



SPECIAL USE REPORT

▶ **FILE #:** 3-L-20-SU

AGENDA ITEM #: 33

AGENDA DATE: 3/12/2020

▶ **APPLICANT:** MIKE GRAY, P.E.
OWNER(S): Broadway Center Partnership

TAX ID NUMBER: 81 E F 00802 AND PART OF 008 [View map on KGIS](#)

JURISDICTION: City Council District 4

STREET ADDRESS: 2085 N. Broadway

▶ **LOCATION:** West side of N. Broadway, west of McCroskey Ave., northwest of Cecil Ave.

▶ **APPX. SIZE OF TRACT:** 0.49 acres

SECTOR PLAN: Central City

GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)

ACCESSIBILITY: Access is via N Broadway, a major arterial street with a five lane street section within a 70' right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: First Creek

▶ **ZONING:** C-G-2 (General Commercial)

▶ **EXISTING LAND USE:** Taco Bell restaurant

▶ **PROPOSED USE:** Restaurant with drive-thru

HISTORY OF ZONING: None noted

SURROUNDING LAND USE AND ZONING: North: Broadway Shopping Center - C-G-2 (General Commercial)

South: Broadway Shopping Center - C-G-2 (General Commercial)

East: N. Broadway and mixed businesses - C-G-2 (General Commercial)

West: Broadway Shopping Center - C-G-2 (General Commercial)

NEIGHBORHOOD CONTEXT: The site is located within an older shopping center in an area that includes a mix of commercial, institutional and residential uses.

STAFF RECOMMENDATION:

▶ **APPROVE the development plan for a restaurant with drive thru containing approximately 2,600 square feet of floor area, subject to 9 conditions.**

1. Connection to sanitary sewer and meeting any other relevant requirements of the utility provider.
2. Installation of all landscaping shown on the development plan within six months of the issuance of occupancy permit for this project.
3. Meeting all applicable requirements of the City of Knoxville Tree Protection Ordinance.
4. Installing all sidewalks shown on the development plan in accordance with the requirements of the

Americans with Disabilities Act (ADA) and the City of Knoxville Department of Engineering.

5. Signage shall be in conformance with Article 13 of the City of Knoxville Zoning Ordinance, and is subject to final approval by Planning staff and the Knoxville Plans Review and Inspections Division.
6. Since this site was reviewed as a stand alone site and not as a part of the overall Broadway Shopping Center, a final plat approval will be required for the lease parcel in order to create a lot of record.
7. Recording any greenway easement as may be required by the City of Knoxville. Any greenway easement that will cross this lot shall be identified on the final plat.
8. Meeting all applicable requirements of the City of Knoxville Department of Engineering.
9. Meeting all applicable requirements of the City of Knoxville Zoning Ordinance.

With the conditions noted, this plan meets the requirements for approval in the SC-2 (Community Shopping Center) District, and the other criteria for approval of a use on review.

COMMENTS:

The applicant has submitted a development plan for a new 2600 square foot restaurant with drive thru to replace the existing Taco Bell restaurant in the Broadway Shopping Center. The plan was submitted to the City of Knoxville before the end of last year and is being reviewed under the SC-2 (Community Shopping Center) District and not the C-G-2 (General Commercial). Access to the site is from the internal driveway system for the shopping center. There will be a total of 17 parking spaces provided on the site which complies with the parking standards.

Since this site was reviewed as a stand alone site and not as a part of the overall Broadway Shopping Center, a final plat approval will be required for the lease parcel in order to create a lot of record. Any greenway easement that is required by the City that will cross this lot shall be identified on the final plat.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTIES AND THE COMMUNITY AS A WHOLE

1. The proposed restaurant will have minimal impact on local services since all utilities are available to serve this site.
2. The proposed redevelopment of the restaurant will have minimal impact on traffic circulation patterns and all driveways should operate with acceptable service levels.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

1. With the recommended conditions, the proposed restaurant meets the standards for development within the SC-2 zoning district and all other requirements of the Zoning Ordinance..
2. The proposed restaurant is consistent with the general standards for uses permitted on review: The proposed development is consistent with the adopted plans and policies of the General Plan and Sector Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the area where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas.

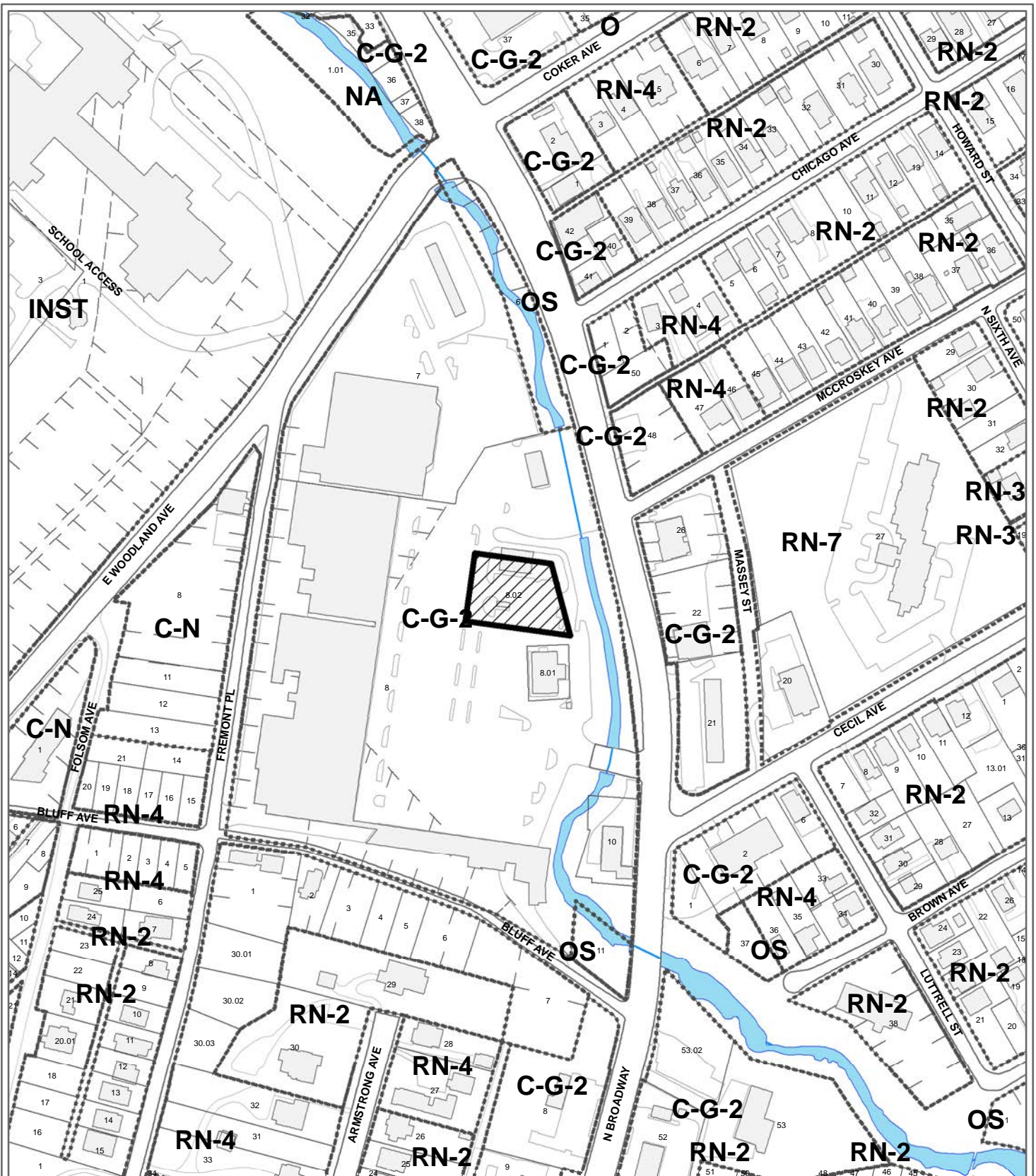
CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

1. The Central City Sector Plan and the One Year Plan identify this area as being within the Broadway Mixed Use District which allows commercial uses for this site. The restaurant is consistent with both the Sector and One Year plans.
2. The site is located within the Urban Growth Area of the Knoxville-Knox County-Farragut Growth Policy Plan.

ESTIMATED TRAFFIC IMPACT: Not required.

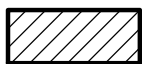
ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal a Planning Commission decision in the City.



