



SPECIAL USE REPORT

▶ **FILE #:** 9-C-20-SU

AGENDA ITEM #: 28

AGENDA DATE: 9/10/2020

▶ **APPLICANT:** STEVEN W. ABBOTT, JR.

OWNER(S): SAPOLA GP

TAX ID NUMBER: 109 D L 006

[View map on KGIS](#)

JURISDICTION: City Council District 1

STREET ADDRESS: 2317 Peachtree St.

▶ **LOCATION:** North side of Peachtree St., east of Fisher Pl.

▶ **APPX. SIZE OF TRACT:** 11037 square feet

SECTOR PLAN: South City

GROWTH POLICY PLAN: N/A

ACCESSIBILITY: Peachtree Street is a local road with an 18-ft pavement width inside a 28-ft right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Baker Creek

▶ **ZONING:** RN-2 (Single-Family Residential Neighborhood)

▶ **EXISTING LAND USE:** SFR (Single Family Residential)

▶ **PROPOSED USE:** Two-family dwelling (duplex)

n/a

HISTORY OF ZONING: None noted for this property

SURROUNDING LAND USE AND ZONING: North: Single family residential (across the railroad right-of-way) - RN-1 (Single Family Residential)

South: Single family residential - RN-2 (Single Family Residential)

East: Single family residential - RN-2 (Single Family Residential)

West: Single family residential - RN-2 (Single Family Residential)

NEIGHBORHOOD CONTEXT: Peachtree Street consists of small-lot single-family detached houses. Lots along Peachtree Street range in area from 0.17 to 0.73 acres (7,400 to 31,800 square feet). Both RN-1 and RN-2 zoning are prevalent in the area.

STAFF RECOMMENDATION:

▶ **Postpone the request to the October 8, 2020 Planning Commission meeting to allow the applicant time to work through site design issues with the City's Engineering Department.**

The applicant received comments from the City's Engineering Department the Monday before the meeting and will need to address these comments before the site plan can be approved by the City's Engineering staff and Knoxville-Knox County Planning Staff. The applicant sent an email on 9/9/2020 confirming the need to postpone.

COMMENTS:

The Knoxville City Ordinance, Section 16.2E, states the following about conditions of approval for special uses:

