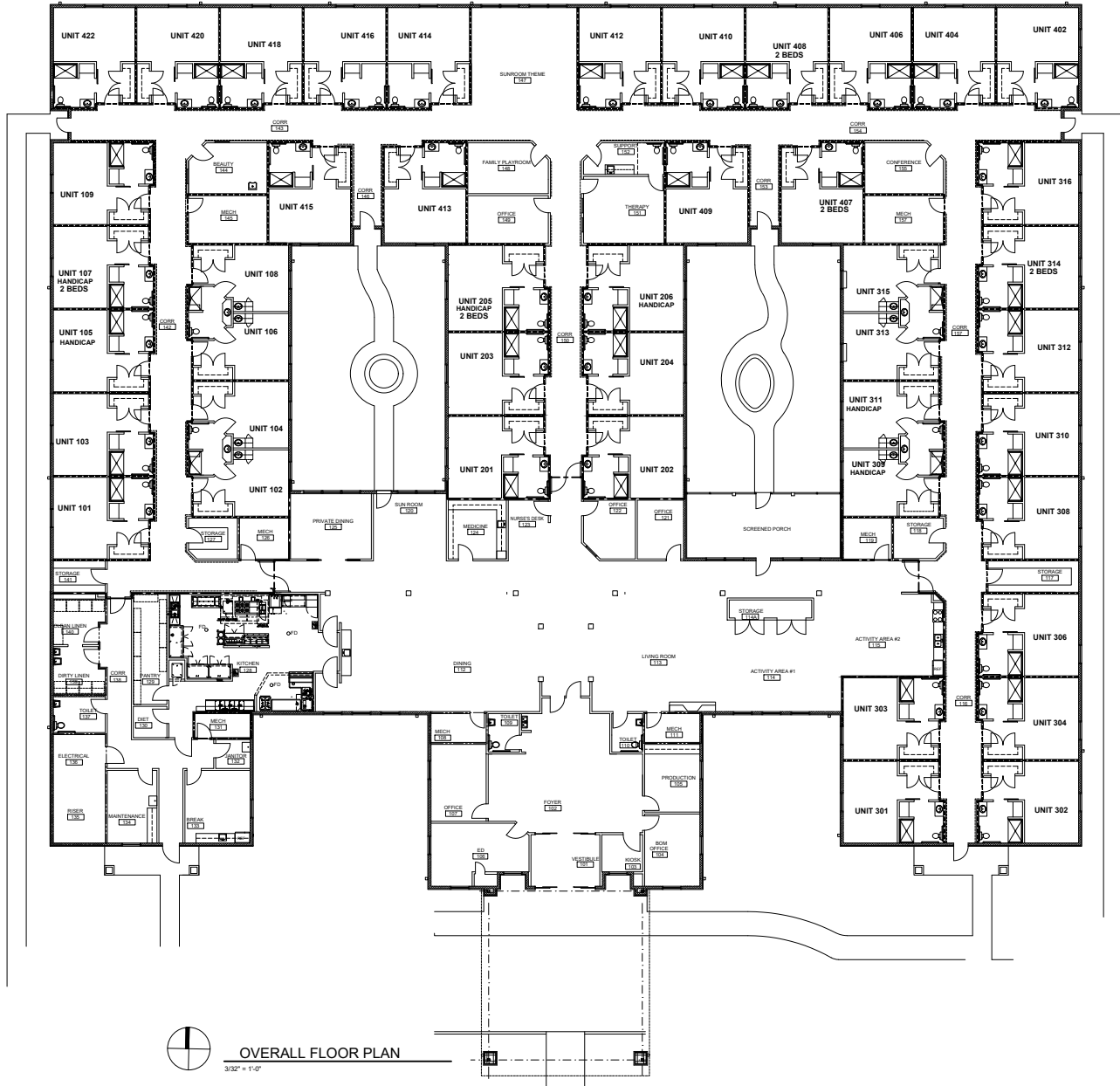
A2.1

THE LANTERN AT MORNING POINTE
ALZHEIMER'S CENTER OF EXCELLENCE
POWELL, TENNESSEE

PROJECT #
19-64
DATE
3/30/2020
OVERALL PLAN

SHEET #

A1.0



OVERALL FLOOR PLAN
3/32" = 1'-0"

5-K-20-UR
3/30/2020



Dori Caron <dori.caron@knoxplanning.org>

Fwd: Staff Review Comments for Independent Healthcare Properties, LLC (5-K-20-UR)