**3-L-20-SU
USE ON REVIEW**

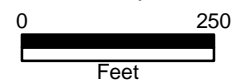
Petitioner: Gray, P.E., Mike



Restaurant with drive-thru in C-G-2 (General Commercial)

Map No: 81

Jurisdiction: City



Original Print Date: 2/18/2020

Revised:

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

PROPOSED TACO BELL RESTAURANT

2085 N. BROADWAY
KNOXVILLE, TN 37917
SITE #283291

REVISIONS

PLANNING FILE # 3-L-20-50



TACO BELL RESTAURANT
2085 NORTH BROADWAY KNOXVILLE, TN 37917
SITE #283291

TAC*LA
5700 CORPORATE WOODLORNE
WESTMINSTER, CO 80056
WWW.TACOBELL.COM



JOB NO: 19200
DWG NAME: 19200.PRD

TITLE SHEET

SHEET: CO

DATE: 2/24/20

CONTACT LIST:

BUILDING DEPARTMENT
PLANS REVIEW AND INSPECTIONS DIRECTOR
PETER ANHENS
PAHRENS@KNOXVILLE.TN.GOV
865.215.3669
400 MAIN ST., SUITE 475
KNOXVILLE, TN 37902

WATER
KNOXVILLE UTILITIES BOARD (KUB)
865-524-2911
WWW.KUB.ORG

SEWER
KNOXVILLE UTILITIES BOARD (KUB)
865-524-2911
WWW.KUB.ORG

POLICE DEPARTMENT
POLICE CHIEF
EVE M. THOMAS
CHIEF@POLICE@KNOXVILLE.TN.GOV
865.215.7000
800 HOWARD BAKER JR. AVE.
KNOXVILLE, TN 37915

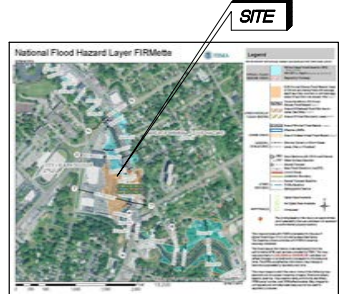
GAS
KNOXVILLE UTILITIES BOARD (KUB)
865-524-2911
WWW.KUB.ORG

FIRE DEPARTMENT
FIRE CHIEF
STAN SHARP
SSHARP@KNOXVILLE.TN.GOV
865.595.4480
900 E. HILL AVE., SUITE 430
KNOXVILLE, TN 37915

POWER
KNOXVILLE UTILITIES BOARD (KUB)
865-524-2911
WWW.KUB.ORG



VICINITY MAP
N.T.S.



FEMA MAP
N.T.S.

NOTE: THIS PROPERTY IS CURRENTLY LOCATED IN ZONE AE (AREAS SUBJECT TO FLOODING BY THE 1% ANNUAL CHANCE FLOOD, WITH BASE FLOOD ELEVATION DETERMINED), AND IN ZONE X (AREAS SUBJECT TO THE 0.2% ANNUAL FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE), AS DEPICTED ON FEMA FLOOD PANEL #7093C0281 G, EFFECTIVE AUGUST 5, 2015.

SHEET INDEX:

- C0 COVER SHEET
- C1 SURVEY/DEMO/CLEARING PLAN
- C1.1-C1.3 TRAFFIC CONTROL PLANS
- C1.4 TYPICAL SECTION & GENERAL NOTES
- C2 SITE PLAN
- C3 GRADING PLAN
- 3.1 DRAINAGE PLAN
- C3.2 STORM PROFILES
- C4 UTILITY PLAN
- C5 EROSION CONTROL PLAN
- C6 LANDSCAPING PLAN
- C7 SITE LIGHTING PLAN
- C8-13 SITE DETAILS
- C14 EROSION CONTROL DETAILS
- C15 UTILITY DETAILS
- C16 IRRIGATION DETAILS
- C17 LANDSCAPING DETAILS

ZONING INFORMATION

CURRENT ZONING: C-G-2 (GENERAL COMMERCIAL DISTRICT)
PROPOSED ZONING: NO CHANGE
EXISTING USE: TACO BELL
PROPOSED USE: TACO BELL

PARCEL INFORMATION

OWNER: BROADWAY CENTER PARTNERSHIP
PO BOX 22013
KNOXVILLE, TN 37933
PARCEL ID: 081EFD0802
CITY BLOC#: 11140

PLANNING FILE NUMBER

3-L-20-SU

GENERAL NOTES:

- A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER:
TL
2890 RICE MINE ROAD
TUSCALOOSA, AL 35406
PHONE: 205-561-3778
- B. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER / DEVELOPER SITE WORK SPECIFICATIONS.
- C. CONTRACTOR SHALL BE RESPONSIBLE FOR RAZING AND REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- D. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- E. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- F. SAFETY NOTICE TO CONTRACTOR:
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- G. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF PART 6 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION. TRAFFIC CONTROL REQUIREMENTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN HIS PRICE FOR CONSTRUCTION.

SUBMITTAL DATE:
CITY OF KNOXVILLE, TN - FEBRUARY 19, 2020



3-L-20-SU
Revised: 2/25/2020

CONTRACTOR INFORMATION

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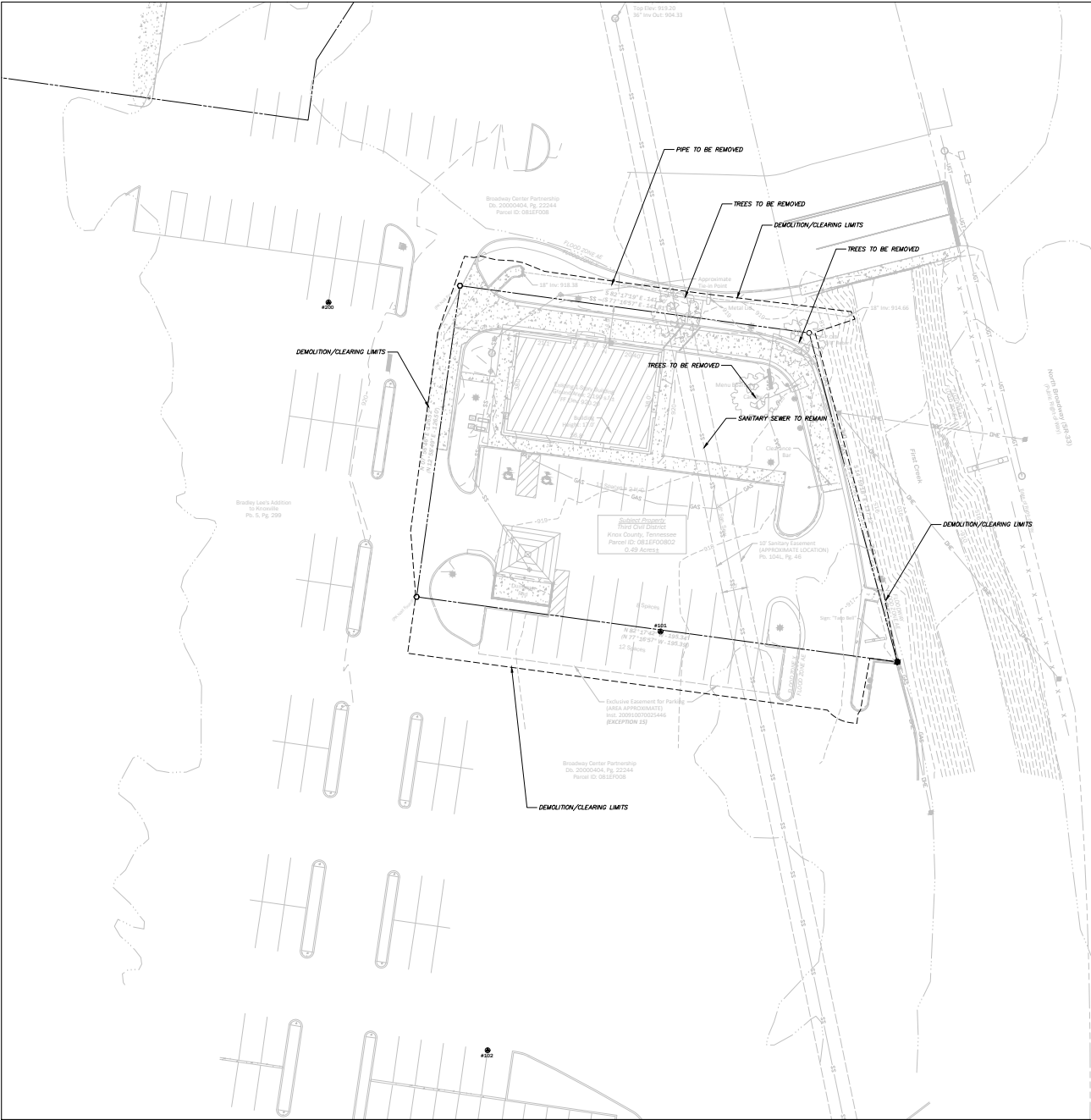
APPROVALS

ELECTRIC	_____
GAS	_____
WATER	_____
WASTEWATER	_____
FIRE	_____
ENGINEERING	_____
BUILDING	_____

24-HR EMERGENCY CONTACT: MIKE GRAY, P.E. 205.283.7413

C:\USERS\MIKEGRAY\TACOLA\ACTIV\OFFICE CAD STING - DOCUMENTS\JOB FILES\2020\19200 N. BROADWAY\DWG\19200.PRD

C:\USERS\WAGNER\TACOLA\TACOLA_LUTV.dwg DATE: 2/25/2020 11:50:00 AM PROJECT: 2020-04-01 10:00 AM BROADWAY RESTAURANT



ALL STRUCTURES, PAVEMENT, FENCING, CONCRETE AND OTHER SITE ITEMS TO BE REMOVED TO PROPERTY LINES. CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND REMOVING ALL TREES IN CONFLICT WITH NEW CONSTRUCTION. ALL UTILITIES WITHIN THE SITE WILL BE MOVED OR REMOVED. SEE SHEET C4 FOR NEW CONNECTIONS TO DETERMINE HOW EXISTING UTILITIES WILL BE REMOVED OR RELOCATED.
ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF PART 6 OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.