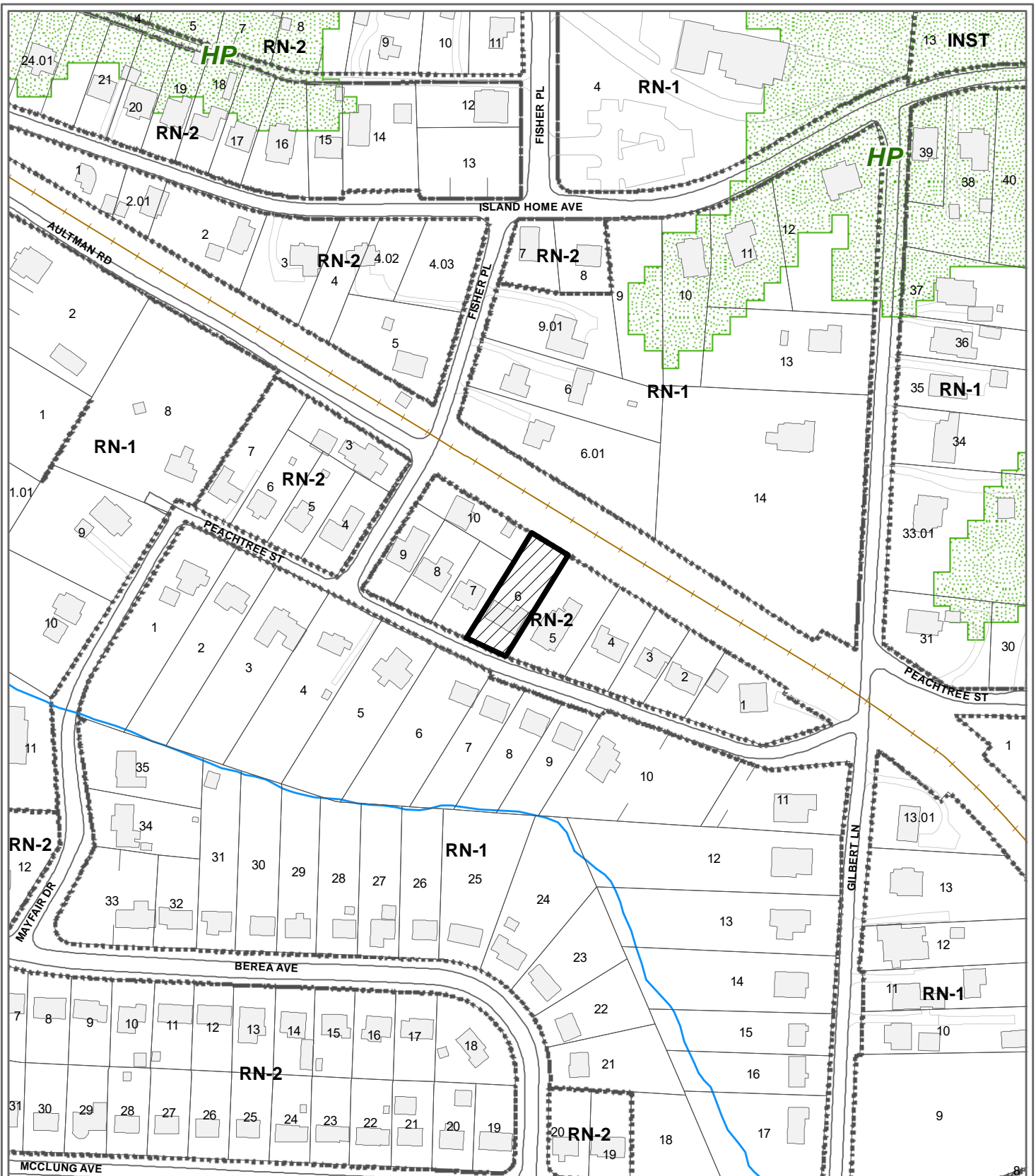
1. Prior to final approval of the special use by the Knoxville-Knox County Planning Commission, the proposed conditions must be sent to City staff and Knoxville-Knox County Planning staff for review and recommendation.
2. Conditions placed upon the special use related to the physical development of the site must be shown on the site plan.
3. The Knoxville-Knox County Planning Commission may approve the special use with conditions after receipt of the staff recommendation.

Therefore, the remaining issues cannot be a condition to be resolved during the permitting process and must be finalized before the Planning Commission would be able to approve the special use.

ESTIMATED TRAFFIC IMPACT: 28 (average daily vehicle trips)

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal a Planning Commission decision in the City.



**9-C-20-SU
SPECIAL USE**



Two-family dwelling (duplex) in RN-2 (Single-Family Residential Neighborhood)

Petitioner: Abbott, Jr., Steven W.

Map No: 109

Jurisdiction: City



Original Print Date: 8/13/2020

Revised:

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902



Request to Postpone • Table • Withdraw

Name of Applicant: Steven W. Abbot Jr
AS IT APPEARS ON THE CURRENT PLANNING COMMISSION AGENDA

Original File Number(s): 9-C-20-SU

Date Scheduled for Planning Review: 9/10/2020

Date Request Filed: 9/9/2020 Request Accepted by: Michelle Portier

REQUEST

Postpone
 Please postpone the above application(s) until:
October 8, 2020
DATE OF FUTURE PUBLIC MEETING

Table
 Please table the above application(s).

Withdraw
 Please withdraw the above application(s).

State reason for request:
 Revisions required per City Engineering Dept.

Eligible for Fee Refund? Yes No
 Amount: _____
 Approved by: _____
 Date: _____

APPLICATION AUTHORIZATION

I hereby certify that I am the property owner, applicant, or applicant's authorized representative.

Signature:

PLEASE PRINT
 Name: Steven W. Abbott Jr.
 Address: 1109 E. Woodshire Dr
 City: Knoxville State: TN Zip: 37922
 Telephone: 865.671.1149
 Fax: _____
 E-mail: survmap@tds.net

PLEASE NOTE

Consistent with the guidelines set forth in Planning's *Administrative Rules and Procedures*:

POSTPONEMENTS

Any first time (new) Planning application is eligible for one automatic postponement. This request is for 30 days only and does not require Planning approval if received no later than 3:30 p.m. on the Friday prior to the Planning Commission meeting. All other postponement requests must be acted upon by Planning before they can be officially postponed to a future public meeting.

