



SPECIAL USE REPORT

▶ **FILE #:** 5-B-20-SU

AGENDA ITEM #: 39

AGENDA DATE: 5/14/2020

▶ **APPLICANT:** **RANDY GUIGNARD**
OWNER(S): Century Building, LLC

TAX ID NUMBER: 119 D D 00305 [View map on KGIS](#)

JURISDICTION: City Council District 2

STREET ADDRESS: 651 Mars Hill Rd.

▶ **LOCATION:** **East of Gallaher View Rd., south & west of Mars Hill Rd.**

▶ **APPX. SIZE OF TRACT:** **1.87 acres**

SECTOR PLAN: Northwest County

GROWTH POLICY PLAN: N/A

ACCESSIBILITY: Access is via Mars Hill Rd, a local street with 19-20' of pavement within 40' of right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Ten Mile Creek

▶ **ZONING:** **RN-2 (Single-Family Residential Neighborhood) / PD (Planned Development)**

▶ **EXISTING LAND USE:** **Vacant**

▶ **PROPOSED USE:** **Place of Worship**

HISTORY OF ZONING: Property was zoned RP-1 in 2007 (10-C-07-RZ).

SURROUNDING LAND USE AND ZONING: North: Vacant land, House / RN-1 (Single-Family Residential Neighborhood) & PD (Planned Development)

South: Vacant land / RN-1 (Single-Family Residential Neighborhood) & PD (Planned Development)

East: Houses / RN-1 (Single-Family Residential Neighborhood) & HP (Hillside Protection)

West: N. Gallaher View Rd, Vacant land / RB (General Residential)

NEIGHBORHOOD CONTEXT: The site is located along a section of N Gallaher View Rd., that includes a mix of low and medium density residential development. The development along Mars Hill Rd include low density residential.

STAFF RECOMMENDATION:

▶ **APPROVE the development plan for an 80 seat place of worship with approximately 1,748 sq. ft. of floor area, subject to 7 conditions.**

1. Meeting all applicable requirements of the City of Knoxville Zoning Ordinance, including but not limited to

Article 12 (Landscape) and Article 13 (Signs).

2. Meeting all applicable requirements of the City of Knoxville Department of Engineering.
3. Submitting verification of sight distance for review and approval by the City of Knoxville Department of Engineering during permit review.
4. Widening Mars Hill Road to a minimum width of 20' from the proposed driveway to N. Gallaher View Drive, or as otherwise required by the City of Knoxville Department of Engineering.
5. Installing a sidewalk from the building's main entrance to the public sidewalk (greenway) along N. Gallaher View Road in accordance with Article 11.6.G.2 (Design of Off-Street Parking Facilities) of the City of Knoxville Zoning Ordinance.
6. Installing all required landscaping within six months of issuance of the occupancy permit.
7. The retaining walls are to be constructed of Belgard masonry block or equivalent material with a similar textured finish.

With the conditions noted, this plan meets the requirements for approval in the RN-2 District, and the other criteria for approval of a special use.

COMMENTS:

The proposal is for an 80 seat, one story place of worship with a floor area of approximately 1,748 square feet. A single driveway access is proposed to Mars Hill Road. The required Class A buffer yard is shown along the south property line (rear of the structure) and additional landscaping will need to be installed along the along the foundation of the building in accordance with Article 12.7 (Site Landscape).

The parking lot design standards require that a sidewalk be installed from the main entrance to a sidewalk in the ROW (Article 11.6.G.2) unless the sidewalk exceeds 20% of the parking lot improvement cost. The applicant proposes to make a connection to the sidewalk (greenway) along N. Gallaher View Road.

The northern portion of this site is within the 100- and 500-year floodplain for Ten Mile Creek and there is a utility easement that is between the proposed parking lot and the floodplain. This proposal will not disturb the floodplain or utility easement.

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE

1. The proposal will have no impact on schools.
2. All utilities are in place to serve this site.
3. The development will access a local street that provides access to five existing houses and five vacant lots. Any portion of Mars Hill Road that is less than 20 ft wide, between the proposed driveway and N. Gallaher View Road, will need to be widened to a minimum of 20 ft as part of this development.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE CITY OF KNOXVILLE ZONING ORDINANCE

1. The proposed place of worship is consistent with the general standards for special uses: The proposed development is consistent with the adopted plans and policies of the General Plan and One Year Plan. The use is in harmony with the general purpose and intent of the Zoning Ordinance. The use is compatible with the character of the neighborhood where it is proposed. The use will not significantly injure the value of adjacent property. The use will not draw additional traffic through residential areas.
2. The proposal meets all relevant requirements of the RN-2 zoning district, as well as other criteria for approval of a special use.

