



SUBDIVISION REPORT - CONCEPT

▶ **FILE #:** 3-SA-20-C

AGENDA ITEM #: 20

AGENDA DATE: 3/12/2020

▶ **SUBDIVISION:** WESTLAND CREEK

▶ **APPLICANT/DEVELOPER:** S & E PROPERTIES

OWNER(S): S & E Properties

TAX IDENTIFICATION: 133 050

[View map on KGIS](#)

JURISDICTION: County Commission District 5

STREET ADDRESS: 8444 Westland Dr.

▶ **LOCATION:** Southeast side of Westland Dr., east of Gothic Manor Ln.

SECTOR PLAN: Southwest County

GROWTH POLICY PLAN: Planned Growth Area

WATERSHED: Ten Mile Creek

▶ **APPROXIMATE ACREAGE:** 23.7 acres

▶ **ZONING:** PR (Planned Residential)

▶ **EXISTING LAND USE:** Vacant land

▶ **PROPOSED USE:** Detached single family residential

SURROUNDING LAND USE AND ZONING: North: Railroad & Residences - PR (Planned Residential)
South: Residences and vacant land - A (Agricultural)
East: Residences and vacant land - PR (Planned Residential) & A (Agricultural)
West: Residences - PR (Planned Residential) & A (Agricultural)

▶ **NUMBER OF LOTS:** 75

SURVEYOR/ENGINEER: Fulghum MacIndoe & Associates, Inc.

ACCESSIBILITY: Access is via Westland Drive, a minor arterial with approximately 18 ft pavement width and 88 ft right-of-way per the 2018 Major Road Plan.

▶ **SUBDIVISION VARIANCES REQUIRED:**

STAFF RECOMMENDATION:

▶ **POSTPONE** the concept plan until the April 9, 2020 Planning Commission meeting as requested by the applicant.

Applicant requested postponement to address comments by staff.

COMMENTS:

The applicant's concept plan had expired and needed to move forward with the development plan. Therefore, the applicant needed to update the concept plan with a new approval. The applicant is staying within the same general road structure as previously approved, but slightly modifying their lot layout on the site plan.

The applicant is proposing to subdivide this 23.7-acre tract into 75 detached residential lots and common area at a density of 3.16 du/ac. This property which is zoned PR at less than 5 du/ac (Low Density Residential) is located on the south side of Westland Drive just east of Gothic Manor Lane. The proposed subdivision will be served by a public street with one access out to Westland Drive. There is frontage for the rear portion of the property (not included in this application) out to Nubbin Ridge Road, but this future development area has severe grade issues. The proposed plan is currently showing a right-of-way dedication and access to this future development area, thus, allowing for the subdivision to maintain internal connection from one subdivision entrance.

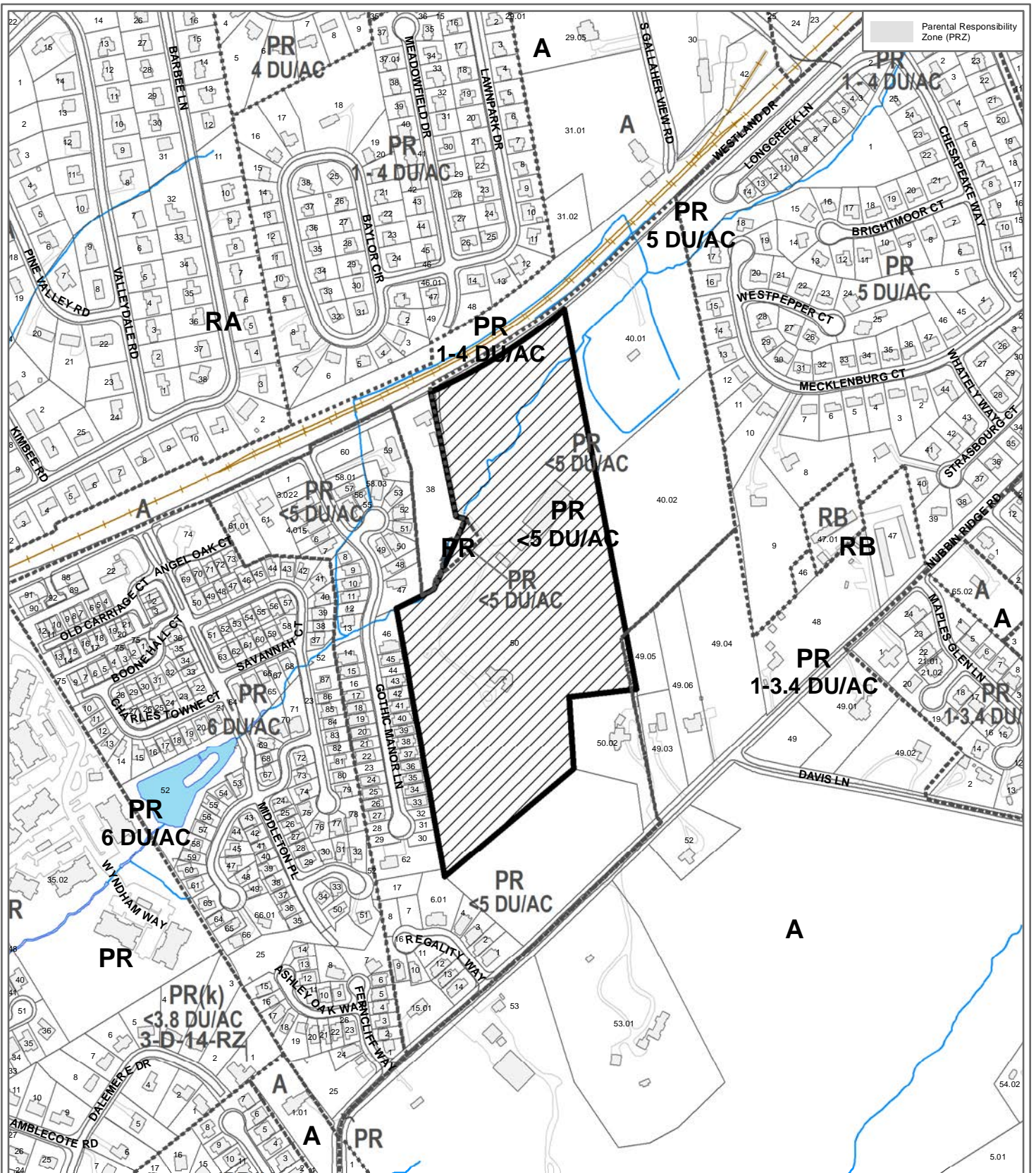
The previous proposed plan (4-SB-17-C & 4-G-17-UR) had a completed Transportation Impact Study dated March 29, 2017. The project engineer has certified in the Transportation Impact Study that over 400 ft of sight distance is available east and west along Westland Drive at the proposed subdivision entrance. This is required per Subdivision Regulations since the access is from a Minor Arterial road per the Major Road Plan. The study mentions the warrant for a westbound left-turn lane at the proposed entrance of the subdivision, which would be installed per Knox County Engineering requirements.

The applicant had requested a reduction of the peripheral setback from 35 ft to 25 ft in the 2017 concept plan.

ESTIMATED TRAFFIC IMPACT: A traffic impact study was prepared by the applicant. The findings of that study were used in formulating the recommendations of this staff report.

ESTIMATED STUDENT YIELD: Not applicable.

Knoxville-Knox County Planning Commission's approval or denial of this request is final, unless the action is appealed to Knox County Chancery Court. The date of the Knox County Chancery Court appeal hearing will depend on when the appeal application is filed.