TABLINGS

Any item requested for tabling must be acted upon by the Planning Commission before it can be officially tabled.

WITHDRAWALS

Any item is eligible for automatic withdrawal. A request for withdrawal must be received no later than 3:30p.m. on the Friday prior to the Planning Commission meeting. Withdrawal requests that do not meet these guidelines must be acted upon by Planning Commission before they can be officially withdrawn.

Any new item withdrawn may be eligible for a fee refund according to the following:

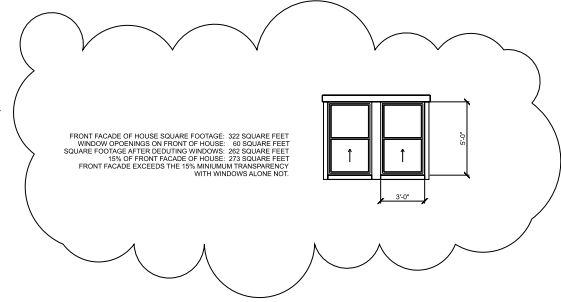
Application withdrawal with fee refund will be permitted only if a written request is received prior to public notice. This request must be approved by either the Executive Director, or the Planning Services Manager. Applications may be withdrawn after this time, but without fee refund.

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, REGULATIONS, AND ORDINANCES.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO NEW HOME FRANK AND DESIGN, ERIC LOHMAN FOR DISTRIBUTION AND/OR CORRECTED BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT IDENTIFIED.
3. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
4. ALL FOOTING TO BE BELOW FRONT LINE (SEE LOCAL CODES) AND MUST REST ON UNDISTURBED SOIL CAPABLE OF HANDLING THE STRUCTURE.
5. CONSULT LOCAL ENGINEER FOR PROPER FOOTING AND BEARING SIZES.
6. CONTRACTOR SHALL INSURE COMPLETION OF THE BUILDING WITH ALL SITE REQUIREMENTS.
7. IF ANY LOCAL EXCEEDS AGAINST ANY NATIONAL, STATE, OR LOCAL CODE, THE ENGINEER IN THE STATE WHERE CONSTRUCTION IS OCCURRING DUE TO A VARIANCE IN LOCAL CODES, SOIL BEARING CAPACITY, FRONT LINE SETBACK, GEOLOGICAL AND WEATHER CONDITIONS, ETC. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.
8. ALL WOOD, CONCRETE AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE, AND LOCAL BUILDING CODES WHERE APPLICABLE.
9. ALL LOCAL CODES OF SOIL BEARING CAPACITY SHALL BE OBSERVED TO CARRY LOADS AND SHOULD EXTEND DOWN FROM THE LEVELS BELOW AND TERMINATE AT THE FOUNDATION OR AT OTHER BEARING POINTS DESIGNED TO CARRY THE LOAD.



ALLEY - FRONT ELEVATION



FRONT FACADE OF HOUSE SQUARE FOOTAGE: 322 SQUARE FEET
 WINDOW OPENINGS ON FRONT OF HOUSE: 60 SQUARE FEET
 SQUARE FOOTAGE AFTER DEDUCTING WINDOWS: 262 SQUARE FEET
 16% OF FRONT FACADE OF HOUSE: 51.5 SQUARE FEET
 FRONT FACADE EXCEEDS THE 15% MINIMUM TRANSPARENCY WITH WINDOWS ALONE NOT.



STREET - FRONT ELEVATION

NOTICE: You are advised to consult local building regulations prior to construction related to these plans and other documents related to this plan. It is the responsibility of the buyer, owner, and/or contractor to apply to the proper authorities for code acceptance in all matters (electrical, plumbing, firecode, etc.). Dream Home Design as well as Eric Lohman shall not be responsible code acceptance. All dimensions are subject to change according to the local building code and site requirements. The contractor shall assume all responsibility for all dimensions and conditions on this job site.