Tom Brechko <tom.brechko@knoxplanning.org>
To: Dori Caron <dori.caron@knoxplanning.org>

Mon, May 11, 2020 at 3:55 PM

----- Forwarded message -----

From: **John Anderson** <janderson@site-incorporated.com>
Date: Mon, May 11, 2020 at 9:36 AM
Subject: RE: Staff Review Comments for Independent Healthcare Properties, LLC (5-K-20-UR)
To: Tom Brechko <tom.brechko@knoxplanning.org>

Tom,

We will postpone until June 11, 2020 meeting. Could you elaborate on the potential issues with design so as we revise we can address? Also, what would be the deadline for resubmittal of revised plans be?

Thanks,



John R. Anderson, P.E.30

(Licensed in TN, AL, AR, IN, NC, PA, VA, & WV)

SITE, Incorporated

10215 Technology Drive, Suite 304

Knoxville, Tennessee 37932

(865) 777-4165

www.site-incorporated.com

POSTPONEMENT REQUEST: 30 days DAYS

File #: 5-K-20-UR

Meeting Date: May 14, 2020

From: Tom Brechko <tom.brechko@knoxplanning.org>
Sent: Monday, May 11, 2020 9:15 AM
To: John Anderson <janderson@site-incorporated.com>
Subject: Re: Staff Review Comments for Independent Healthcare Properties, LLC (5-K-20-UR)

John,



DEVELOPMENT REQUEST

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
- Rezoning

Independent Healthcare Properties, LLC

Applicant Name	Affiliation
03/30/2020	57K-20-UR
Date Filed	Meeting Date (if applicable)
	File Numbers(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

John R. Anderson	SITE, Inc.
Name	Company
10215 Technology Drive, Suite 304	Knoxville TN 37932
Address	City State Zip
(865) 777-4165	janderson@site-incorporated.com
Phone	Email

CURRENT PROPERTY INFO

Powell Medical Investors, LLC	8325 Highway 60, Georgetown, TN 37336
Owner Name (if different)	Owner Address
7700 Dannaer Drive, Knoxville, TN 37849	047 03314
Property Address	Parcel ID
<i>North</i> East side of Dannaer Dr, 2600' north of E Emory Rd	8.41
General Location	Tract Size
Knox County <i>Commission District 7</i>	OB
Jurisdiction (specify district above) <input type="checkbox"/> City <input checked="" type="checkbox"/> County	Zoning District
Northwest County	MU-SD <i>NCO-4</i>
Planned Growth	
Planning Sector <i>Memory Care</i>	Sector Plan Land Use Classification
Assisted Living Facility	N HPUD
Growth Policy Plan Designation	HPUD
Existing Land Use	Septic (Y/N)
	Sewer Provider
	Water Provider