**3-SA-20-C
CONCEPT PLAN**

Subdivision: Westland Creek



Approval of Concept Plan

Map No: 133

Jurisdiction: County

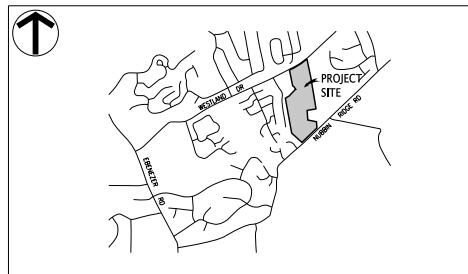
Original Print Date: 2/18/2020

Revised:

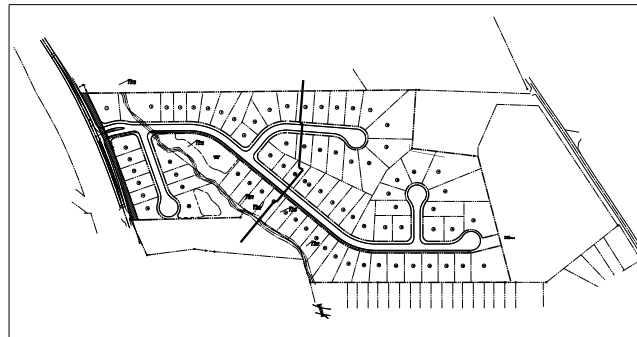
Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902



WESTLAND CREEK SUBDIVISION 8444 WESTLAND DRIVE KNOXVILLE, TENNESSEE 37923



LOCATION MAP
(NOT TO SCALE)



OVERALL PLAN
(NOT TO SCALE)

DRAWING INDEX

SHEET NO.	REV. NO.	ISSUE DATE	TITLE
<u>C1</u>	13	02/26/20	COVER SHEET AND INDEX
C2	4	02/26/20	LAYOUT AND PAVING PLAN
C3	3	02/26/20	LAYOUT AND PAVING PLAN
C4	5	02/26/20	GRADING PLAN
C5	5	02/26/20	GRADING PLAN
C6	0	10/01/18	EPSC PLAN - STAGE 1
C7	0	08/24/18	EPSC PLAN - STAGE 1
C8	2	08/01/19	EPSC PLAN - STAGE 2
C9	1	08/01/19	EPSC PLAN - STAGE 2
C10	2	08/01/19	EPSC PLAN - STAGE 3
C11	1	08/01/19	EPSC PLAN - STAGE 3
<u>C12</u>	6	02/26/20	STORM DRAINAGE PLAN
C13	5	02/26/20	STORM DRAINAGE PLAN
C14	5	11/19/19	WATER PLAN
C15	4	08/07/19	WATER PLAN
C16	5	11/19/19	SANITARY SEWER PLAN
C17	4	08/01/19	SANITARY SEWER PLAN
C18	6	11/11/19	SANITARY SEWER PROFILES
C19	4	08/01/19	SANITARY SEWER PROFILES
<u>C20</u>	1	02/26/20	ROADWAY PROFILES
C21	2	02/26/20	ROADWAY PROFILES
<u>C22</u>	3	02/26/20	DETAILS
C23	0	08/24/18	DETAILS
C24	0	08/24/18	DETAILS
C25	2	08/01/19	DETAILS

3-SA-20-C



WESTLAND CREEK
SUBDIVISION
8444 WESTLAND DRIVE
KNOXVILLE, TENNESSEE 37923
PLANNING FILE NO.: 35A20-C

S&E PROPERTIES, LLC
1405 COLONY LAKE
KNOXVILLE, TN 37919
CONTACT: MR. ERIC MOSELEY
TELEPHONE NO.: 865.639.1112
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COVER SHEET
AND INDEX

PROJ. NO.	ISSUED BY	DATE	REVISION/ISSUE
330.012	AMC	02/26/20	REVISED PER COUNTY COMMENTS
	AMC	07/23/20	REVISED PER OWNER COMMENTS
	AMC	11/19/19	REVISED ENTRANCE
	AMC	11/11/19	REVISED PER COMMENTS
	AMC	11/05/19	REVISED PER COMMENTS

Project: 330.012
Sheet: C1
Date: 08/24/18
Scale: NTS

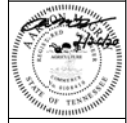
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Plot Name: 3/27/2020

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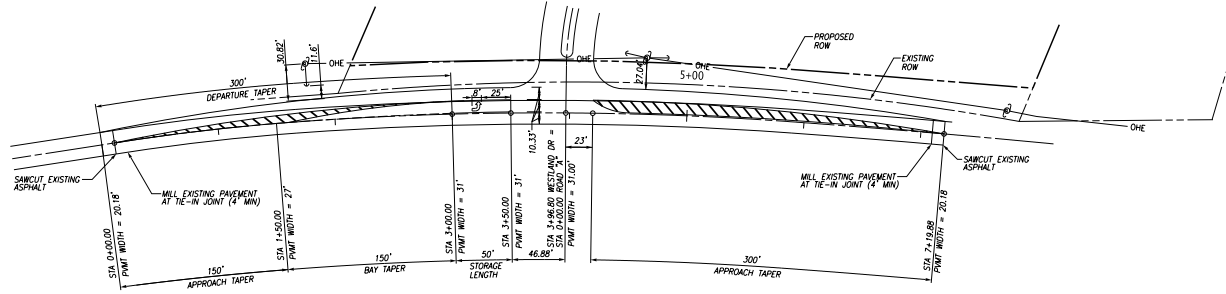
WESTLAND CREEK SUBDIVISION
TURN LANE DESIGN
8444 WESTLAND DRIVE
KNOXVILLE, TENNESSEE 37923
PLANNING FILE NO.: 35A2420C

S&E PROPERTIES, LLC
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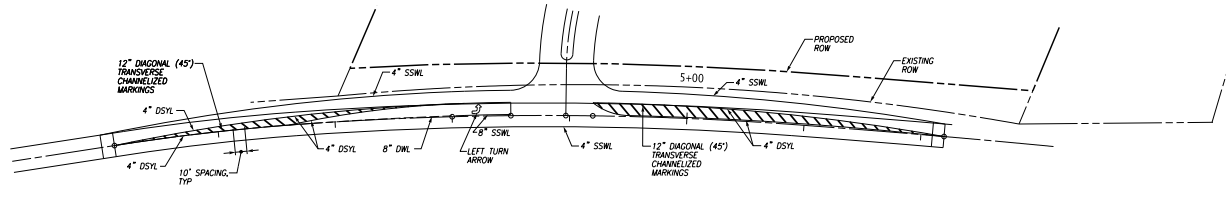
**PROPOSED LAYOUT
AND STRIPING PLAN**

PROJ. NO.	AMC	DESIGNED BY	AMC	DRAWN BY	R/P
		REVISED PER COUNTY COMMENTS	02/26/20		
		REVISED ROAD	11/19/19		
		REVISED PER COUNTY COMMENTS	10/17/18		
		ISSUED FOR CONSTRUCTION	10/08/18		
No.		Revision/Issue			Date

Project: 330.012
Sheet: C1
Date: 10/08/18
Scale: 1"=50'



PROPOSED LAYOUT
SCALE: 1" = 50'



STRIPING PLAN
SCALE: 1" = 50'

3-SA-20-C

- LEGEND:**
- PROPOSED PROPERTY/ROW LINE
 - EXISTING PROPERTY LINE
 - ROAD CENTER LINE
 - PROPOSED CHANNELIZED MARKINGS
 - SSWL SINGLE SOLID WHITE LINE
 - DWL DOTTED WHITE LINE
 - DSL DOUBLE SOLID YELLOW LINE
 - TYP TYPICAL

