



# PLANNED DEVELOPMENT FINAL PLAN

► **FILE #:** 11-A-20-PD

**AGENDA ITEM #:** 51

**AGENDA DATE:** 11/12/2020

► **APPLICANT:** VOLUNTEER MINISTRY CENTER

OWNER(S): Caswell Manor, LP

TAX ID NUMBER: 82 P K 039

[View map on KGIS](#)

JURISDICTION: City Council District 6

STREET ADDRESS: 1501 E. Fifth Ave.

► **LOCATION:** North side of E. Fifth Avenue between Winona Street and Myrtle Street

► **APPX. SIZE OF TRACT:** 1.07 acres

SECTOR PLAN: Central City

GROWTH POLICY PLAN: N/A

ACCESSIBILITY: Access is via E. Fifth Avenue, a local road with 30' of pavement width within 60' of right of way, and Winona Street, a minor collector street with 30' of pavement width within 54' of right of way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: First Creek

► **ZONING:** O (Office)

► **EXISTING LAND USE:** P-QP (Public/Quasi Public Land)

► **PROPOSED USE:** Permanent supportive housing

HISTORY OF ZONING: The Preliminary Plan for the development was approved by City Council in June 2020 (4-A-20-PD).

SURROUNDING LAND USE AND ZONING: North: Public parks / OS (Parks and Open Space) District

South: Office / O (Office) District

East: Public parks / OS (Parks and Open Space) District

West: Office, Community facilities / O (Office) District, OS (Parks and Open Space) District

NEIGHBORHOOD CONTEXT: This area consists of a mix of uses including Caswell Park (ballfields), small-lot single family dwelling units, small apartment buildings, office, and commercial uses in the near vicinity. East Magnolia Avenue is one block to the south.

## STAFF RECOMMENDATION:

► **APPROVE** the final plan for the Caswell Manor Apartments development with 48 permanent supportive housing units at 1501 East 5th Avenue because it is in substantial conformance with the approved preliminary plan (4-A-20-PD), subject to 4 conditions.

**RECOMMEND that City Council amend the zoning map for this property to add the PD (Planned Development) designation.**

- 1) Constructing the development in conformance with the attached final plan. Modifications to the final plan must be approved in accordance with Article 16.7.F (Modifications to Approved Final Plans).
- 2) Approval of the zoning map amendment by City Council to add the PD (Planned Development) designation.
- 3) Meeting all applicable requirements of the City of Knoxville Department of Engineering.
- 4) Meeting all applicable requirements of the City of Knoxville Zoning Ordinance.

**COMMENTS:**

**Project Description**

Volunteer Ministry Center (VMC) is proposing the construction of a 48 dwelling unit residential development that will provide supportive housing for formerly homeless individuals. The proposed development will consist of two residential buildings, each three stories and containing 24 residential units, and a community building that will contain a meeting area, laundry room, and staff offices. The buildings will be connected by a screened breezeway. Twenty-two (22) surface vehicular parking spaces and bicycle parking are proposed. The site is located on a transit route and a transit stop is located at the site. Open space and landscaping are proposed as part of the development. Supportive services will be available for the residents and staff will be on-site 24 hours a day.

The community benefits identified by the applicant to justify the requested exceptions from the City's Zoning Code are:

1. The development serves a vulnerable and underserved population.
2. The development provides permanent supportive housing, thus diminishing the burden and expense of community resources for emergency provisions for people who would otherwise remain on the streets.
3. The development addresses the highest priority need (affordable permanent supportive housing) as identified by the City's Consolidated Plan for 2020 – 2024.

**Approved Exceptions from District Regulations**

The following exceptions to the underlying dimensional, design and use regulations were recommended by the Planning Commissions and approved by the City Council as part of the preliminary plan for the Caswell Manor Apartments development at 1501 East Fifth Avenue (4-A-20-PD). Under each exception is verification that the proposal is in conformance with these standards.

1. An increase in the permitted density to allow 48 dwelling units
  - o The proposed density is for a total of 48 dwelling units. There are 24 dwelling units in both of the 3-story buildings.
2. A reduction in the required number of off-street parking spaces from 58 spaces to 22 spaces
  - o The 22 space off-parking lot is located between the two 3-story structure and accessed from E. Fifth Avenue. The location and design of the parking lot is substantially unchanged from the one shown on the preliminary plan.
3. A reduction in the ground floor transparency requirements from 30% to 20%
  - o The ground floor transparency for the front façade is greater than the minimum of 20% (see notes on plan sheet A-5.0 & A-5.1). The E. Fifth Avenue elevations are considered the front façade since that is the street the property is addressed and the main entrance is oriented toward.

The proposed development is in conformance with the other dimensional and design standards of the O (Office) District and no non-conformities with the other general standards of the zoning ordinance were identified by Staff as part of this review.

If the final plan is approved by the Planning Commission, the application will go forward to City Council for consideration of an amendment to the official zoning map to add the PD (Planned Development) designation. City Council will not be reviewing the final plan as part of this process unless the Planning Commission approval is appealed.

**ESTIMATED TRAFFIC IMPACT:** 493 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal a Planning Commission decision in the City.



**11-A-20-PD  
DEVELOPMENT PLAN**



Permanent supportive housing in O (Office)

Original Print Date: 10/20/2020 Revised:  
Knoxville - Knox County Planning Commission \* City / County Building \* Knoxville, TN 37902

Petitioner: Volunteer Ministry Center

Map No: 82  
Jurisdiction: City

0 250  
Feet



## **Public Benefit**

Planned Development for Permanent Supportive Housing  
by Volunteer Ministry Center  
at 1501 E. Fifth Avenue

### **Scope**

Volunteer Ministry Center, Inc. (VMC) proposes a planned development of 48 units on the property located at 1501 E. Fifth Avenue. The development will provide permanent supportive housing for former chronically homeless single men and women by utilizing existing operating subsidies and both preserving and constructing new affordable housing units.

The proposed development will feature superior design and enhanced amenities, including ENERGY STAR appliances and programming and increased accessibility and visitability in both common spaces and private apartments.

Amenities for the development will include a secure facility with 24/7 property attendant presence, furnished one-bedroom apartments with private full-size kitchens and bathrooms, community and activity rooms, common-area kitchen and dining facilities, computer lab with free internet access, management and social services offices, on-site laundry facilities, owner-paid utilities, private mailboxes, public telephone, and outdoor courtyard/picnic areas. Private telephone, internet and cable service will be available but paid by residents.

Additionally, the development will be designed to complement the existing traditional architectural and design patterns of the historic Parkridge neighborhood and Magnolia Avenue corridor. The project will maximize greenspace and outdoor recreational areas and provide access and connectivity to the adjacent Caswell Park and other open spaces. The site is strategically located in the urban core with immediate access to public transportation, job training and health and social service resources.

VMC will provide two on-site housing case managers, Monday through Friday, 8am-5pm. Clinical support will also be available during off-hours by phone and/or on-site. This service is available 24 hours a day, seven days per week. Additionally, the property management staffing plan will include 24/7 on-site presence.

Case management includes the direct provision and/or coordination of services for rental counseling, income management, employment or vocational training, access to medical care, access to dental care, access to mental health care, access to substance abuse treatment, life skills coaching, housekeeping skills instruction, food security, adult education, mobility, field trips, and in-house community events.

A Tenant Council will be formed as well.

## **The Public Need/Objectives of the City**

Potential residents for permanent supportive housing in our community are identified through the Coordinated Entry System known as CHAMP (Coordinated Housing and Assessment Match Plan).

As the entrée to services by local homeless providers, CHAMP is an interagency tool for assessing and prioritizing individuals who are at risk to very poor physical and mental health outcomes and who are chronically homeless, meaning they are literally homeless for at least one continuous twelve (12) month period or four (4) episodes over the past three (3) years adding up to more than twelve (12) months.

A “by-name” master list of these individuals is facilitated by KnoxHMIS (Homeless Management Information System). HMIS is a secured computer data collection system used by social service agencies providing housing and related supportive services. The University of Tennessee Social Work Office of Research and Public Service serves as the administrator (<https://knoxhmis.sworpswebapp.sworps.utk.edu/>).

**As of March 3, 2020, there are 70 individuals identified on the master list who are experiencing chronic homelessness and are in immediate need of permanent supportive housing.**

The need for more affordable housing, and specifically more permanent supportive housing, is further demonstrated through the community comment and input process for the compilation of the City’s Consolidated Plan 2020-2024. As required by HUD for federal funding at the local level, the Consolidated Plan helps “states and local jurisdictions to assess their affordable housing and community development needs and market conditions, and to make data-driven, place-based investment decisions.” ([https://www.hud.gov/program\\_offices/comm\\_planning/conplan](https://www.hud.gov/program_offices/comm_planning/conplan))

**Public input for the City’s Consolidated Plan 2020-2024, identified “Homelessness Needs” as the overall highest ranked priority need category, and the need for “Affordable Permanent Housing” as the highest ranked need within the Homelessness Needs Category.**

**As a result, preservation of existing and development of new of Permanent Supportive Housing is identified as a high-priority objective for promoting the City’s goal of reducing and preventing homelessness in Knoxville.**

([http://knoxvilletn.gov/UserFiles/Servers/Server\\_109478/File/CommunityDevelopment/ConsolidatedPlan/012120-CP-Presentation.pdf](http://knoxvilletn.gov/UserFiles/Servers/Server_109478/File/CommunityDevelopment/ConsolidatedPlan/012120-CP-Presentation.pdf)).

## **The Public Benefit**

Homelessness impacts the well-being of the individual and influences many sectors within a community.

Access to housing for an individual experiencing chronic homelessness is imperative as the physical, emotional and psychological trauma experienced on the streets is improved through stable tenancy, access to physical, behavioral and mental health care as well as case management support.

Homelessness also impacts the community through the excessive use of emergency healthcare resources, emergency responders, and law enforcement and safety divisions. These services are underwritten by and through local benevolence and tax dollars.

Local businesses can feel the impact as well as some may loiter and panhandle customer around the establishment which creates obstacles to commerce and trade.

In 2012, the secretary of HUD, Shaun Donovan, estimated that between shelters and emergency rooms, jails, it costs a community about \$40,000 per year per individual experiencing homelessness, (<https://www.politifact.com/factchecks/2012/mar/12/shaun-donovan/hud-secretary-says-homeless-person-costs-taxpayers/>). With the present number of individuals identified as needing permanent supportive housing (70), the financial impact on our community resources is estimated to be around \$2.8 million dollars.

Permanent Supportive Housing developments such as the one proposed here have a proven track record as high-quality, stable permanent housing assets within their neighborhoods.

Apart from meeting the objective of the City's Consolidated Plan, our planned development reduces the burden on responding emergency services, law enforcement and community health with an estimated reduction in cost to the community by 50%, (<https://endhomelessness.org/wp-content/uploads/2017/06/Cost-Savings-from-PSH.pdf>).