REQUEST

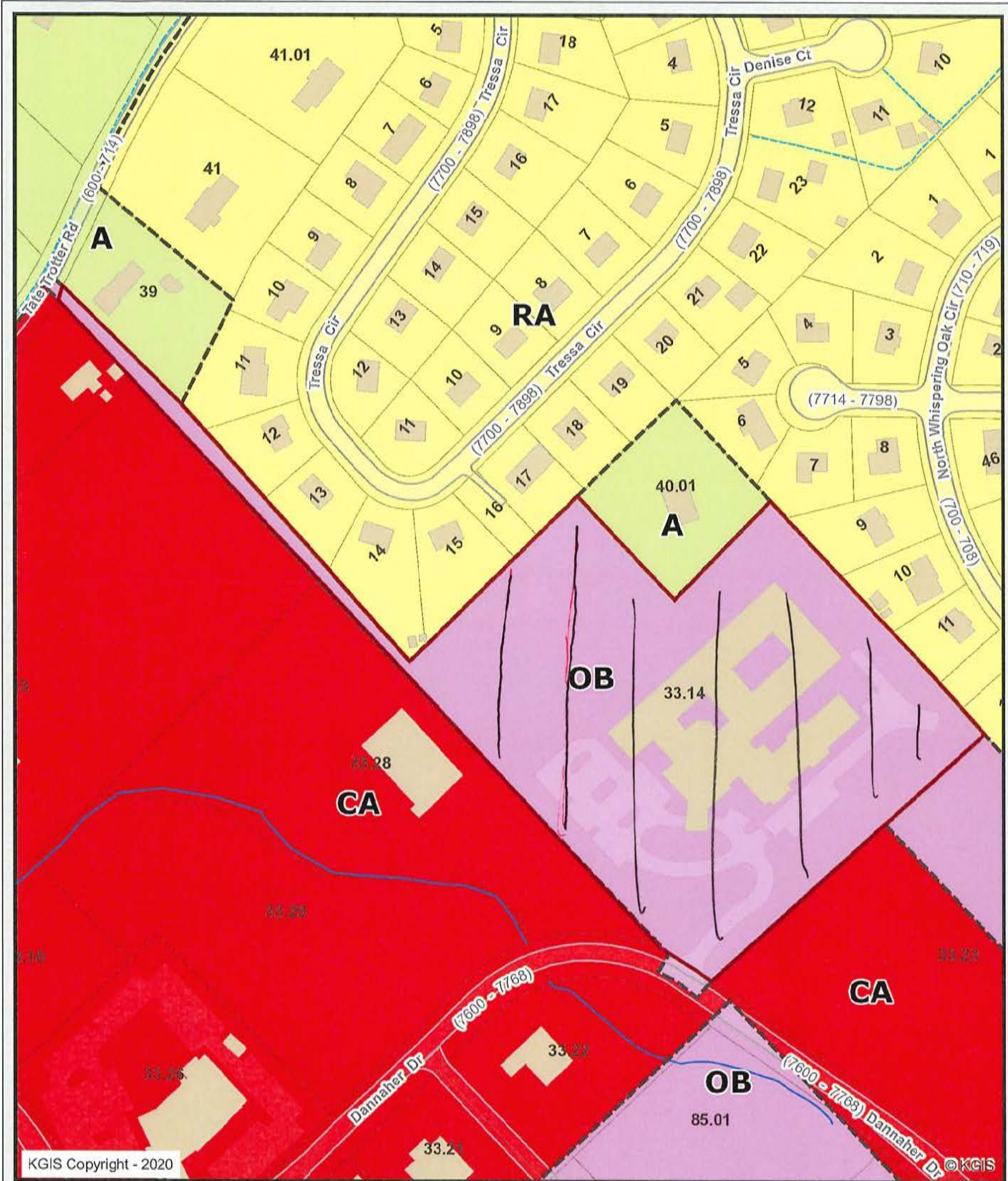
DEVELOPMENT	<input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Use on Review / Special Use <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Non-Residential <input type="checkbox"/> Home Occupation (specify): _____ <input checked="" type="checkbox"/> Other (specify): <u>Memory Care Facility</u>
SUBDIVISION	<input type="checkbox"/> Proposed Subdivision Name _____ Unit / Phase Number _____ <input type="checkbox"/> Parcel Change <input type="checkbox"/> Combine Parcels <input type="checkbox"/> Divide Parcel Total Number of Lots Created: _____ <input type="checkbox"/> Other (specify): _____ <input type="checkbox"/> Attachments / Additional Requirements _____
ZONING	<input type="checkbox"/> Zoning Change: _____ Proposed Zoning _____ <input type="checkbox"/> Plan Amendment Change: _____ Proposed Plan Designation(s) _____ <input type="checkbox"/> Property Use (specify) _____ Proposed Density (units/acre) _____ Previous Rezoning Requests _____ <input type="checkbox"/> Other (specify): _____

STAFF USE ONLY	PLAT TYPE <input type="checkbox"/> Staff Review <input type="checkbox"/> Planning Commission ATTACHMENTS <input type="checkbox"/> Property Owners / Option Holders <input type="checkbox"/> Variance Request ADDITIONAL REQUIREMENTS <input type="checkbox"/> Design Plan Certification (Final Plat only) <input type="checkbox"/> Use on Review / Special Use (Concept Plan only) <input type="checkbox"/> Traffic Impact Study	FEE 1: <u>0401, 1,500.00</u> FEE 2: FEE 3: 	TOTAL: <u>1,500.00</u>
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AUTHORIZATION

By signing below, I certify I am the property owner, applicant or the owners authorized representative.

	J. Franklin Farrow	03/30/2020
Applicant Signature	Please Print	Date
423-208-9646	ffarrow@ihpllc.com	
Phone Number	Email	
	Thomas Brechko	3-30-20
Staff Signature	Please Print	Date



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