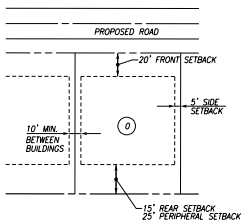
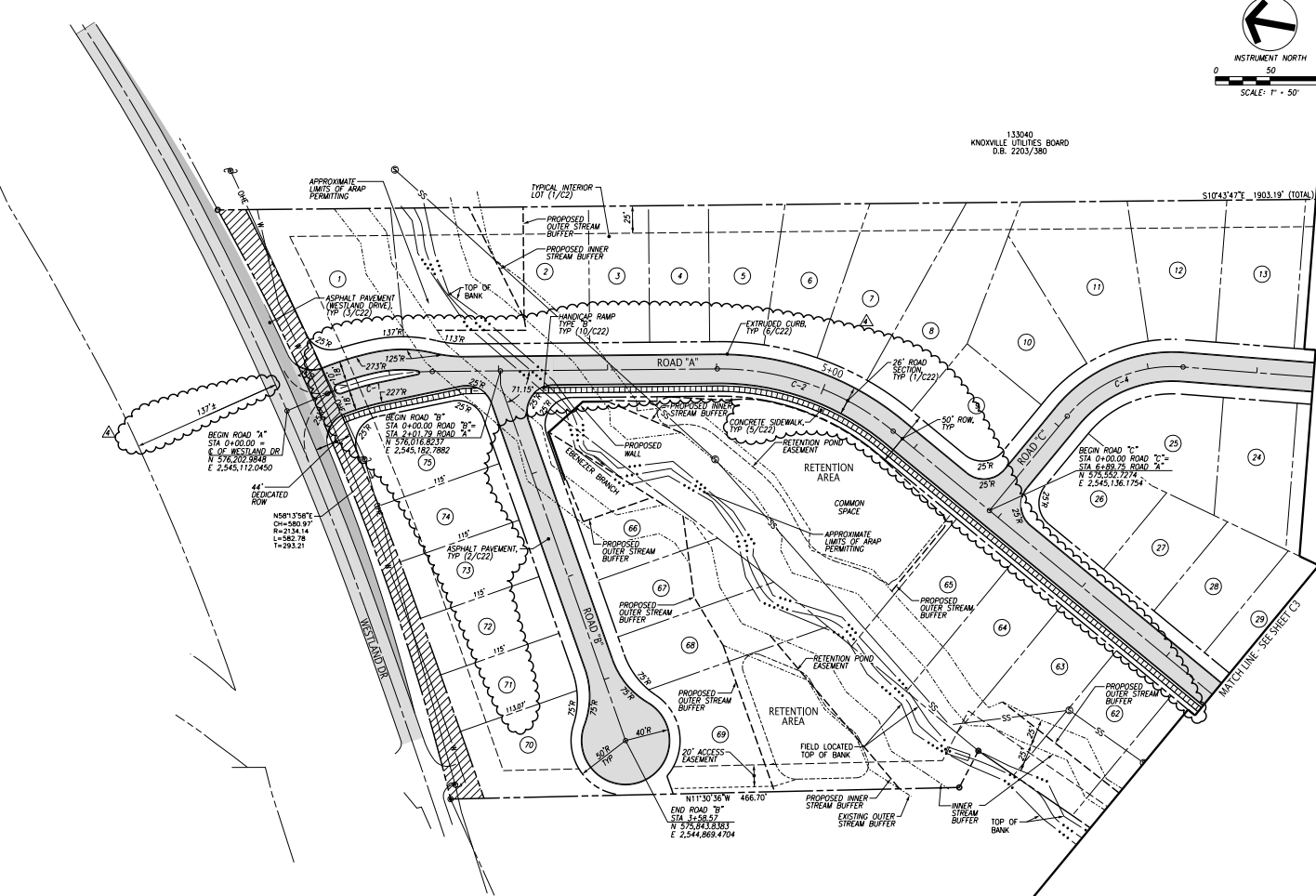
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Plot Date: 10/26/2020

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0 50 100
SCALE: 1" = 50'

133040
KNOXVILLE UTILITIES BOARD
D.B. 2203/380



GENERAL NOTES:

- THE BOUNDARY DATA TAKEN FROM LYNCH SURVEYS LLC, TOPOGRAPHIC DATA WAS TAKEN FROM K.O.S. EXISTING CONTOURS ARE AT 2'-FT INTERVALS. VERTICAL DATUM IS BASED ON NAVD83.
- UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM THE FENCE LINE, PROPERTY LINE, FACE OF CURB, EDGE OF PAVEMENT OR OUTSIDE FACE OF BUILDING.
- THE MINERAL AGGREGATE BASE AND ASPHALTIC SURFACE COURSES SHALL MEET THE MATERIALS, EQUIPMENT, CONSTRUCTION, AND TESTING REQUIREMENTS OF THESE DRAWINGS AND THE CITY OF KNOXVILLE DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
- CONCRETE CURBS AND PAVEMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS. CONCRETE CURBS AND PAVEMENT SHALL MEET THE MATERIALS, EQUIPMENT AND CONSTRUCTION REQUIREMENTS OF THE KNOX COUNTY DEPARTMENT OF ENGINEERING STANDARD SPECIFICATIONS.
- TRAFFIC CONTROL DEVICES AND PAVEMENT MARKING SHALL CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
- PROPERTY CONCERNED REFLECTS PARCEL 133050 AS SHOWN IN KNOX COUNTY CDT MAP 133 ZONING FOR THE PROPERTY IS PR. PLANNED RESIDENTIAL ZONE. TOTAL AREA = 23.70+ AC.
OWNER: SHADY GLEN, LLC
405 MONTBRIK LANE
KNOXVILLE, TN 37919
- BUILDING SETBACKS INTERNAL TO SUBDIVISION ARE 20'-FT. IN FRONT, 5'-FT. ON SIDE, 15'-FT. REAR, AND 25'-FT. AT THE PERIPHERY.
- ACCESS TO LOTS IS RESTRICTED TO INTERNAL STREETS.
- PROPOSED IMPROVEMENTS INCLUDE 26" WIDE PUBLIC ROAD, EXTRUDED CURB, STORM SEWER, SANITARY SEWER, WATER, GAS, ELECTRIC, TELEPHONE, AND CABLE TV.
- ROOF DRAIN AND FRONT YARD FOR ALL PROPOSED LOTS WILL BE CONNECTED TO PROPOSED STORM DRAINAGE SYSTEM.
- RETAINING WALLS TO BE DESIGNED AND SEALED BY AN ENGINEER LICENSED IN THE STATE OF TENNESSEE AND SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A PERMIT. REFER TO VENDOR'S PLANS FOR RETAINING WALL AND DRAINING DETAILS. RAINING SHALL BE PROVIDED FOR RETAINING WALL HEIGHTS THAT EQUAL OR EXCEED 30 INCHES.
- REMOVE OVER-PAVEMENT OF ASPHALT AND STONE FROM UNDERWEATH LANDSCAPE AREAS UP TO THE LIMITS THAT HAVE BEEN SPECIFIED (REFER TO THE CURB DETAIL) IN ORDER TO PROVIDE A SOLID BASE FOR THE CONCRETE CURBS.
- PRIOR TO INSTALLING NEW PIPING, CONTRACTOR SHALL LOCATE EXISTING UTILITIES/STRUCTURES WHERE NEW PIPES CROSS BY POT-HOLDING. AFTER EXPOSING EXISTING UTILITY/STRUCTURE, CONTRACTOR SHALL OBTAIN HORIZONTAL AND VERTICAL LOCATIONS BY FIELD SURVEY, AND RESOLVE ANY CONFLICTS BETWEEN UNDERGROUND UTILITIES/STRUCTURES AND NEW PIPING UNDER THE DIRECTION OF THE OWNER PRIOR TO INSTALLING NEW PIPING.

VARIANCE/ALTERNATIVE DESIGN STANDARD:

- BUILDING SETBACKS ON LOTS GREATER THAN 10% FROM 10' TO 5'.
- ROAD SLOPE FROM 12% TO 13% FROM STA 0+93.09 ROAD "C" TO STA 4+73.93 ROAD "C".
- REDUCTION OF MINIMUM LOT DEPTH OF 150' FOR LOTS 20-26.