Therefore, the public benefit to the community is three-fold:

- 1. The planned development serves a vulnerable and underserved population.**
- 2. The development provides permanent supportive housing, thus reducing the burden and expense of community resources for emergency provisions for people who would otherwise remain on the streets.**
- 3. The development addresses the highest priority need as identified by the City's Consolidated Plan for 2020-2024.**

## Conclusion

With more than two decades of experience managing permanent supportive housing at Jackson Avenue Apartments (XX units at Jackson Ave.) and Minvilla Manor (57 units at 447 N. Broadway), Volunteer Ministry Center is fully equipped to successfully development and operate the proposed planned development. As of 2019, 50% of the units at Minvilla Manor have been occupied by the same tenant for more than five years, 70% between four to five years and 93% for at least one year (above the national average).

Housing First through Permanent Supportive Housing is an established *Best Practice* model that has consistently demonstrated, both locally and nationally, the positive public benefits described above. **The creation of this proposed planned development will have a significant positive impact on the individuals who will call it home, as well as the surrounding neighborhood, and it will provide a substantial public benefit and cost savings to the entire Knoxville community.**

# CASWELL MANOR APARTMENTS

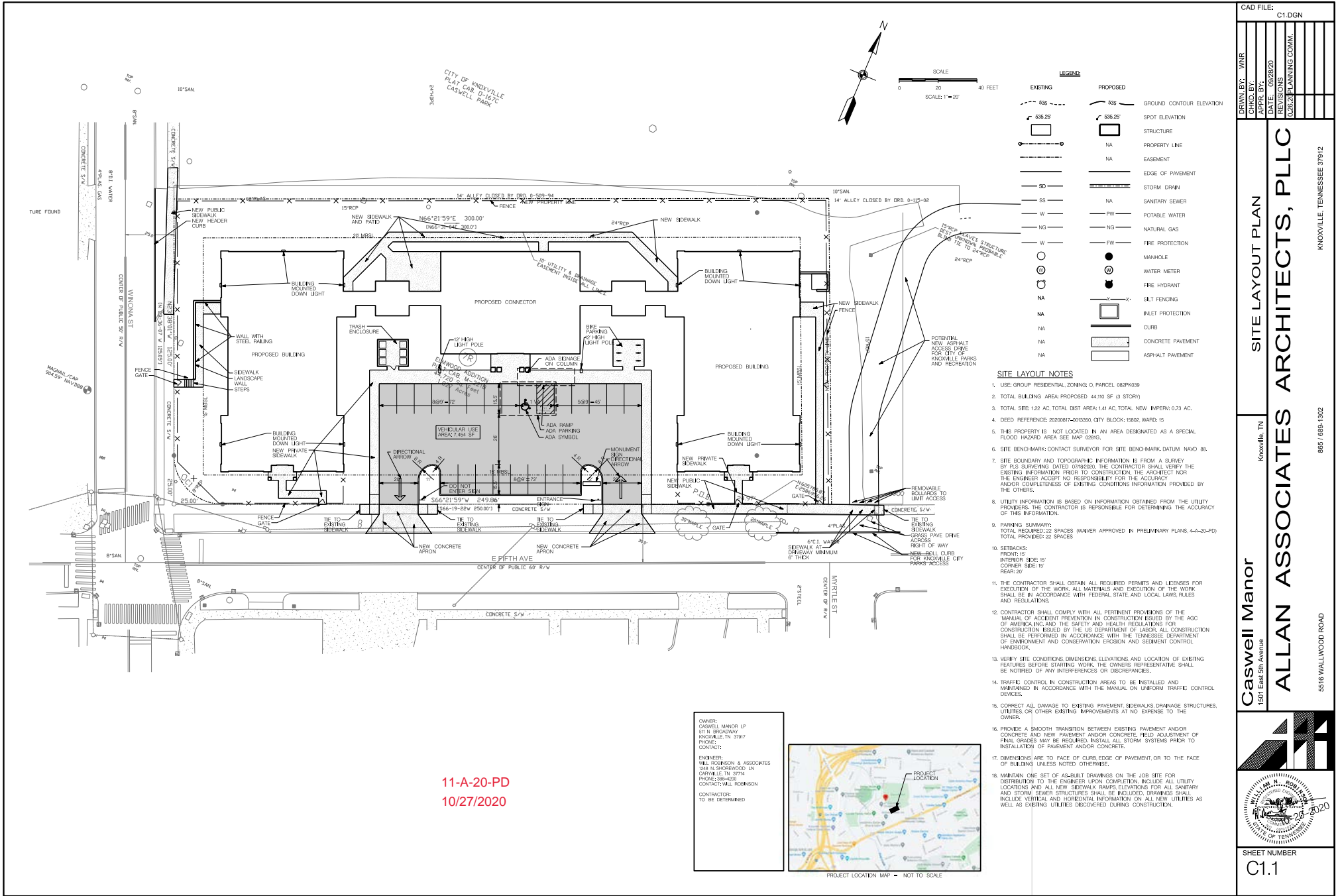
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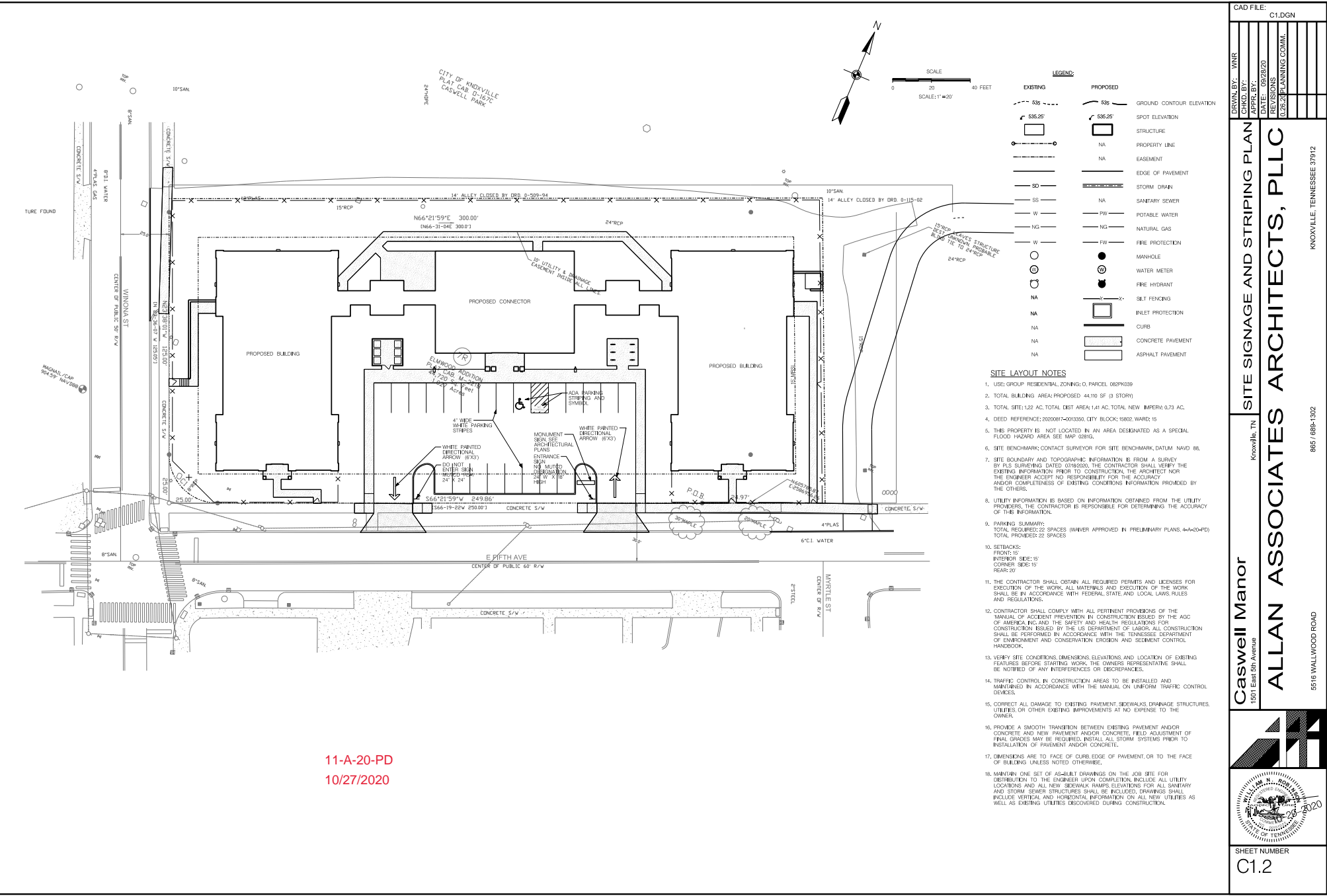
KNOXVILLE, TN



11-A-20-PD  
10/27/2020

DATE: 9-28-2020





11-A-20-PD  
10/27/2020

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C1.DGN

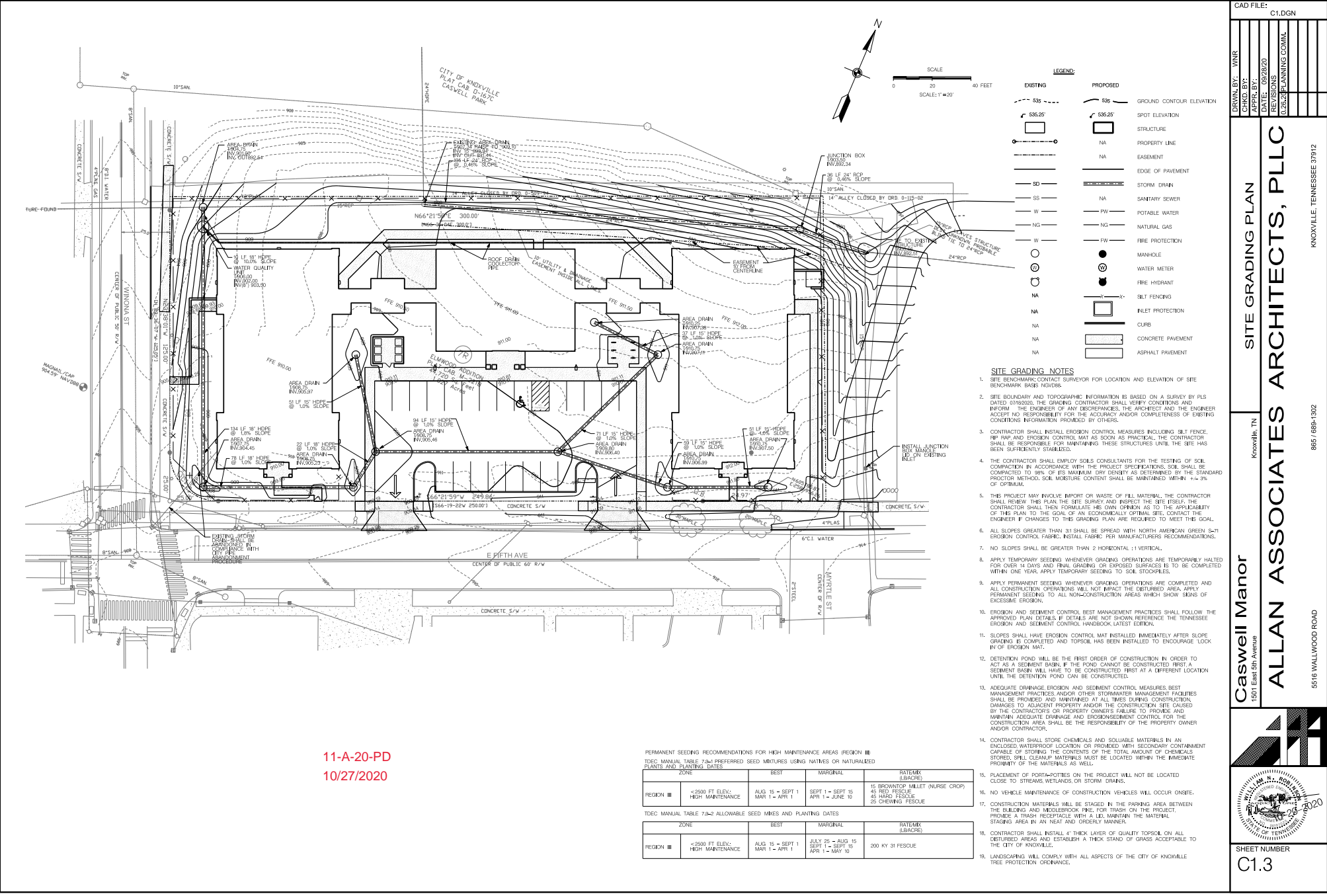
DESIGN BY: WNR  
CHECK BY:  
APPROVED BY:  
DATE: 09/28/20  
REVISIONS  
0.28 PLANNING COMM.