CONFORMITY OF THE PROPOSAL TO ADOPTED PLANS

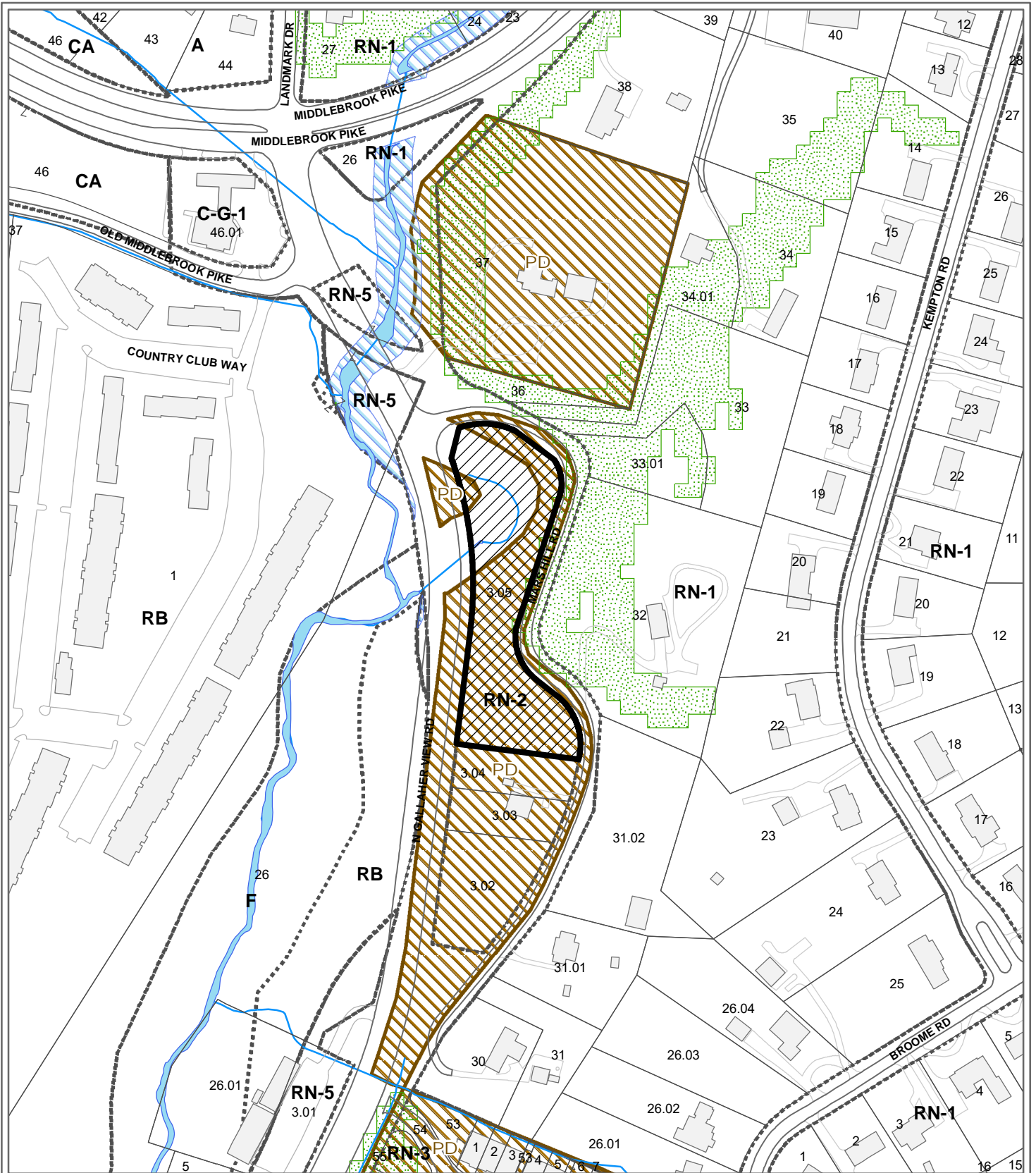
1. The use is in conformity with the One Year Plan and the Northwest County Sector Plan, which propose LDR (Low Density Residential) uses for the site. Places of worship are a special use in the RN-2 zone.

ESTIMATED TRAFFIC IMPACT: 48 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal a Planning Commission decision in the City.