STREAM BUFFER INFORMATION:

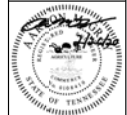
24' EAST BUFFER PRE-DEVELOPMENT	32,849.92 SF
25' WEST BUFFER PRE-DEVELOPMENT	19,386.72 SF
50' EAST BUFFER PRE-DEVELOPMENT	30,467.02 SF
50' WEST BUFFER PRE-DEVELOPMENT	19,976.22 SF
24' EAST BUFFER POST-DEVELOPMENT	32,968.14 SF
25' WEST BUFFER POST-DEVELOPMENT	20,053.64 SF
50' EAST BUFFER POST-DEVELOPMENT	30,518.82 SF
50' WEST BUFFER POST-DEVELOPMENT	20,000.92 SF

LEGEND:

- PROPOSED ASPHALT PAVEMENT (WESTLAND DRIVE)
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED LOT NUMBER
- PROPOSED PROPERTY/ROW LINE
- EXISTING PROPERTY LINE
- PROPOSED BUILDING SETBACK
- PROPOSED ROAD CENTER LINE
- EXISTING CREEK
- EXISTING STREAM BUFFER
- PROPOSED STREAM BUFFER
- DETAIL REF (DETAIL NO./SHT NO.)
- TYPICAL

3-SA-20-C

HORIZONTAL CURVE DATA TABLE						
CURVE NO.	P.I. COORDINATES		DELTA ANGLE	RADIUS	TANGENT	LENGTH
	NORTHING	EASTING				
C-1	576,127.4345	2,545,161.8286	22° 39' 11" (RT)	250.00	50.08	98.84
C-2	575,731.9099	2,545,236.7762	40° 02' 29" (RT)	250.00	91.08	174.71
C-4	575,465.9659	2,545,290.7083	54° 57' 34" (RT)	125.00	65.01	119.90



WESTLAND CREEK SUBDIVISION
8444 WESTLAND DRIVE
KNOXVILLE, TENNESSEE 37923
PLANNING FILE NO.: 55A250C

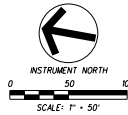
S&E PROPERTIES, LLC
1105 COLLEGE LANE
KNOXVILLE, TN 37919
CONTACT: MR. ERIC MOSELEY
TELEPHONE NO.: 865.539.1112
EMAIL: ERICMOSELEY@BELLSTELLNET

LAYOUT AND PAVING PLAN

DESIGNED BY	AMC	REVISION/ISSUE	No.
DRAWN BY	RLP	REVISION/ISSUE	No.
CHECKED BY	AMC	REVISION/ISSUE	No.
PROJECT	330.012	REVISION/ISSUE	No.
DATE	08/24/18	REVISION/ISSUE	No.
SCALE	1"=50'	REVISION/ISSUE	No.

File Name: I:\1811\1811\1811\1811\1811\1811\1811\1811.dwg
Plot Name: 27720.dwg

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GRADING NOTES:

1. UNLESS NOTED OTHERWISE, THE PROPOSED GRADES SHOWN ON THESE DRAWINGS ARE FINISHED GRADE. EXISTING AND PROPOSED CONTOURS ARE SHOWN AT 2'-FT. INTERVALS.
2. THE ACCURACY OF THE GRADES IS DEPENDANT ON THE DATA PROVIDED BY THE OWNER OR OWNER'S REPRESENTATIVE. FIELD VERIFY AS NECESSARY PRIOR TO CONSTRUCTION.
3. THE SITE SHALL BE CLEARED AND GRUBBED WITHIN THE LIMITS OF EXCAVATION. COMPLETELY DISPOSE OF ALL MATERIALS RESULTING FROM CLEARING AND GRUBBING. OFF-SITE BURNING SHALL NOT BE PERMITTED UNLESS PRIOR APPROVAL IS OBTAINED BY THE LOCAL FIRE DEPARTMENT. THE CONTRACTOR MUST OBTAIN A PERMIT AND MEET ALL OF THE REQUIREMENTS AS SPECIFIED BY THE FIRE DEPARTMENT.
4. ALL TREES, STUMPS, BOLLERS, AND OTHER OBSTRUCTIONS SHALL BE REMOVED TO A DEPTH OF 2 FT BELOW THE SUBGRADE. ROCK SHALL BE SCARIFIED TO DEPTH OF 1 FT BELOW SUBGRADE.
5. STRIP TOPSOIL FULL DEPTH (6-IN. MIN.) AND TEMPORARILY STOCKPILE EXCAVATED MATERIALS. INSTALL SILT FENCE OR OTHER APPROPRIATE EROSION CONTROL STRUCTURES ON THE DOWN HILL SIDE OF THE STOCKPILE.
6. PROOF ROLL ALL AREAS TO RECEIVE FILL. PROOF ROLL WITH A FULLY LOADED TANDEN AXLE DUMP TRUCK USING A CROSS-CROSS PATTERN (4 PASSES MIN.) AREAS PAVING. THE PROOF ROLLING SHALL BE UNDERCUT AND BACKFILLED USING AN ENGINEERED FILL OR STABILIZED BY A METHOD APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
7. AREAS THAT EXHIBIT WEAK SOIL OR OTHERWISE UNSUITABLE CONDITIONS SHALL BE UNDERCUT TO A FIRM LEVEL OF SOIL FOLLOWED BY BACKFILLING THE UNDERCUT AREAS USING AN ENGINEERED FILL, T00T NO. 57, OR T00T NO. 67 STONE.
8. FILL MATERIAL SHALL BE SATISFACTORY MATERIAL, FREE FROM ROOTS AND OTHER ORGANIC MATERIAL, FROZEN MATERIAL, AND TRASH. FILL MATERIAL SHALL ALSO BE FREE OF STONE OR OTHER MATERIAL LARGER THAN 6 IN. AND LARGER THAN 4 IN. IN THE TOP 6 IN. OF AN EMBANKMENT.
9. FILL SOILS SHALL HAVE A PI LESS THAN 30 & A MAXIMUM DRY DENSITY OF 90 PCF OR GREATER.
10. UNSATISFACTORY SOILS INCLUDE MATERIALS THAT ARE TOO WET OR TOO SOFT, EXPANSIVE SOILS AND SOILS CLASSIFIED PI, OH, AND OL. LEGALLY DISPOSE OF UNSATISFACTORY SOILS, OFF-SITE UNLESS OTHERWISE APPROVED BY THE OWNER OR GEOTECHNICAL ENGINEER.
11. FILL MATERIAL SHALL BE PLACED IN LOOSE, HORIZONTAL LIFTS NOT EXCEEDING 8 IN. THICKNESS. COMPACT EACH LAYER TO AT LEAST 98% MAXIMUM DRY DENSITY. COMPACT THE UPPER 24 IN. OF FILL BENEATH PAVEMENTS AND THE UPPER 12 IN. BENEATH BUILDING SLABS TO 100% MAXIMUM DRY DENSITY. MAINTAIN THE MOISTURE CONTENT TO WITHIN ± 1 TO ± 3 PERCENT OF THE OPTIMUM MOISTURE CONTENT.
12. A 6 IN. (MIN.) LAYER OF TOPSOIL SHALL BE PLACED OVER THE AREAS TO BE SEEDED AND TO THE FINISH GRADE ELEVATIONS AS SHOWN ON THE DRAWINGS.
13. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS OR POND ON-SITE. PROVIDE NECESSARY MEASURES TO KEEP THE SITE FREE-DRAINING.
14. NO SLOPE SHALL EXCEED 2:1 UNLESS PROPER SLOPE STABILIZATION MEASURES ARE IMPLEMENTED.
15. PROTECT AND MAINTAIN SUBGRADES UNTIL PLACEMENT OF THE FINISH SURFACE IS ACHIEVED.
16. CONTRACTOR IS RESPONSIBLE TO ASSURE THAT THE FINISHED GRADES CONFORM WITH THE DETENTION POND DESIGN PARAMETERS. ONCE GRADING IS COMPLETE AND PRIOR TO FINAL SEEDING, SUBMIT AN AS-BUILT SURVEY FOR THE OWNER'S REVIEW.
17. SLOPE BOTTOM OF POND @ 2.0% (MIN.).
18. VERIFY GRADES WHEREVER NECESSARY TO BRING THE PROPOSED LINES, ELEVATIONS, SLOPES, AND CROSS-SECTIONS OF THE GRADING WORK TO WITHIN THE FOLLOWING TOLERANCES ABOVE OR BELOW THAT AS SHOWN ON THE PLANS: SUBGRADE 0.1', UNPAVED AREAS 0.1', SIDEWALKS 0.10', PAVEMENTS 0.04', AND BUILDINGS 0.04'.
19. SLOPES GREATER THAN 4:1 SLOPE AT A HEIGHT GREATER THAN 6'-FT. SHALL BE TESTED BY THE PROJECT GEOTECHNICAL ENGINEER TO DETERMINE STABILITY.
20. DISTURBED AREAS SHALL BE STABILIZED IN AN EXPEDITIOUS MANNER TO MINIMIZE TIME OF EXPOSURE TO WEATHER.