Copyright Laws: Reproduction of the illustration and working drawings of these home plans, either in whole or in part, including any form and/or preparation of creative works thereof, for any reason without prior written permission is strictly prohibited. The purchase of a set of home plans in no way transfers any copyright or other ownership interest to it to the buyer except for a limited license to use that set of home plans for the construction of one, and only one, new dwelling unit. The purchase of an additional set(s) of that home plan as a reduced price from the original set or as part of a multiple set package does not convey to the buyer any license to construct more than one dwelling. This is also the case with reproductions, CAD files or any translation.

Similarly, the purchase of reproducible vellum carries the same copyright protection as mentioned above. It is generally allowed to make up to a maximum of 10 copies for the construction of a single dwelling only to use any plans more than once, and to avoid any copyright license infringement, it is necessary to contact the plan designer to receive a release and a license for any extended usage. Dream Home Design will make special provisions for a joint usage with developers when previous arrangements have been made directly with Dream Home Design.

Whereas a purchase of a reproducible is granted license to make copies, it should be noted that as copyright material, making photocopies from blueprints is illegal. Copyright and licensing of home plans for construction exist to protect all parties. It respects and supports the intellectual property of the original architect or designer. Copyright law has been enforced over the past few years. Willful infringement could cause settlements for statutory damages with fines plus attorney fees, damages and loss of profits.

File # 9-C-20-SU

DREAM HOME DESIGNS			
SCALE: 1/4" = 1'-0" UNLESS OTHERWISE NOTED	DATE: JUNE 20, 2020	DESIGNED BY: ERIC LOHMAN	REVISED BY: JUNE 25, 2020
A NEW DUPLEX FOR POOVIN PILLAY			
2317 PEACHTREE STREET - KNOXVILLE, TENNESSEE			
FRONT / REAR ELEVATIONS			DATE: 6/25/2020 DRAWING NUMBER: TH-2020-0010

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, REGULATIONS, AND TRAVEL MAPS.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO NEW HOME PLANS AND DESIGN, ERIC LOWMAN FOR DISTRIBUTION AND/OR CORRECTED BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT NOTICED.
3. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
4. ALL FOOTING TO BE BELOW FROST LINE (SEE LOCAL CODES) AND MUST REST ON UNDISTURBED SOIL CAPABLE OF HANDLING THE STRUCTURE. CONSULT LOCAL ENGINEER FOR PROPER FOOTING SIZE AND BEARING CAPACITY.
5. CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
6. IF ANY LOCAL EVIDENCE AGAINST ANY FOUNDATION WALL, REFERENCED AS PER CODE.
7. ALL FOUNDATION AND STRUCTURAL MEMBERS PROVIDED BY VENDORS AND DESIGNED BY AN ENGINEER IN THE STATE WHERE CONSTRUCTION IS OCCURRING DUE TO A VARIOUS VARIANCE IN LOCAL CODES, SOIL BEARING CAPACITY, FROST LINE DEPTHS, GEOLOGICAL AND WINDWAVE CONDITIONS, ETC. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.
8. ALL WOOD, CONCRETE AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE, AND LOCAL BUILDING CODES WHERE APPLICABLE.
9. ALL LOCAL CODES OF LOCAL JURISDICTION SHOULD BE OBSERVED TO CARRY LOADS AND SHOULD EXTEND DOWN THROUGH THE LEVELS BELOW AND TERMINATE AT THE FOUNDATION OR AT OTHER BEARING POINTS DESIGNED TO CARRY THE LOAD.



RIGHT ELEVATION

NOTICE: You are advised to consult local building regulations prior to construction related to floor joists and other documents related to this plan. It is the responsibility of the buyer, owner, and/or contractor to apply to the proper authorities for code acceptance of all matters (electrical, plumbing, firecode, etc.). Dream Home Design, as well as Eric Lowman shall not be responsible code acceptance. All dimensions are subject to change according to the local building code and site requirements. The contractor shall assume all responsibility for all dimensions and conditions on this job site.