**5-B-20-SU
SPECIAL USE**

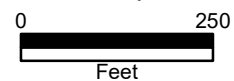
Petitioner: Guignard, Randy

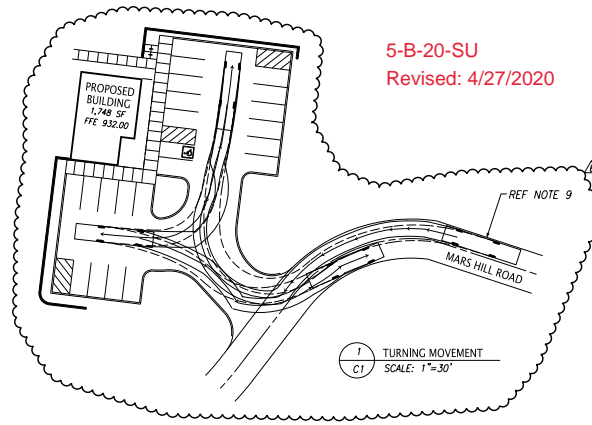
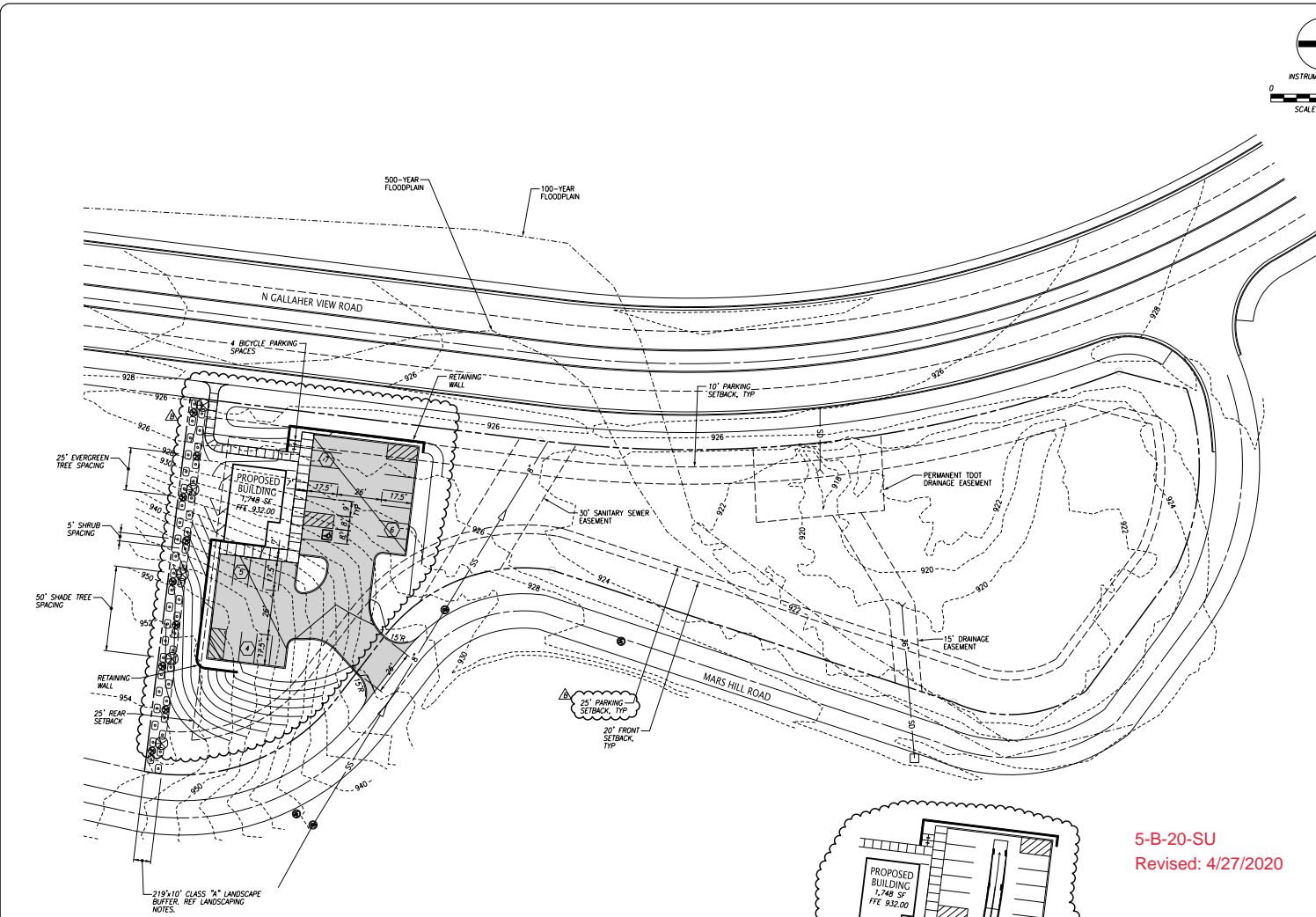


Place of Worship in RN-2 (Single-Family Residential Neighborhood) / PD

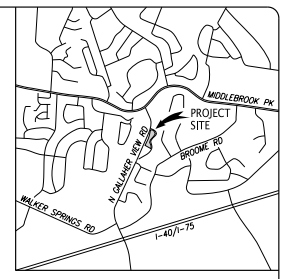
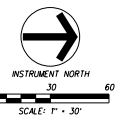
Map No: 119
Jurisdiction: City

Original Print Date: 4/23/2020
Revised:
Knoxville - Knoxville Planning Commission * City / County Building * Knoxville, TN 37902





5-B-20-SU
 Revised: 4/27/2020



FULGHUM
MACINDOE
 ASSOCIATES, INC.

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 KNOXVILLE, TN 37932
 OFFICE: 865.690.6419
 FAX: 865.690.6449
 www.fulghummacindoe.com

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

KCH WEST
 651 MARS HILL ROAD
 KNOXVILLE, TENNESSEE 37923

RANDY GUIGNARD
 2109 DUTCH VALLEY DRIVE
 KNOXVILLE, TN 37918
 TELEPHONE NO.: 865.219.7730
 EMAIL: randy@fourseasonscon.com