3-SA-20-C

LEGEND:

1020	PROPOSED CONTOUR
1022	EXISTING CONTOUR
---	PROPERTY LINE
844.1	PROPOSED SPOT ELEVATION
TW 927.5	TOP OR WALL
BW 926.5	BOTTOM OF WALL
(1/C2)	DETAIL REFERENCE (DETAIL NO./SHT. NO.)
TYP.	TYPICAL

10330 HAZEN VALLEY ROAD
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 FAX: 865.909.4449
 www.fulghummacindoe.com

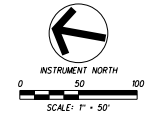
WESTLAND CREEK SUBDIVISION
 8444 WESTLAND DRIVE
 KNOXVILLE, TENNESSEE 37923
 PLANNING FILE NO.: 55A2-29-C

S&E PROPERTIES, LLC
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 EMAIL: ERICMOSELEY@BELLSOUTH.NET

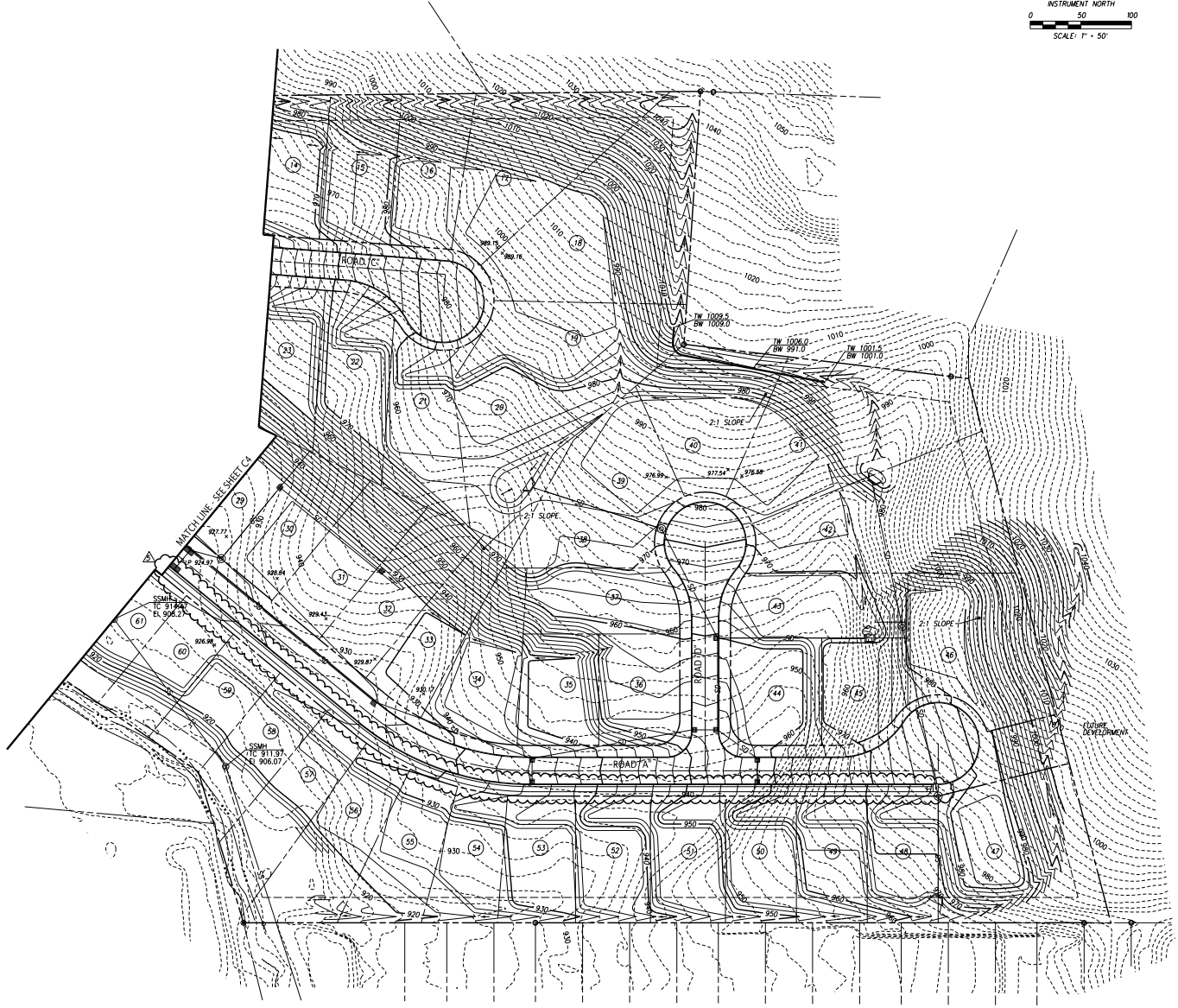
GRADING PLAN

NO.	PROJ. NO.	ISSUED BY	DATE	REVISION/ISSUE
1	330.012	AMC	02/26/20	
2		AMC	07/22/20	
3		AMC	11/19/19	
4		AMC	08/07/19	
5		AMC	09/26/18	

Project	330.012
Sheet	C4
Date	08/24/18
Scale	1"=50'



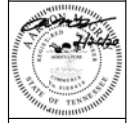
NOTES:
1. REFERENCE SHEET C4 FOR NOTES AND LEGEND.



File Name: I:\1811\18117\18117\18117\18117\18117\18117.dwg
 Plot Date: 08/24/2018

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**WESTLAND CREEK
SUBDIVISION**
 8444 WESTLAND DRIVE
 KNOXVILLE, TENNESSEE 37923
 PLANNING FILE NO.: 35A-20-C

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GRADING PLAN

PROJ. NO.	DATE	BY	REVISION
330.012	02/26/20	AMC	REVISED PER COUNTY COMMENTS
	07/23/20	AMC	REVISED PER OWNER COMMENTS
	11/11/19	AMC	REVISED GRADING
	11/02/19	AMC	REVISED GRADING
	08/07/19	AMC	REVISED GRADING

NO.	REVISION/ISSUE	DATE

3-SA-20-C

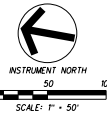
Project: 330.012
 Sheet: C5
 Date: 08/24/18
 Scale: 1"=50'