SITE SIGNAGE AND STRIPING PLAN  
KNOXVILLE, TN

Caswell Manor  
1501 East 5th Avenue

ALLAN ASSOCIATES ARCHITECTS, PLLC  
865 / 689-1302  
5516 WALLWOOD ROAD  
KNOXVILLE, TENNESSEE 37912

SHEET NUMBER  
C1.2



11-A-20-PD  
10/27/2020

PERMANENT SEEDING RECOMMENDATIONS FOR HIGH MAINTENANCE AREAS (REGION III)				
TDEC MANUAL, TABLE 7-2-1 PREFERRED SEED MIXTURES USING NATIVES OR NATURALIZED PLANTS AND PLANTING DATES				
ZONE		BEST	MARGINAL	
REGION III	<2500 FT ELEV.; HIGH MAINTENANCE	AUG 15 - SEPT 1 MAR 1 - APR 1	SEPT 1 - SEPT 15 APR 1 - JUNE 10	15 45 45 25

ZONE		BEST	MARGINAL	
REGION III	<2500 FT ELEV: HIGH MAINTENANCE	AUG 15 - SEPT 1 MAR 1 - APR 1	JULY 25 - AUG 15 SEPT 1 - SEPT 15 APR 1 - MAY 10	200

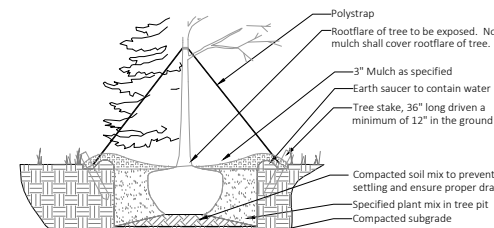
CAD FILE:  
C1.DGN

DRWN BY: WNR  
CHD BY: WNR  
APP. BY: WNR  
DATE: 09/28/20  
REVISIONS  
0.25.20 PLANNING COMM.

SITE GRADING PLAN  
Caswell Manor  
1501 East 5th Avenue  
Knoxville, TN

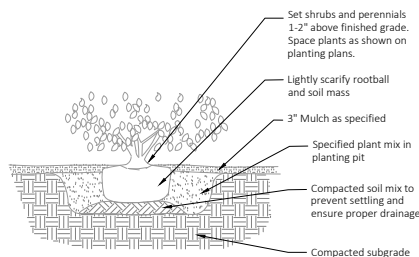
ALLAN ASSOCIATES ARCHITECTS, PLLC  
KNOXVILLE, TENNESSEE 37912  
865/689-3022  
5516 WALLWOOD ROAD

SHEET NUMBER  
C1.3

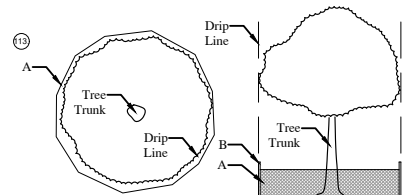


#### General Notes:

- Excavate tree pit to a depth equal to depth of rootball plus 24\"/>



#### Tree Protection Detail



#### Tree Protection Notes

- Tree protection fencing shall be installed around trees to remain. Use 4 foot height, orange, plastic construction fencing fastened to metal post. Space post 8' on center. Install fencing minimum of one foot outside of drip line.
- Contractor responsible for maintaining tree protection fencing throughout the construction process. Tree protection fencing shall remain undisturbed. Do not backfill, grade, or store any material or equipment within protected area.
- Silt fencing, where applicable, shall be outside of tree fencing protection.
- Where trees are to be removed, such trees shall be flagged and shall be felled away from, rather than into areas with existing trees to be preserved.

A = 4 foot height, orange, plastic construction fencing fastened to metal post.  
B = Metal post.

#### Planting Notes:

- Contractor's base bid to include all materials, labor, permits, equipment, tools, insurance, etc. to perform the work as described in the contract documents.
- Contractor to provide allowance for soil amendments, percolation tests, soil tests, mulch and irrigation.
- Contractor to complete work within schedule established by owner.
- Contractor to provide one year warranty for all plant material from date of substantial completion.
- Contractor to provide interim maintenance (watering, pruning, fertilizing, girding, mowing, trimming, adequate drainage of ponding areas, edging, weeding, mulching, application of insecticides/herbicides, and general landscape clean-up) until substantial completion notice is provided by the owner or landscape architect.
- The contractor shall locate and verify all existing utilities prior to planting and report any conflicts to the landscape architect. Perform work in compliance with all applicable laws, codes, and regulations required by authorities having jurisdiction over such work and provide for permits required by local authorities.
- All plant material to be specimen quality as established by the American Association of Nurserymen, horticultural standards, latest edition. Quality of the plant material to be judged by the landscape architect. Inferior plant material to be rejected.
- Plant material to be free of disease, weeds and insect pests. Damaged plant material shall be rejected.
- No planting shall take place until rough grade has been reviewed and approved by the landscape architect.
- Planting plans may need to be adjusted in the field.
- Contractor to coordinate layout of plant material with landscape architect for on site approval prior to installation.
- Test plant beds and plant pits for adequate drainage.
- Hardpan or moisture barriers shall be broken, or drain pipes to be installed to provide proper drainage of plant areas. Plant pits shall be excavated to the bottom of the pit. Fill each plant pit with water and observe the pit for 2 hours. If the water has not dissipated by 50% within 2 hours, notify landscape architect of such in writing before installing plants in the questionable area. Otherwise contractor shall be held liable for plants.
- Trees shall be installed 3\"/>

#### Site Prep Notes:

- All topsoil within limits of construction shall be stripped and stockpiled in an approved location on site. Once rough grade is approved, the topsoil shall be reused on site as needed.
- Contractor is responsible for keeping site clean and trees protected throughout the entire construction project.
- Contractor shall have utilities located prior to beginning work.

Preliminary Plans  
(not for construction)

CAD FILE: C1.DGN

DRWN BY: PB  
CHKD BY:  
APPR BY:

DATE: 09/20/20  
REVISIONS  
10.20.20  
Issued new, public  
properly issue, greater than

LANDSCAPE PLAN

Volunteer Ministry Center  
1501 East 5th Avenue  
Knoxville, TN

ALLAN ASSOCIATES ARCHITECTS, PLLC

865 / 689-1302

5516 WALLWOOD ROAD  
KNOXVILLE, TENNESSEE 37912

Patrick Beasley  
865.441.4428  
patrick@beasleyla.com  
2019 People's Choice Award, TN 2017

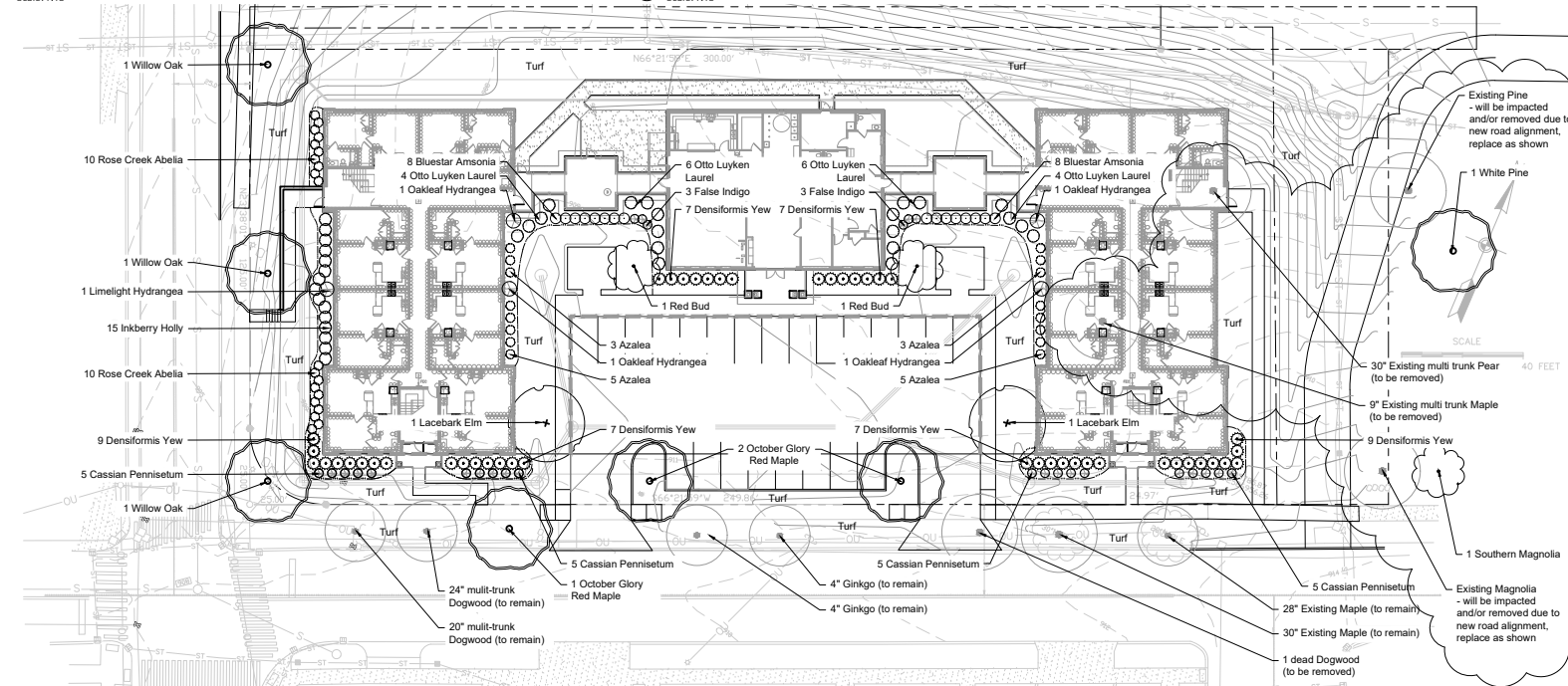
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L1.1.