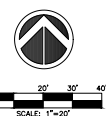
3-L-20-SU
Revised: 2/25/2020

DEMOLITION LEGEND

---	PROPERTY LINE
- - - - -	EASEMENT LINE
- - - - -	SETBACK LINE
- X - X - X - X -	CHAIN LINK FENCE
---	GAS
---	SANITARY SEWER
---	OVERHEAD ELECTRIC
---	UNDERGROUND CABLE
---	WATER SERVICE
---	STORM SEWER PIPE
---	EXISTING CONCRETE
---	EXISTING CURB AND GUTTER
STOP	STOP BAR (PAVEMENT MARKING)
♿	"HANDICAP PARKING" SIGN
STOP	"STOP" SIGN (R1-1)
♿	HANDICAP STALL
WHEEL STOP	WHEEL STOP
A.D.A. STD HANDICAP RAMP	A.D.A. STD HANDICAP RAMP
STORM SEWER GRATE	STORM SEWER GRATE
ELECTRICAL TRANSFORMER	ELECTRICAL TRANSFORMER
SANITARY SEWER CLEAN OUT	SANITARY SEWER CLEAN OUT
SANITARY SEWER MANHOLE	SANITARY SEWER MANHOLE
FIRE HYDRANT	FIRE HYDRANT
GATE VALVE	GATE VALVE
FDC	FIRE DEPARTMENT CONNECTION

DEMOLITION NOTES

1. THE CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES AND FIRING WHICH MIGHT INTERFERE WITH DEMOLITION. ANY DAMAGES TO UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL DEBRIS NOT ACCEPTABLE TO THE OWNER AND ENGINEER.
3. AT LOCATIONS TO RECEIVE NEW SIDEWALK, ASPHALT OR CURB & GUTTER, CONTRACTOR WILL SAW-CUT AND REMOVE EXISTING MATERIAL FROM SITE. CONTRACTOR WILL PREPARE SUBGRADE FOR INSTALLATION OF NEW MATERIAL.
4. CONTRACTOR IS RESPONSIBLE FOR NOTIFYING ALL UTILITIES BEFORE CONSTRUCTION AND VERIFYING LOCATION OF ALL UTILITIES ON OR IN THE VICINITY OF THE WORK, WHETHER SHOWN ON THE PLANS OR NOT.
5. TREES TO BE DEMOLISHED SHALL BE CLEARED AND GRUBBED. NO BURNING SHALL BE ALLOWED ON OWNER'S PROPERTY.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND COST OF THE RELOCATION OF ALL UTILITIES ALONG THE RIGHT OF WAY AND ON THE SITE ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT, SUCH AS, BUT NOT LIMITED TO, SIGNAL POLES, SIGNAL CONTROLS, DRAINAGE STRUCTURES, TRAFFIC SIGNS, UTILITY POLES, GUY WIRES, ETC.
7. CONTRACTOR SHALL ERECT A 4" ORANGE CONSTRUCTION FENCE AROUND THE CONSTRUCTION AREA IF SHOWN ON THIS PLAN. ALL WORK, INCLUDING MATERIAL STORAGE, SHALL BE KEPT WITHIN THIS AREA. CONTRACTOR SHALL RESTORE THE CONSTRUCTION AREA TO A CONDITION ACCEPTABLE TO OWNER.
8. FENCING, GATE, EROSION CONTROL, AND "NO TRESPASSING" SIGNS TO BE PLACED AT ENTRANCES OF CONSTRUCTION BOUNDARIES IF SHOWN ON THIS PLAN.
9. CAP ALL UTILITIES EXCEPT THOSE SERVING FUTURE BUILDING.
10. WATER AND SEWER LINES TO BE REMOVED TO BOUNDARY OF CONSTRUCTION AND CAPPED/SUBBERED.
11. DEMOLITION CONTRACTOR TO PROTECT ANY EXISTING TRANSFORMER UNTIL POWER COMPANY REMOVES FROM SITE.
12. OWNER SHALL BE RESPONSIBLE FOR INVESTIGATION OF ASBESTOS IN ANY EXISTING STRUCTURES. GENERAL CONTRACTOR TO EVALUATE ASBESTOS IF PROVIDED AND INCLUDE PRICING IN HIS BID. DEMOLITION CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER REMOVAL IF ANY EXISTS.
13. CONTRACTOR SHALL VERIFY LOCATIONS OF ANY EXISTING METERS AND COORDINATE WITH UTILITY COMPANY AS TO WHETHER METERS CAN REMAIN IN PLACE UNDER NEW SITE LAYOUT.
14. CONTRACTOR SHALL INSTALL ALL APPLICABLE ADVANCE WARNING TRAFFIC CONTROL DEVICES AS REQUIRED WHEN WORKING IN R.O.W. AND SHALL FOLLOW ALL GUIDELINES AS SPECIFIED IN THE MUTCD.
15. CONTRACTOR SHALL ASSUME VARIATIONS IN CONCRETE AND ASPHALT THICKNESS TO BE REMOVED AND SHALL BID ACCORDINGLY. NO INCREASE IN PAYMENT SHALL BE ALLOWED BASED ON ACTUAL VERSUS ASSUMED NORMAL THICKNESS OF MATERIAL.



REVISIONS
DATE/NO. BY REVISION

PLANNING FILE - 24-01-01

TACO BELL RESTAURANT
2085 NORTH BROADWAY KNOXVILLE, TN 37917
SITE #283291

TACOLA
5705 CORPORATE WOODS DRIVE
WESTMINSTER, VA 22646
WWW.TACOLA.COM

JOB NO: 19200
DWG NAME: 19200.PRDJ
**SURVEY/DEMO/
CLEARING PLAN**
SHEET
C1
DATE: 2/24/20

REVISIONS

NO.	DATE	DESCRIPTION

PLANNING FILE # 24-10-01



TACO BELL RESTAURANT
 2085 NORTH BROADWAY KNOXVILLE, TN 37917
 SITE #283291

TACALA
 SITE CORP/ENGINEER
 WESTVALE, ALA. 35894
 WWW.TACALA.COM

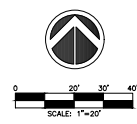


JOB NO: 1020
 DWG NAME: 3000.PLD

SITE PLAN

SHEET
C2

DATE: 2/24/20



SITE LEGEND

- PROPERTY LINE
- EASEMENT LINE
- SETBACK LINE
- CONCRETE SIDEWALK (SEE DETAIL)
- CONCRETE CURB AND GUTTER (SEE DETAIL)
- STOP BAR (PAVEMENT MARKING)
- TRAFFIC FLOW ARROW (PAVEMENT MARKING)
- "STOP" SIGN (81-1)
- ACCESSIBLE STALL AND DESIGNATED VAN STALL, A.D.A. STD ACCESSIBLE RAMP
- STORM SEWER GRATE