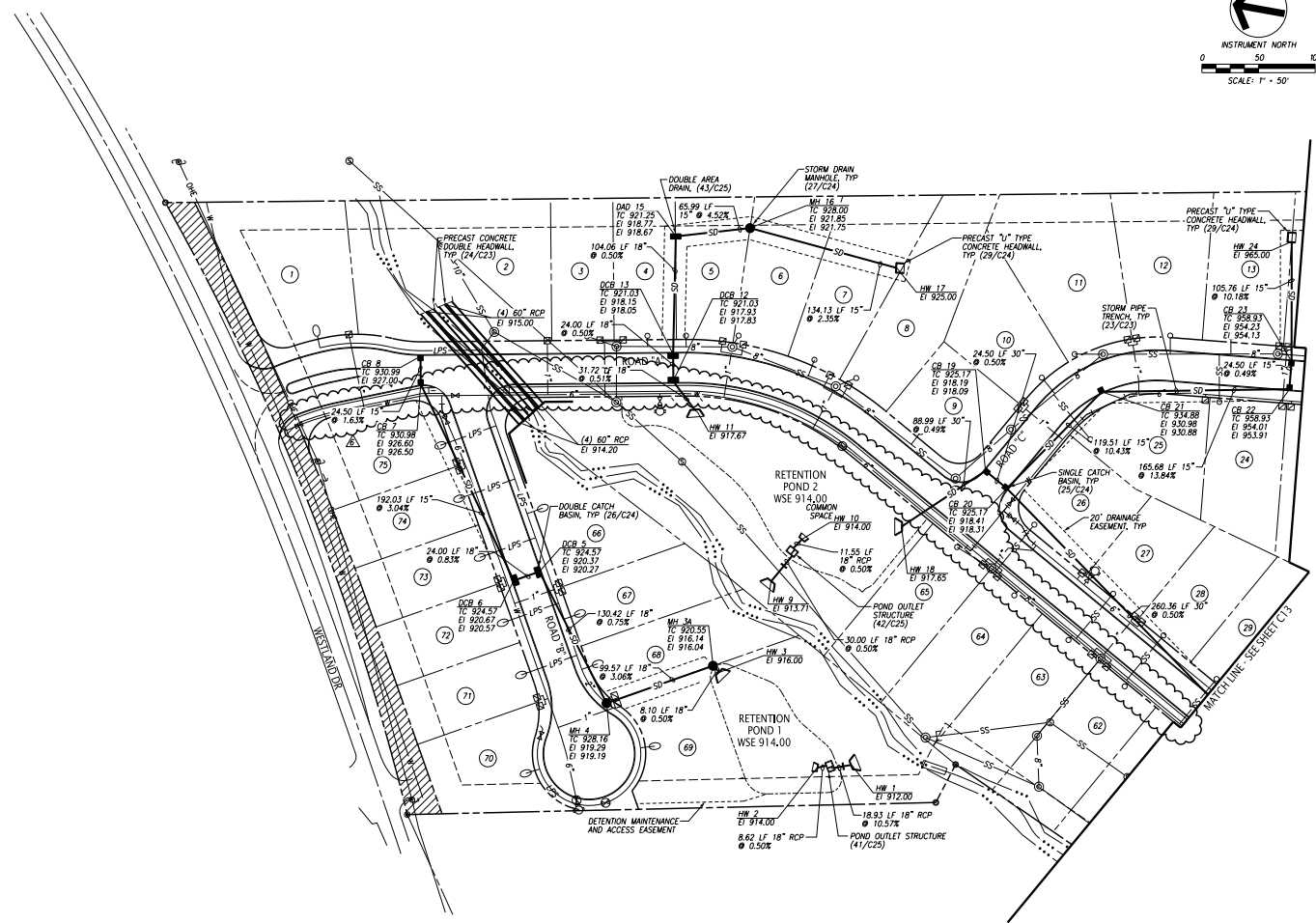
**WESTLAND CREEK
 SUBDIVISION**
 8444 WESTLAND DRIVE
 KNOXVILLE, TENNESSEE 37923
 PLANNING FILE NO.: 55A26-0C

S&E PROPERTIES, LLC
 1000 SHELBY BLVD
 KNOXVILLE, TN 37919
 CONTACT: MR. ERIC MOSELEY
 TELEPHONE NO.: 603.539.1112
 EMAIL: ERICMOSELEY@BELLSOUTH.NET

STORM DRAINAGE PLAN



- STORM PIPE NOTES:**
1. INSTALL STORM SEWER PIPING AND APPURTENANCES TO MEET THE MATERIALS, EQUIPMENT, AND CONSTRUCTION REQUIREMENTS OF THE CITY OF KNOXVILLE STANDARD SPECIFICATIONS.
 2. TRENCH DESIGN AND SAFETY FOR PIPELINE CONSTRUCTION IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM WITH ALL APPLICABLE LOCAL, STATE, AND OSHA REGULATIONS.
 3. UNLESS NOTED OTHERWISE, STORM SEWER PIPE SHALL BE EITHER GLASS FIBER REINFORCED CONCRETE PIPE (GRCP) OR SMOOTH INTERIOR HIGH DENSITY POLYETHYLENE PIPE (HDPE). RCP SHALL BE INSTALLED IN ACCORDANCE WITH AASHTO M11 TO (ACTA C2), HDPE PIPE SHALL BE INSTALLED IN ACCORDANCE WITH AASHTO M294.
 4. HOPE PIPE SHALL BE INSTALLED WITH WATERTIGHT (WT) JOINTS MEETING ALL AASHTO AND ASTM REQUIREMENTS. JOINTS SHALL BE MADE OF POLYISOPRENE AND INSTALLED AND COVERED WITH A REMOVABLE, PROTECTIVE WRAP BY THE MANUFACTURER.
 5. PIPE DEFLECTION AND ALIGNMENT SHALL BE CHECKED AFTER BACKFILLING AND COMPACTION ARE COMPLETE AND PRIOR TO PLACING THE BASE. TEST DEFLECTION WITH A MANDREL OR OTHER APPROVED METHOD.
 6. PIPE WITH DEFLECTION 5% OR GREATER OR WITH UNLIE, MISALIGNMENT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 7. PIPE/CULVERTS ARE MEASURED IN TERMS OF HORIZONTAL LENGTH COMPLETE IN PLACE REGARDLESS OF TYPE, DEPTH, CLASS, SHAPE AND SIZE, AS MEASURED ALONG THE CENTERLINE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE (NO DEDUCTIONS FOR STRUCTURES). ACTUAL QUANTITY OF PIPE MAY VARY. THE CONTRACTOR SHALL SUPPLY AND INSTALL THE NECESSARY QUANTITY OF PIPE TO CONSTRUCT THE COMPLETE SYSTEM AS SHOWN. INSTALLATION INCLUDES EXCAVATION, SHORING, FURNISHING AND INSTALLATION OF PIPES, JOINT MATERIALS, COUPLINGS, AND BACKFILL.
 8. FOR RCP PIPE WITH SLOPES GREATER THAN 15% USE JOINT RIES OR JOINT PASTERIES AS SPECIFIED BY THE MANUFACTURER. FOR HOPE PIPE WITH SLOPES GREATER THAN 15% USE CONCRETE PIPE ANCHORS AS SPECIFIED BY THE MANUFACTURER.



3-SA-20-C

LEGEND:

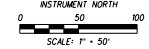
— SD —	EXISTING STORM LINE
- - SD - -	PROPOSED STORM LINE
- - - - -	PROPOSED STORM EASEMENT
●	PROPOSED STORM MANHOLE
□	PROPOSED SINGLE CATCH BASIN
▣	PROPOSED DOUBLE CATCH BASIN
▤	PROPOSED STORM U-HEADWALL
▥	PROPOSED STORM HEADWALL
▧	PROPOSED OUTLET STRUCTURE
▨	PROPOSED WATER QUALITY STRUCTURE
MH	PROPOSED STORM MANHOLE
CB	PROPOSED SINGLE CATCH BASIN
DCB	PROPOSED DOUBLE CATCH BASIN
HW	PROPOSED STORM HEADWALL
OS	PROPOSED OUTLET STRUCTURE
TC	PROPOSED TOP OF CASTING
EI	PROPOSED ELEVATION AT INVERT
II	PROPOSED YARD INLET
(1/C2)	DETAIL REF (DETAIL NO./SHT NO.)
TYP	TYPICAL

PROJ. NO.	DESIGNED BY	CHECKED BY	DATE	REVISION	DATE
330.012	AMC	AMC	02/26/20	1	
	AMC	AMC	11/19/19	2	
	AMC	AMC	08/07/19	3	
	AMC	AMC	03/27/19	4	
	AMC	AMC	11/12/18	5	

Project: 330.012 Sheet: **C12**
 Date: 08/24/18 Scale: 1"=50'