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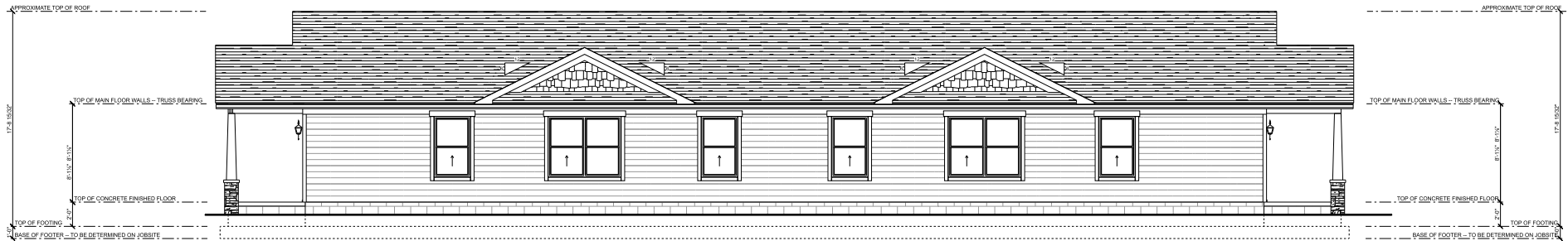
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File # 9-C-20-SU

DREAM HOME DESIGNS			
SCALE: 1/4" = 1'-0" UNLESS OTHERWISE NOTED	DATE: JUNE 20, 2020	DESIGNER: ERIC LOWMAN	REVISED: JULY 25, 2020
A NEW DUPLEX FOR POOVIN PILLAY			
2317 PEACHTREE STREET - KNOXVILLE, TENNESSEE			
RIGHT ELEVATION			DATE PLOTTED: TN-2020-0010

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LEFT ELEVATION

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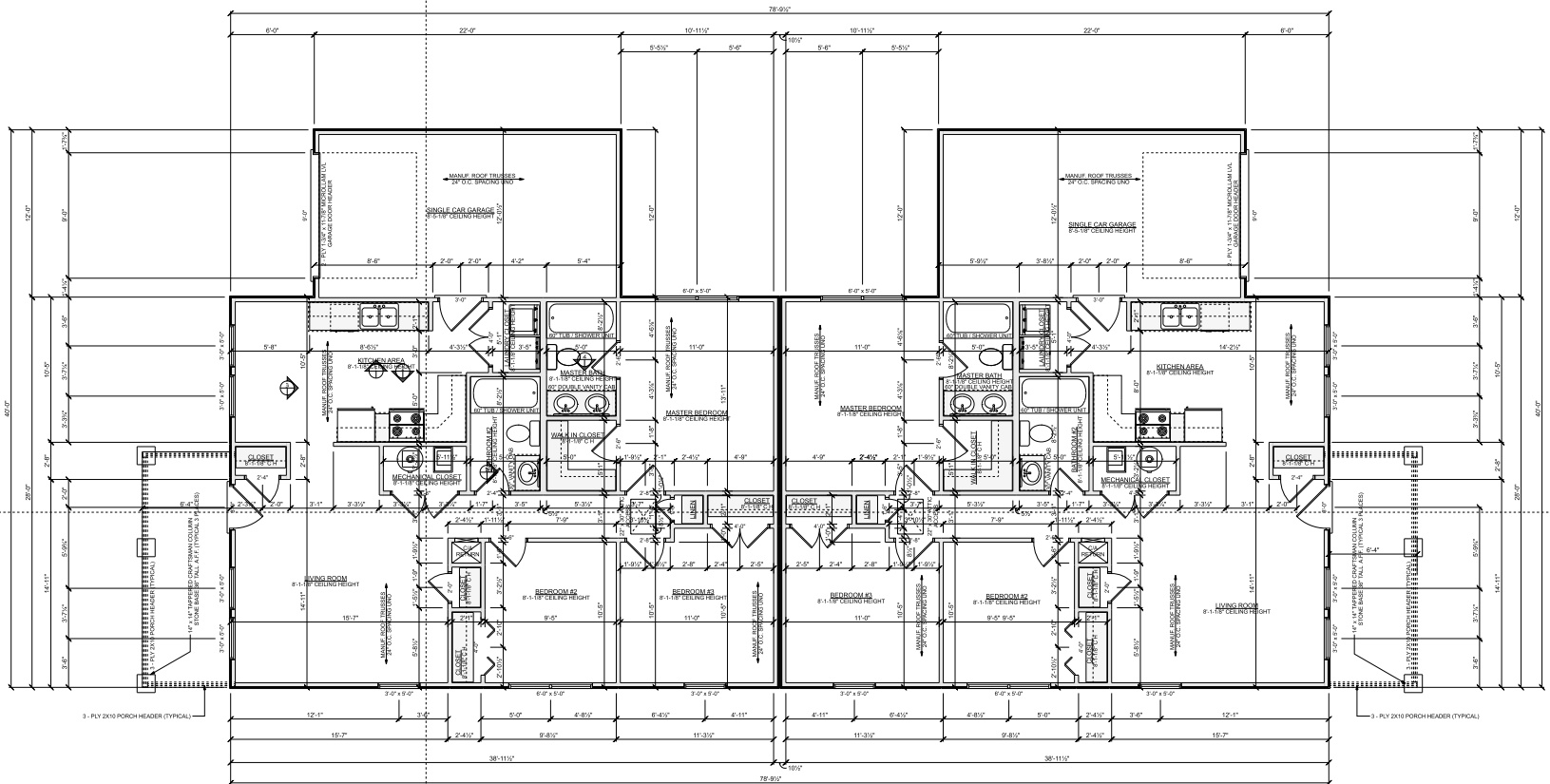
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SCALE: 1/4" = 1'-0" UNLESS OTHERWISE NOTED	DATE: JUNE 20, 2020	DESIGNED BY: ERIC LOWMAN	REVISED BY: JLS 05/25/2020
A NEW DUPLEX FOR POOVIN PILLAY			
2317 PEACHTREE STREET - KNOXVILLE, TENNESSEE			
LEFT ELEVATION			DATE: 06/20/2020 TN-2020-0010