SITE NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PLANS AND SITE WORK SPECIFICATIONS AND SHALL COMPLY WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES.
2. REFERENCE ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS AND ITEMS NOT SHOWN ON THESE PLANS.
3. TOPOGRAPHIC BOUNDARY SURVEY, PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY:
 TIL
 2880 RICE WINE ROAD
 TUSCALOOSA, AL 35409
 PHONE: 205-561-3778
4. ALL DIMENSIONS AND HEAD ARE TO THE FACE OF CURB, UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHOWN TO BUILDERS ARE TO OUTSIDE FACE OF BUILDING.
5. ALL ACCESSIBLE PARKING SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICAN WITH DISABILITIES ACT (ADA) REQUIREMENTS AND APPLICABLE STATE CODES OR REQUIREMENTS.
6. ALL TRAFFIC SIGNS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND APPLICABLE STATE DOT REQUIREMENTS, AND IS RESPONSIBILITY OF SITE CONTRACTOR.
7. ALL STRIPED OR CURBED RADII SHALL BE 2.5' AT THE FACE OF CURB UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE TO ANY EXISTING IMPROVEMENTS, ONSITE OR OFF SITE, SUCH AS PAVEMENT, UTILITIES, STORM DRAINAGE, ETC. THE REPAIR MUST BE APPROVED BY THE ENGINEER AND BE EQUAL OR BETTER THAN EXISTING CONDITIONS.
9. ALL PARKING LOT LIGHTING POLES, BASES, FIXTURES WITH LAMPS AND REQUIRED PAINT WILL BE INSTALLED BY THE GENERAL CONTRACTOR'S ELECTRICAL CONTRACTOR. THE ELECTRICAL CONTRACTOR SHALL PROVIDE THE OWNER A ONE-YEAR WARRANTY CERTIFICATE. ALL INCURRED COSTS FOR RECEIVING, UNWRAPPING OF FACTORY PAINTED POLES, STORAGE, LIABILITY AND MANUALLY LABOR SHALL BE INCLUDED IN THE INSTALLATION CONTRACT PRICE.
10. CONTRACTOR SHALL OBTAIN ALL PERMITS BEFORE CONSTRUCTION BEGINS.
11. SITE CONTRACTOR SHALL SURVEY AS-BUILT PLANS INDICATING ALL CHANGES AND DEVIATIONS FROM THE DESIGN DOCUMENTS. SITE CONTRACTOR SHALL ALSO PROVIDE AS-BUILT AS PART OF THE CONTRACT FOR STORM, SANITARY AND WATER LINES, IF REQUIRED BY THE GOVERNING AUTHORITY.
12. ANY DEVIATION FROM THESE PLANS MAY CAUSE THE WORK TO BE UNACCEPTABLE.
13. ANY UNANTICIPATED CONDITIONS ENCOUNTERED DURING THE CONSTRUCTION PROCESS SHALL BE IDENTIFIED TO THE OWNER/ENGINEER IMMEDIATELY.
14. ALL SITE CONCRETE SHALL BE 3,500 PSI 28 DAY COMPRESSIVE STRENGTH.
15. ALL CURB WITHIN THE DEVELOPMENT SHALL BE 6" HEADER CURB, CURB AND GUTTER, WHEN SHOWN IN PARKING LOTS, SHALL BE 18" ALL OTHER CURB TO BE 24" AND 30" IN H.G.W. UNLESS OTHERWISE SPECIFIED.
16. PARKING LOT STRIPING SHALL BE INCLUDED IN PAVING CONTRACTOR'S SCOPE OF WORK. STRIPING WILL BE ACCORDING TO OWNER'S SPECIFICATIONS. ALL STRIPING IS TO HAVE TWO (2) COATS OF PAINT (DUNE).
17. THE SITE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL WORK AND APPURTENANCES TO WITHIN 5' OF THE BUILDING.
18. CONTRACTOR TO INCLUDE CONCRETE BOLLARDS FOR PROTECTION OF BUILDING CORNERS, TRANSFORMERS, VAULTS, LIGHTING POLES, AND OTHER FIXTURES NEAR DRIVE ISLES AS SHOWN ON THIS PLAN.
19. BUILDING CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
20. ALL GUTTER SECTIONS OF CURB AND GUTTER AND ALL CONCRETE APRON IN PARKING STALLS SHALL HAVE THE SAME SLOPE AS THE PAVEMENT WITHIN THE PARKING LOT AS SHOWN ON THE GRADING PLAN. CONTRACTOR MUST EVALUATE GRADING PLAN PRIOR TO POURING THESE ITEMS.

SPECIAL SITE NOTES

1. CONTRACTOR TO LEAVE OUT 2" CURB AND GUTTER AT LOCATION OF ADA RAMP, 7' AT OTHER RAMPS, AND ANY OTHER AREAS AS DIRECTED BY THE ENGINEER. BUILDING CONTRACTOR RESPONSIBLE FOR POURING THESE AREAS DURING SEPARATE CONSTRUCTION.
2. SITE CONTRACTOR RESPONSIBLE FOR APPLICATION OF CLEAR SEALER, PROVIDED BY OWNER, TO ALL CURB AND GUTTER AND COLORED CONCRETE PAVING. BUILDING CONTRACTOR RESPONSIBLE FOR APPLICATION OF CLEAR SEALER TO ALL SIDEWALKS AND FINAL BLACK SEALER TO COLORED CONCRETE PAVEMENT.
3. BUILDING CONTRACTOR RESPONSIBLE FOR ALL GRADING WITHIN AREAS INSIDE INTERIOR CURB AND GUTTER TO WITHIN 4" OF TOP OF CURB.
4. DYE FOR COLORED CONCRETE AS WELL AS CLEAR AND PIGMENTED SEALER PROVIDED BY TACALA.
5. DRIVE THRU LOOPS PROVIDED BY TACALA AND SHALL BE INSTALLED BY THE SITE CONTRACTOR.
6. ALL SIGNAGE SHALL BE PROVIDED BY THE SITE WORK CONTRACTOR EXCEPT FOR ADA SIGNAGE TO BE PROVIDED BY BUILDING CONTRACTOR.

COLORED CONCRETE

FOR CONCRETE USED IN PARKING APRON, DRIVEWAY, ENCLOSURE APRON AND DRIVE THRU LANE:
 CONCRETE STRENGTH = 4000 PSI
 STRAIGHT CEMENT MIX
 SLUMP = 3"-5"
 COLOR = BROWNISH
 PLANT MIXED ONLY
 "428303Y"

APPLY ARC CURE AND SEAL CLEAR AFTER CONCRETE CURES AND WITHIN 24 HOURS. ALLOW SEALER TO DRY 72 HOURS BEFORE FOOT TRAFFIC. APPLY THIN SEAL 48 HRS PRIOR TO TURNOVER DATE.

PARKING SUMMARY

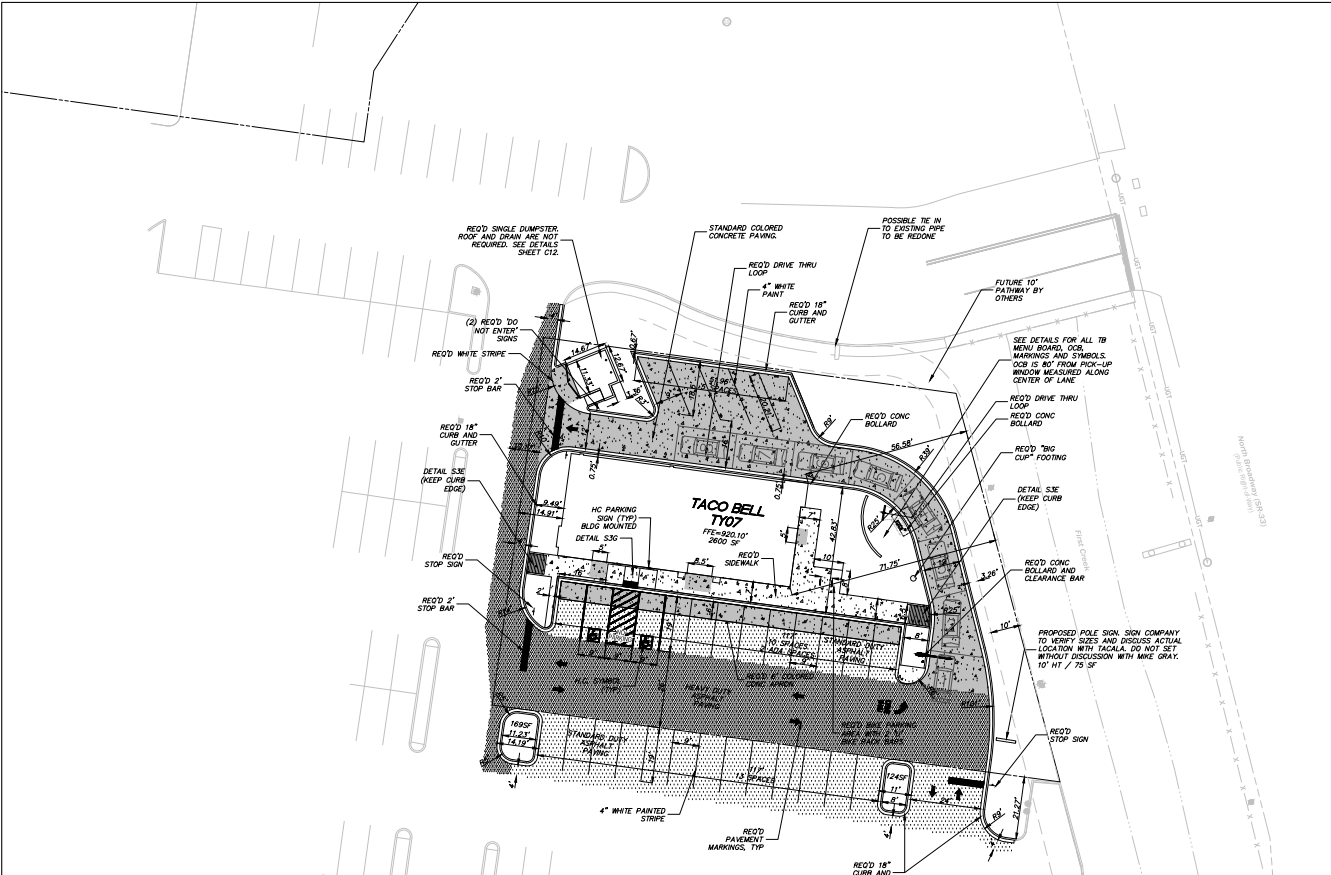
TOTAL VEHICULAR USE AREA	10,415 SF
BUILDING	2,600 SF
MIN/MAX PER 1000 SF	6/12 = (16/12) SPACES
PROVIDED STD. SPACES	15
PROVIDED ADA SPACES	2
PROVIDED BIKE SPACES	4

SITE SUMMARY

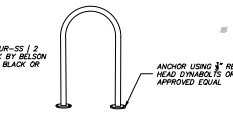
TOTAL LOT AREA	0.49 ACRES
TOTAL DISTURBED AREA	0.60 ACRES
PRE DEVELOPMENT	
TOTAL IMPERVIOUS AREA	0.38 ACRES
TOTAL PERVIOUS AREA	0.11 ACRES
POST DEVELOPMENT	
TOTAL IMPERVIOUS AREA	0.38 ACRES
TOTAL PERVIOUS AREA	0.11 ACRES

PAVEMENT LEGEND

- STD. DUTY CONCRETE PAVING
- COLORED CONCRETE PAVING
- STD. DUTY ASPHALT PAVING
- HEAVY DUTY ASPHALT PAVING



VAN ACCESSIBLE PARKING SIGN
 N.T.S.

