

SUBDIVISION REPORT - CONCEPT/USE ON REVIEW

► **FILE #:** 6-SA-20-C

AGENDA ITEM #: 16

6-A-20-UR

AGENDA DATE: 6/11/2020

► **SUBDIVISION:** WOODBURY CROSSING

► **APPLICANT/DEVELOPER:** WC WOODBURY CROSSING LIMITED PARTNERSHIP

OWNER(S): Peoples Bank of the South

TAX IDENTIFICATION: 21 00203

[View map on KGIS](#)

JURISDICTION: County Commission District 8

STREET ADDRESS: 7605 Twin Oak Ln.

► **LOCATION:** Southeast terminus of Edwards Place Blvd., southeast of Thompson School Rd.

SECTOR PLAN: Northeast County

GROWTH POLICY PLAN: Planned Growth Area

WATERSHED: Beaver Creek

► **APPROXIMATE ACREAGE:** 30.748 acres

► **ZONING:** PR (Planned Residential)

► **EXISTING LAND USE:** Vacant land & Single family residential

► **PROPOSED USE:** Multi-dwelling development

SURROUNDING LAND USE AND ZONING: The subject site is located within the Edwards Place subdivision and general area has been transitioning from a rural area to a residential area with small, single-family lots. Rezoning to PR began in the mid-1990s, with PR developments being built through the early 2000s. Gibbs Elementary, Middle, and High Schools are nearby to the south off of Tazewell Pike.

► **NUMBER OF LOTS:** 1

SURVEYOR/ENGINEER: Charles Garvick / Chadan Engineering, Inc.

ACCESSIBILITY: Access is via Edwards Place Blvd, a local street with 26' of pavement width within 50' of right-of-way, and via Lawgiver Circle, a local street with 26' of pavement width within 50' of right-of-way.

► **SUBDIVISION VARIANCES REQUIRED:** **VARIANCES REQUIRING PLANNING COMMISSION APPROVAL:**
1) Reduction of vertical curve K value from 25 to 12, Edwards Place Blvd at STA 0+49.
2) Reduction of vertical curve K value from 25 to 12, Edwards Place Blvd at STA 1+48.3.

ALTERNATIVE DESIGN STANDARDS REQUIRING PLANNING COMMISSION APPROVAL:

1) Reduction of horizontal curve radius on Lawgiver Circle from 250 feet to 100 feet at STA 0+26.

STAFF RECOMMENDATION:

- ▶ **APPROVE** variances 1-2 because topographic constraints and site conditions restrict compliance with the Subdivision Regulations and will not create a traffic hazard.

APPROVE the alternate design standard based on the recommendations of the Knox County Department of Engineering and Public Works.

APPROVE the Concept Plan subject to 4 conditions.

- 1) Connection to sanitary sewer and meeting any other relevant requirements of the utility provider.
- 2) Meeting all applicable requirements of Knox County Engineering and Public Works.
- 3) Installation of sidewalks into the cul-de-sacs as identified on the development plan.
- 4) A final plat application based on this concept plan will not be accepted for review until certification of design plan approval has been submitted to Planning staff.

- ▶ **APPROVE** the development plan for up to 80 multi-dwelling (apartment) units as shown, subject to 6 conditions.

- 1) Meeting all applicable requirements of the Knox County Zoning Ordinance.
- 2) Meeting all applicable requirements of the Knox County Department of Engineering and Public Works
- 3) Installation of sidewalks for the multi-dwelling development as identified on the development plan. Sidewalks shall meet all applicable requirements of the Americans with Disabilities Act (ADA).
- 4) Installing all landscaping for the apartment development, as shown on the landscape plan, within six months of issuance of occupancy permits for the project, or posting a bond with the Knox County Department of Engineering and Public Works, to guarantee such installation.
- 5) Providing a 60-foot greenway easement along the southeastern side of Beaver Creek, as shown, or as otherwise required by Knox County Parks and Recreation.
- 6) Providing a 40' sidewalk easement from the Lawgiver Circle cul-de-sac to the property boundary to the east, along the southern boundary of Lot 30, Edwards Place Unit 4. This easement may be reduced in width with the approval of Knox County Engineering and Public Works once the final alignment of the sidewalk is determined. If this sidewalk easement is approved, the proposed sidewalk easement shown on the Concept Plan that extends south from Lawgiver Circle to Beaver Creek can be eliminated.

With the conditions noted, this plan meets the requirements for approval in the PR District, and the other criteria for approval of a use on review.

COMMENTS:

Summary

Construction of an 80-unit multi-dwelling (apartment) development located at the terminus of Edwards Place Boulevard on an unbuilt portion of the Edwards Place subdivision (approximately 30.75 acres). The proposal also includes the installation of cul-de-sacs, with sidewalk extensions, at the terminus of Edwards Place Boulevard and Lawgiver Circle. There are three, 3-story apartment buildings clad with brick foundations and vinyl siding for the majority of the facades. There are shutters on the elevations facing the internal parking lot and the north elevations of the two buildings closest to the houses. A dense evergreen landscape screening is proposed along the north property boundary to buffer the development to the adjacent houses. A sidewalk will be extended from the apartment development to the public sidewalk on Edwards Place Boulevard. A greenway easement is provided on the south side of Beaver Creek and a 40' sidewalk easement is recommended from the Lawgiver Circle cul-de-sac east to the property boundary, on the south side of Lot 30. The property to the east had a Concept Plan approved in 2017 (Twin Oak Landing – 4-SA-17-C) with a 10' sidewalk easement that extended to the Edwards Place boundary just south of the recommended 40' easement. The 2017 Concept Plan is now expired so the easement on the adjacent property will need to be reestablished when that property is developed sometime in the future. The recommended 40' easement on the subject property is recommended so there is some room to adjust the sidewalk to and meet ADA standards once the layout and grades of the adjacent property are known. If the subject property proposes lots around the Lawgiver Circle cul-de-sac, the width of the sidewalk easement can be reduced with the approval of Knox County Engineering and Public Works so that a sidewalk connection to the adjacent property is still feasible.

Background

The Edwards Place subdivision was originally approved in 2007 (2-SI-07-C / 2-K-07-UR) with 187 single family residential lots. The unbuilt portion of the subdivision was reapproved in 2013 (11-SA-13-C) with the same layout and number of lots. Lawgiver Circle was intended to wrap around Forest Willow Lane and connect to the southern portion of Edwards Place Boulevard, and there was to be a street that extended to the south side of Beaver Creek with lots in the hillside area adjacent to the Gibbs school property. This forested hillside area is now intended to remain undisturbed.

Sidewalks were required throughout the subdivision and there was a requirement to make a pedestrian connection to the school property, if desired by Knox County Schools. Because the number of lots within the subdivision, the planning commission also required an amenity area that was to be located on the south side of Beaver Creek, near the terminus of Twin Oak Lane. The amenity was never constructed and the location is now part of the subject property. The 2007 Use on Review approval also had a requirement to connect to the terminus of Twin Oak Lane.

The installation of the required sidewalks began with the construction of houses sometime between 2016 and 2018. Most of the sidewalks were installed in areas with the least amount of vehicle traffic. Edwards Place Boulevard will be the most heavily traveled road in the neighborhood and it is currently without a sidewalk for the majority of its length.

The 2007 and 2013 Concept Plan approvals had a condition that allowed Knox County Engineering and Public Works to require traffic calming to be installed. This could still be an option going forward to help slow down traffic, particularly on Edwards Place Boulevard.

Density

The PR (Planned Residential) zoning allows up to 4 dwelling units per acre (du/ac). The apartment development will have a density of 2.6 du/ac. The existing neighborhood consists of 95 lots on approximately 22.5 acres (4.22 du/ac). The combined density for the Edwards Place subdivision and the Woodbury Crossing apartments is approximately 3.3 du/ac (175 units on 53.25 acres). An additional 38 dwelling units could be constructed based on the current zoning of PR up to 4 du/ac. The Traffic Impact Study (TIS) states that if Lawgiver Circle is extended further toward Beaver Creek and the eastern end of the apartment development, an additional 22 lots could be created. If additional lots were proposed, a new Concept Plan and Use on Review approval would be required. The TIS took these additional lots into consideration to ensure the maximum amount of potential traffic was considered.

Proposal -- Concept Plan (Cul-de-sacs)

The Concept Plan is for the dedication of right-of-way and the installation of the cul-de-sacs at the end of Edwards Place Boulevard and Lawgiver Circle. The cul-de-sacs are necessary to provide the turnaround at the end of a public road required by the subdivision regulations. The sidewalks in the neighborhood will be extended into the cul-de-sacs.

The two vertical curve (K value) variances are for the crest curves on both ends of the proposed Edwards Place Boulevard cul-de-sac. The reduced K values at the end of the existing Edwards Place Boulevard roadway will allow less of the existing road to be regraded and have less impact on the adjacent properties. The other K value reduction is for the transition from the cul-de-sac to the apartment parking lot. The horizontal curve reduction is for cul-de-sac at the end of Lawgiver Circle and is a requested alternative design standard. The Knox County Department of Engineering and Public Works supports these requests. The requested K value of 12 meets AASHTO standards for streets with a 25 mph design speed and the 100' horizontal curve would be allowed if Lawgiver Circle was less than 1000' long (the existing road is approximately 1050' long before the cul-de-sac is added).

Proposal -- Use On Review (Multi-Dwelling Development Plan)

The Use on Review request is for an 80-unit multi-dwelling (apartment) development located between the existing single-family subdivision and Beaver Creek which runs through the middle of the subject property. The apartment development will be built approximately 10' lower than the houses to the north and a dense evergreen landscape screen is proposed along the north property line. There are three proposed buildings, with the two buildings closest to the existing houses having smaller footprints. The buildings will be 3 stories tall, with exception of 1/3 of the larger building on the south side of the parking lot being 2 stories tall in the

middle. There will also be a 1 story clubhouse building with a swimming pool south of the entry driveway. The development does not propose a gated entry.

Access will be provided via Edwards Place Boulevard, a local street through the Edwards Place subdivision that connects to Thompson School Road, a major collector street. Edwards Place Boulevard is 26' wide with a short segment of sidewalk on the southern end of the street. The apartment development will extend a sidewalk on their property to the public sidewalk at the cul-de-sac.

A 60' wide greenway easement is being provided on the southeast side of Beaver Creek at the request of Knox County Parks and Recreation. The Knox County Greenway Corridor Study proposes a greenway along Beaver Creek and the preferred route in this area runs through this property (see Exhibit A). The previous approvals for Edwards Place and the adjacent Twin Oak Landing subdivision (approved and not developed) had requirements to make a pedestrian connection to the Gibbs school property. In conversations with the school system, the preferred location for a pedestrian connection is the one approved in the Twin Oak Landing subdivision that was at the end of the Gibbs Elementary School driveway, just as the driveway forks and extends up the hill to Gibbs Middle School. The proposed 40' sidewalk easement from Edwards Place subdivision to the former Twin Oak Landing subdivision will allow a pedestrian connection to be established to the school property as the adjacent properties are developed.

Traffic Impact Study

The Woodbury Crossing Traffic Impact Study (CDM Smith, Revised May 2020) was prepared to address the impact of the proposed apartment development on Thompson School Road. The Edwards Place subdivision was previously studied in 2007 for 187 single-family lots. This study only analyzed impact of the development on the Edwards Place Boulevard and Thompson School Road intersection, it did not analyze the impact on the internal neighborhood streets. The conclusion of the TIS was that no improvements are necessary at the Thompson School Road intersection and that the apartment development must connect to the terminus of Edwards Place Boulevard in accordance with the requirements of Knoxville-Knox County Planning and Knox County Engineering and Public Works.

Open Space

The 2007 Use on Review approval had a condition of providing both active and passive recreational uses on a 1.63 acre common area. According to the staff report, this is because the subdivision was going to have more than 150 houses. The Edwards Place subdivision currently has 95 houses which is less than the threshold that would have warranted the inclusion of the amenity.

The apartment development does not propose to use the forested hillside area on southeast side of the creek. The applicant or property owner should discuss with Knox County Parks and Recreation about the potential of using this area as a park along the proposed greenway.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE

- 1) The proposed development must work with the utility provider to ensure adequate service can be provided to the site and not adversely impact the Edwards Place subdivision that has experienced problems with their utilities.
- 2) The development will stay out of the Beaver Creek stream buffer and leave the forested hillside area on the southeast side of Beaver Creek undisturbed.
- 3) The development is providing a 60' greenway easement on the southeast side of Beaver Creek for future installation by Knox County and a recommended sidewalk easement for future construction from the Lawgiver Circle cul-de-sac to the adjacent property to the east.
- 4) No improvements to Thompson School Road are required for this development based on the anticipated number of vehicle trips and the existing condition of the road in this location.
- 5) The development will not establish the connected road system that the original Concept Plan approval intended which would have dispersed traffic somewhat. This proposal will concentrate more traffic on Edwards Place Boulevard than the original plan for the subdivision intended, however, improvements to this road are not recommended as a condition of approval.
- 6) Dense evergreen landscape screening is proposed along the north boundary line to provide a buffer for the single-family residential uses.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

- 1) With the stated conditions, the apartment development meets the standards for development within a PR (Planned Residential) Zone and all other requirements of the Zoning Ordinance.
- 2) The proposed apartment development is consistent with the general standards for uses permitted on review: The proposed development is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas because the Edwards Place subdivision was intended to have more house lots in this unbuilt portion of the neighborhood than is proposed by the apartment development and on average, single-family houses generate more vehicle trips per day than an apartment unit.