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ALLEY SIDE UNIT

STREET SIDE UNIT

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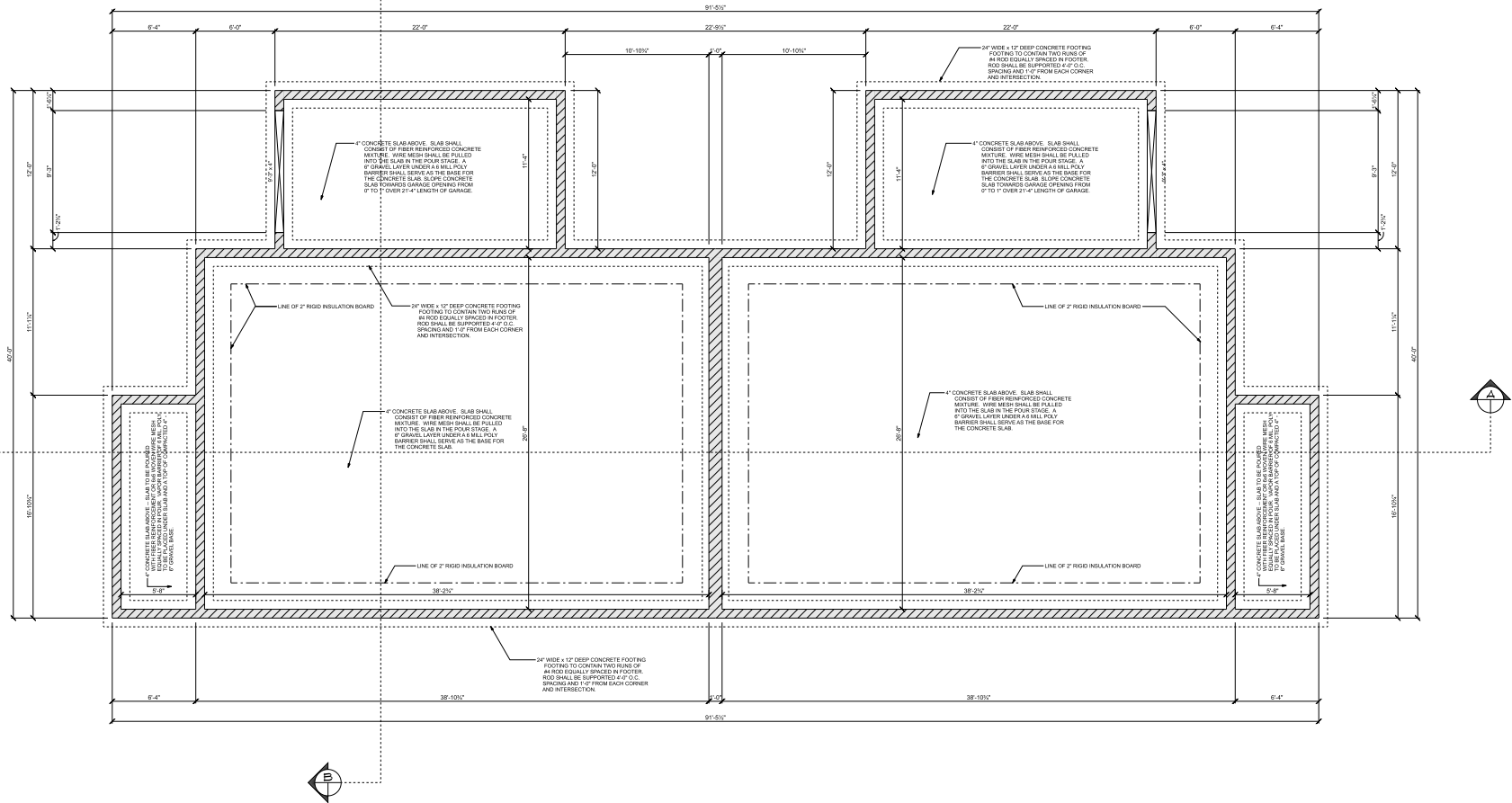
DREAM HOME DESIGNS