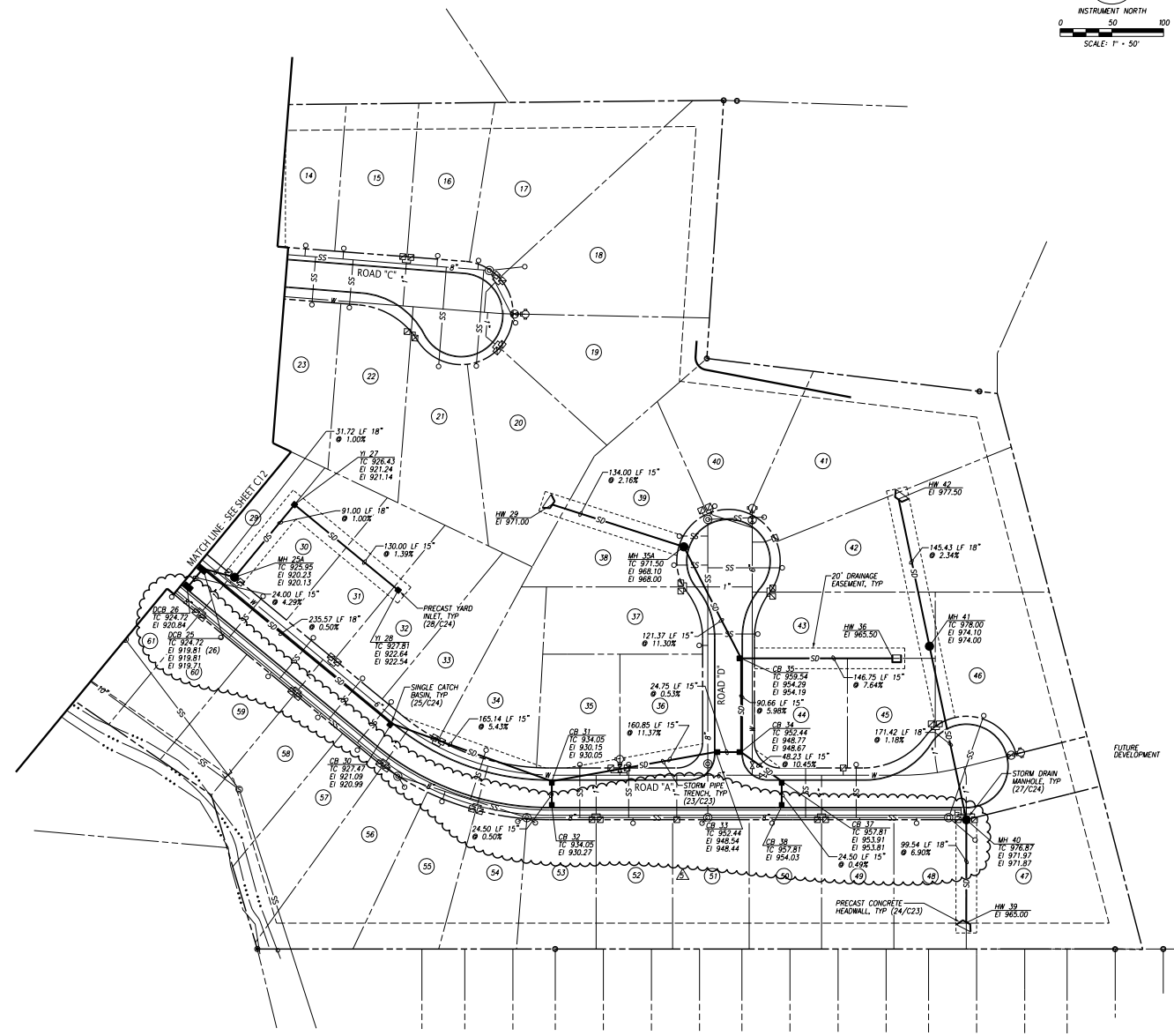
File Name: 330.012_180717_180817_180917.dwg
 Plot Name: 330.dwg

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NOTES:

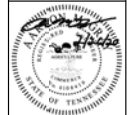
1. REFERENCE SHEETS C12 FOR NOTES AND LEGEND.



3-SA-20-C

FULGHUM
MACINDOE
ASSOCIATES, INC.

10330 HARDEN VALLEY ROAD
SUITE 201
KNOXVILLE, TN 37932
OFFICE: 865.690.6419
FAX: 865.690.6448
www.fulghummacindoe.com



WESTLAND CREEK
SUBDIVISION
8444 WESTLAND DRIVE
KNOXVILLE, TENNESSEE 37923
PLANNING FILE NO.: 35A20-C

S&E PROPERTIES, LLC
1408 HERRINGDALE DRIVE
KNOXVILLE, TN 37919
CONTACT: MR. ERIC MOSELEY
TELEPHONE NO.: 865.539.1112
EMAIL: ERICMOSELEY@BELLSOUTH.NET

STORM DRAINAGE PLAN

PROJ. NO.	NO.	ISSUED BY	DATE	REVISION/ISSUE
330.012	1	AMC	02/26/20	R.P.
	2	AMC	11/11/19	REVISED PER COUNTY COMMENTS
	3	AMC	11/05/19	REVISED STORM DRAINAGE
	4	AMC	08/07/19	REVISED STORM DRAINAGE
	5	AMC	11/12/18	REVISED STORM DRAINAGE

Project: 330.012
Sheet: C13
Date: 08/24/18
Scale: 1"=50'

File Name: 3-SA-20-C13.dwg
Plot Name: 3-SA-20-C

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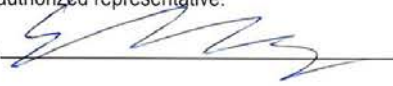
Request to Postpone • Table • Withdraw

Name of Applicant: S & E Properties
AS IT APPEARS ON THE CURRENT PLANNING COMMISSION AGENDA

Original File Number(s): 3-SA-20-C

Date Scheduled for Planning Review: March 12, 2020

Date Request Filed: Feb. 28, 2020 Request Accepted by: Tarren Barrett

<p align="center">REQUEST</p> <p><input checked="" type="checkbox"/> Postpone Please postpone the above application(s) until: <u>April 9, 2020</u> <small>DATE OF FUTURE PUBLIC MEETING</small></p> <p><input type="checkbox"/> Table Please table the above application(s).</p> <p><input type="checkbox"/> Withdraw Please withdraw the above application(s).</p> <hr/> <p>State reason for request:</p> <p>Need more time to address comments staff</p> <hr/> <p>Eligible for Fee Refund? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Amount: _____ Approved by: _____ Date: _____</p> <hr/> <p align="center">APPLICATION AUTHORIZATION</p> <p>I hereby certify that I am the property owner, applicant, or applicant's authorized representative.</p> <p>Signature: <u></u></p> <p>PLEASE PRINT Name: <u>Eric Moseley</u></p> <p>Address: _____</p> <p>City: _____ State: _____ Zip: _____</p> <p>Telephone: _____</p> <p>E-mail: _____</p>	<p align="center">PLEASE NOTE</p> <p>Consistent with the guidelines set forth in Planning's <i>Administrative Rules and Procedures</i>:</p> <p>POSTPONEMENTS Any first time (new) Planning application is eligible for one automatic postponement. This request is for 30 days only and does not require Planning approval if received no later than 3:30 p.m. on the Monday prior to the Planning Commission meeting. All other postponement requests must be acted upon by Planning before they can be officially postponed to a future public meeting.</p> <p>TABLINGS Any item requested for tabling must be acted upon by the Planning Commission before it can be officially tabled.</p> <p>WITHDRAWALS Any item is eligible for automatic withdrawal. A request for withdrawal must be received no later than 3:30p.m. on the Monday prior to the Planning Commission meeting. Withdrawal requests that do not meet these guidelines must be acted upon by Planning Commission before they can be officially withdrawn.</p> <p>Any new item withdrawn may be eligible for a fee refund according to the following: Application withdrawal with fee refund will be permitted only if a written request is received prior to public notice. This request must be approved by either the Executive Director, or the Planning Services Manager. Applications may be withdrawn after this time, but without fee refund.</p>
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DEVELOPMENT REQUEST

DEVELOPMENT

- Development Plan
- Use on Review / Special Use

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
- Rezoning

S+E Properties

Applicant

January 24, 2020

Date Filed

March 12, 2020

Meeting Date (if applicable)

3-SA-20-C

File Number(s)

(4-G-17-UR)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Eric Moseley

Name

Company

405 Montbrook

Address

Knoxville

City

TN

State

37923

Zip

865-454-3727

Phone

ericmoseley@icloud.com

Email

CURRENT PROPERTY INFO

S and E Properties LLC 405 Montbrook Ln Knoxville, TN 37919

Owner Name (if different)

Owner Address

Owner Phone

454-3727

8444 Westland Dr, Knoxville, TN 37923

Property Address

Parcel ID

133 050

Southeast side of Westland Dr, east of Gothic Manor Ln 23.70 ac.