CONFORMITY OF THE PROPOSAL TO ADOPTED PLANS

- 1) The Northeast County Sector Plan designates this property for low density residential use with a maximum density of 5 du/ac. At a proposed density of 2.6 du/ac for the subject property and 3.3 du/ac for the overall development (including the Edwards Place subdivision), the proposed development is consistent with the Sector Plan.
- 2) The site is located within the Planned Growth Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: A traffic impact study was prepared by the applicant. The findings of that study were used in formulating the recommendations of this staff report.

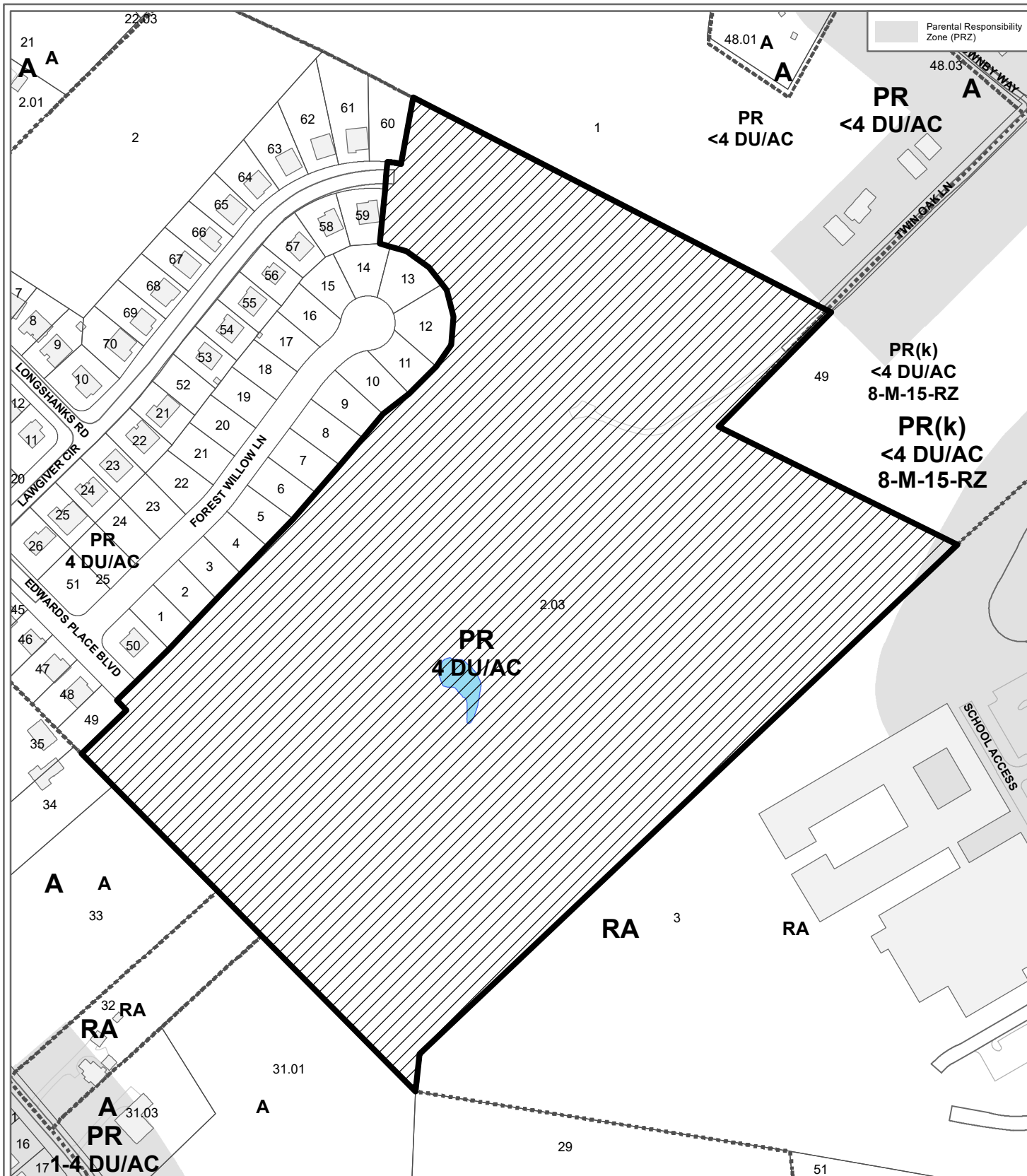
ESTIMATED STUDENT YIELD: 7 (public school children, grades K-12)

Schools affected by this proposal: Gibbs Elementary, Gibbs Middle, and Gibbs High.

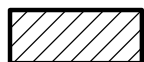
- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

Knoxville-Knox County Planning Commission's approval or denial of this concept plan request is final, unless the action is appealed to Knox County Chancery Court. The date of the Knox County Chancery Court hearing will depend on when the appeal application is filed.

Knoxville-Knox County Planning Commission's approval or denial of this use on review request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed.



**6-SA-20-C / 6-A-20-UR
CONCEPT PLAN/USE ON REVIEW**



Multi-dwelling development in PR (Planned Residential)

Original Print Date: 5/18/2020
Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Revised:

Petitioner: WC Woodbury Crossing Limited Partnership
Woodbury Crossing

Map No: 21

Jurisdiction: County

0 250
Feet



Site Development Plans For
Godbury Crossing Apartments
Edwards Place Boulevard
Corryton, Knox County, Tennessee

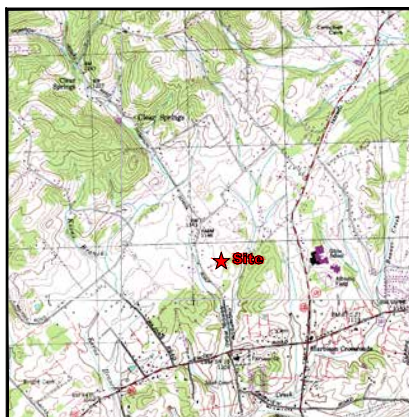


CLIENT:
Woodbury Crossing Limited Partnership
Attn: Conner Swartz
500 S. Front Street, 10th Floor
Columbus, OH 43215
614.396.3200

WOODBURY CROSSING APARTMENTS
Edwards Place Boulevard
Corryton, Knox County, Tennessee

GENERAL NOTES

1. The Contractor and Subcontractor shall be exercising precautions for complying with all Federal, State and local safety requirements, together with existing precautions at all times for the protection of persons (including employees) and property. It is also the sole responsibility of the Contractor and Subcontractor to initiate, maintain and supervise all safety requirements, precautions and programs in connection with this work.
2. Existing utilities shown on from best available records and field investigation, and are not necessarily complete or exact. The Contractor is responsible for the identification, location, support, protection and restoration of all existing utilities and appearances wherever shown on these plans or not. The Contractor shall expose all utilities or conditions prior to construction to verify the vertical and horizontal extent on the proposed construction, and shall make adjustments in plans to provide sufficient clearance between the proposed and existing utilities. The Contractor shall call the utilities protection service (Dial 811) at least three (3) working days prior to work in the vicinity of the underground utilities.
3. Chaden Engineering, Inc. assumes no responsibility for the accuracy and/or completeness of the provided surveying and mapping information nor any errors or omissions resulting from missing or inaccurate data.
4. The Contractor shall exercise extreme caution when working near existing utilities. It is the Contractor's responsibility to contact appropriate utility agency prior to exposing the agency's utilities. The Contractor is responsible for repairing any utility that may be damaged during the course of construction.
5. Should the Contractor discover any discrepancies or conflicts with the existing and/or proposed information, the project Architect and Engineer shall be notified prior to continuing work.
6. All proposed utility locations shall be provided by a state licensed surveyor, prior to installation. The Contractor shall adjust all structures to final grade as needed.
7. The Contractor and/or Engineer is responsible for coordinating with the electric, gas and communication companies regarding providing service to the development. Any information shown on plans shall be interpreted schematically only.
8. Any property corner pins or permanent survey markings disturbed during construction shall be reset by a registered professional surveyor.
9. The tracking or spilling of mud, dirt or debris upon public roads is prohibited and any such occurrence shall be cleaned up immediately by the Contractor. If the Contractor fails to keep the work area clean of debris, or fails to clean mud or dirt, the local jurisdiction may take action and assess the Contractor for the costs that are incurred.
10. No non-rubber tire vehicles shall be moved on public roads; exceptions may be granted where short distances and special circumstances are involved. Granting of exceptions shall be in writing.
11. Curb inlets, manholes and catch basins shall be channelled as directed. Top inlets and catch basins shall be matched with the final slope of the road surface.
12. Proposed spot elevations are dependent on the final elevation of the finish floor of the building(s). Once the floor slab has been installed, the Contractor shall confirm the elevation. Any discrepancy shall be reported to the project Architect and Engineer to determine if any elevation revisions are required.
13. On-site sidewalks are designed to meet current accessibility standards. It is strongly recommended that the Contractor review the proposed sidewalk and construct the work to not create a "pinch point" where the sidewalk elevations due to construction imbalances with the final elevations of the following information:
 - Sidewalks** are to have a cross-slope of less than 2%. Lead slope shall be not exceed 5% or it is considered a ramp. Changes in directions shall have an area of 2' or less in all directions wherever possible.
 - Ramp:** A ramp is a section of sidewalk with an elevation greater than 5% and less than 8.33%. Ramps are required on both sides of ramps with an elevation change greater than 6". No section of sidewalk shall exceed 8.33%. A ramp may extend up to 30' length without a landing area.
14. Where it is necessary to disturb pavement or drive, the pavement shall be saw cut to the next station lines. The depth of the saw shall be at least 4 inches. Existing asphalt or concrete shall be replaced by a thickness equal or greater than original. Aggregate base shall be replaced if needed.
15. Erosion control measures in accordance with the requirements of the State of Tennessee. The Contractor shall provide sediment control at all points where water leaves the project, including stormwater, overland sheet flow and runoff. The Contractor shall provide adequate drainage of the work area at all times consistent with erosion control practices. Disturbed areas that remain unworked for 14 days shall be seeded. Other sediment controls that are installed shall be maintained until vegetation growth has been established. The Contractor is responsible for the removal of all temporary sediment devices at the conclusion but not before the growth of permanent ground cover.
16. Contractor shall adhere to all recommendations in the geotechnical report unless directed otherwise in writing by the project Architect or Engineer. It is the Contractor's responsibility to assure that proper testing is completed on placed fill, foundation, and trench work, etc. Should the Contractor encounter soil or unstable conditions, the Contractor shall be responsible for the geotechnical representative shall be consulted. Copies of all testing reports shall be provided to the Owner.
17. Submittals shall be approved by the Engineer electronically for review and comment. The Engineer shall respond within 5 business days.
18. The Contractor shall maintain a set of as-builts on site. Once the project is complete, the as-built set shall be delivered to the Owner.
19. Contractor is responsible for verifying all quantities.



LOCATION MAP

Scale: 1" = 2000'



PROJECT TEAM

Owner/Developer: Woodbury Crossing Limited Partnership
Attn: Connor Swartz
500 S. Front Street, 10th Floor
Columbus, OH 43215
614.396.3200

Surveyor: Civil & Environmental Consultants, Inc.
2704 Cherokee Farm Way Ste 101
Knoxville, TN 37920
865.977.9979

Supervisory Architect:
PCI Design Group, Inc.
500 S. Front Street, Suite 975
Columbus, OH 43215
614.396.3265

Geotechnical:
Shield Engineering, Inc.
300 Forestal Dr.
Knoxville, TN 37918
865.544.5959

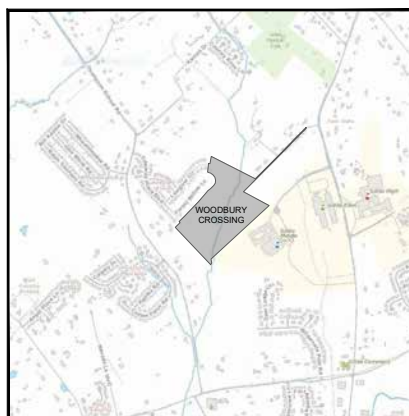
Design Architect:
Bernard L. Weinstein & Associates
95 White Bridge Rd
Nashville, TN 37205
615 352 7151

Mapping Notes

Boundary and existing conditions survey provided by:

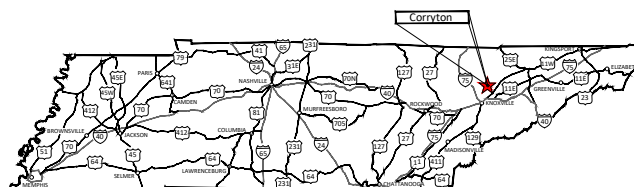
Civil & Environmental Consultants, Inc.
2704 Cherokee Farm Way Ste 101
Knoxville, TN 37920
865.977.9979

Chadan Engineering, Inc. assumes no responsibility for the accuracy and/or completeness of the provided surveying and mapping information nor any errors or omissions resulting from missing or inaccurate data.