AREA SCHEDULE		
NAME	COLOR	AREA
STREET UNIT HEATED AREA		1090.8 sq ft
STREET UNIT GARAGE AREA		264.0 sq ft
STREET UNIT FRONT PORCH AREA		107.0 sq ft
ALLEY UNIT HEATED AREA		1090.8 sq ft
ALLEY UNIT GARAGE AREA		264.0 sq ft
ALLEY UNIT FRONT PORCH AREA		107.0 sq ft

1/8" = 1'0" = 1/2" UNDO
 DATE: JUNE 20, 2020
 DRAWN BY: ERIC LOHMAN
 REVISED: JUNE 25, 2020
A NEW DUPLEX FOR POOVIN PILLAY
2317 PEACHTREE STREET - KNOXVILLE, TENNESSEE
 MAIN FLOOR PLAN
 DRAWING NUMBER: TN-2020-0010

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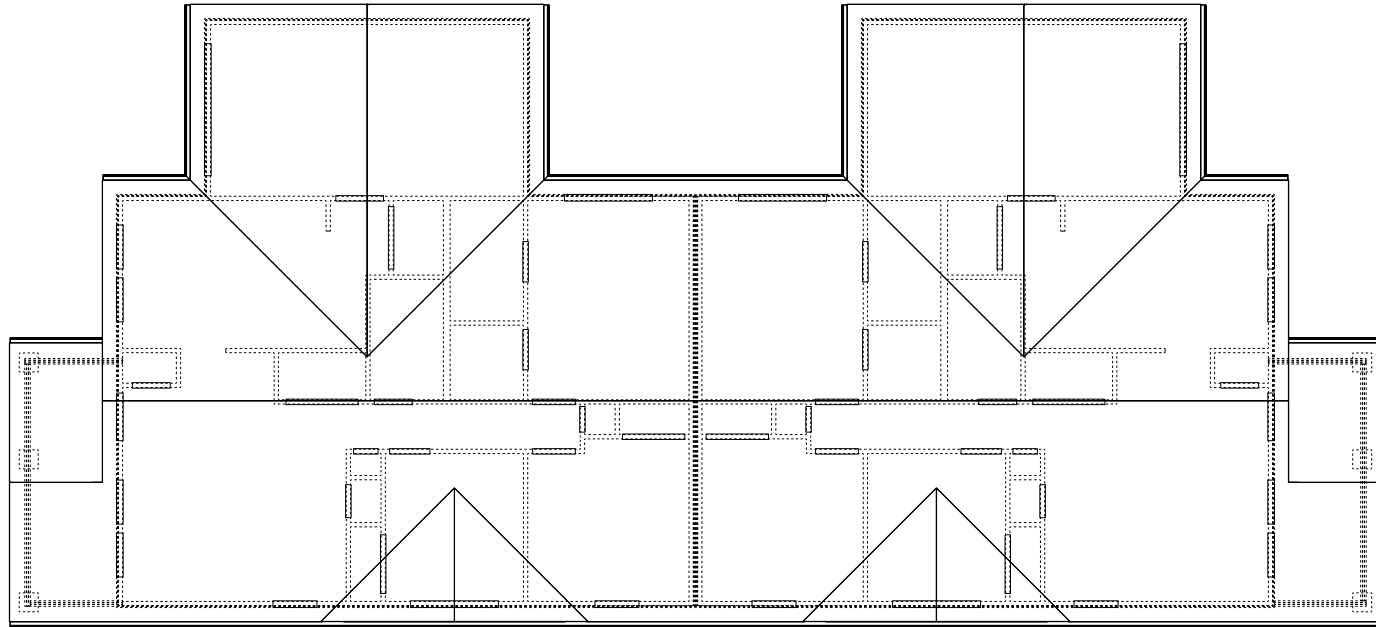
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File # 9-C-20-SU