General Location

Tract Size

County Commission 5th District

Jurisdiction (specify district above)

- City
- County

Zoning District

PR

Southwest County

Planning Sector

LDR and HP

Sector Plan Land Use Classification

Planned

Growth Policy Plan Designation

Vacant land

Existing Land Use

N

Septic (Y/N)

First Utility

Sewer Provider

First Utility

Water Provider

REQUEST

DEVELOPMENT

- Development Plan Use on Review / Special Use
 Residential Non-Residential

Home Occupation (specify): _____

Other (specify): _____

SUBDIVISION

Westland Creek
 Proposed Subdivision Name _____ Unit / Phase Number _____

Parcel Change
 Combine Parcels Divide Parcel Total Number of Lots Created: 76

Other (specify): _____

Attachments / Additional Requirements

ZONING

Zoning Change: _____
 Proposed Zoning _____

Plan Amendment Change: _____
 Proposed Plan Designation(s) _____

Proposed Property Use (specify) _____ Proposed Density (units/acre) _____ Previous Rezoning Requests _____

Other (specify): _____

STAFF USE ONLY

PLAT TYPE

- Staff Review Planning Commission

ATTACHMENTS

- Property Owners / Option Holders Variance Request

ADDITIONAL REQUIREMENTS

- Design Plan Certification (Final Plat only)
 Use on Review / Special Use (Concept Plan only)
 Traffic Impact Study

FEE 1: 76 lots	2,780.00	TOTAL: \$ 2,780.00
FEE 2: 0108		
FEE 3:		

AUTHORIZATION

Thomas Brechko
 Staff Signature

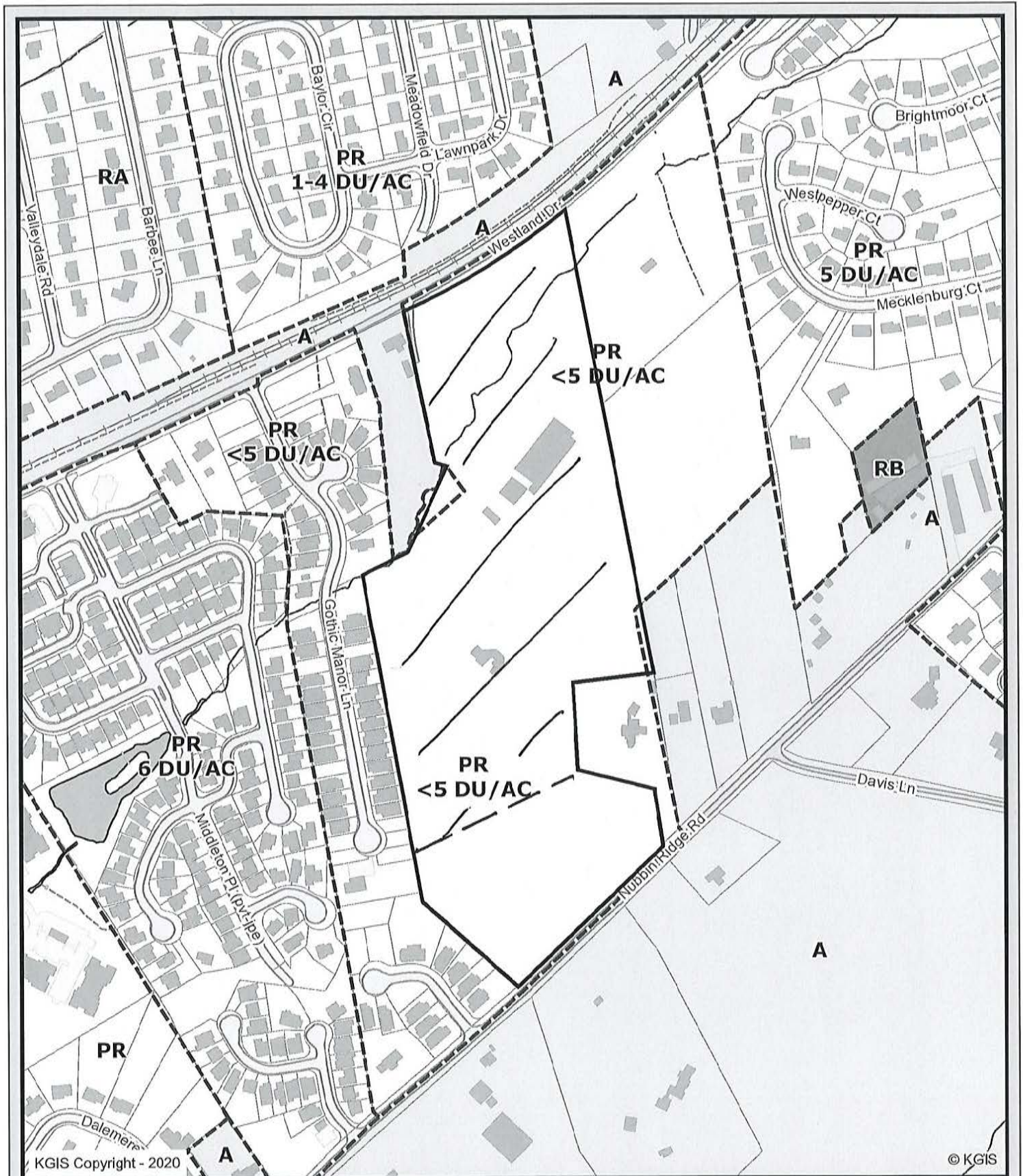
Thomas Brechko
 Please Print

1-24-2020
 Date

[Signature]
 Applicant Signature

Eric Moseley
 Please Print

Date



Letter Portrait

Knoxville - Knox County - KUB Geographic Information System



Printed: 1/24/2020 at 9:10:10 AM



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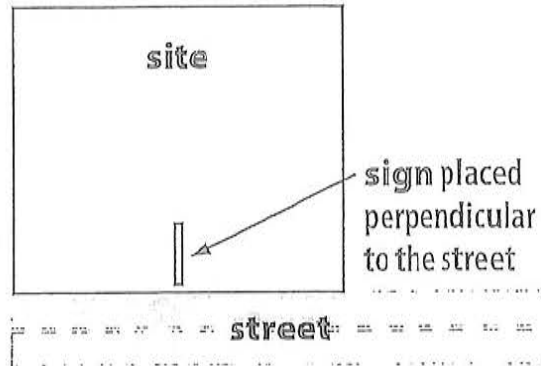
REQUIRED SIGN POSTING AGREEMENT

For all rezoning, plan amendment, concept plan, use on review, right-of-way closure, and street name change applications, a sign must be posted on the subject property, consistent with the adopted Administrative Rules and Procedures.

At the time of application, staff will provide a sign(s) to post on the property as part of the application process. If the sign(s) go missing for any reason and need to be replaced, then the applicant will be responsible for picking up a new sign(s) from the Planning offices. The applicant will be charged a fee of \$10 for each replacement sign.

LOCATION AND VISIBILITY

The sign must be posted in a location that is clearly visible from vehicles traveling in either direction on the nearest adjacent/frontage street. If the property has more than one street frontage, then the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.



TIMING

The sign(s) must be posted 15 days before the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted 15 days before the next Planning Commission meeting.

I hereby agree to post and remove the sign(s) provided on the subject property consistent with the above guidelines and between the dates of:

February 26, 2020 and March 13, 2020
 (15 days before the Planning Commission meeting) (the day after the Planning Commission meeting)

Signature: 

Printed Name: Eric Mosdy

Phone: 454-3727 Email: _____

Date: 1/23/20

File Number: 3-SA-20-C