VICINITY MAP

Scale: 1" = 1000'



State Map

DRAWING INDEX

Sheet CS	Cover Sheet
Sheet C001	Existing Conditions & Demolition Plan
Sheet C100	Overall Site Plan
Sheet C101	Enlarged Site Plan
Sheet C102	Site Details
Sheet C103	Site Details
Sheet C200	Overall Site Grading Plan
Sheet C201	Enlarged Site Grading & Drainage Plan
Sheet C202	Basin Information
Sheet C203	Road Profiles
Sheet C204	Site Profile
Sheet C205	Site Sections
Sheet C300	SWP3 Phase I
Sheet C301	SWP3 Phase II
Sheet C302	SWP3 Phase III
Sheet C303	Erosion & Sedimentation Control Details
Sheet C400	Sanitary Sewer Plan & Profile
Sheet C401	Sanitary Specifications & Details
Sheet C402	Lift Station Details
Sheet C403	Waterline Plan & Profile
Sheet C404	Waterline Plan & Profile
Sheet C405	Waterline Specifications
Sheet C406	Waterline/Force Main Specifications & Details

6-SA-20-C
6-A-20-UR
Revised: 5/26/2020

VARIANCES REQUIRING PLANNING COMMISSION APPROVAL:

- a. Reduction of vertical curve K value from 25 to 12, Edwards Place Blvd at Sta 0+49
- b. Reduction of vertical curve K value from 25 to 12, Edwards Place Blvd at Sta 1+48.3

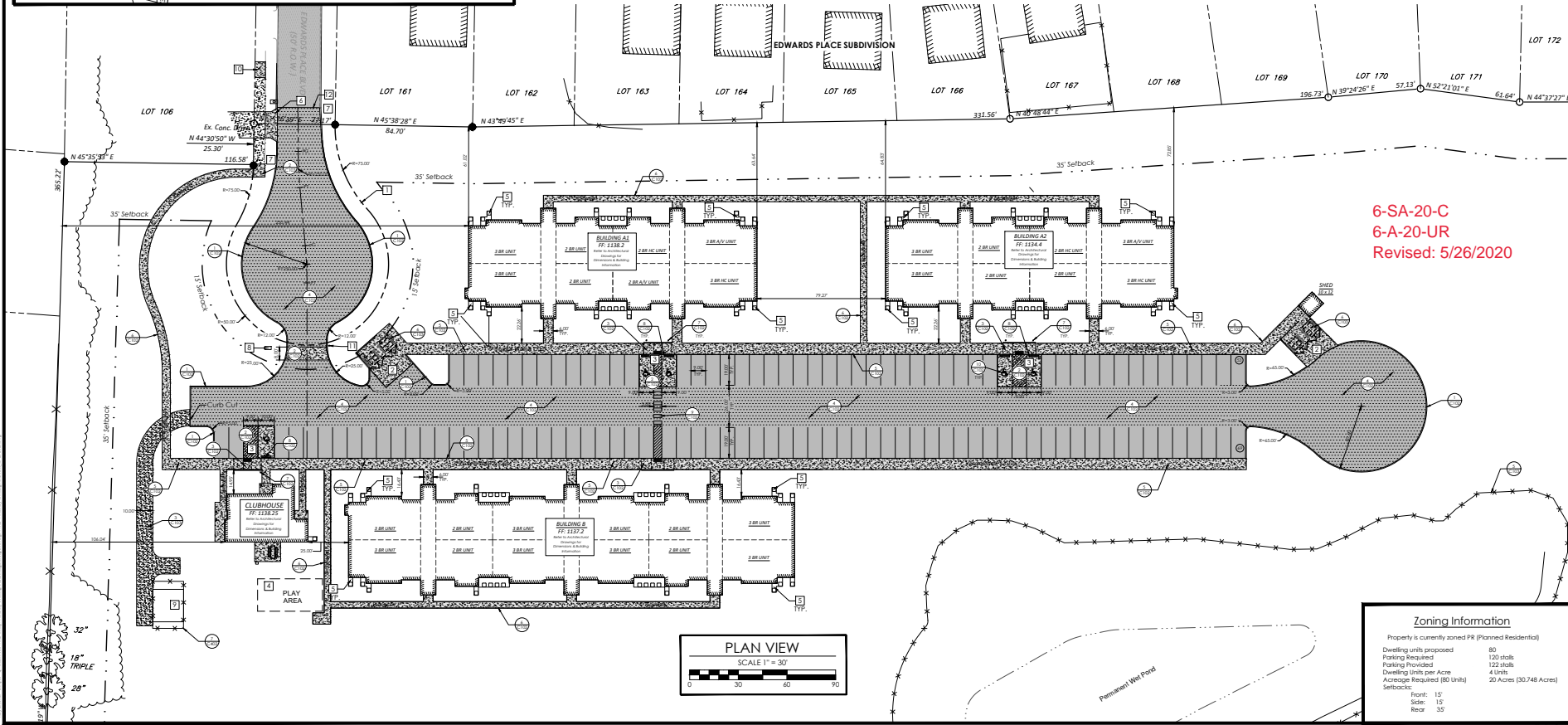
ALTERNATIVE DESIGN STANDARDS REQUIRING PLANNING COMMISSION APPROVAL:

- a. Reduction of horizontal curve radius on Laweiver Circle for 250 feet to 100 feet at Sta 0+100

Cover
Sheet

CS





FOR PERMIT PURPOSES

CLIENT: Woodbury Crossing Limited Partnership
Attn: Conner Swartz
500 S. Front Street, 10th Floor
Columbus, OH 43215
614.396.3200

WOODBURY CROSSING APARTMENTS

Edwards Place Boulevard
Corryton, Knox County, Tennessee

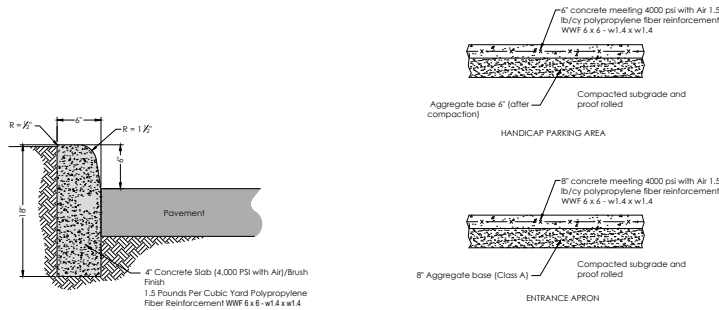
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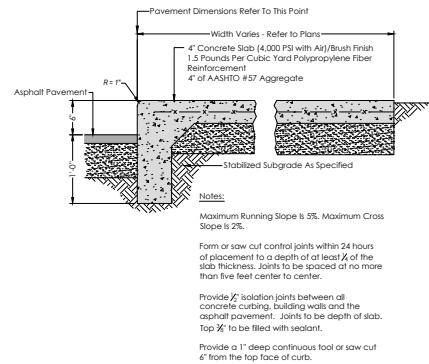
NOTES:

Site Details

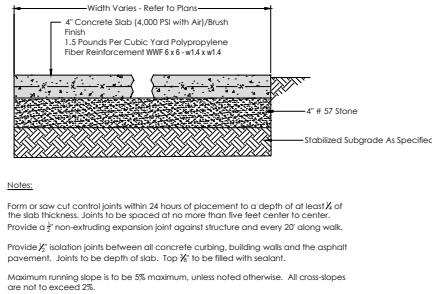
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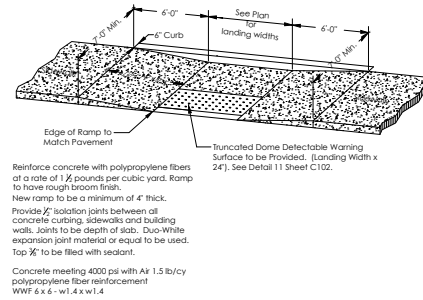
1 CONCRETE CURB
NOT TO SCALE



2 CONCRETE PAVING
NOT TO SCALE



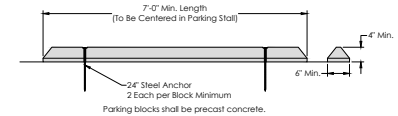
3 PARALLEL HANDICAP RAMP
NOT TO SCALE



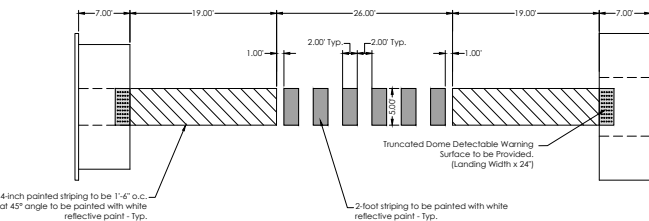
4 ASPHALT SURFACE
NOT TO SCALE

	Light Duty	Heavy Duty
Asphalt Surface Course	1-1/2"	1-1/2"
Asphaltic Concrete Binder	2-1/2"	2-1/2"
Aggregate Base	6"	10"

6-SA-20-C
6-A-20-UR
Revised: 5/26/2020

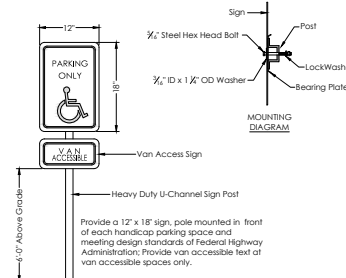


5 INTEGRAL WALK & CURB
NOT TO SCALE

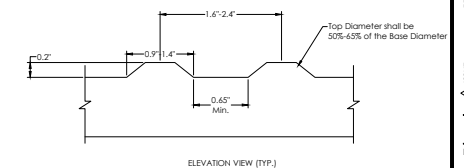


6 SIDEWALK
NOT TO SCALE

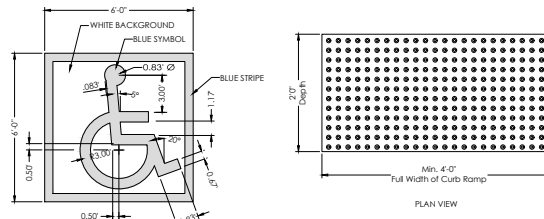
7 HANDICAP PARKING SIGN
NOT TO SCALE



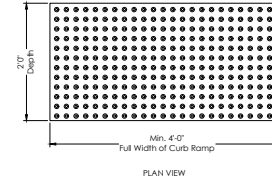
8 WHEEL STOP
NOT TO SCALE



9 CROSSWALK
NOT TO SCALE



10 HANDI-CAP LOGO
NOT TO SCALE



11 DETECTABLE WARNING SURFACE DETAIL
NOT TO SCALE

Notes:
The detectable warning surfaces shall be yellow. The color yellow is used because yellow is the last color a visually impaired person can detect prior to total loss of vision. Detectable warning surfaces shall be constructed using products approved on the TDOT GPL No. 37.
The depth of detectable warning surfaces shall be 2 feet in the direction of pedestrian travel. At curb ramps and blended transitions, detectable warning surfaces shall extend the full width of the ramp run (including any flared sides), blended transition, or turning space.
The detectable warning surface shall not be extended beyond crosswalk boundaries at locations lacking proper curb height.
See Tennessee Department of Transportation Drawing MM-CR-1.

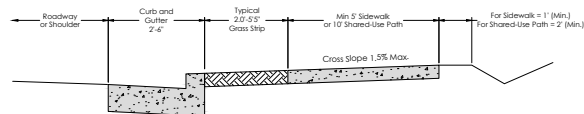


Expansion joints are to be placed 25 to 30 feet apart depending on transverse joint markings and need to match curb expansion joint where sidewalk is built directly against curb, or as directed by the Engineer where the proposed sidewalk is in contact with the street returns, on building lines produced at street intersections, where walks lead to house or other entrances and any other locations where stresses may develop. The cost of all expansion joints is to be included in the unit price bid for the proposed sidewalk.

When leaving a square opening in the sidewalk, the length of the side of the square opening should be equal to the diameter of the fixed object plus 16 inches. It will be bordered by half inch expansion joint.

When new sidewalk is placed adjacent to existing sidewalk the Contractor shall correct all abrupt changes and slopes to provide a smooth transition from the limit of construction to existing pedestrian facility.

See Tennessee Department of Transportation Drawing MM-SW-1.



TYPICAL SIDEWALK CROSS SECTION
WITH GRASS STRIP

Notes:

Always place sidewalk as far away from the travelled way when possible. For specifications see "Standard Specifications for Road and Bridge Construction" of The Tennessee Department of Transportation.