SPECIAL USE PLAN

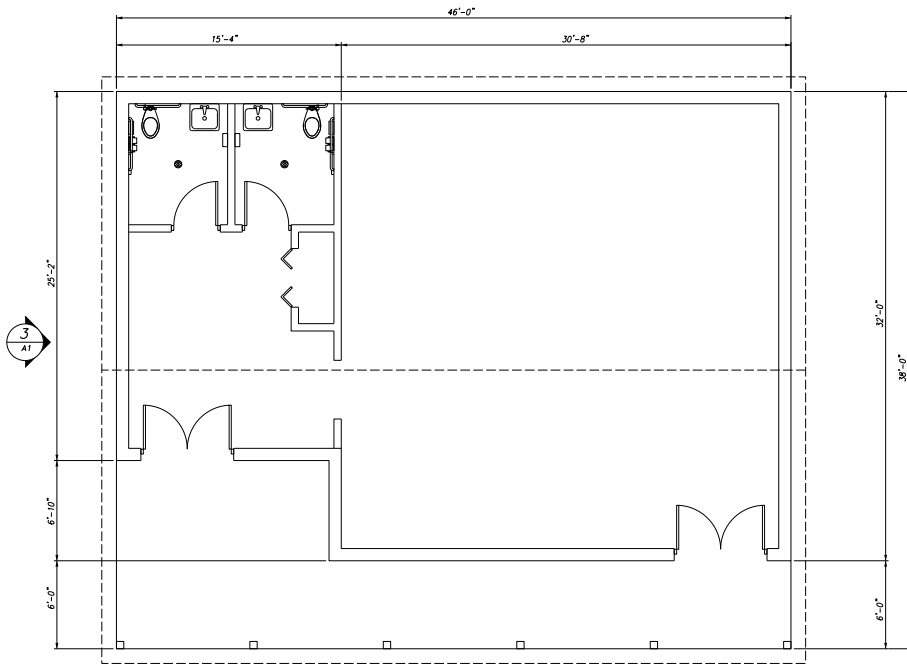
- NOTES:**
- THE BOUNDARY DATA WAS TAKEN FROM INGRAM, CORE & ASSOCIATES, LLC DATED JULY 3, 2017. THE TOPOGRAPHIC DATA WAS TAKEN FROM KGS.
 - UNLESS NOTED OTHERWISE, DIMENSIONS ARE TAKEN FROM THE FENCE LINE, PROPERTY LINE, FACE OF CURB, EDGE OF PAVEMENT OR OUTSIDE FACE OF BUILDING.
 - PROPERTY CONCERNED REFLECTS PARCEL #190000305 AS SHOWN IN KNOX COUNTY S.U.T. MAP 119. ZONING FOR THE PROPERTY IS RM-2, SINGLE FAMILY RESIDENTIAL NEIGHBORHOOD DISTRICT, CITY BLOCK NO. 46462, WARD NO. 46. TOTAL AREA = 1.87± AC. TOTAL DISTURBED AREA = 0.41± AC.
 - OWNER: CENTURY BUILDING LLC
 312 S. GAY STREET
 KNOXVILLE, TN 37902
 - BUILDING SETBACKS ARE 20'-FT. IN FRONT AND 25'-FT. IN REAR.
 - RETAINING WALLS TO BE DESIGNED AND SEALED BY AN ENGINEER LICENSED IN THE STATE OF TENNESSEE AND SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A PERMIT. REFER TO VENDOR'S PLANS FOR RETAINING WALL AND RAILING DETAILS. RAILING SHALL BE PROVIDED FOR RETAINING WALL HEIGHTS THAT EQUAL OR EXCEED 30 INCHES.
 - REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
 - PARKING LOT AREA = 6,800 SF.
 - TURNING MOVEMENT SHOWN IS FOR AN ASHTO S-BUS-40.
- PARKING SUMMARY**
- | | |
|---|-----------|
| REQUIRED PARKING FOR A PLACE OF WORSHIP | 30 SPACES |
| 80 SEATS @ 0.25 SPACES PER SEAT = | 20 SPACES |
| MAXIMUM REQUIRED PARKING FOR A PLACE OF WORSHIP | 40 SPACES |
| 80 SEATS @ 0.50 SPACES PER SEAT = | 40 SPACES |
| TOTAL PARKING PROVIDED | |
| STANDARD SPACES (8'x17.5') | 21 |
| HANDICAP (1 VAN ACCESSIBLE) | 1 |
| TOTAL | 22 SPACES |
| REQUIRED BICYCLE PARKING | 4 SPACES |
| LESS THAN 50 VEHICLE PARKING SPACES | |

- LANDSCAPING NOTES:**
- EVERGREEN TREES SHALL HAVE A MINIMUM HEIGHT OF 8 FEET. BUFFER SHALL HAVE A MINIMUM OF 3 EVERGREEN TREES AND A MINIMUM OF 2 EVERGREEN TREE SPECIES.
 - SHADE TREES SHALL HAVE A MINIMUM CALIPER OF 2 INCHES. BUFFER SHALL HAVE A MINIMUM OF 5 SHADE TREES AND A MINIMUM OF 3 SHADE TREE SPECIES.
 - SHRUBS SHALL HAVE A MINIMUM HEIGHT OF 18 INCHES. BUFFER SHALL HAVE A MINIMUM OF 44 SHRUBS AND A MINIMUM OF 5 SHRUB SPECIES. 50% OF SHRUBS SHALL BE EVERGREEN.

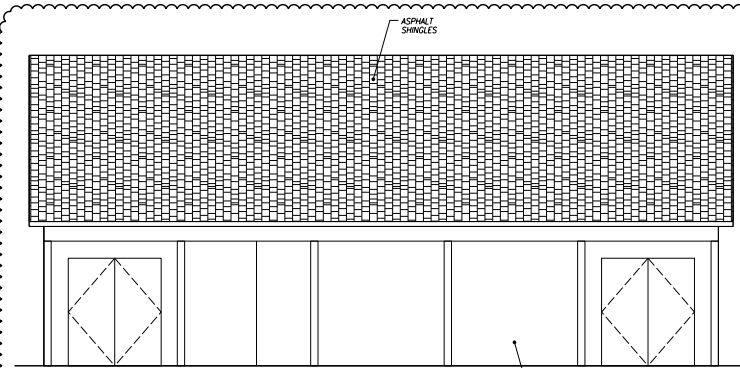
LEGEND:

| | |
|--|--------------------------|
| | ASPHALT PAVEMENT |
| | CONCRETE PAVEMENT |
| | PROPOSED CONTOUR |
| | EXISTING CONTOUR |
| | PROPERTY/ROW LINE |
| | ROAD CENTER LINE |
| | TYPICAL |
| | NUMBER OF PARKING SPACES |
| | SHADE TREE |
| | EVERGREEN TREE |
| | SHRUB |