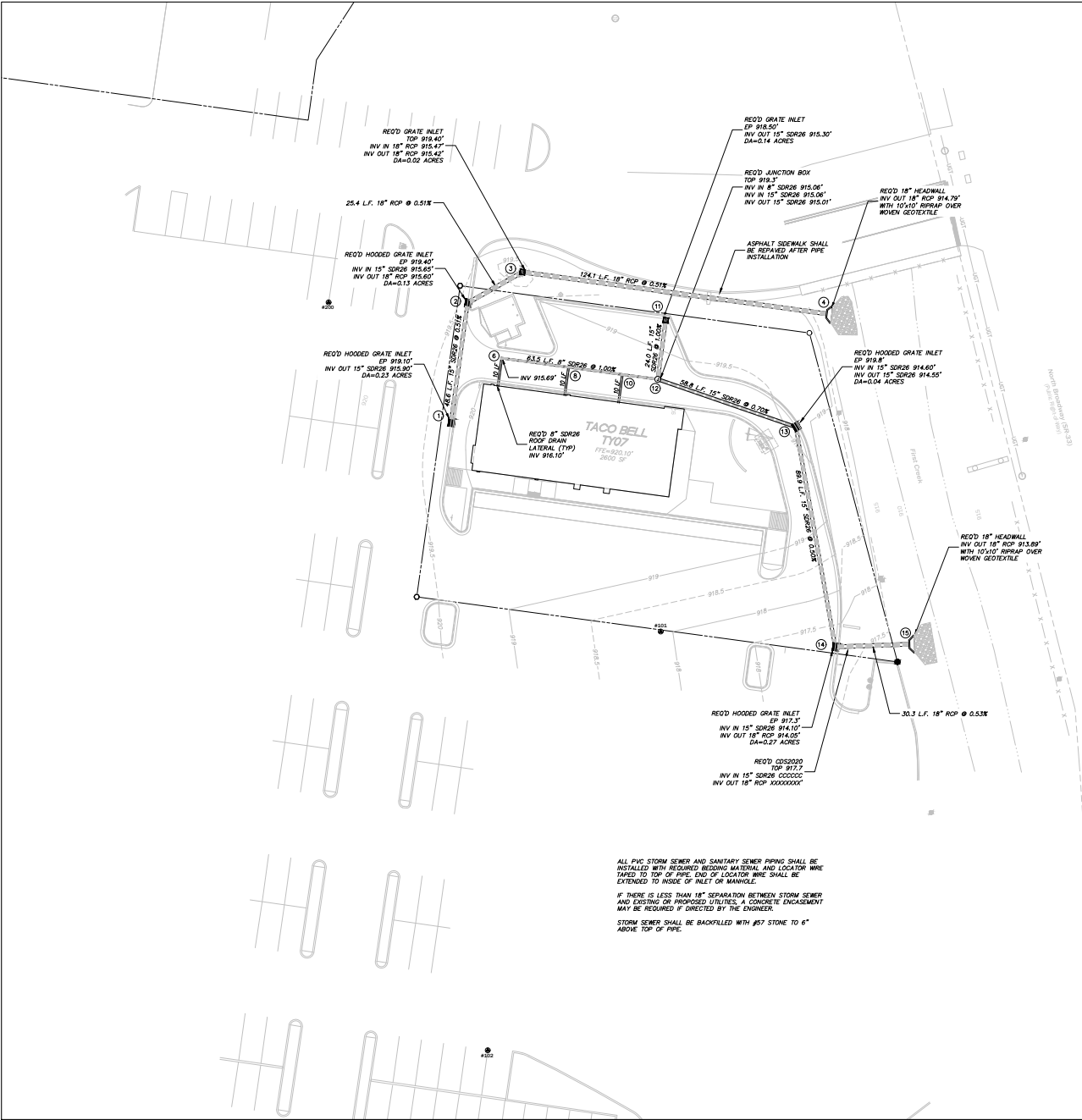


U SHAPED BIKE RACK
 N.T.S.

3-L-20-SU
 Revised: 2/25/2020

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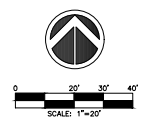
C:\USERS\WAGNER\TACOLA\TACOLA - DOCUMENTS\DWG FILES\2020\19200 N. BROADWAY\DWG\19200 DRAINAGE



ALL PVC STORM SEWER AND SANITARY SEWER PIPING SHALL BE INSTALLED WITH REQUIRED BEDDING MATERIAL AND LOCATOR WIRE TAPPED TO TOP OF PIPE. END OF LOCATOR WIRE SHALL BE EXTENDED TO INSIDE OF INLET OR MANHOLE.

IF THERE IS LESS THAN 18" SEPARATION BETWEEN STORM SEWER AND EXISTING OR PROPOSED UTILITIES, A CONCRETE ENCASUREMENT MAY BE REQUIRED IF DIRECTED BY THE ENGINEER.

STORM SEWER SHALL BE BACKFILLED WITH #57 STONE TO 6" ABOVE TOP OF PIPE.



LEGEND

- EXISTING 1" CONTOUR
- EXISTING 5" CONTOUR
- FUTURE 1" CONTOUR
- FUTURE 5" CONTOUR
- EXISTING PROPERTY LINE
- EXISTING RIGHT-OF-WAY
- EXISTING SETBACK LINE
- FUTURE RIGHT-OF-WAY
- FUTURE SETBACK LINE
- FUTURE PROPERTY LINE
- GRADE ELEVATION
- STORM SEWER LINE
- RETAINING WALL
- OR ⊙ JUNCTION BOX
- ⊙ GRATE INLET
- ⊙ SANITARY SEWER CLEAN-OUT
- ↑ SLOPE ARROW
- HEAD GRADE BREAK LINE

DRAINAGE NOTES

1. STORM SEWER PIPE OVER 18" SHALL BE CLASS B RCP PER ASTM C-76 OR CONCRETE ULTRALIGHT STORM SEWER PIPE LESS 18" AND SMALLER MAY BE EITHER OF THE ABOVE OR SDR35. ALL PIPE CONNECTIONS AT MANHOLES SHALL BE WATERSTOP.
2. PRECAST STRUCTURES MAY BE USED AS AN ALTERNATIVE TO CAST-IN-PLACE STRUCTURES. SUBMIT ALL BOX DESIGN TO THE ENGINEER FOR APPROVAL.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND COST OF THE RELOCATION OF ALL UTILITIES ALONG THE RIGHT-OF-WAY AND ON THE SITE ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT, SUCH AS, BUT NOT LIMITED TO: SIGNAL POLES, SIGNAL CONTROLS, DRAINAGE STRUCTURES, TRAFFIC SIGNS, LIVE WIRES, STREET LIGHTING, UTILITY POLES, AND GUY WIRES, WATER, GAS AND UNDERGROUND ELECTRICAL LINES.
4. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
5. ALL STORM SEWER MANHOLES AND PIPES TO BE FLUSHED CLEAN PRIOR TO TURNING OVER TO THE OWNER.
6. ALL PIPE LENGTHS LISTED ARE BASED ON THE HORIZONTAL DISTANCE FROM CENTER OF STRUCTURE AND USED FOR DESIGN.
7. THE CONTRACTOR IS RESPONSIBLE FOR COMPARING THE STORM SEWER AND SANITARY SEWER QUANTITIES WITH THE PROFILES FOR THE STORM SEWER AND SANITARY SEWER LINES, IF PROVIDED IN PLANS, AND INFORMING THE ENGINEER OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.
8. ALL ROOF LATERALS SHALL BE SDR26 OR PVC PIPE AT 1/8" MINIMUM GRADE.
9. SITE CONTRACTOR SHALL CAP 8" ROOF DRAINS AT 30" BELOW FFE. BUILDING CONTRACTOR SHALL MAKE 8"x4" CONNECTION FOR ROOF DRAINS UP THROUGH FOOTINGS AND SLABS.