Where it becomes necessary to remove parts of existing concrete sidewalks or ramps, the resulting edges shall be cut to a neat line, and any offsets in such lines shall be made at right angles. Sidewalk width do not include the six inch curb width of proposed top of curb.

Maximum sidewalk cross slope is 1.5%. All sidewalks shall have a broom finish and shall be 4" thick unless the plans call for 6" thickness. The concrete shall be Class "A" of 3000 PSI. All cost to be included in Item No. 701-01.01, Concrete Sidewalk (4"), S.F. OR 701-01.02, Concrete Sidewalk (6"), S.F. Concrete joint material to be flush with the sidewalk surface, one inch preformed filler in accordance with Section 702.04 of the Standard Specifications.

Longitudinal joint markings will not be required on sidewalks that are 5 feet or less in width.

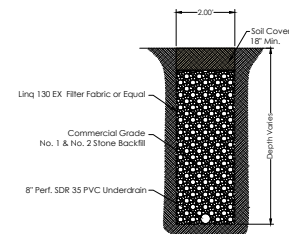
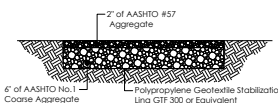
One longitudinal joint marking will be required on sidewalks over 5 feet but less than 9 feet in width.

Two longitudinal joint markings will be required on sidewalks over 9 feet but less than 12 feet in width.

Transverse joint markings are to be made to form blocks as nearly to square as practical.

See Tennessee Department of Transportation Drawing MM-SW-1.

THIS DETAIL ONLY APPLIES TO SIDEWALK WITHIN THE RIGHT-OF-WAY

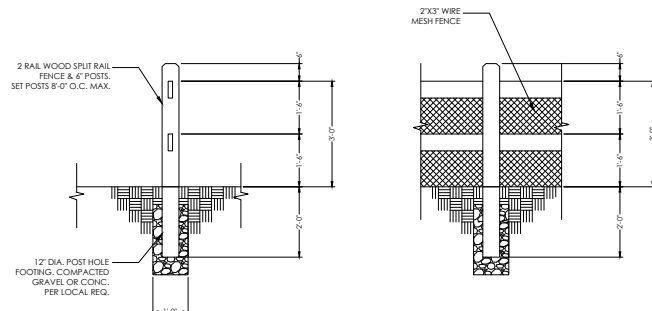


1 EXPANSION JOINT DETAIL
NOT TO SCALE

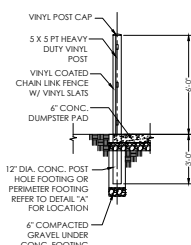
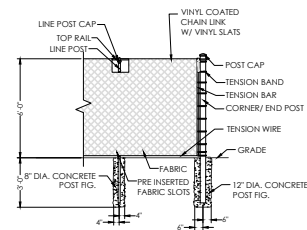
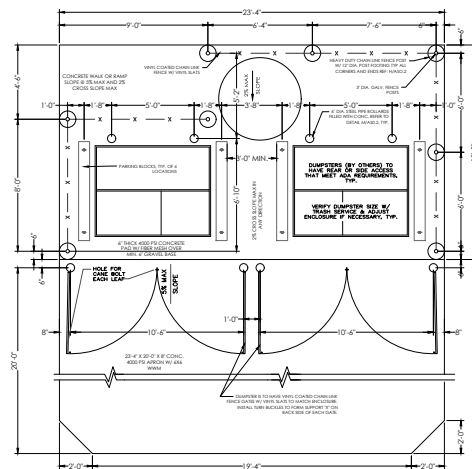
2 SIDEWALK
NOT TO SCALE

3 AGGREGATE PAVEMENT DETAIL

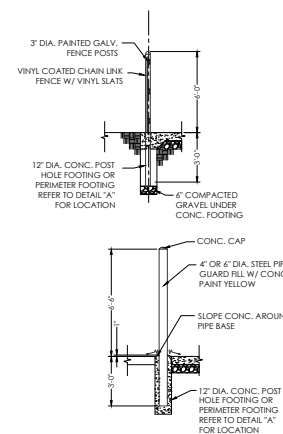
4 UNDERDRAIN SEEPAGE COLLECTOR
NOT TO SCALE



5 MESH FENCE
NOT TO SCALE



6 DUMPSTER ENCLOSURE
NOT TO SCALE



6-SA-20-C
6-A-20-UR
Revised: 5/26/2020

**FOR
PERMIT
PURPOSES**

CLIENT:
Woodbury Crossing Limited Partnership
Attn: Conner Swartz
500 S. Front Street, 10th Floor
Columbus, OH 43215
614.396.3200

WOODBURY CROSSING APARTMENTS

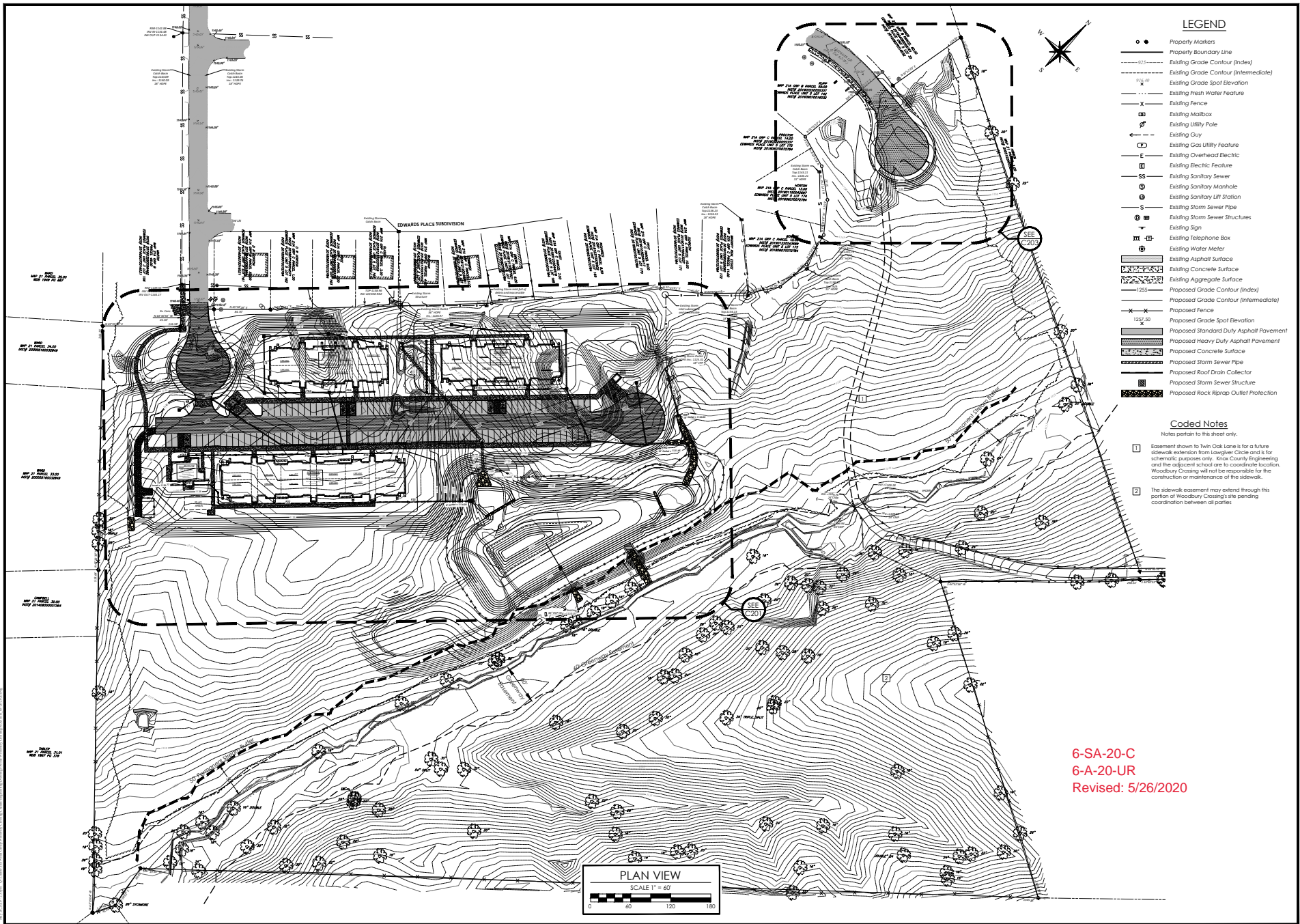
Edwards Place Boulevard
Corryton, Knox County, Tennessee

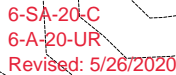
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DATE ISSUED: April 20, 2020
DRAWN: DJB/IRLL CHECKED: CG
NOTES:

Site Details

C103





Sedimentation inlet controls shall be installed and maintained at all storm inlets.

Catch Basin - CB-7
Top Casting 1133.75
Inlet 1" (NE) 1132.00
Outlet 1" (SE) 1132.00
IGT Standard No. 42 Sumps 38" x 20" Precast
Concrete w/ECG V-575 Frame & Grate

Catch Basin - CB-14
Top Casting 1126.90
Inlet 1" (NW) 1122.90
Inlet 1" (SW) 1121.90
Outlet 1" (NE) 1121.90
IGT Standard No. 12 Rectangles
Precast Concrete w/ECG V-440 Frame
76324 Grate, Holes

Yard Drain - YD-4
Top Casting 1128.75
Inlet 1" (NW) 1128.75
AS/5 Hydroplast 24" Inline Drain
w/Cast Iron Grate

Yard Drain - YD-11
Top Casting 1133.20
Inlet 8" (SW) 1132.70
Outlet 8" (NE) 1132.70
IGT Standard No. 14" Inline Drain
w/Cast Iron Grate

Storm Manhole - SMH-3
Top Casting 1130.00
Inlet 18" (NW) 1125.32
Outlet 18" (SE) 1125.00
IGT Standard No. 3 Manhole Precast
Concrete w/ECG 1137 Frame & Grate



ote pertain to this sheet only

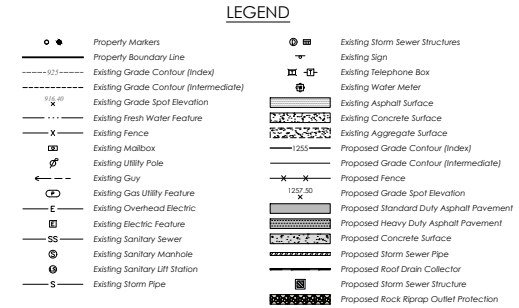
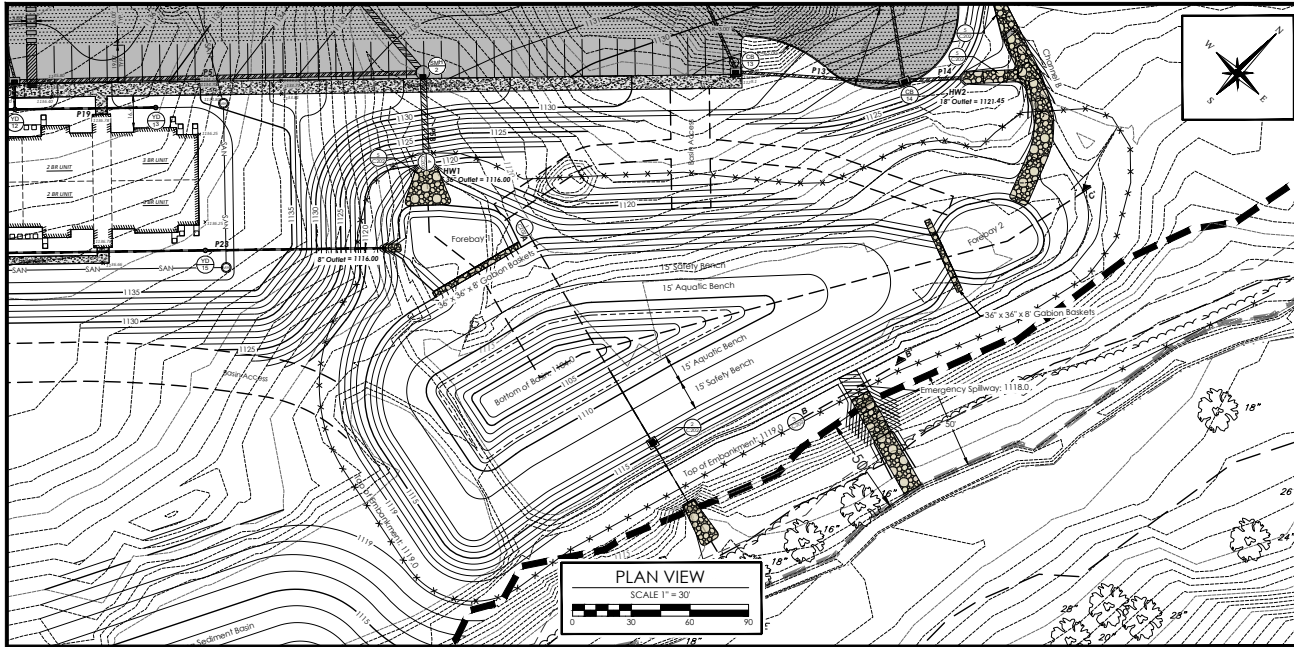
ote pertain to this sheet only