#### General Tree Planting

Scale: NTS

#### Shrub & Perennial Planting

Scale: NTS



#### LANDSCAPE REQUIREMENT NOTES:

##### EXISTING TREES

- 6 trees to remain on site:
- 20\"/>

##### 12.5 PARKING LOT PERIMETER LANDSCAPE YARD

- No landscape required as total parking lot area is below 10,000 SF
- Proposed parking lot area is approximately 7,602 SF

##### 12.6 INTERIOR PARKING LOT LANDSCAPE

- No landscape required as total parking lot area is below 10,000 SF
- Proposed parking lot area is approximately 7,602 SF

#### 12.7 SITE LANDSCAPE

One shrub for every three feet.

- 114 LF of western facade along Winona,  $\frac{114}{3} = 38$  shrubs required
- 63 LF of southern facade, west wing, along Fifth,  $\frac{63}{3} = 21$  shrubs required
- 63 LF of southern facade, east wing, along Fifth,  $\frac{63}{3} = 21$  shrubs required
- 226 LF of southern facade, parking lot, along Fifth,  $\frac{226}{3} = 75$  shrubs required

Shade trees are required in the amount of one tree every 50 feet.

- 114 LF of western facade along Winona,  $\frac{114}{50} = 2$  trees required (2 existing; 1 proposed)
- 63 LF of southern facade, west wing, along Fifth,  $\frac{63}{50} = 2$  trees required (2 existing)
- 63 LF of southern facade, east wing, along Fifth,  $\frac{63}{50} = 2$  trees required (2 existing)
- 226 LF of southern facade, parking lot, along Fifth,  $\frac{226}{50} = 5$  trees required

#### 12.8 BUFFER YARDS

No buffer yard required as there are no adjacent residential zoning.

#### 12.9 TREE PRESERVATION

6 trees to remain on site:

- 20\"/>

- = 38 shrubs required
- = 21 shrubs required
- = 21 shrubs required
- = 75 shrubs required

- = 3 trees required
- = 2 trees required (2 existing; 1 proposed)
- = 2 trees required (2 existing)
- = 5 trees required

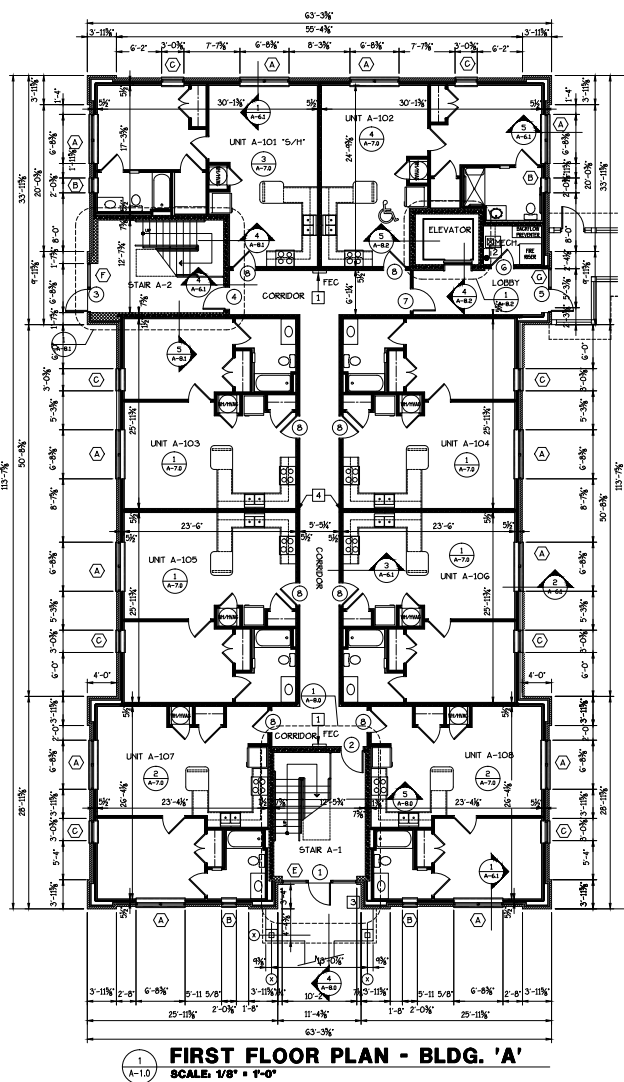
#### CITY COMMENTS

\*SITE: Provide a landscape plan showing that 6 existing trees per acre shall be retained on the site. Existing trees shall mean any woody plant with a trunk 6 inches or more in diameter at 1 foot above the ground; or of a horticultural variety or is highly ornamental, such as a dogwood, redbud, crabapple, sourwood, flowering cherry or peach, southern magnolia, holly or any like similar plant and has a trunk diameter of 3 inches or more at 1 foot above ground.

Existing site is 1.07 acres, 1.07 x 6 = 6.42 trees required to be preserved, 6 trees to be preserved and remain on site.

#### PLANTING LEGEND:

Trees	Botanical Name	Common Name	Size	Notes	Mature Height
Qty 3	Acer rubrum	October Glory Red Maple	2" cal.	central leader, full and dense	40' to 50'
2	Cercis canadensis	Red Bud	1.5" cal.	central leader, full and dense	20' to 30'
3	Quercus phellos	Willow Oak	2" cal.	central leader, full and dense	40' to 75'
2	Ulmus parvifolia	Labankark Elm	2" cal.	central leader, full and dense	40' to 50'
1	Pinus Strubus	White Pine	6' ht.	central leader, full and dense	replacement
1	Magnolia grandiflora	Southern Magnolia	6' ht.	central leader, full and dense	replacement
Shrubs					
Qty	Botanical Name	Common Name	Size	Notes	Type
20	Abelia grandiflora	Rose Creek Abelia	3 gallon	full and dense	evergreen
1	Hydrangea paniculata	LimeLight Hydrangea	3 gallon	full and dense	deciduous
16	Hydrangea quercus	Oakleaf Hydrangea	3 gallon	full and dense	deciduous
4	Azalea	Encore Azalea	3 gallon	full and dense	evergreen
20	Prunus laurocerasus	Loti Uyenken Laurel	3 gallon	full and dense	evergreen
15	Amsonia hubrichtii	Bluestar amsonia	3 gallon	full and dense	deciduous/grass
16	Ilex glabra	Inkberry Holly	3 gallon	full and dense	evergreen
6	Taxus x media	Densiformis Yew	3 gallon	full and dense	evergreen
6	Penstemon alpestricoides	Cassian Penstemon	3 gallon	full and dense	deciduous/grass
6	Baptisia australis	False Indigo	3 gallon	full and dense	deciduous



## WALL LEGEND

1. INS. WALL 14-1/2" ST-CAS  
8" CMU MASONRY WALL WITH 5/8" GYP. BD. ON WOOD FURRING CHANNELS AT 16" O.C.

1. INS. WALL 14-1/2" ST-CAS  
2x6 WD STUDS AT 16" O.C. W/ MINERAL WOOL CAVITY FILL WALL BLOWER SOUND BARRIER CORRIDOR SIDE AND 5/8" TYPE 'X' BY BD. EACH SIDE (OVR. PER NOTES).

EXTERIOR WALL: 2x6 WD STUDS AT 16" O.C. W/ 5/8" GYP. BD., R-19 FIBERGLASS BATT INSULATION, EXT. SHEATHING (SEE STRUCT. DWGS.), HOUSE WRAP, R5 INSULATION BOARD, AIR SPACE, AND FACE BRICK

EXTERIOR WALL ACCENT CORNERS: 2x10 WD STUDS AT 16" O.C. W/ 5/8" GYP. BD., R-19 FIBERGLASS BATT INSULATION, EXTERIOR SHEATHING (SEE STRUCT. DWGS.), HOUSE WRAP, R5 INSULATION BOARD, AIR SPACE, AND FACE BRICK

EXTERIOR WALL: 8" CMU W/ INSULATING INSERTS, DAMP PROOFING, R5 INSULATION BOARD, AIR SPACE, AND FACE BRICK

INTERIOR PARTITION: 2x4 WOOD STUDS AT 24" O.C. AND 5/8" SHEETROCK EACH SIDE (OVR. PER NOTES)

SHEAR WALL - SEE STRUCT. DWGS.

## BUILDING PLAN NOTES

- 1 SEM-RECESSED 1 HOUR RATED FIRE EXTINGUISHER CABINET 10LB-4480BG EXTINGUISHERS.
- 2 WALL MOUNTED 10 LB. - 4480BG FIRE EXTINGUISHER.
- 3 "YNOX BOX" - COORDINATE W/ FIRE INSPECTOR AND INSTALL AS DIRECTED.
- 4 FIRE RATED CONTROL JOINT WW-D-0172

## APARTMENT UNITS MATRIX

APARTMENT UNIT	BUILD.
1 BEDROOM	A, D
2 BEDROOM	21, 23
1 BEDROOM ACCESSIBLE	2, 3
1 BEDROOM SIGHT/HEARING	1, --
TOTAL	24, 24

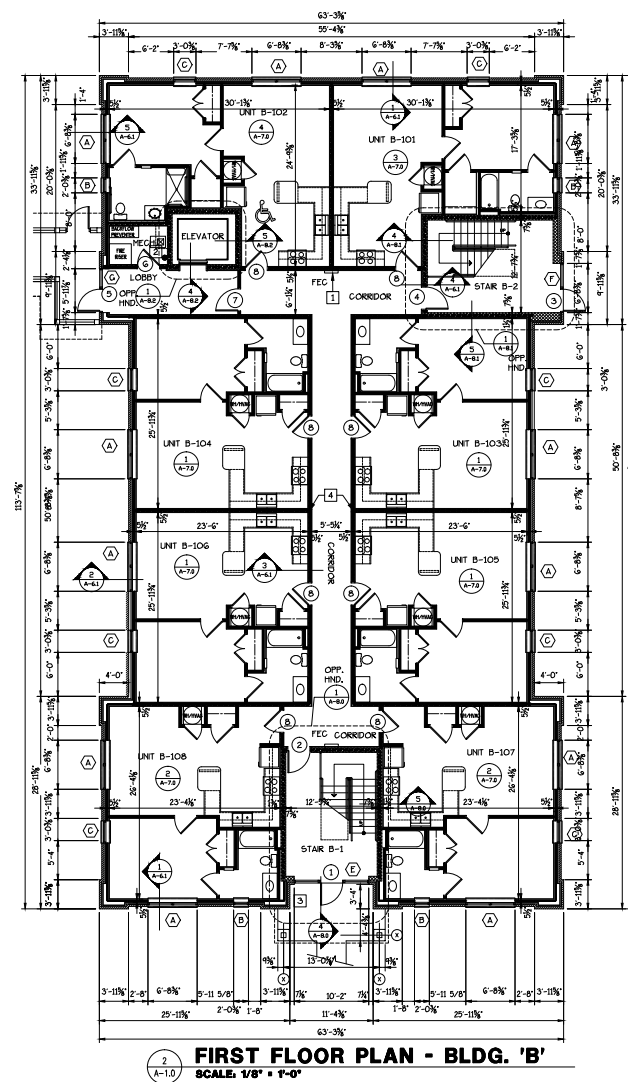
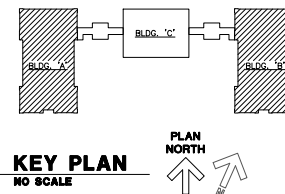
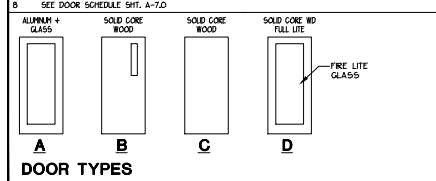
ACCESSIBLE UNITS - 102A, 202A, 102B  
SIGHT/HEARING UNITS - 101A