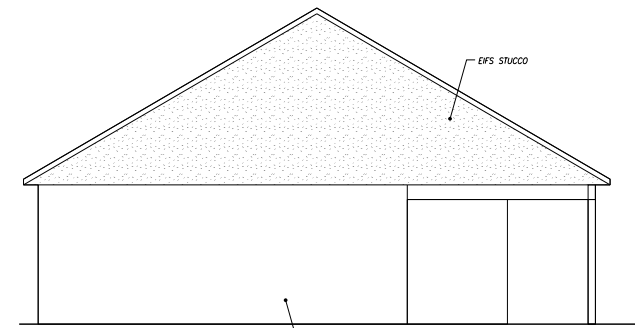
| | | | |
|-------------|-------------------------------|----------------|------------------|
| PROJECT NO. | 648.002 | SHEET | C1 |
| DATE | 03/20/20 | SCALE | 1"=30' |
| DESIGNED BY | JCM | ISSUED BY | JCM |
| CHECKED BY | WCF | DATE | 04/27/20 |
| REV PER | PLANNING/ENGINEERING COMMENTS | ISSUED | SPECIAL USE PLAN |
| NO. | | REVISION/ISSUE | |



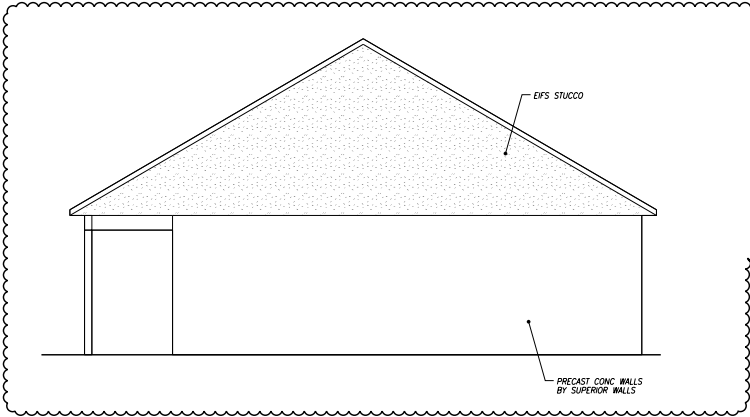
1 FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 ELEVATION
SCALE: 1/4" = 1'-0"



3 ELEVATION
SCALE: 1/4" = 1'-0"



4 ELEVATION
SCALE: 1/4" = 1'-0"

5-B-20-SU
Revised: 4/27/2020

PRELIMINARY
NOT FOR
CONSTRUCTION

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651 MARS HILL ROAD
KNOXVILLE, TENNESSEE 37923

RANDY GUIGNARD
2109 DUTCH VALLEY DRIVE
KNOXVILLE, TN 37918
TELEPHONE NO.: 865.219.7730
EMAIL: randy@fourseasons.com

FLOOR PLAN
AND ELEVATIONS

| PROJ. NO. | ISSUED BY | DATE | REVISION/ISSUE |
|-----------|-----------|----------|----------------|
| 648.002 | JLB | 04/27/20 | |
| | | 03/30/20 | |
| | | 03/20/20 | |

| | |
|----------|------------|
| Project | Sheet |
| 648.002 | A1 |
| Date | Scale |
| 03/30/20 | 1/4"=1'-0" |

File Name: 14164.dwg (03/30/20) (MDS) (Common) (648002001.dwg)
Plot Name: 1/4"=1'-0"

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DEVELOPMENT REQUEST

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
- Rezoning

Applicant Name: Randy Guignard Affiliation: _____
 Date Filed: 3/12/20 Meeting Date (if applicable): May File Numbers(s): 5B-20-SU