- ## Details

-

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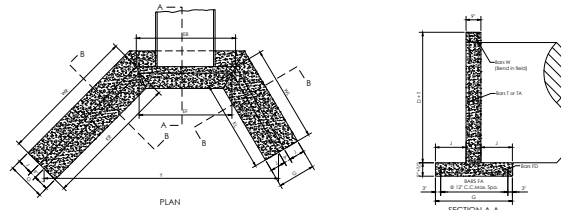
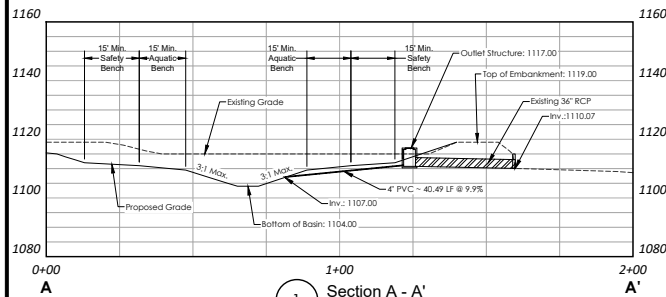
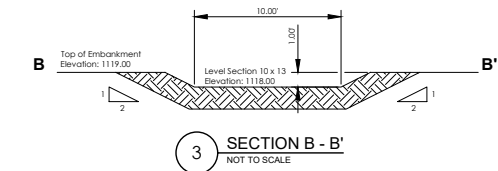
C201



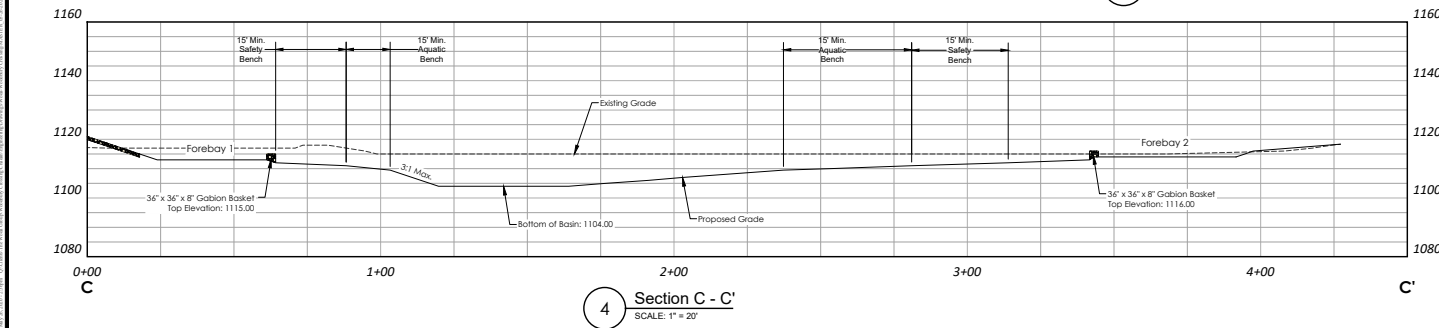
AQUATIC BENCH PLANTINGS:

Scirpus pungens (Three-Square Rush)
Typha latifolia (Cattail)
Scirpus acutus (Hard-Stem Bulrush)

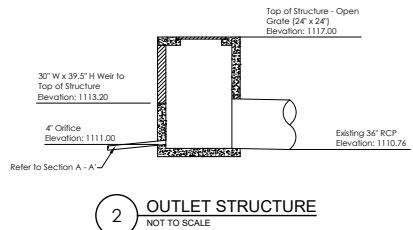
Install plants in single-species clusters with average density of eight (8) plants per 50 square feet.



5 TDOT TYPE B CONCRETE ENDWALL
NOT TO SCALE



6-SA-20-C
6-A-20-UR
Revised: 5/26/2020



FOR PERMIT PURPOSES

CLIENT:
Woodbury Crossing Limited Partnership
Attn: Conner Swartz
505 S. Front Street, 10th Floor
Columbus, OH 43215
614.396.3200

WOODBURY CROSSING APARTMENTS

Edwards Place Boulevard
Corryton, Knox County, Tennessee

DATE: _____

REVISIONS:

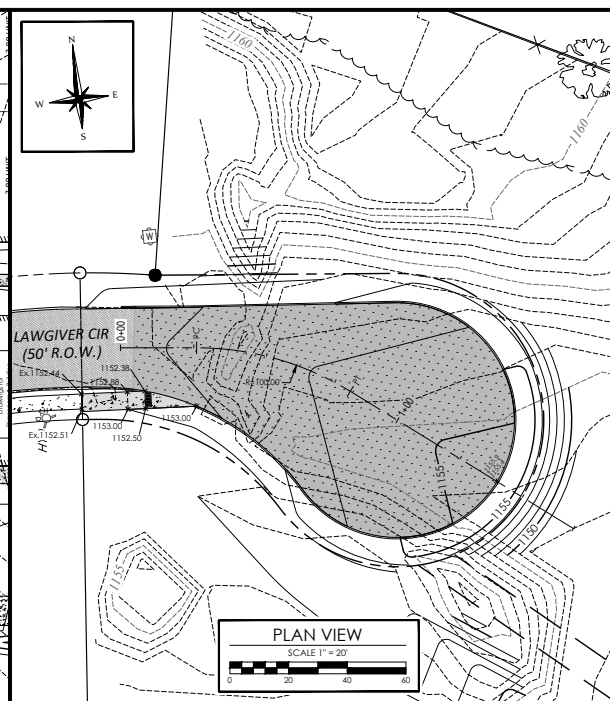
NO.	DATE	DESCRIPTION
1	5/26/2020	ISSUE

DATE ISSUED: April 20, 2020
DRAWN: DUBILL
CHECKED: CG

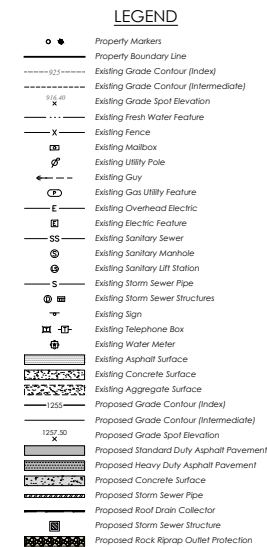
NOTES:

Basin
Information

C202



6-SA-20-C
6-A-20-UR
Revised: 5/26/2020



171 West Main Street
P.O. Box 695
St. Clairsville, Ohio 43950
Office: 304.845.8480
chadanengineering.com

**FOR
PERMIT
PURPOSES**

CLIENT:
Woodbury Crossing Limited Partnership
Attn: Conner Swartz
500 S. Front Street, 10th Floor
Columbus, OH 43215
614.396.3200

WOODBURY CROSSING APARTMENTS

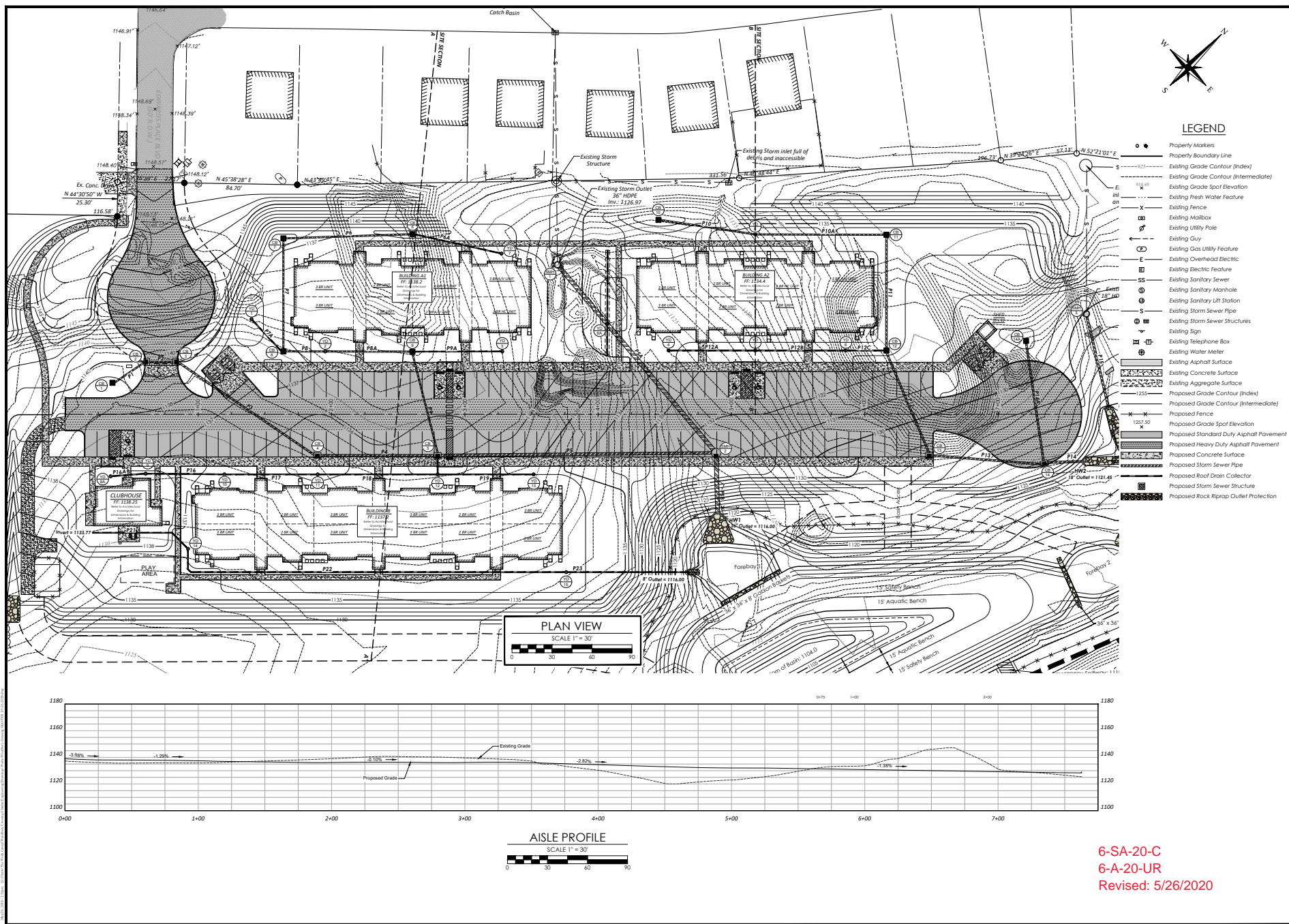
Edwards Place Boulevard
Corryton, Knox County, Tennessee

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DATE ISSUED: April 20, 2020
DRAWN: DJB/RLI CHECKED: CG
NOTES:

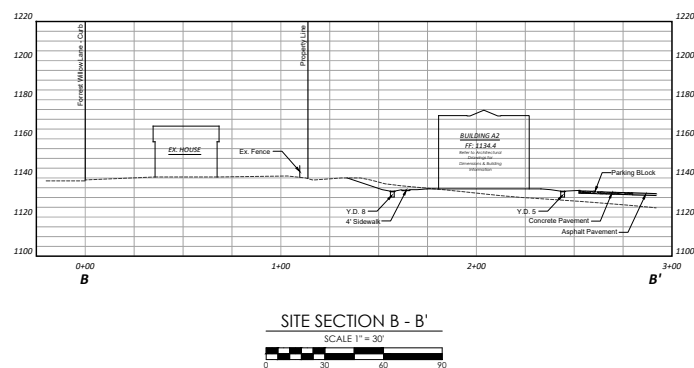
Road Profiles

C203



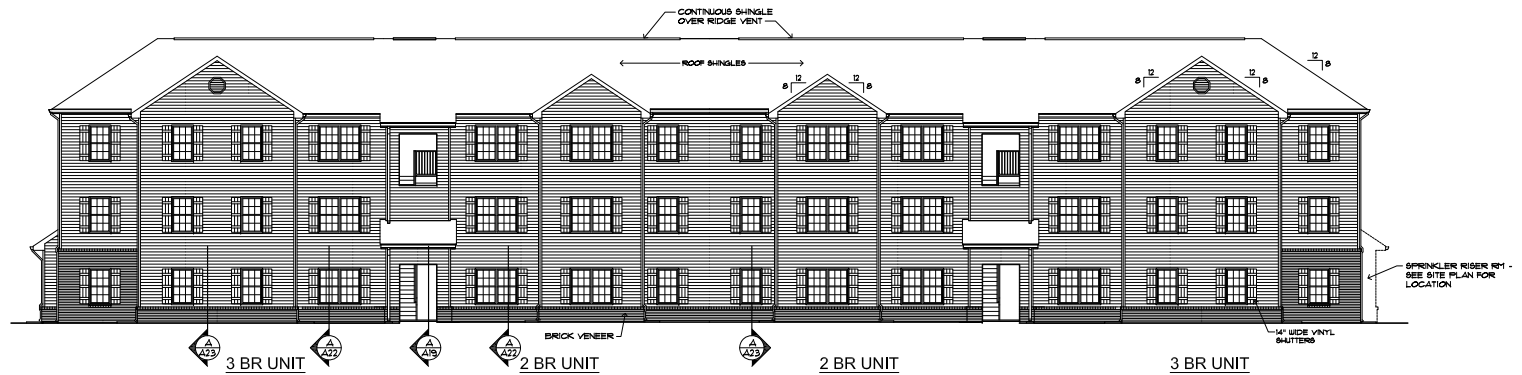
CLIENT:
Woodbury Crossing Limited Partnership
Attn: Conner Swartz
500 S. Front Street, 10th Floor
Columbus, OH 43215
614.396.3200