## FINISH SCHEDULE

RM. NO.	FLOOR	FLOOR	BASE	WALLS	CEILING	CEILING	REMARKS/NOTES
COMMON AREAS							
CORRIDOR	V.P.	RB	PNT	A.C.T.	8'-0"		
STAIR	RF	RB	PNT	PNT	VARIES		
MECHANICAL	VCT	RB	PNT	PNT	8'-0"		
LOBBY	V.P.	RB	PNT	A.C.T.	8'-0"		

## DOOR SCHEDULE - 1st FLOOR

#	SIZE	TYPE	FRAME	T. HOLD	HW	REMARKS
1	3'-0"x6'-0"x1 3/4"	A	ALUM.	ADA	PANG/LOCK	
2	3'-0"x6'-0"x1 3/4"	B	HM	---	PANG/LOCK	60 MIN. W/ CLOSER
3	3'-0"x6'-0"x1 3/4"	A	ALUM.	ADA	PANG/LOCK	
4	3'-0"x6'-0"x1 3/4"	B	HM	---	PANG/LEVER	60 MIN. W/ CLOSER
5	3'-0"x6'-0"x1 3/4"	A	ALUM.	ADA	PANG/LOCK	
6	3'-0"x6'-0"x1 3/4"	C	HM	---	LOCK	45 MIN. W/ CLOSER
7	3'-0"x6'-0"x1 3/4"	D	HM	---	PASS	45 MIN. W/ CLOSER



BUILDING AREAS	GSF 5/4/20	GSF 9/22/20
APARTMENT BUILDING		
1ST FLOOR	6,855	6,726
2ND FLOOR	6,630	6,726
3RD FLOOR	6,630	6,726
TOTAL BUILDING	20,115	20,178
TOTAL (2) BUILDINGS	40,230	40,356
COMMUNITY BUILDING	2,453	3,772
COVERED WALKWAYS	1,234	1,170
TOTAL	43,917	45,298

11-A-20-PD  
10/27/2020

CAD FILE: VMC-A-1.0.DWG

DESIGN BY: SHS  
APP'D BY: MIA  
DATE: 8-28-2020  
REVISIONS

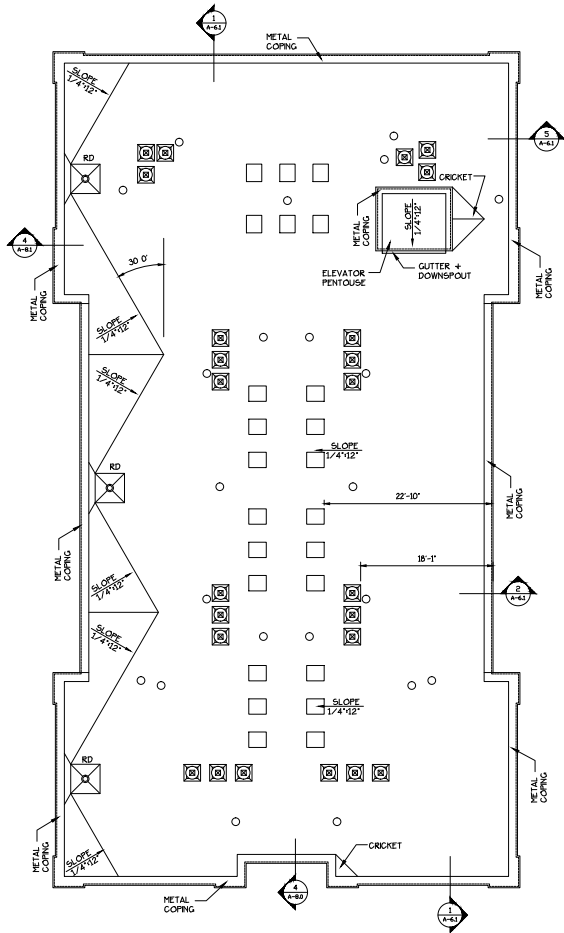
CASWELL MANOR APARTMENTS  
1601 EAST 6TH STREET  
KNOXVILLE, TN

**BUILDING 'A' AND BUILDING 'B'**  
**FIRST FLOOR PLANS**

**ALLAN ASSOCIATES ARCHITECTS, PLLC**  
866 / 688-1302  
5518 WALLWOOD ROAD  
KNOXVILLE, TENNESSEE 37912

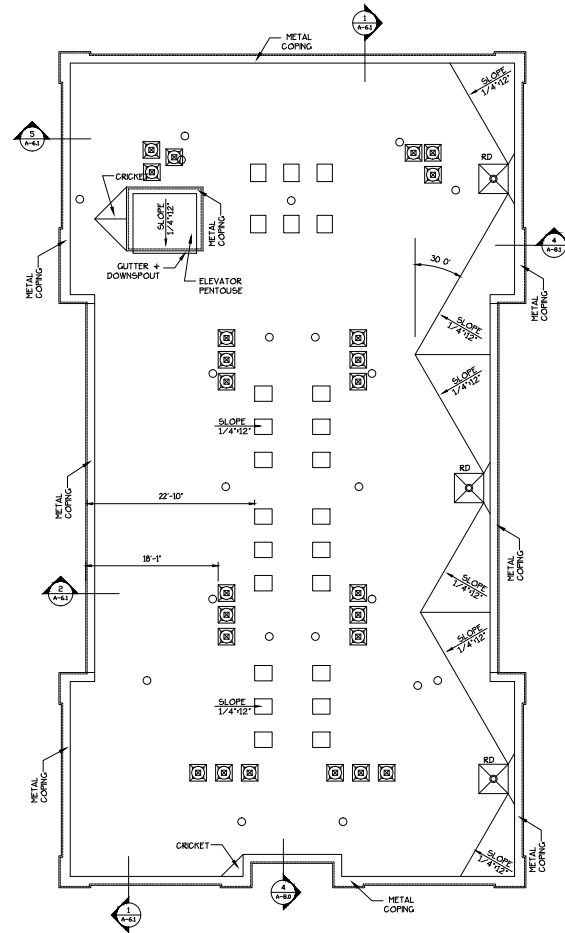
PRELIMINARY  
NOT FOR  
CONSTRUCTION  
10-28-2020

SHEET NUMBER  
**A-1.0**

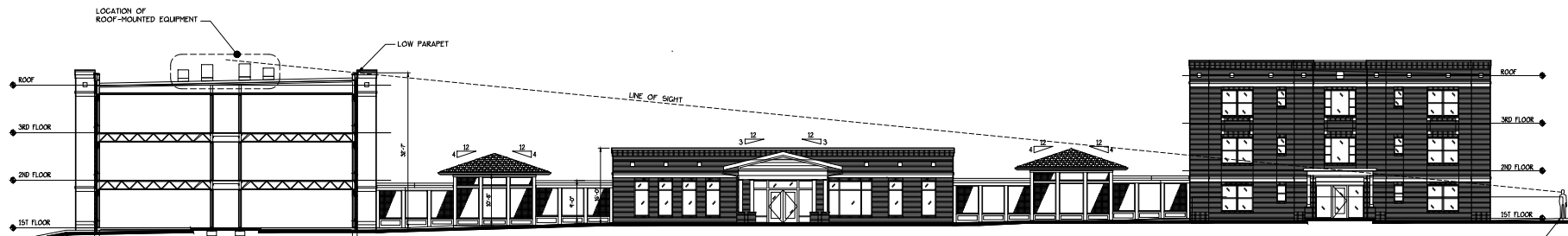


1 ROOF PLAN - BUILDING 'A'  
A-4.0 SCALE: 1/8" = 1'-0"

11-A-20-PD  
10/27/2020



2 ROOF PLAN - BUILDING 'B'  
A-4.0 SCALE: 1/8" = 1'-0"



3 VIEW DIAGRAM OF PARAPET WALL SCREEN  
A-4.0 SCALE: 3/32" = 1'-0" PER KNOX ZONING CODE SECT. 103.1.2

CAD FILE: VMC-A3.0.DWG

DRWN BY: XXX	CHKD BY: XXX
DATE: 6-04-2020	APPR BY: XXX
REVISIONS	XX XXXXXXXX

CASWELL MANOR APARTMENTS BUILDINGS 'A' AND 'B' ROOF PLANS  
801 EAST 5TH STREET Knoxville, TN

**ALLAN ASSOCIATES ARCHITECTS, PLLC**

886 / 880-1302  
5518 WALLWOOD ROAD  
KNOXVILLE, TENNESSEE 37912

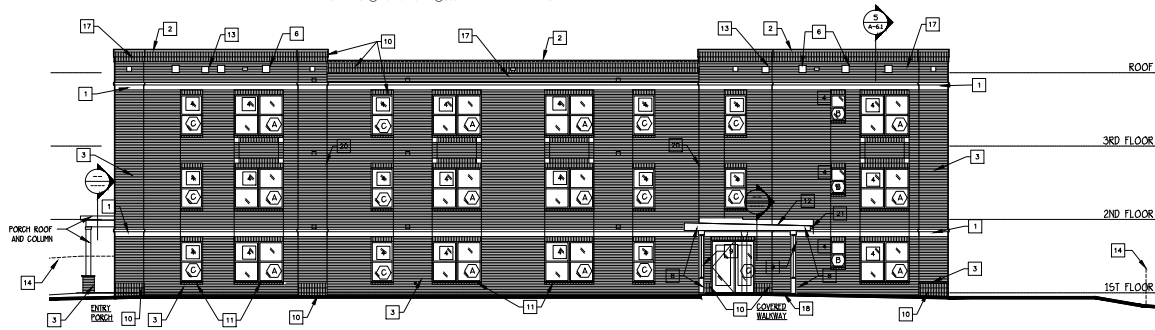


PRELIMINARY  
NOT FOR  
CONSTRUCTION  
10-28-2020

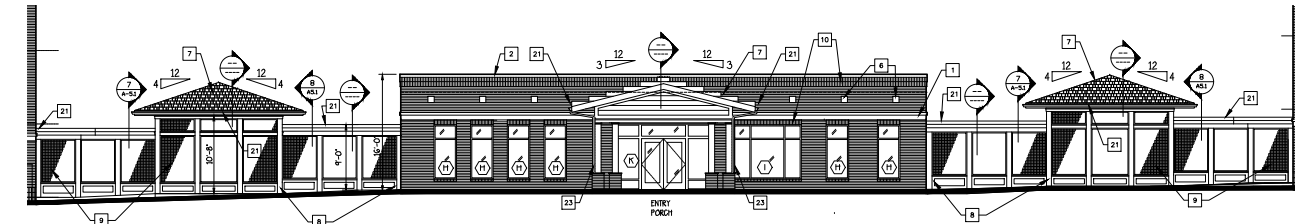
SHEET NUMBER  
**A-4.0**



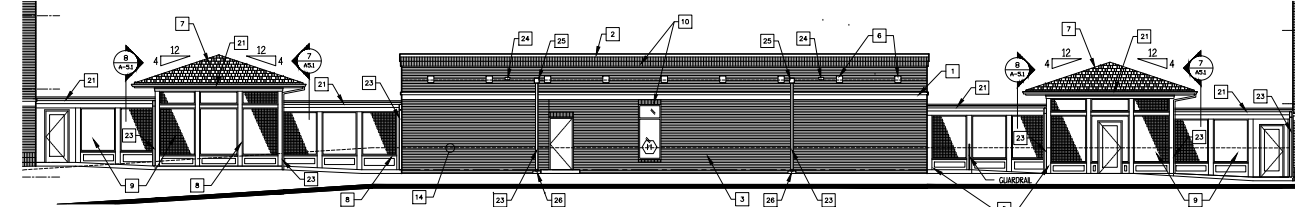
**1 BUILDING 'A' - WINONA ST. ELEVATION**  
SCALE: 1/8" = 1'-0"  
TRANSPARENCY at 1ST FLOOR (between 2' and 10' above grade):  
OPENINGS@200 SF/FACADE@ 100 SF = 24% TRANSPARENCY