3-L-20-SU
Revised: 2/25/2020

REVISIONS

NO.	DATE	DESCRIPTION

PLANNING FILE - 24-01-01-01



TACO BELL RESTAURANT
2085 NORTH BROADWAY KNOXVILLE, TN 37917
SITE #283291

TACOLA
5705 CORPORATE WOODLOR DRIVE
WESTMINSTER, CO 80056
WWW.TACOLA.COM



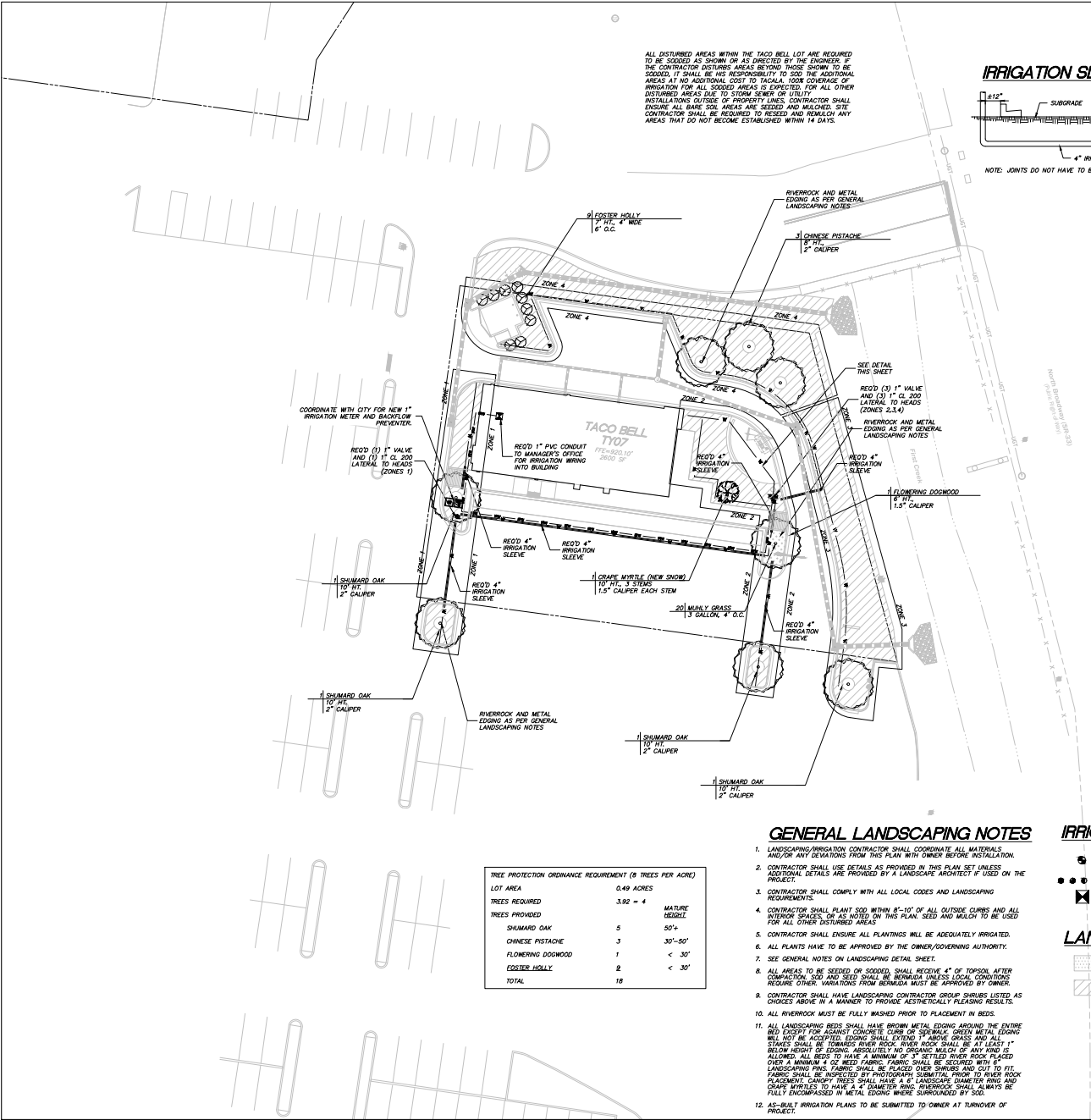
JOB NO: 19200
DWG NAME: 19200.DWG

DRAINAGE PLAN

SHEET
C3.1

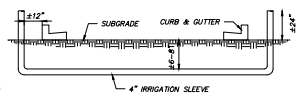
DATE: 2/24/20

C:\USERS\WANGS\TACOLA.LCTV\OFFICE CAD STWG - DOCUMENTS\TAC BELL RESTAURANT\3000 N. BROADWAY\TAC BELL RESTAURANT\3000 PROJ.DWG



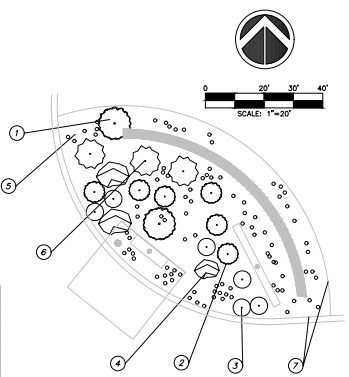
ALL DISTURBED AREAS WITHIN THE TACO BELL LOT ARE REQUIRED TO BE SEEDDED AS SHOWN OR AS DIRECTED BY THE ENGINEER. THE CONTRACTOR DISTURBS AREAS BEYOND THOSE SHOWN TO BE SEEDDED IT SHALL BE HIS RESPONSIBILITY TO RESEED THESE AREAS AT NO ADDITIONAL COST TO TACOLA. 100% COVERAGE OF IRRIATION FOR ALL SOODED AREAS IS EXPECTED FOR ALL OTHER DISTURBED AREAS DUE TO STORM SEWER OR UTILITY INSTALLATIONS OUTSIDE OF PROPERTY LINE. CONTRACTOR SHALL ENSURE ALL BARE SOIL AREAS ARE SEEDDED AND MULCHED. SITE CONTRACTOR SHALL BE REQUIRED TO RESEED AND REPAIR ANY AREAS THAT DO NOT BECOME ESTABLISHED WITHIN 14 DAYS.

IRRIGATION SLEEVE DETAIL



REGION 7 - SOUTHEAST

NO.	MATERIAL	QTY	SIZE	HGT.	SP.
1	CHINESE HOLLY LLEY CORNUTH	PER PLAN	5 GAL	24"	
2	SPANISH BAYONET YUCCA ALFOFOLA	PER PLAN	5 GAL		
3	BLUE FESCUE FESTUCA GLAUCA	PER PLAN	1 GAL	36"	
4	BOULDER (SEE NOTE) DESERT SAND COLOR 30" x 36"	PER PLAN		N/A	
5	RIVERROCK (SEE NOTE)	PER PLAN		N/A	
6	INDIAN HAWTHORNE RAHPOLEPS INDICA 'PINK LADY'	PER PLAN	3 GAL	24"	
7	BROWN METAL EDGING	PER PLAN			



LANDSCAPING BOULDERS

CONTRACTOR SHALL PROVIDE NATURAL STONE BOULDERS 30"-36" IN SIZE THAT MATCH THE RIVERROCK. CONTRACTOR SHALL PROVIDE PHOTO SAMPLES PRIOR TO PLACEMENT. EXAMPLE PHOTOS SHALL BE PROVIDED TO THE CONTRACTOR BY THE OWNER UPON APPROVAL. CONTRACTOR SHALL PROVIDE PHOTO SAMPLES TO THE OWNER PRIOR TO PLACEMENT. CONTRACTOR SHALL PROVIDE PHOTO SAMPLES TO THE OWNER PRIOR TO PLACEMENT. CONTRACTOR SHALL PROVIDE PHOTO SAMPLES TO THE OWNER PRIOR TO PLACEMENT. CONTRACTOR SHALL PROVIDE PHOTO SAMPLES TO THE OWNER PRIOR TO PLACEMENT.