Edwards Place Boulevard
Corryton, Knox County, Tennessee

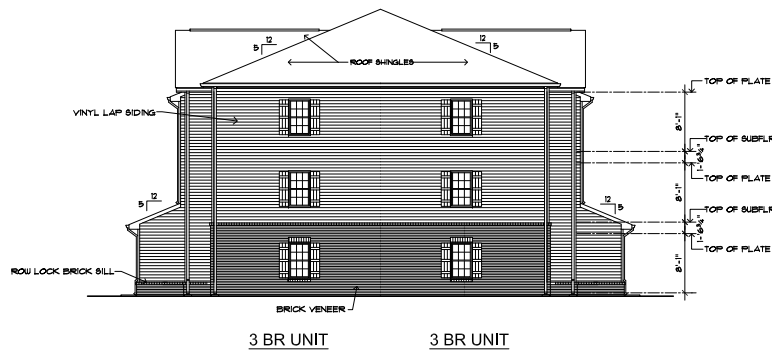


Site Sections

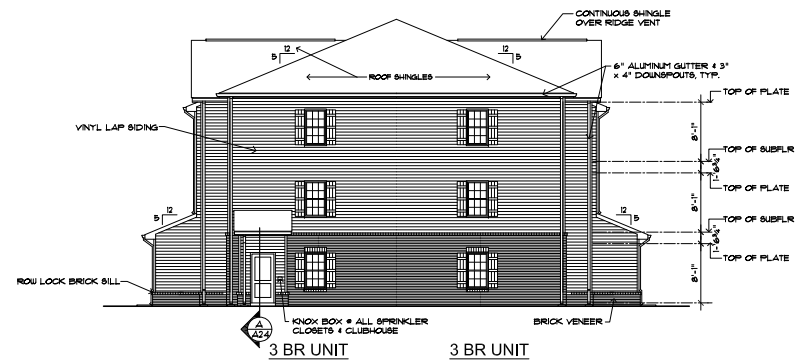
C205



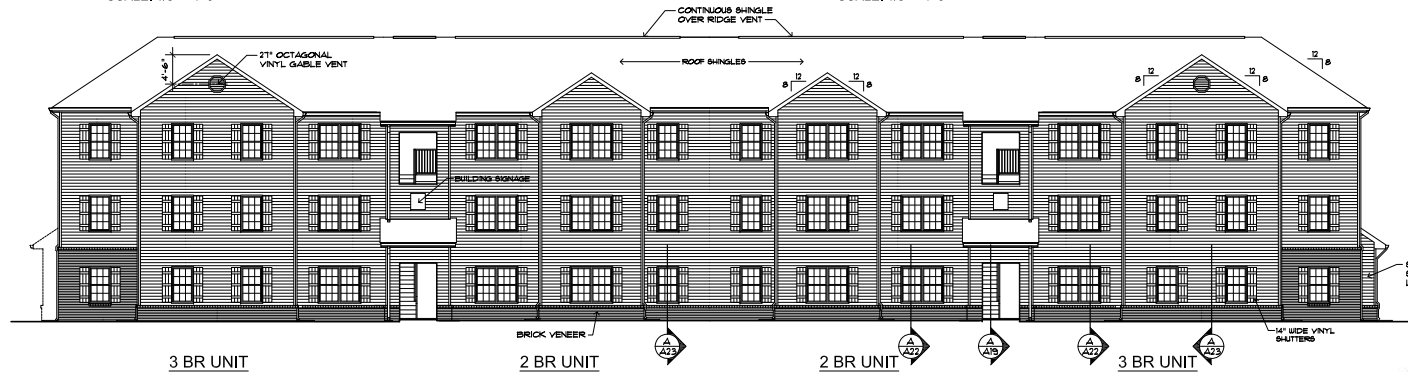
BUILDING A1 & A2 NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



**BLDG A1 & B NORTHEAST /
BLDG A2 SOUTHWEST ELEVATION**
SCALE: 1/8" = 1'-0"



**BLDG A2 NORTHEAST & BLDG B SOUTHWEST /
BLDG A1 SOUTHWEST ELEV. OPPOSITE HAND**
SCALE: 1/8" = 1'-0"



BUILDING A1 & A2 SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-0"

6-SA-20-C
6-A-20-UR
Revised: 5/26/2020

BERNARD B. EWINSTEIN
& ASSOCIATES - ARCHITECTS
NASHVILLE, TENNESSEE

PROJ. NO.
DATE
04/17/2020
REVISED
05/19/2020

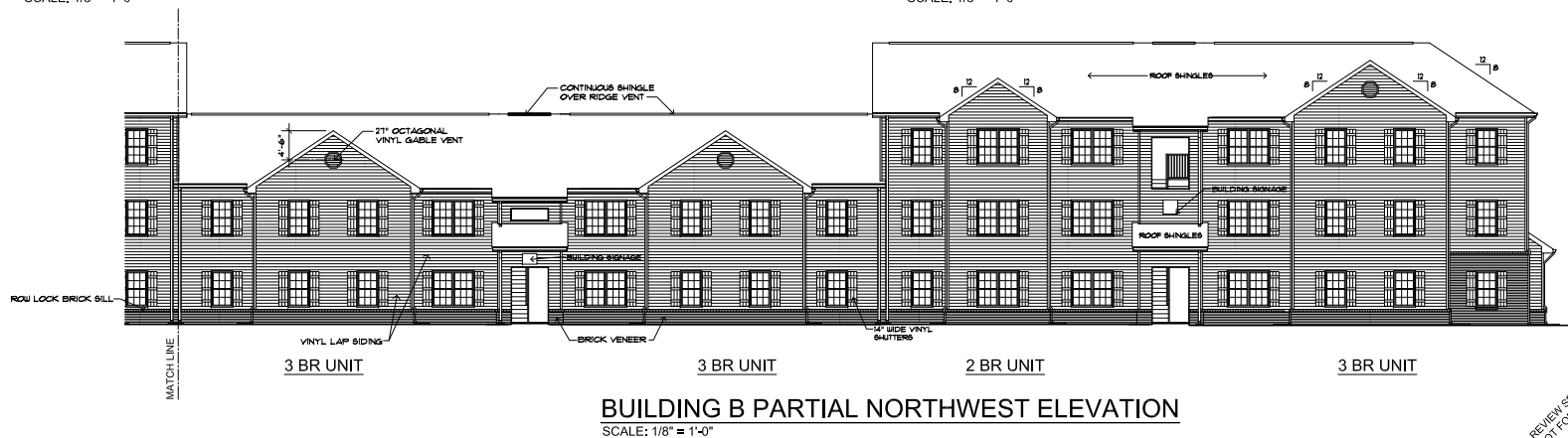
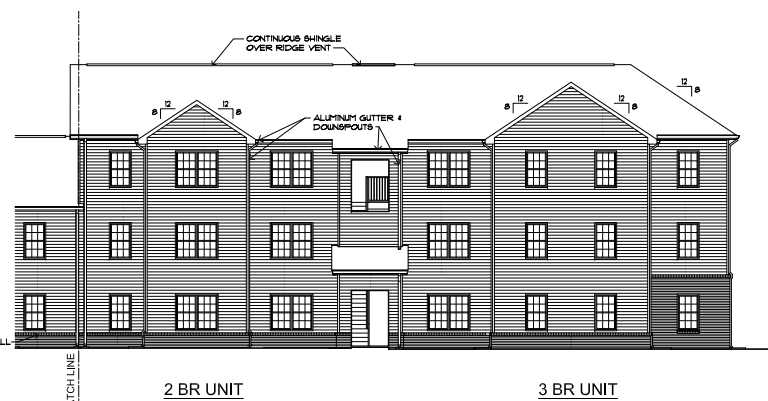
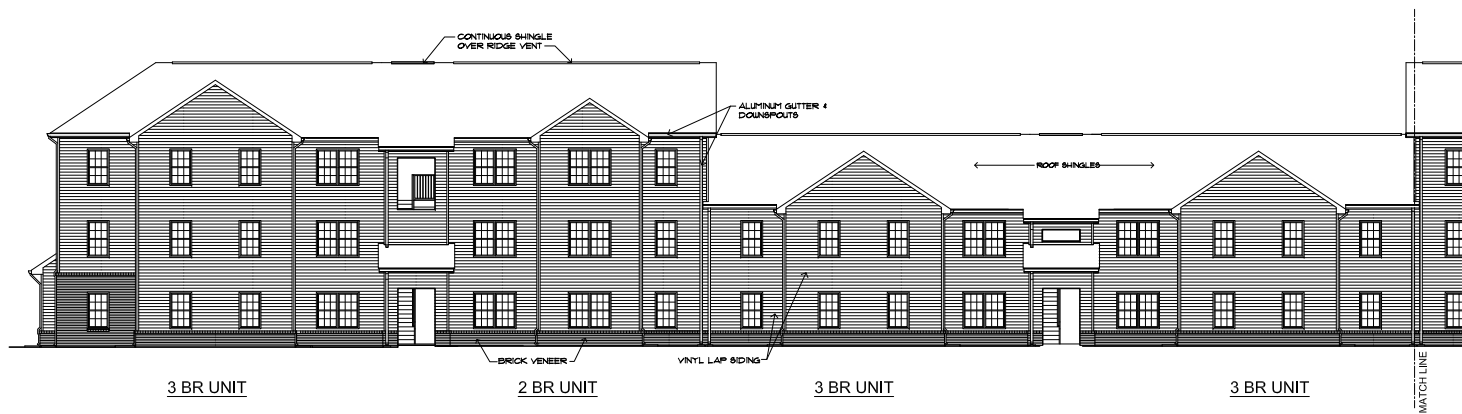
WOODBURY CROSSING
EDWARDS PLACE BOULEVARD
CORYTON, TENNESSEE