**8 BUILDING 'A' - EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



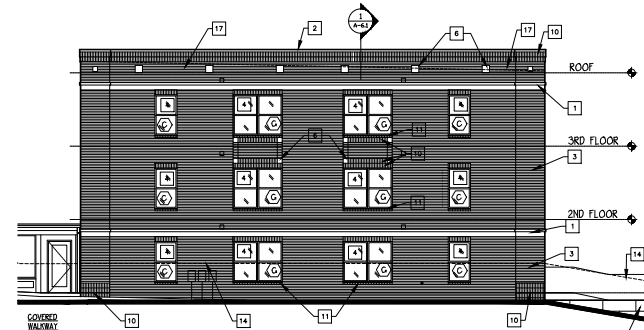
**6 BUILDING 'C' - E. 5TH AVE. ELEVATION**  
SCALE: 1/8" = 1'-0"  
TRANSPARENCY: OPENINGS@311 SF/FACADE@573 SF = 54%  
(Measured between 2' & 10' above grade per Table 5-2, Knoxville Zoning Code)



**9 BUILDING 'C' - CASWELL PARK ELEVATION**  
SCALE: 1/8" = 1'-0"

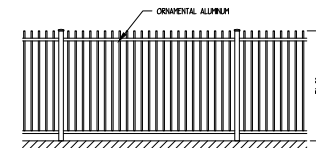


**2 BUILDING 'A' - E. 5TH AVE. ELEVATION**  
SCALE: 1/8" = 1'-0"  
TRANSPARENCY at 1ST FLOOR (between 2' and 10' above grade):  
OPENINGS@149 SF/FACADE@ 506 SF = 29% TRANSPARENCY



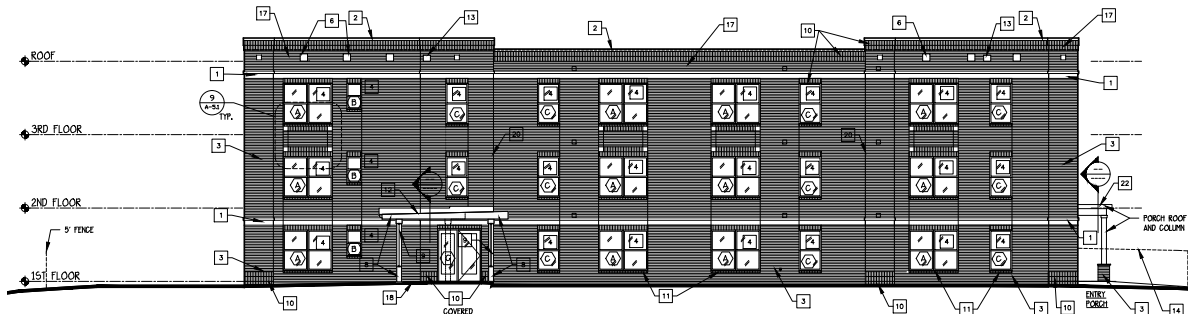
**4 BUILDING 'A' - CASWELL PARK ELEVATION**  
SCALE: 1/8" = 1'-0"

- BUILDING ELEVATION NOTES:**
- 1 ARCHITECTURAL PRECAST STONE
  - 2 METAL PARAPET CORING
  - 3 MODULAR BRICK VENER
  - 4 SINGLE-HUNG WINDOW
  - 5 ALUMINUM STOREFRONT
  - 6 ARCHITECTURAL PRECAST OR DRYKIT MEDALLION
  - 7 FIBERGLASS ASPHALT SHINGLES
  - 8 HANDIE TRIM
  - 9 INSET SCREEN BY FAST TRACK
  - 10 BRICK SOLDIER COURSE
  - 11 BRICK ROWLOCK COURSE
  - 12 SINGLE-PLY MEMBRANE ROOF
  - 13 BUILDING MOUNTED DOWN LIGHT
  - 14 LINE OF PERIMETER FENCE, SEE 7/A-5.0
  - 15 CONCRETE RETAINING WALL
  - 16 CONTROL JOINT WITH CAULK AND BACKER ROD
  - 17 DRYKIT BRICK
  - 18 CONCRETE SLAB
  - 19 FINED WINDOW
  - 20 CONTROL JOINT W/ BACKER ROD + CAULK
  - 21 GUTTER
  - 22 SCUPPER
  - 23 DOWNSPOUT
  - 24 OVERFLOW SCUPPER
  - 25 CONDUCTOR HEAD
  - 26 SPASH BLOCK
  - 27 TRANSFORMER



**7 PERIMETER FENCE DETAIL**  
SCALE: 3/8" = 1'-0"

CAD FILE: VMC-A&X.DWG	
DRWN BY: SHR	CHECKED BY: JMA
APP'D BY: JMA	DATE: 8-28-2020
REVISIONS	
<b>BUILDINGS 'A' &amp; 'C' ELEVATIONS</b> <b>CASWELL MANOR APARTMENTS</b> 1800 EAST 5TH STREET KNOXVILLE, TN <b>ALLAN ASSOCIATES ARCHITECTS, PLLC</b> 6818 WALLWOOD ROAD KNOXVILLE, TENNESSEE 37912 865 / 680-1802	
<b>PRELIMINARY NOT FOR CONSTRUCTION</b> 10-28-2020 SHEET NUMBER <b>A-5.0</b>	



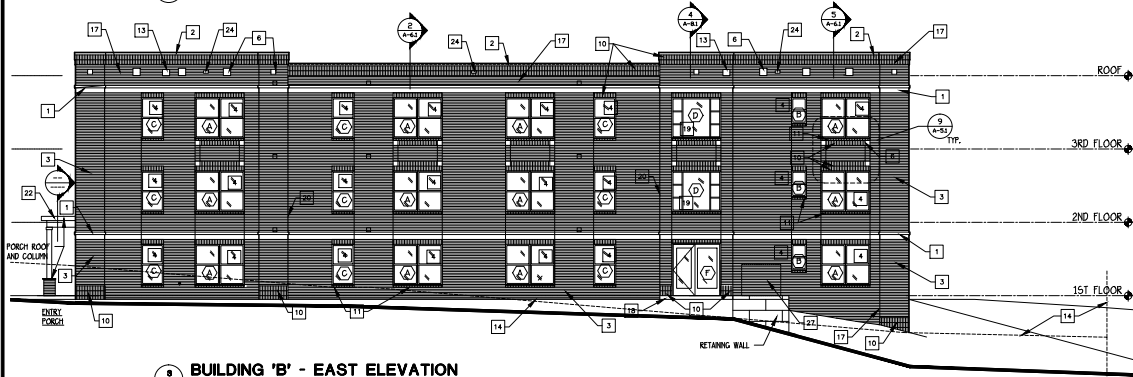
**BUILDING 'B' - WEST ELEVATION**

SCALE 1/8" = 1'-0"



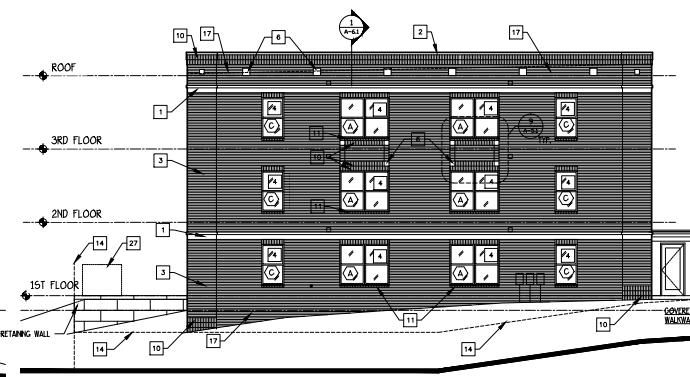
**BUILDING 'B' - E. 5TH AVE. ELEVATION**

TRANSPARENCY at 1ST FLOOR (between 2' and 10' above grade):  
OPENINGS @ 1/8" SPACING @ 200 SF = 20% TRANSPARENCY



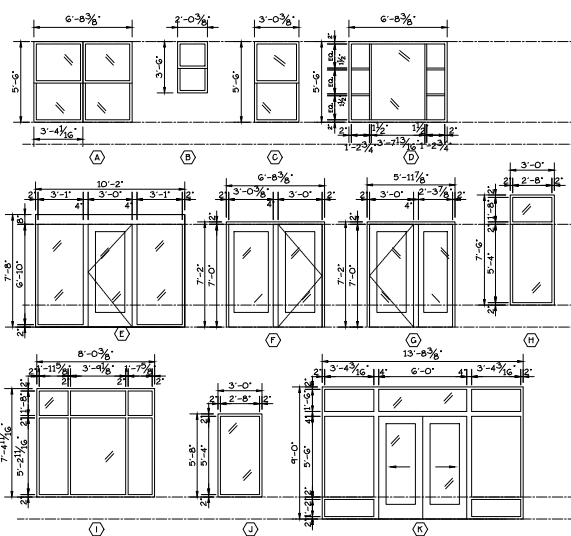
**BUILDING 'B' - EAST ELEVATION**

SCALE 1/8" = 1'-0"



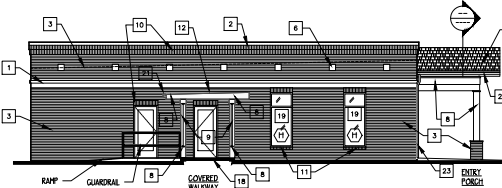
**BUILDING 'B' - CASWELL PARK ELEVATION**

SCALE 1/8" = 1'-0"