GENERAL IRRIGATION NOTES

- IF IRRIGATION CONTRACTOR DESIRES TO DEVELOP HIS OWN IRRIGATION PLAN INCLUDING THE LOCATION OF HEADS, VALVES, MAINS, ZONES, PIPE SIZES, ACTUAL SLEEVE LOCATIONS, BACKFLOW PREVENTER, AND BRING SCHEMATIC THIS PLAN MUST BE SUBMITTED TO THE ENGINEER AND OWNER FOR APPROVAL.
- POWER TO CONTROLLER BY ELECTRICAL CONTRACTOR.
- IRRIGATION CONTROLLER SHALL BE PLACED WITHIN THE OFFICE AREA OF THE RESTAURANT WITH EXACT PLACEMENT AS PER ARCH. DRAWINGS.
- COORDINATE CONDUIT INTO BUILDING BEFORE SLAB IS POURED FOR CONTROLLER WIRING.
- DRAWING IS DIAGRAMMATIC IF SHOWN. ALL LINES TO BE PLACED BACK OF CURB.
- ALL HEADS PLACED IN SHRUB BEDS WILL HAVE 12" POP-UPS UNLESS OTHERWISE NOTED.
- USE VARIABLE ARC SPRAY HEADS WHEN NECESSARY.
- THERE ARE TO BE (2) 4" PVC SLEEVES EACH TIME MAINLINE CROSSES HARDSCAPE.
- THERE IS TO BE (1) 4" PVC SLEEVE WHEN THE LATERAL LINE CROSSES HARDSCAPE.
- ALL SLEEVES TO BE INSTALLED AS PART OF GENERAL CONTRACTOR'S CONTRACT. VERIFY LOCATION WITH LANDSCAPE CONTRACTOR. ALL EQUIPMENT REQUIRED BUT NOT SPECIFIED ON THE DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR.
- VERIFY TAP: IRRIGATION CONTRACTOR TO TEST WATER CONDITIONS AS THEY EXIST IMMEDIATELY DOWN STREAM FROM TAP. IF THEY DO NOT MEET DESIGN DEMANDS, NOTIFY LANDSCAPE ARCHITECT OR ENGINEER IMMEDIATELY OF EXISTING CONDITIONS.
- MATCH PRECIPITATION RATES ON ALL CIRCUITS.
- ALL WORK MUST COMPLY WITH LOCAL CODES.
- NO ELECTRICAL CONNECTIONS SHALL BE MADE IN THE FIELD EXCEPT AT A VALVE CONTROL BOX OR ANOTHER VALVE BOX SPECIFICALLY FOR CONNECTIONS.
- ANY DISCREPANCY BETWEEN THIS SHEET AND OTHERS IN THIS SET MUST BE REFERRED TO THE IRRIGATION CONSULTANT BY THE CONTRACTOR FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- ALL 1/2" NPT WIRE SHALL BE #12 BIFILAR FOR COMMON WIRE, AND #14 (1/4" FOR CONTROL WIRES, DIRECT BURIAL, SOLID COPPER/CONTRACTOR TO BE RESPONSIBLE FOR PROPER COVERAGE OF AREAS TO BE WIRING. I.E. ADJUST HEADS WITH INSUFFICIENT COVERAGE DUE TO BLDG/CLAY BY EXISTING OR PROPOSED SITE FEATURES.
- CONTRACTOR TO REFER TO LANDSCAPE PLAN TO KEEP SPRINKLER EQUIPMENT AND ACCESSORY MATERIAL FROM INTERFERING WITH PROPER PLANTING. I.E. KEEP HOOD EQUALS SET FOR PLANTING. CONTRACTOR TO PROVIDE AUTOMATIC DRAIN DEVICE WHERE LOW HEAD DRAINAGE MAY OCCUR.
- ALL MATERIAL TO BE SUPPLIED BY CONTRACTOR TO OWNER. TWO WRAPUPS FOR DISASSEMBLING AND ADJUSTING EACH TYPE OF SPRINKLER HEADS AND VALVE. SUPPLY TWO WRAPUPS FOR EACH TYPE OF SPRINKLER HEADS AND VALVE. TWO WRAPUPS FOR EACH TYPE OF SPRINKLER HEADS AND VALVE. TWO WRAPUPS FOR EACH TYPE OF SPRINKLER HEADS AND VALVE. TWO WRAPUPS FOR EACH TYPE OF SPRINKLER HEADS AND VALVE.
- ALL MAIN LINES SHALL BE INSTALLED A MAXIMUM OF 2" FROM THE BACK OF CURB. WHERE POSSIBLE, LATERAL LINES SHALL BE INSTALLED WITHIN 6" OF CURB FOR SHRUB PLANTINGS AND 6" FROM BACK OF CURB FOR LAWNS.
- ACTUAL HEAD PLACEMENT IN PARKING LOT ISLANDS IS TO BE 18" FROM BACK OF CURB FOR SHRUB PLANTINGS AND 6" FROM BACK OF CURB FOR LAWNS.
- CONTRACTOR TO ADD EXTENSION RISER TO POP-UP HEADS WHEN NEEDED FOR PROPER COVERAGE.
- ELECTRIC VALVE CONTROL WIRE TO BE 14 GAUGE MINIMUM. IRRIGATION CONTRACTOR MUST PLACE ONE EXTRA "NOT" WIRE AND ONE EXTRA "COMMON" AT FURTHEST VALVE IN EACH CIRCUIT FROM CLOCK.
- ALL MAIN LINES SHALL BE INSTALLED A MAXIMUM OF 2" FROM THE BACK OF CURB. WHERE POSSIBLE, LATERAL LINES SHALL BE INSTALLED WITHIN 6" OF CURB FOR SHRUB PLANTINGS AND 6" FROM BACK OF CURB FOR LAWNS.
- CONTRACTOR SHALL ADJUST THE RADII AND ARC OF EACH HEAD TO MINIMIZE "OVERTHROW" AND TO ELIMINATE "DRY SPOTS".
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SUPPLY AND INSTALLATION OF ADDITIONAL HEADS NEEDED TO COVER "DRY SPOTS" OR IDENTIFY MARKINGS FROM THE PLAN TO THE SITE UP TO FIVE (5) OF SPECIFIED HEAD TYPE.
- THE LOCATION AND ARRANGEMENT OF THESE HEADS SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT OR ENGINEER.
- DO NOT MAKE SUBSTITUTIONS IF CONTRACTOR DESIRES TO MAKE SUBSTITUTIONS, MATERIALS, SUFFICIENT DESCRIPTION LITERATURE AND MATERIAL SAMPLES MUST BE SUBMITTED TO TACOLA. THE MATERIALS MUST BE SUBMITTED TO TACOLA PRIOR TO PLACEMENT. THE MATERIALS MUST BE SUBMITTED TO TACOLA PRIOR TO PLACEMENT. THE MATERIALS MUST BE SUBMITTED TO TACOLA PRIOR TO PLACEMENT.

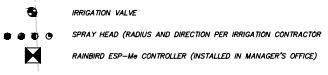
GENERAL LANDSCAPING NOTES

- LANDSCAPING/IRRIGATION CONTRACTOR SHALL COORDINATE ALL MATERIALS AND/OR ANY DEVIATIONS FROM THIS PLAN WITH OWNER BEFORE INSTALLATION.
- CONTRACTOR SHALL USE DETAILS AS PROVIDED IN THIS PLAN. SET UNLESS ADDITIONAL DETAILS ARE PROVIDED BY A LANDSCAPE ARCHITECT IF USED ON THE PROJECT.
- CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES AND LANDSCAPING REQUIREMENTS.
- CONTRACTOR SHALL PLANT SOD WITHIN 8"-10" OF ALL OUTSIDE CURBS AND ALL INTERIOR SPACES, OR AS NOTED ON THIS PLAN. SEED AND MULCH TO BE USED FOR ALL OTHER DISTURBED AREAS.
- CONTRACTOR SHALL ENSURE ALL PLANTINGS WILL BE ADEQUATELY IRRIGATED.
- ALL PLANTS HAVE TO BE APPROVED BY THE OWNER/GOVERNING AUTHORITY.
- SEE GENERAL NOTES ON LANDSCAPING DETAIL SHEET.
- ALL AREAS TO BE SEEDDED OR SOODED, SHALL RECEIVE 4" OF TOPSOIL AFTER COMPARISON, SOG AND SEED SHALL BE BERMIUDA UNLESS LOCAL CONDITIONS REQUIRE OTHER. VARIATIONS FROM BERMIUDA MUST BE APPROVED BY OWNER.
- CONTRACTOR SHALL HAVE LANDSCAPING CONTRACTOR GROUP SHRUBS LISTED AS CHOICES ABOVE IN A MANNER TO PROVIDE AESTHETICALLY PLEASING RESULTS.
- ALL RIVERROCK MUST BE FULLY WASHED PRIOR TO PLACEMENT IN BEDS.
- ALL LANDSCAPING BEDS SHALL HAVE BROWN METAL EDGING AROUND THE ENTIRE BED EXCEPT FOR AGAINST CONCRETE CURB OR SOD/CLAY GREEN METAL EDGING. WILL NOT BE ACCEPTED. EDGING SHALL EXTEND 1" ABOVE GRASS AND ALL STAKES SHALL BE EDGING OVER ROCK. RIVER ROCK SHALL BE AT LEAST 1" ABOVE GRASS. EDGING SHALL BE 1/2" THICK. EDGING SHALL BE 1/2" THICK. EDGING SHALL BE 1/2" THICK. EDGING SHALL BE 1/2" THICK.
- CONTRACTOR SHALL HAVE LANDSCAPING CONTRACTOR GROUP SHRUBS LISTED AS CHOICES ABOVE IN A MANNER TO PROVIDE AESTHETICALLY PLEASING RESULTS.
- AS-BUILT IRRIGATION PLANS TO BE SUBMITTED TO OWNER AT TURNOVER OF PROJECT.

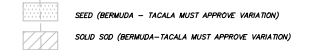
TREE PROTECTION ORDINANCE REQUIREMENT (8 TREES PER ACRE)

TREE AREA	0.49 ACRES
TREES REQUIRED	3.92 = 4
TREES PROVIDED	
SHWARD OAK	5 50+
CHINESE PISTACHE	3 30-50
FLOWERING DODWOOD	1 < 30
EDDIEE HOLLY	2 < 30
TOTAL	18

IRRIGATION DETAILS



LANDSCAPING DETAILS



3-L-20-SU
Revised: 2/25/2020

REVISIONS

NO.	DATE	DESCRIPTION

PLANNING FILE: 3-L-20-SU

TACO BELL

TACO BELL RESTAURANT

2085 NORTH BROADWAY KNOXVILLE, TN 37917

SITE #2829291

TACOLA

570 CORPORATE WOODS DRIVE
WESTMINSTER, ALA. 35894
WWW.TACOLA.COM

JOB NO: 3000
DWG NAME: 3000 PROJ

LANDSCAPING PLAN

Sheet: **C6**

DATE: 2/24/20



DEVELOPMENT REQUEST

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
- Rezoning

Mike Gray, P.E.