BUILDING ELEVATIONS

A16

BLW





6-SA-20-C
6-A-20-UR
4/20/2020

BERNARD L. WEINSTEIN
& ASSOCIATES · ARCHITECTS
NASHVILLE, TENNESSEE

PROJ. NO.
DATE
03/10/2020
REVISED

WOODBURY CROSSING
7605 TWIN OAKS LANE
CORRYTON, TENNESSEE

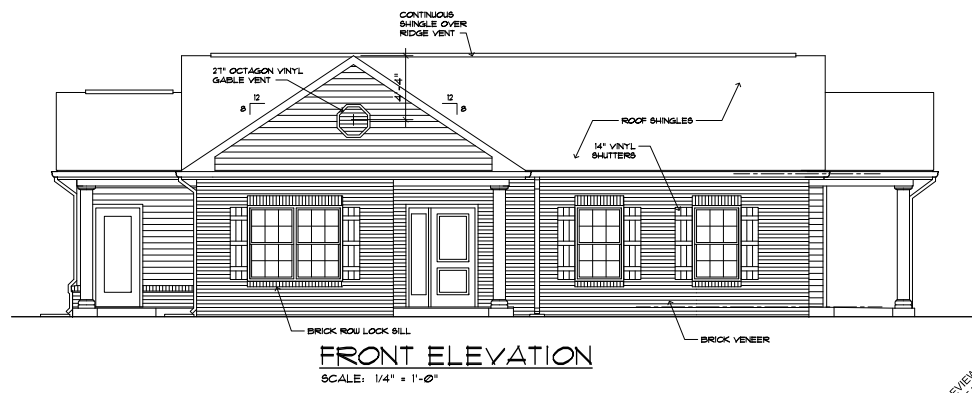
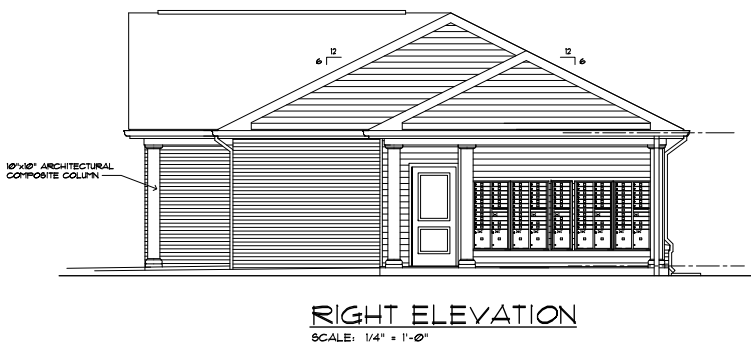
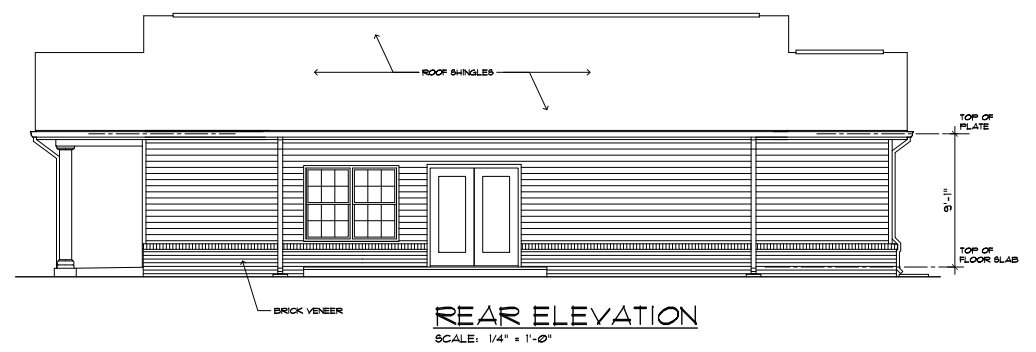
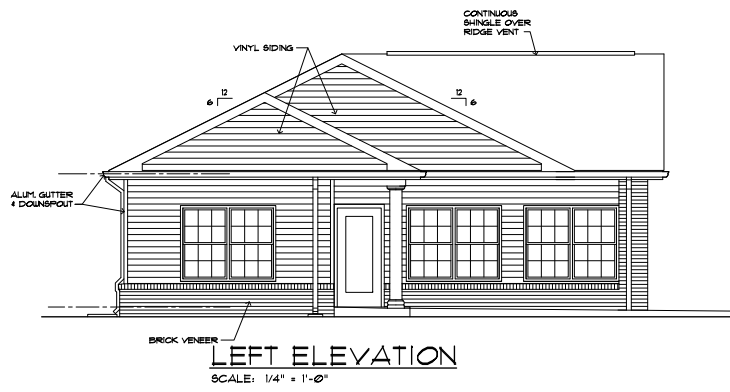
BUILDING ELEVATIONS

A17

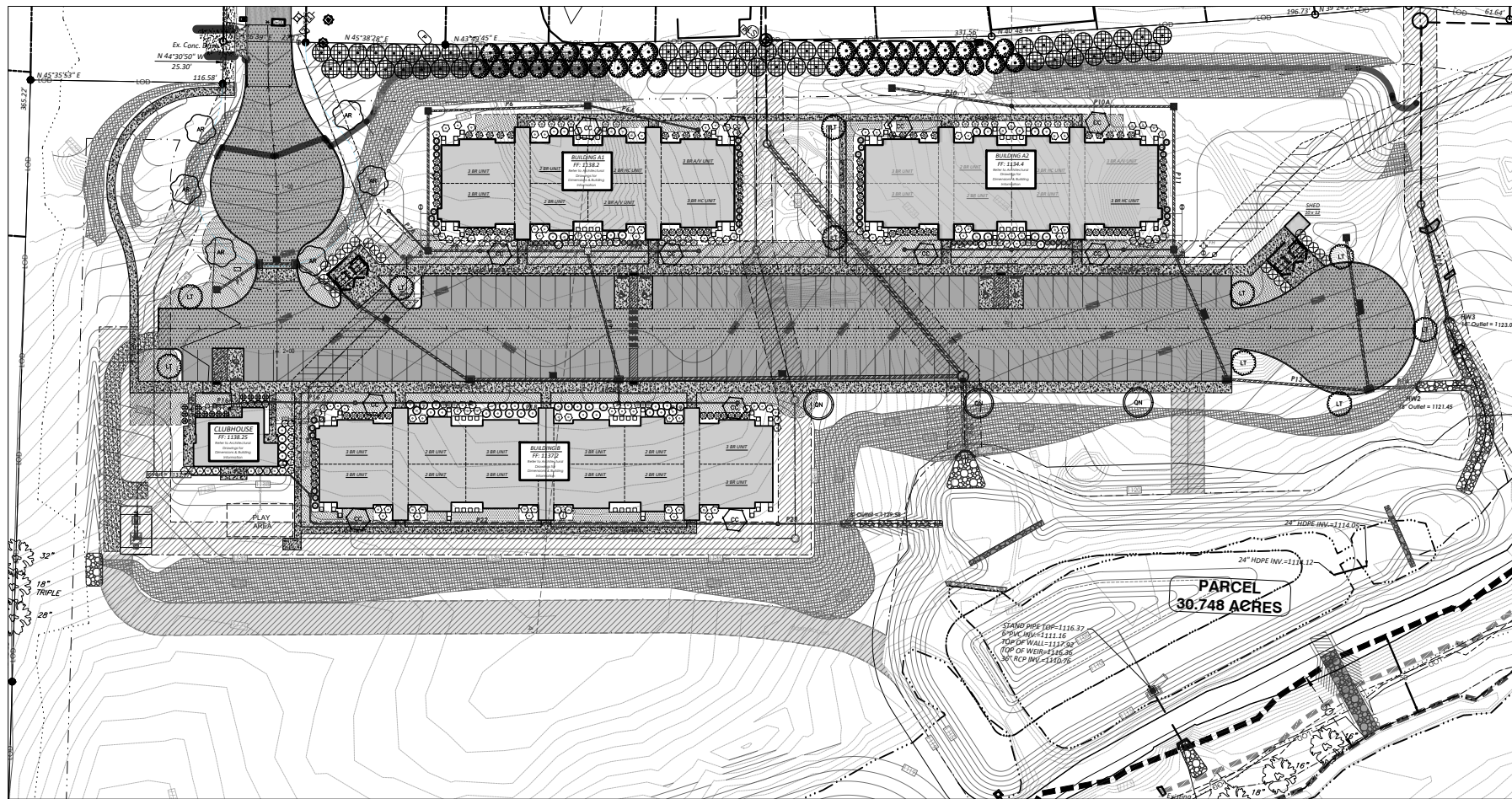
BLW

REVIEW SET
NOT FOR CONSTRUCTION

6-SA-20-C
6-A-20-UR
4/20/2020



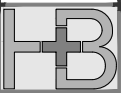
REVIEW SET
NOT FOR CONSTRUCTION



SITE DATA
 ZONING: RESIDENTIAL
 SITE AREA: 30.7 ACRES
 WOODED AREA TO BE PRESERVED: 13.77 ACRES
 DISTURBED AREA: 7.0 ACRES
GENERAL TREE PLANTING REQUIREMENTS
 8 TREES/ ACRE x 7.0 ACRES

REQUIRED
 56 TREES
PROVIDED
 56 TREES

6-SA-20-C
 6-A-20-UR
 Revised: 5/26/2020



Heibert+Ball
LAND DESIGN
1894 Gen. Geo. Patton Dr.
Suite 400
Franklin, TN 37067
Tel: 615.378.2421
www.hblandscape.com

PROPOSED SITE FOR:
WOODBURY CROSSING
KNOX CO., TENNESSEE



BY: CB

RELEASE DATE: 05/22/2020
REV 1:

LANDSCAPE NOTES

PLANT STANDARDS

The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size rules. And meet the characteristics stated on this drawing. All material installed on the site MUST meet or exceed these specifications. Any trees or shrubs not meeting these standards can be rejected at time of inspection.

TREE SPECIFICATIONS. ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:

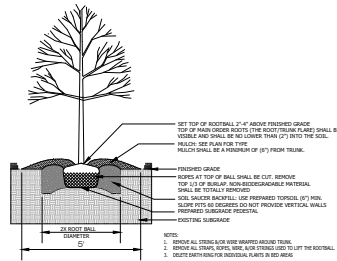
- Deciduous trees shall have one dominant single straight trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree.
- Trees with forked trunks are acceptable if all the following conditions are met:
 - The fork occurs in the upper 1/3 of the tree.
 - One fork is less than 20 the diameter of the dominant fork.
 - The top 1/3 of the smaller fork is removed at the time of planting.
- No branch is greater than 20 the diameter of the trunk directly above the branch.
- The trunk and/or major branches shall not touch.
- Several branches are larger in diameter and obviously more dominant.
- Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
- Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree.
- Crown spread shall look proportional to the tree.
- No flush cuts or open trunk wounds or other bark injury.
- Root ball meets all ANSI standards and is appropriately sized.

DEFICIENCIES NOT ACCEPTED:

- Tip dieback on 5% of branches.
- Crown thin/irregularly foliated.
- Included bark.
- Major Branches touching.
- Asymmetrical branching.

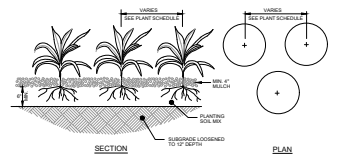
PLANTING NOTES:

- Refer to all written specifications; adhere to Plans and Specifications for all phases of work.
- Verify all utility locations in the field before work begins. Repair damaged utilities to owners satisfaction at no additional cost.
- Verify all material quantities on the drawing during bidding and pricing. In the event of a discrepancy, the quantities drawn on the plan will take precedence over the material schedule.
- All materials are subject to the approval of the Landscape Architect, City, and Owner.
- Once unloaded from truck, immediately stand all trees up. DO NOT lie the trees down. This will reduce the risk of sunscald.
- Plants shall meet specifications. Root balls shall meet or exceed size standards as set forth by "American Standards for Nursery Stock". Main leaders of all trees shall remain intact.
- Mulch plant pits and planting beds with specified mulch to the depth indicated on drawings.
- Prepare all topsoil used in tree, shrub, and seed mixes in accordance with the specifications.
- Discard any material which turns brown or deteriorates within 5 days after planting. Replace immediately with approved specified material at no additional cost.
- Maintain all plant material and laws until project is accepted in full by the City.
- Guarantee all workmanship and materials for a period of 1 calendar year.
- Install all plant material in accordance with all local codes and ordinances. Obtain any required permits necessary to complete the work.
- Provide 6" of topsoil for lawn areas (12" min. over rock), min. 24" of topsoil for shrub zones, and min. 48" deep for tree pits. Refer to specific root ball sizes for the min. diameter tree pit.
- Trees shall be first quality representatives of their species and shall meet all requirements otherwise stipulated. The Landscape Architect reserves the right to reject plant materials in the field, at the growing location, or at the job site at any time during the project.
- Test all tree pits for drainage. Any tree pit that holds water for more than 24 hours shall be installed using filter fabric wrapped perforated drainage tube (sloped to low point) and a washed pea gravel pit well drain.



DECIDUOUS TREE PLANTING

P-10-12



GROUND COVER PLANTINGS

GROUND COVER, GRASSES, AND PERENNIALS

LANDSCAPE NOTES:

- Contractor responsible for locating and protecting all underground utilities prior to digging.
- Contractor responsible for protecting existing trees from damage during construction as shown on plans.
- Contractor to install 6" minimum depth of clean, friable topsoil at all planting beds and lawn areas prior to fine grading. See topsoil specification sheet I-1.3.
- All shrub beds existing and new to be mulched with a 3-4 inch minimum layer of mulch.
- Existing grass in proposed planting areas to be killed and removed and area to be hand raked to remove all rocks and debris larger than 1 inch in diameter prior to planting shrubs or laying sod. Landscape contractor to provide fine grading.
- Any existing grass disturbed during construction to be fully removed, re-graded and replaced. All tree marks and indentations to be repaired.
- Soil to be tested to determine fertilizer and lime requirements and distributed prior to laying sod.
- Sod to be delivered fresh (cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. Edge of sod adjacent to mulch beds to be shovel cut. All sod to be delivered in largest rolls available. There shall be no gaps between sod joints.
- Planting mix to be provided as specified in the landscape specifications.
- The landscape contractor shall guarantee all plants installed for one full year from date of acceptance. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The landscape contractor shall not be responsible for acts of god or vandalism.
- Any plant that is determined dead, in an unhealthy or unsightly condition, lost its shape due to dead branches or other symptoms of poor, non-vigorous growth, as determined by the landscape architect, shall be replaced by the landscape contractor at no cost to owner.
- Prior to installation, the landscape contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by general contractor and observe the site conditions under which the work is to be done. Notify general contractor of any unsatisfactory conditions, and work shall not proceed until such conditions have been corrected.
- Water all plant material that are newly planted thoroughly twice in first 24 hours and apply mulch immediately.
- All trees and shrubs shall be coordinated with lighting plan prior to installation.
- All areas of disturbance outside of landscape beds shall be repaired with turf.
- Any utility structure, light poles, sign, or other feature may not be added to any required landscape island in such a manner that would displace the required element(s) (trees, shrubs, etc).

SUBSTITUTION NOTE:

- Requirements shown are per the City Zoning Ordinance. Substitutions are not allowed unless approved by the City and Heibert+Ball Land Design.