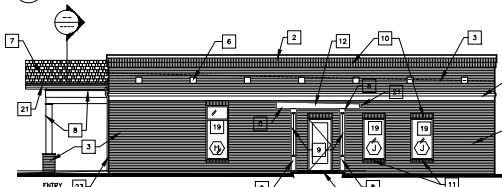
**WINDOW AND STOREFRONT ELEVATIONS**

SCALE 1/4" = 1'-0"



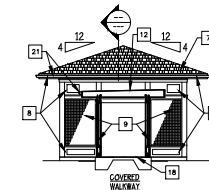
**BUILDING 'C' - WEST ELEVATION**

SCALE 1/8" = 1'-0"



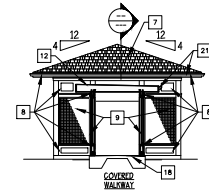
**BUILDING 'C' - EAST ELEVATION**

SCALE 1/8" = 1'-0"



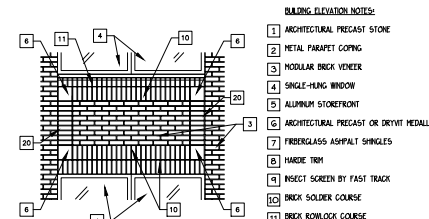
**GAZEBO ELEVATION**

SCALE 1/8" = 1'-0"



**GAZEBO ELEVATION**

SCALE 1/8" = 1'-0"



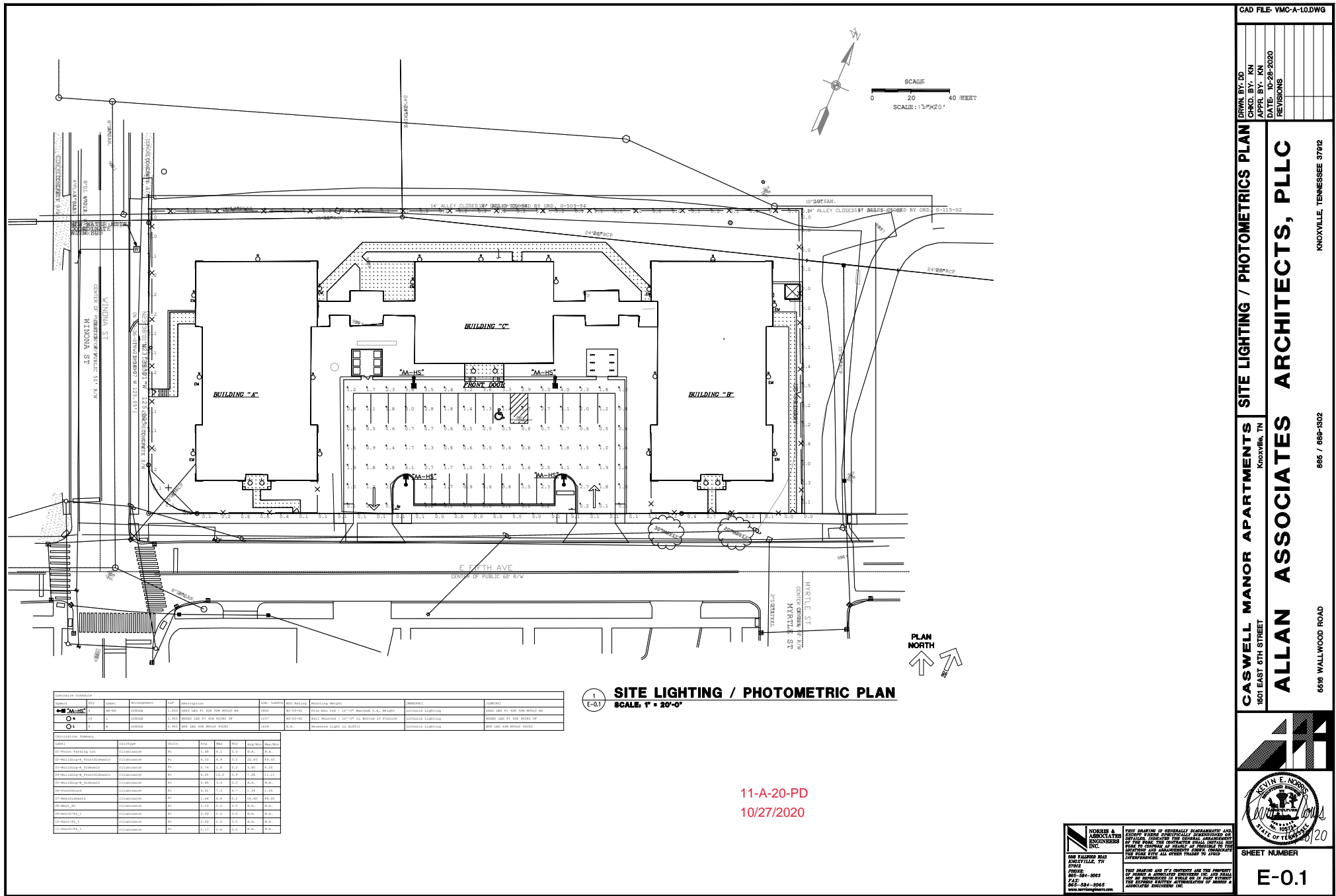
**ELEVATION DETAIL**

SCALE 3/8" = 1'-0"

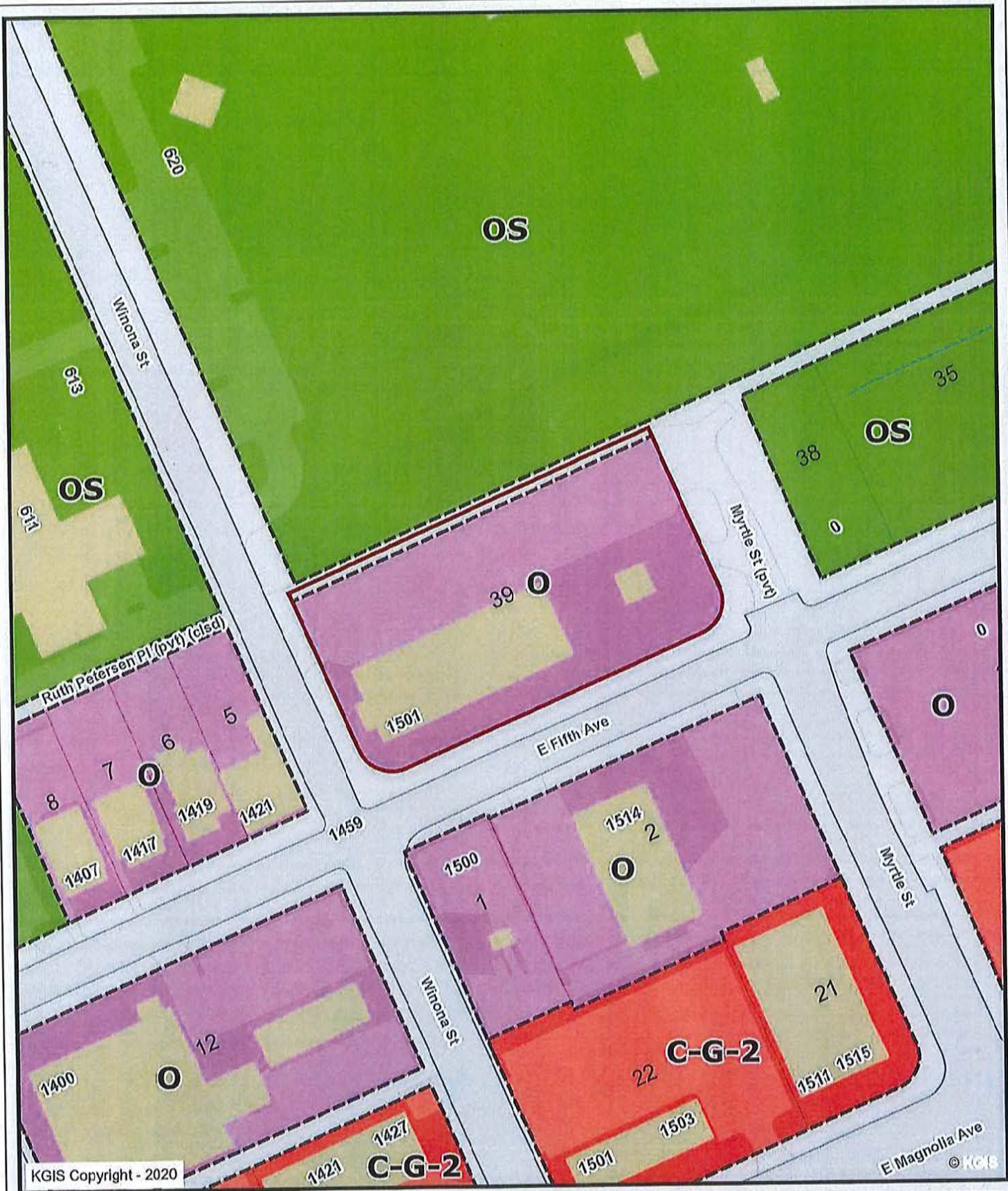
- BUILDING ELEVATION NOTES:**
- 1 ARCHITECTURAL PRECAST STONE
  - 2 METAL PARAPET CORING
  - 3 MODULAR BRICK VENEER
  - 4 SINGLE-HUNG WINDOW
  - 5 ALUMINUM STOREFRONT
  - 6 ARCHITECTURAL PRECAST OR DRYKIT MEDALLION
  - 7 FIBERGLASS ASPHALT SHINGLES
  - 8 HARDIE TBM
  - 9 INSECT SCREEN BY FAST TRACK
  - 10 BRICK SOLDIER COURSE
  - 11 BRICK ROWLOCK COURSE
  - 12 SINGLE-PLY MEMBRANE ROOF
  - 13 BUILDING MOUNTED DOWN LIGHT
  - 14 LINE OF PERIMETER FENCE, SEE T/A-S-50
  - 15 CONCRETE RETAINING WALL
  - 16 CONTROL JOINT WITH GASKET AND BACKER ROD
  - 17 DRYKIT BRICK
  - 18 CONCRETE SLAB
  - 19 FIXED WINDOW
  - 20 CONTROL JOINT 1/2" BACKER ROD + GASKET
  - 21 GUTTER
  - 22 SCUPPER
  - 23 DOWNSPOUT
  - 24 OVERFLOW SCUPPER
  - 25 CONDUCTOR HEAD
  - 26 SPASH BLOCK
  - 27 TRANSFORMER

11-A-20-PD  
10/27/2020

CAD FILE: VMC-A5.XDWG	
DRWN BY: SHR CHKD BY: NDA APPR BY: NDA DATE: 8-28-2020 REVISIONS	
<b>CASWELL MANOR APARTMENTS</b> 160 EAST 5TH STREET KNOXVILLE, TN	
<b>BUILDING 'B' ELEVATIONS</b>	
<b>ALLAN ASSOCIATES ARCHITECTS, PLLC</b> 605 / 680-1802 605 WALLWOOD ROAD KNOXVILLE, TENNESSEE 37912	
<b>PRELIMINARY NOT FOR CONSTRUCTION</b> 10-28-2020	
SHEET NUMBER <b>A-5.1</b>	







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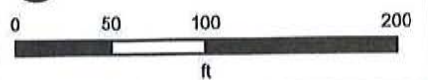
## Letter Portrait

### Knoxville - Knox County - KUB Geographic Information System

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Printed: 9/30/2020 at 8:48:10 AM



VOLUNTEER MINISTRY CENTER



Opening Doors for a Better Tomorrow

September 2020

511 North Broadway  
Knoxville TN 37917-7408

P O Box 27406  
Knoxville TN 37927

(865) 524-3926

www.vmcinc.org

Amy Brooks AICP  
Interim Executive Director  
Knoxville-Knox County Planning  
400 Main Street, Suite 403  
Knoxville, TN 37902

Board of Directors 2020

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Jimmy Check  
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Karen Sproles  
J.D. Sullivan  
Beth Townsend  
Carl Van Hoozier, Jr.  
Mark Walker

Re: Planned Development Application 4-A-20-PD

Dear Ms. Brooks,

Please find attached Volunteer Ministry Center's Development Request application. The development, to be known as Caswell Manor, will provide 48 units of permanent supportive housing.