CORRESPONDENCE

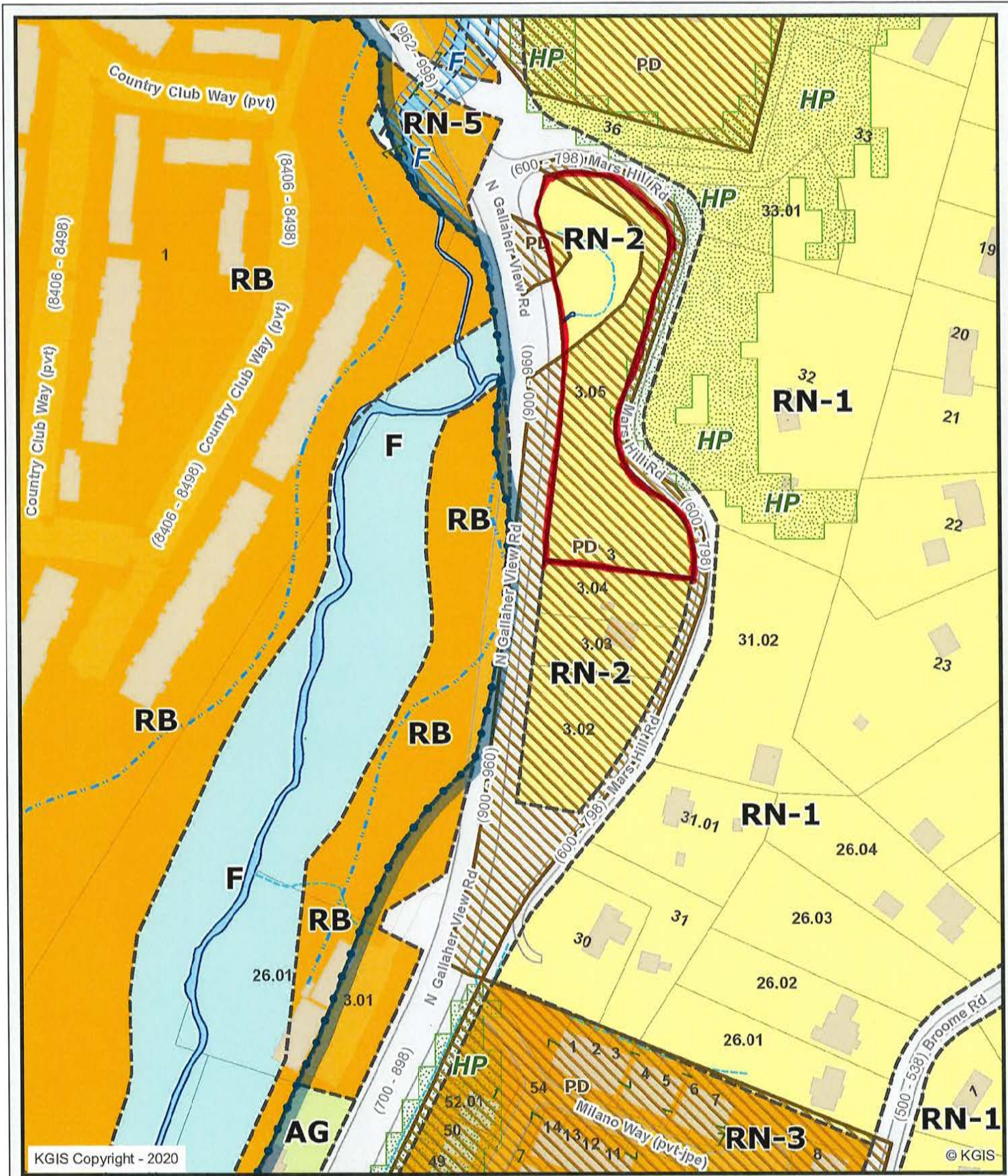
All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
 Owner
 Option Holder
 Project Surveyor
 Engineer
 Architect/Landscape Architect

Name: Randy Guignard Company: Four Seasons Inc
 Address: 2109 Dutch Valley City: Knoxville State: Tn Zip: 37918
 Phone: 865 244-8050 Email: randy@fourseasonscorp.com

CURRENT PROPERTY INFO

Owner Name (if different): Century Building LLC Owner Address: 312 S Gay st Owner Phone: 37902
 Property Address: 651 Moss Hill Parcel ID: 117DD00305
 General Location: East of N Gallahan view rd south end west of Moss Hill Tract Size: 1.87 acres
 Jurisdiction (specify district above): 2 City County Zoning District: RN-2
 Planning Sector: Northwest County Sector Plan Land Use Classification: LDR Growth Policy Plan Designation: N/A
 Existing Land Use: Vacant Septic (Y/N): N Sewer Provider: KUB Water Provider: KUB