TO AVOID OVERHEAD LIGHT POLE CONFLICTS:

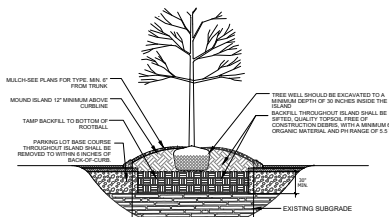
In the event proposed canopy trees are in conflict (within 10') with proposed or existing light pole locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment.

TO AVOID OVERHEAD UTILITY CONFLICTS:

In the event proposed canopy trees are in conflict (within 20') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment.

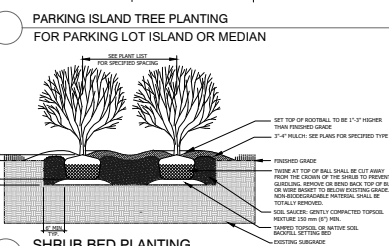
UTILITY SCREEN

All utility structures, transformers, meters, and/or units shall be screened with plant material tall enough to provide an effective screen. Structures not shown on landscape plans will be required to be screened. If utilities are added to the site, contact Heibert+Ball Land Design for screening recommendations.



PARKING ISLAND TREE PLANTING

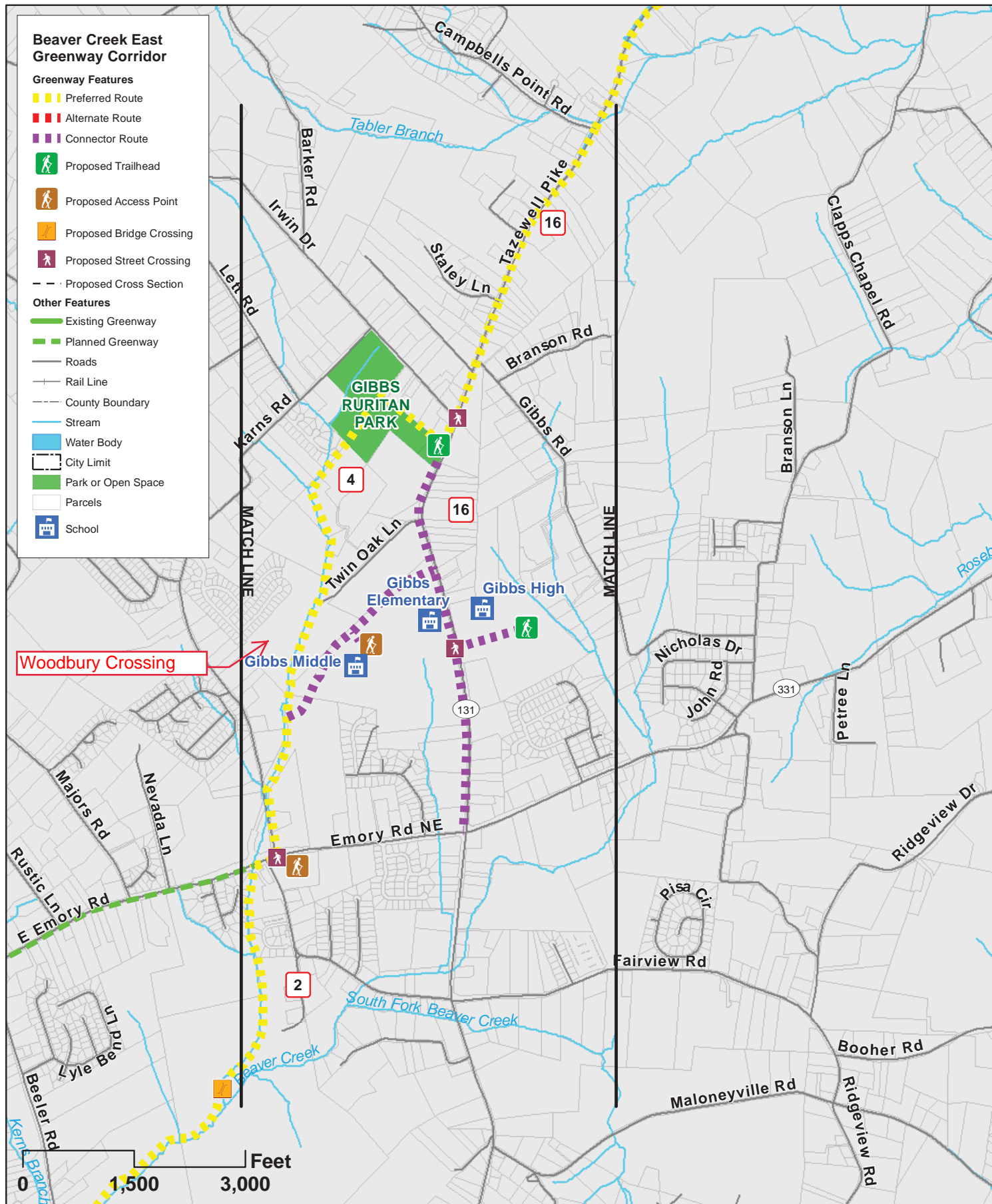
FOR PARKING LOT ISLAND OR MEDIAN



SHRUB BED PLANTING

6-SA-20-C
6-A-20-UR
Revised: 5/26/2020

Figure 4-3. Beaver Creek East: East of Beeler Road to Campbells Point Road





DEVELOPMENT REQUEST

DEVELOPMENT

- ☒ Development Plan
☐ Planned Development
☒ Use on Review / Special Use

SUBDIVISION

- ☐ Concept Plan
☐ Final Plat

ZONING

- ☐ Plan Amendment
☐ Rezoning

WC Woodbury Crossing Limited Partnership

Applicant Name

Affiliation

Date Filed

Meeting Date (if applicable)

File Number(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☐ Applicant ☐ Owner ☐ Option Holder ☐ Project Surveyor ☒ Engineer ☐ Architect/Landscape Architect

Charles Garvick

Chadan Engineering, Inc.

Name

Company

PO Box 692

St. Clairsville

Ohio

43950

Address

City

State

Zip

740-449-2194

cmgarvick@chadanengineering.com

Phone

Email

CURRENT PROPERTY INFO

People Bank of the South

PO Box 1221, LaFollette TN 37721

Owner Name (if different)

Owner Address

Owner Phone

7605 Twin Oaks Lane, Corryton, TN 37721

021 00203

Property Address

Parcel ID

Edwards Place SD, Thompson School Road

30.748 Acres

General Location

Tract Size

Knox County

PR (Planned Residential) < 4 du/ac

Jurisdiction (specify district above)

☐ City ☒ County

Zoning District

Northeast County

LDR

Planned Growth

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

Vacant land

No

HPUD

NKUD

Existing Land Use

Septic (Y/N)

Sewer Provider

Water Provider

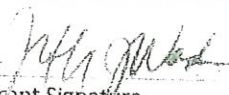
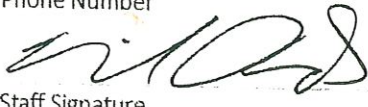
REQUEST

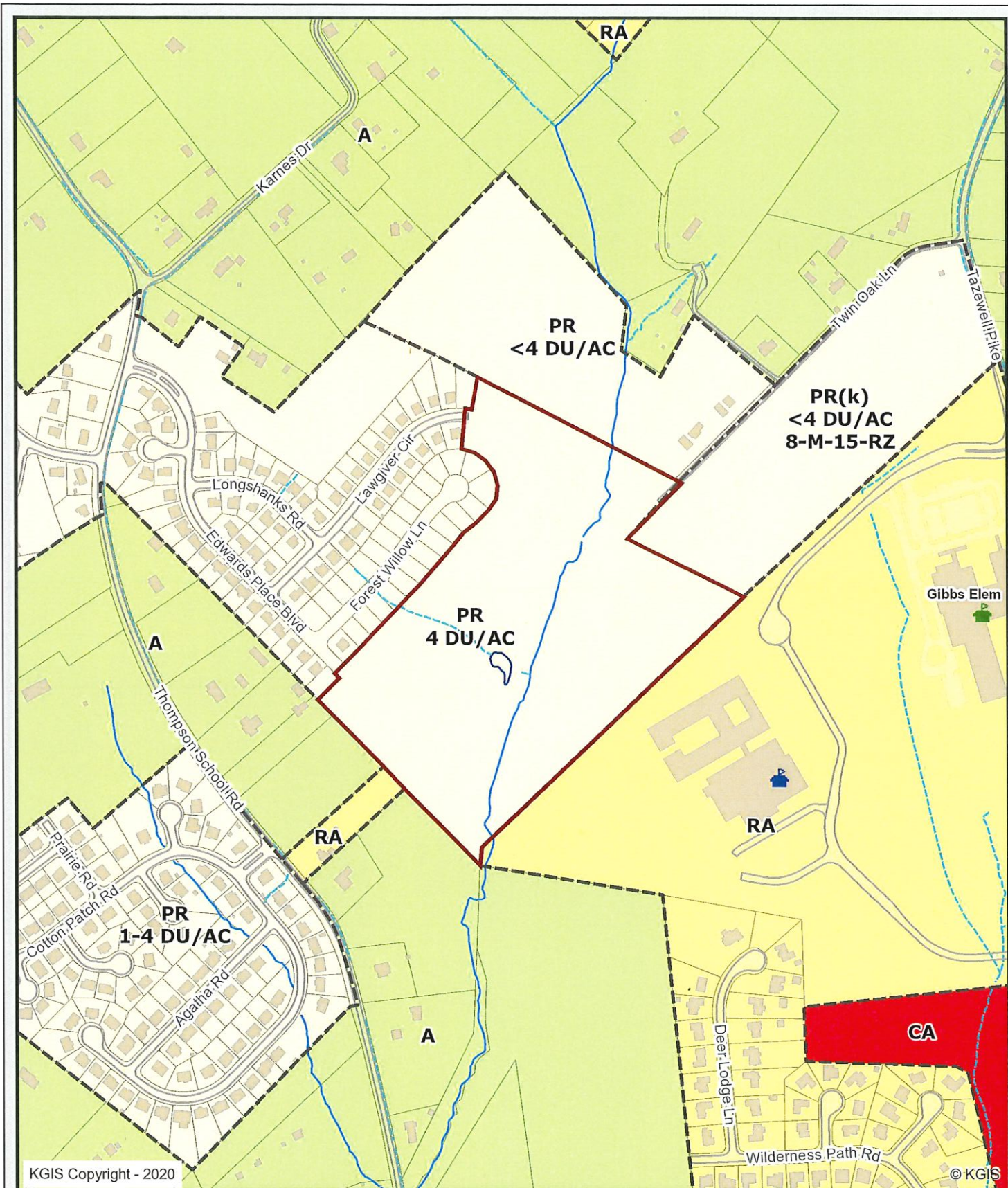
DEVELOPMENT	<input checked="" type="checkbox"/> Development Plan	<input checked="" type="checkbox"/> Use on Review / Special Use
	<input checked="" type="checkbox"/> Residential	<input type="checkbox"/> Non-Residential
SUBDIVISION	<input type="checkbox"/> Home Occupation (specify):	
	<input type="checkbox"/> Other (specify):	80 unit multi-dwelling development
	<input type="checkbox"/> Proposed Subdivision Name	Unit / Phase Number
	<input type="checkbox"/> Parcel Change	
	<input type="checkbox"/> Combine Parcels <input type="checkbox"/> Divide Parcel	Total Number of Lots Created:
ZONING	<input type="checkbox"/> Other (specify):	
	<input type="checkbox"/> Attachments / Additional Requirements	
	<input type="checkbox"/> Zoning Change:	Proposed Zoning
	<input type="checkbox"/> Plan Amendment Change:	Proposed Plan Designation(s)
	Proposed Density (units/acre)	Previous Rezoning Requests
	<input type="checkbox"/> Other (specify):	

STAFF USE ONLY	PLAT TYPE	<input type="checkbox"/> Staff Review	<input type="checkbox"/> Planning Commission
	ATTACHMENTS	<input type="checkbox"/> Property Owners / Option Holders	<input type="checkbox"/> Variance Request
	ADDITIONAL REQUIREMENTS	<input type="checkbox"/> Design Plan Certification (Final Plat only)	
	<input type="checkbox"/> Use on Review / Special Use (Concept Plan only)		
	<input checked="" type="checkbox"/> Traffic Impact Study		
	FEE 1:	VOR	4,374.00
	FEE 2:		
	FEE 3:		
	TOTAL:		\$4,374.00

AUTHORIZATION

By signing below, I certify I am the property owner, applicant or the owners authorized representative.

 Applicant Signature 614-396-3200 Phone Number	Jeffrey Woda Please Print jwoda@wodagroup.com Email	04/16/2020 Date
 Staff Signature	Michael Reynolds Please Print	4/20/2020 Date

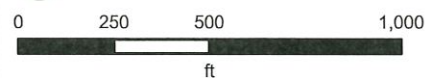


Letter Portrait

Knoxville - Knox County - KUB Geographic Information System



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