The application includes: Final Plan, Public Benefit Statement and a copy of the check in the amount of \$1,500 fee payable Knoxville/Knox County Planning. The check was mailed on September 28, 2020.

Since the original design, please note the modest and minor changes:

1. Omitted the retaining walls from the rear of the property;
2. Increased the office/community building footprint;
3. Decreased the apartment building and screen connector footprints; and
4. Coordinated with Park and Rec for potential service access driveway.

If you have any questions, I will address them promptly.

Bruce W. Spangler  
Chief Executive Officer

Respectfully,  
A handwritten signature in dark ink, appearing to read 'Bruce W. Spangler', is written over the typed name and title.  
Dr. Bruce W. Spangler  
Chief Executive Officer

Attachments



Community Partner

Dedicated to Ending and Preventing Homelessness

- Attic insulated value of at least R-30
- Energy efficient/heat-reflective "white roof"

Additional amenities available for each resident include a private mailbox, on-site laundry facility, public telephone, TV lounge area, community and meeting rooms. Private telephone and cable hookups available but service paid by resident.

### **Affordability & Enhanced Services**

The development will be subject to a Land Use Restrictive Covenant (LURC) in connection with an allocation of Low Income Housing Tax Credits (LIHTC) from THDA. The LURC shall provide that at least 40% of the units will be rented to households earning no more than 60% of the Area Median Income (AMI). In actuality, because LIHTC funding will be used to finance construction of the entire development, 100% of the units will be restricted to affordable rents to qualified low income tenants at or below 60% of AMI. The LIHTC affordable period shall run for 30 years (VMC has elected to waive the opportunity to opt-out of affordability after the 15-year compliance period). Affordability will also be ensured through a restrictive covenant with the City of Knoxville in connection with a deferred payment loan from the Affordable Rental Development Program. The program requires that housing units funded by the program must be leased to households earning less than 100% of AMI for a period of between 10-20 years. Maximum rents will be determined based on Fair Market Rents (FMR) published annually by the U.S. Department of Housing and Urban Development. Finally, the development will also participate in Knoxville's Community Development Corporation's (KCDC) Section 8 Project Based Voucher (PBV) program.

KCDC's PBV program requires on-site support services for elderly and special needs populations, including formerly homeless individuals. Therefore, VMC will provide two (2) on-site housing case managers, Monday through Friday, 8am-5pm, with clinical support available during off-hours by phone and/or on-site. Additionally, the property management staffing plan will include 24/7 on-site presence.

Case management includes the direct provision and/or coordination of services for rental counseling, income management, employment or vocational training, access to medical care, access to dental care, access to mental health care, access to substance abuse treatment, life skills coaching, housekeeping skills instruction, food security, adult education, mobility, field trips, and in-house community events.

A Tenant Council will be formed as well.

### **The Public Need**

Potential residents for permanent supportive housing in our community are identified through the Coordinated Entry System known as CHAMP (Coordinated Housing and Assessment Match Plan).

As the entrée to services by local homeless providers, CHAMP is an interagency tool for assessing and prioritizing individuals who are at risk to very poor physical and mental health outcomes and who are chronically homeless, meaning they are literally homeless for at least one continuous twelve (12) month period or four (4) episodes over the past three (3) years adding up to more than twelve (12) months.

A "by-name" master list of these individuals is facilitated by KnoxHMIS (Homeless Management Information System). HMIS is a secured computer data collection system used by social service agencies

providing housing and related supportive services. The University of Tennessee Social Work Office of Research and Public Service serves as the administrator (<https://knoxhmis.sworpswebapp.sworps.utk.edu/>).

*As of March 3, 2020, there are 70 individuals identified on the master list who are in immediate need of permanent supportive housing.*

The need for more permanent supportive housing is further demonstrated through the community comment and input process for the compilation of the City's Consolidated Plan 2020-2024. As required by HUD for federal funding at the local level, the Consolidated Plan helps "states and local jurisdictions to assess their affordable housing and community development needs and market conditions, and to make data-driven, place-based investment decisions," ([https://www.hud.gov/program\\_offices/comm\\_planning/conplan](https://www.hud.gov/program_offices/comm_planning/conplan)).

*Public input for the City's Consolidated Plan 2020-2024, identified "Homelessness Needs" as the overall highest ranked priority need category, and the need for "Affordable Permanent Housing" as the highest ranked need within the Homelessness Needs Category. As a result, development/rehabilitation of Permanent Supportive Housing is identified as a high-priority objective for meeting the goal of reducing and preventing homelessness in Knoxville.*

([http://knoxvilletn.gov/UserFiles/Servers/Server\\_109478/File/CommunityDevelopment/ConsolidatedPlan/012120-CP-Presentation.pdf](http://knoxvilletn.gov/UserFiles/Servers/Server_109478/File/CommunityDevelopment/ConsolidatedPlan/012120-CP-Presentation.pdf)).

### **The Substantial Public Benefit**

Homelessness impacts the well-being of the individual and influences many sectors within a community.

Access to housing for an individual experiencing chronic homelessness is imperative as the physical, emotional and psychological trauma experienced on the streets is improved through stable tenancy, access to physical, behavioral and mental health care as well as case management support.

Homelessness also impacts the community through the excessive use of emergency healthcare resources, emergency responders, and law enforcement and safety divisions. These services are underwritten by and through local benevolent and tax dollars.

Local businesses can feel the impact as well as some may loiter and panhandle customer around the establishment which creates obstacles to commerce and trade.

In 2012, the secretary of HUD, Shaun Donovan, estimated that between shelters and emergency rooms, jails, it costs a community about \$40,000 per year per individual experiencing homelessness, (<https://www.poltifact.com/factchecks/2012/mar/12/shaun-donovan/hud-secretary-says-homeless-person-costs-taxpayers/>). With the present number of individuals identified as needing permanent supportive housing (70), the financial impact on our community resources is estimated to be around \$2.8 million dollars.

Permanent Supportive Housing developments such as the one proposed here have a proven track record as high-quality, stable permanent housing assets within their neighborhoods.

1) Download and fill out this form at your convenience. (2) Sign the application digitally (or print, sign, and scan).  
3) Either print the completed form and bring it to the Knoxville-Knox County Planning offices  
or email it to [applications@knoxplanning.org](mailto:applications@knoxplanning.org).

Reset Form



# Development Request

## DEVELOPMENT

- ☐ Development Plan
- ☒ Planned Development
- ☐ Use on Review / Special Use
- ☐ Hillside Protection COA

## SUBDIVISION

- ☐ Concept Plan
- ☐ Final Plat

## ZONING

- ☐ Plan Amendment
  - ☐ SP ☐ OYP
- ☐ Rezoning

VOLUNTEER MINISTRY CENTER

Applicant Name

09-25-2020

Date Filed

11/12/2020

Meeting Date (if applicable)

Affiliation

File Number(s)

11-A-20-PD

## CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- ☒ Applicant
- ☐ Owner
- ☐ Option Holder
- ☐ Project Surveyor
- ☐ Engineer
- ☐ Architect/Landscape Architect

BRUCE W. SPANGLER

Name

VOLUNTEER MINISTRY CENTER

Company

511 N. BROADWAY KNOXVILLE TN 37917

Address

City

State

ZIP

865-524-3926 bspangl@vmcinc.org

Phone

Email

## CURRENT PROPERTY INFO

CASWELL MANOR, LP

Owner Name (if different)

865-524-3926

Owner Address

Owner Phone

1501 E. FIFTH AVE

Property Address

082PK039

Parcel ID

## STAFF USE ONLY

between Winona St. & Myrtle St.

General Location

1.07 acres

Tract Size

6th

Jurisdiction (specify district above)

☒ City ☐ County

Zoning District

East City

Planning Sector

MU-SD/MU-CC4

Sector Plan Land Use Classification

Urban Growth

Growth Policy Plan Designation

P-QP

Existing Land Use

N

Septic (Y/N)

KuB

Sewer Provider

KuB

Water Provider

**DEVELOPMENT REQUEST**

- ☒ Development Plan   ☐ Use on Review / Special Use   ☐ Hillside Protection COA  
☐ Residential   ☐ Non-Residential

Home Occupation (specify) \_\_\_\_\_

Other (specify) \_\_\_\_\_

Related City Permit Number(s) \_\_\_\_\_

**SUBDIVISION REQUEST**

Proposed Subdivision Name \_\_\_\_\_

- ☐ Combine Parcels   ☐ Divide Parcel  
Unit / Phase Number \_\_\_\_\_

Total Number of Lots Created \_\_\_\_\_

☐ Other (specify) \_\_\_\_\_☐ Attachments / Additional Requirements \_\_\_\_\_

Related Rezoning File Number \_\_\_\_\_

**ZONING REQUEST**☐ Zoning Change  
Proposed Zoning \_\_\_\_\_☐ Plan Amendment Change  
Proposed Plan Designation(s) \_\_\_\_\_

Proposed Density (units/acre) \_\_\_\_\_

Previous Rezoning Requests \_\_\_\_\_

☐ Other (specify) \_\_\_\_\_

Pending Plat File Number \_\_\_\_\_

**STAFF USE ONLY****PLAT TYPE**

- ☐ Staff Review   ☐ Planning Commission

**ATTACHMENTS**

- ☐ Property Owners / Option Holders   ☐ Variance Request

**ADDITIONAL REQUIREMENTS**

- ☐ Design Plan Certification (Final Plat)  
☐ Use on Review / Special Use (Concept Plan)  
☐ Traffic Impact Study  
☐ COA Checklist (Hillside Protection)

Fee 1

Total

1502

Fee 2

\$1500.00

Fee 3

**AUTHORIZATION**

By signing below, I certify I am the property owner, applicant or the owners authorized representative.

  
Applicant Signature

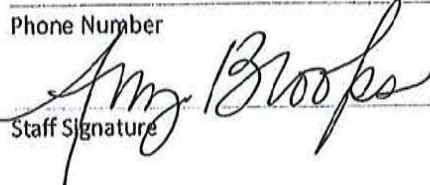
BRUCE W. SPAWNER

Please Print

09-25-2020

Date

Phone Number \_\_\_\_\_

  
Staff Signature

Email

Amy Brooks

Please Print

9/28/2020

Date