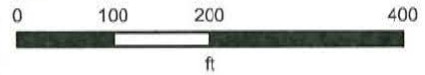
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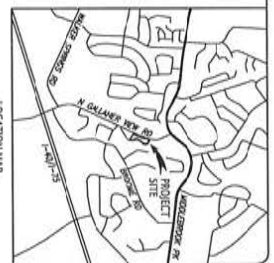
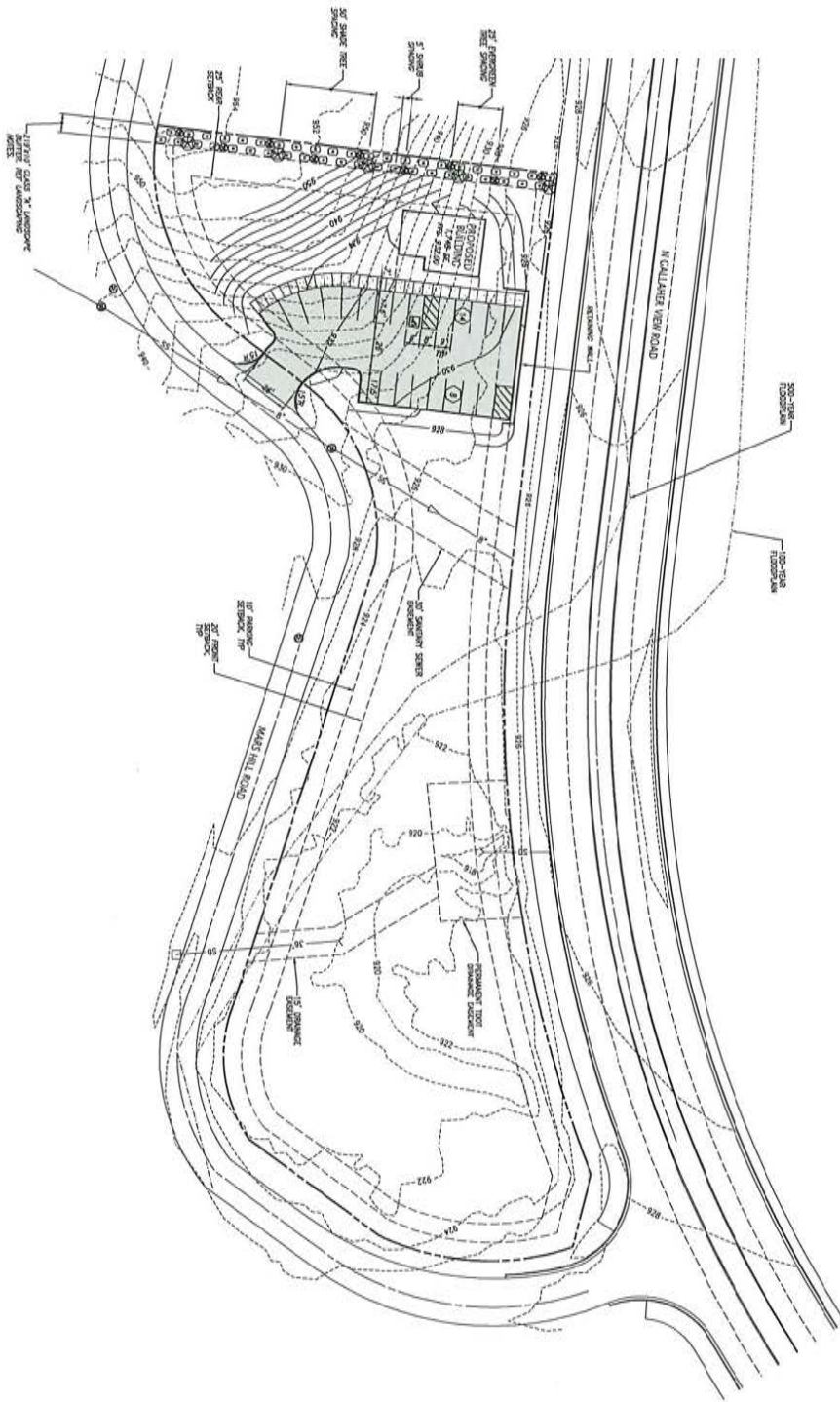
651 Mars Hill Rd.

Knoxville - Knox County - KUB Geographic Information System

Printed: 3/31/2020 at 3:34:47 PM



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NOTES:

1. THE EXISTING PLAN AND TYPICAL NOTES SHALL BE USED FOR THE EXISTING CONDITIONS UNLESS NOTED OTHERWISE. DIMENSIONS FOR EXISTING CONDITIONS SHALL BE TAKEN FROM THE EXISTING RECORD DRAWINGS.
2. EXISTING CONDITIONS SHALL BE SHOWN AS DASHED LINES UNLESS NOTED OTHERWISE.
3. PROPOSED CONCRETE FINISHES SHALL BE SHOWN AS SOLID LINES UNLESS NOTED OTHERWISE.
4. EXISTING CONCRETE FINISHES SHALL BE SHOWN AS DASHED LINES UNLESS NOTED OTHERWISE.
5. EXISTING DIMENSIONS SHALL BE SHOWN AS DIMENSIONS UNLESS NOTED OTHERWISE.
6. EXISTING DIMENSIONS SHALL BE SHOWN AS DIMENSIONS UNLESS NOTED OTHERWISE.
7. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.

PARKING SUMMARY:

| | |
|---|-----------|
| REQUIRED PARKING FOR A LOT OF 20 SPACES | 20 SPACES |
| PROVIDED PARKING SPACES | 21 SPACES |
| TOTAL PARKING PROVIDED | 21 SPACES |

LANDSCAPING NOTES:

1. EXISTING TREES SHALL HAVE A MINIMUM HEIGHT OF 6 FEET AT THE TIME OF INSTALLATION.
2. EXISTING TREES SHALL HAVE A MINIMUM CALIBER OF 2 INCHES DBH AT 4.5 FEET ABOVE GROUND.
3. EXISTING TREES SHALL HAVE A MINIMUM HEIGHT OF 18 INCHES AT THE TIME OF INSTALLATION.
4. EXISTING TREES SHALL HAVE A MINIMUM DBH OF 2 INCHES AT THE TIME OF INSTALLATION.

LEGEND:

| | |
|----------|----------------------------|
| [Symbol] | ADDITIONAL FINISHES |
| [Symbol] | CONCRETE FINISHES |
| [Symbol] | PROPOSED CONCRETE |
| [Symbol] | EXISTING CONCRETE |
| [Symbol] | PROPERTY/OWNER LINE |
| [Symbol] | ROAD CENTER LINE |
| [Symbol] | PROPOSED |
| [Symbol] | EXISTING |
| [Symbol] | BOUNDARY OF PARKING SPACES |
| [Symbol] | SHADE TREE |
| [Symbol] | EXISTING TREE |
| [Symbol] | SHADE |