Tacala TN Corp

Applicant Name

Affiliation

1-27-2020

3-12-2020

SU
3-1-20-UR

Date Filed

Meeting Date (if applicable)

File Numbers(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Mike Gray, P.E.

Tacala TN Corp

Name

Company

3750 Corporate Woods Drive

Vestavia Hills

AL

35242

Address

City

State

Zip

205.283.7413

mike.gray@tacala.com

Phone

Email

CURRENT PROPERTY INFO

Broadway Center Partnership

PO Box 22013, Knoxville TN 37933

Owner Name (if different)

Owner Address

Owner Phone

2085 N. Broadway

081EF00802

Property Address

Parcel ID

North Broadway Shopping Center

0.49 acres

General Location

Tract Size

West side of N. Broadway, west of McCroskey Ave.

C-G-2 (previously SC-2)

Jurisdiction (specify district above)

- City
- County

Zoning District

Central City

MU-SD MU-CC7

Inside City

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

Taco Bell restaurant

N

KUB

KUB

Existing Land Use

Septic (Y/N)

Sewer Provider

Water Provider

REQUEST

DEVELOPMENT

- Development Plan Use on Review / Special Use
 Residential Non-Residential

Home Occupation (specify): _____

Other (specify): Restaurant with drive-thru

SUBDIVISION

Proposed Subdivision Name _____ Unit / Phase Number _____

Parcel Change

Combine Parcels Divide Parcel Total Number of Lots Created: _____

Other (specify): _____

Attachments / Additional Requirements

ZONING

Zoning Change: _____
Proposed Zoning _____

Plan Amendment Change: _____
Proposed Plan Designation(s) _____

Proposed Property Use (specify) _____ Proposed Density (units/acre) _____ Previous Rezoning Requests _____

Other (specify): _____

STAFF USE ONLY

PLAT TYPE

- Staff Review Planning Commission

ATTACHMENTS

- Property Owners / Option Holders Variance Request

ADDITIONAL REQUIREMENTS

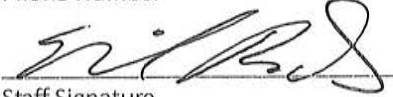
- Design Plan Certification (*Final Plat only*)
 Use on Review / Special Use (*Concept Plan only*)
 Traffic Impact Study

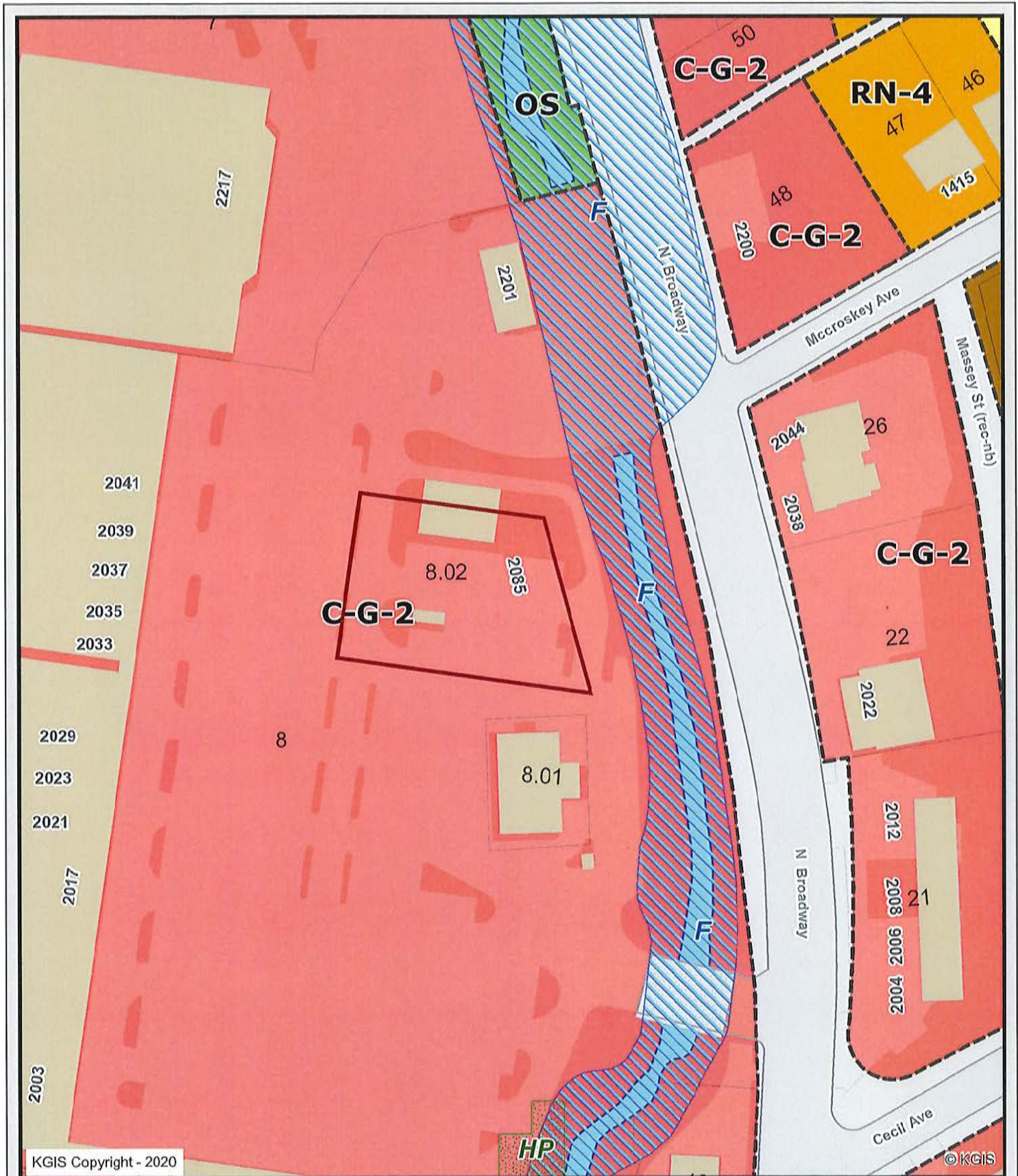
FEE 1:		TOTAL:
\$1,500		
FEE 2:		
FEE 3:		\$1,500

AUTHORIZATION By signing below, I certify I am the property owner, applicant or the owners authorized representative.

Mike Gray Digitally signed by Mike Gray Mike Gray, P.E. 01-27-2020
Date: 2020.01.27 15:55:18 -06'00'
Applicant Signature Please Print Date

205.283.7413 mike.gray@tacala.com
Phone Number Email

 Michael Reynolds 1-28-2020
Staff Signature Please Print Date

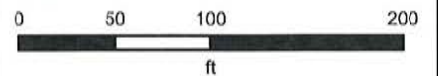


Letter Portrait

Knoxville - Knox County - KUB Geographic Information System



Printed: 1/28/2020 at 11:17:37 AM



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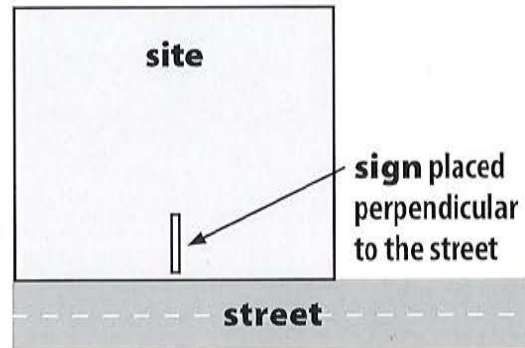
REQUIRED SIGN POSTING AGREEMENT

For all rezoning, plan amendment, concept plan, use on review, right-of-way closure, and street name change applications, a sign must be posted on the subject property, consistent with the adopted Administrative Rules and Procedures.

At the time of application, staff will provide a sign(s) to post on the property as part of the application process. If the sign(s) go missing for any reason and need to be replaced, then the applicant will be responsible for picking up a new sign(s) from the Planning offices. The applicant will be charged a fee of \$10 for each replacement sign.

LOCATION AND VISIBILITY

The sign must be posted in a location that is clearly visible from vehicles traveling in either direction on the nearest adjacent/frontage street. If the property has more than one street frontage, then the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.



TIMING

The sign(s) must be posted 15 days before the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted 15 days before the next Planning Commission meeting.

I hereby agree to post and remove the sign(s) provided on the subject property consistent with the above guidelines and between the dates of:

_____ and _____
 (15 days before the Planning Commission meeting) (the day after the Planning Commission meeting)

Signature: _____

Printed Name: _____

Phone: _____ Email: _____

Date: _____

File Number: _____