PRELIMINARY NOT FOR CONSTRUCTION

10015 WINDSOR HILLS ROAD
 SUITE 200
 KNOXVILLE, TN 37923
 (615) 582-8888
 WWW.MACINTOSHENGINEERS.COM

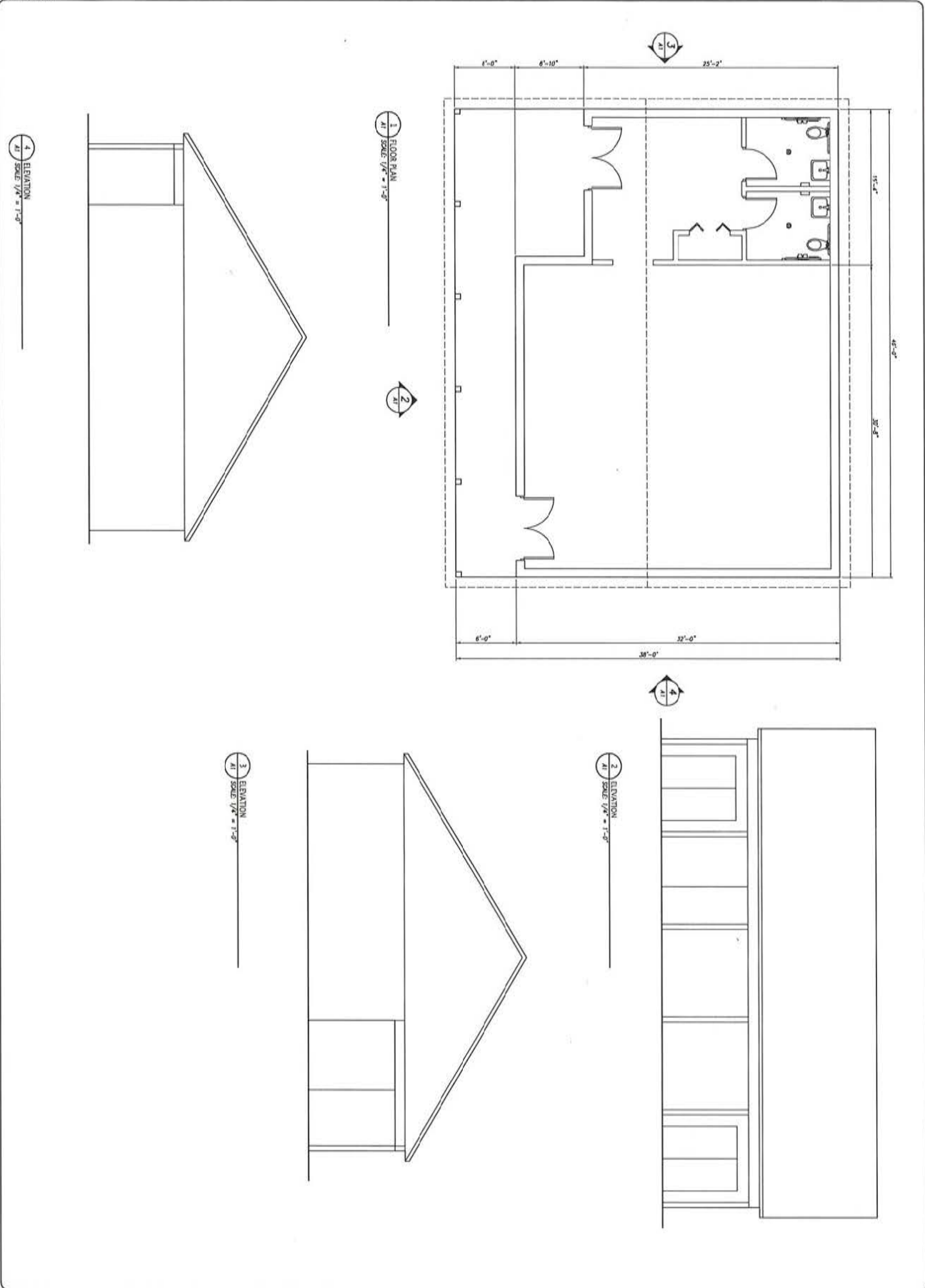
KCH WEST
 651 MAIS HILL ROAD
 KNOXVILLE, TENNESSEE 37923

RANDY GUIGNARD
 2109 HUTCH VALLI DRIVE
 KNOXVILLE, TN 37918
 TELEPHONE NO.: 865.219.7730
 EMAIL: randy@fourseasonscorp.com

USE ON REVIEW PLAN

| | | | |
|--------------|----------|----------------|--------------------------|
| DESIGNED BY | JCM | DATE | 03/30/20 |
| CHECKED BY | | DATE | |
| PROJECT | 648 002 | NO. | 1 |
| PROJECT NAME | SHAW | REVISION/ISSUE | ISSUED FOR USE ON REVIEW |
| SCALE | AS SHOWN | | |
| DATE | 03/20/20 | | |
| SCALE | 1"=30' | | |

This drawing is a preliminary drawing and is not to be used for construction. It is subject to change without notice. The user of this drawing is responsible for verifying the accuracy of the information shown hereon.



| REV | DATE | BY | CHKD | APP'D | DESCRIPTION |
|-----|------|----|------|-------|-------------|
| | | | | | |
| | | | | | |
| | | | | | |

FLOOR PLAN AND ELEVATIONS

RANDY GUIGNARD
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 EMAIL: randy@fourreasons.com

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PRELIMINARY
 NOT FOR
 CONSTRUCTION

18180 HARBOR VALLEY ROAD
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 PHONE: 865.506.6444
 FAX: 865.506.6444
 WWW.FOURREASONS.COM

Project: R48.002
 Scale: 1/8" = 1'-0"
 Date: 01/24/2007
 Sheet: A1