DREAM HOME DESIGNS	
SCALE: 1/4" = 1'-0" UNLESS OTHERWISE NOTED	DESIGN BY: ERIC LOHMAN
DATE: JUNE 20, 2020	REVISED: 06/25/2020
A NEW DUPLEX FOR POOVIN PILLAY	
2317 PEACHTREE STREET - KNOXVILLE, TENNESSEE	
FOUNDATION/FOOTER PLAN	
DRAWING NUMBER: TN-2020-0010	

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, REGULATIONS AND ORDINANCES.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO NEW HOME FRANK AND DESSON, ERIC LOHMAN FOR ADJUSTMENT AND / OR CORRECTIONS BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT IDENTIFIED.
3. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
4. ALL FOOTING TO BE BELOW FINISH FLOOR (SEE LOCAL CODES AND MUST REST ON UNDISTURBED SOIL CAPABLE OF HANDLING THE STRUCTURE).
5. CONTRACTOR SHALL INSURE COMPLETION OF THE BUILDING WITH ALL SITE REQUIREMENTS.
6. IF ANY WALL EXCEEDS HEIGHT ANY FOUNDATION WALL, REFERENCED TO THE CODE.
7. ALL FOUNDATION AND STRUCTURAL MEMBERS SHOULD BE VERIFIED AND CHECKED BY AN ENGINEER IN THE STATE WHERE CONSTRUCTION IS OCCURRING DUE TO A VARIOUS VARIANCE IN LOCAL CODES, SOIL BEARING CAPACITY, FROST LINE DEPTHS, GEOLOGICAL AND WINDWATER CONDITIONS, ETC. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.
8. ALL WOOD, CONCRETE AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE, AND LOCAL BUILDING CODES WHERE APPLICABLE.
9. ALL LOCALS AND SPECIAL REQUIREMENTS SHOULD BE OBSERVED TO CARRY LOADS AND SHOULD EXTEND DOWN FROM THE LEVELS BELOW AND TERMINATE AT THE FOUNDATION OR AT OTHER BEARING POINTS DESIGNED TO CARRY THE LOAD.



NOTICE: You are advised to consult local building regulations prior to construction related to floor plans and other documents related to this plan. It is the responsibility of the buyer, owner, and/or contractor to apply to the proper authorities for code acceptance in all matters (electrical, plumbing, firecode, etc.). Dream Home Design as well as Eric Lohman shall not be responsible code acceptance. All dimensions are subject to change according to the local building code and site requirements. The contractor shall assume all responsibility for all dimensions and conditions on this job site.

Copyright Laws: Reproduction of the illustration and working drawings of these home plans, either in whole or in part, including any form and/or preparation of creative works thereof, for any reason without prior written permission is strictly prohibited. The purchase of a set of home plans in no way transfers any copyright or other ownership interest in it to the buyer except for a limited license to use that set of home plans for the construction of one, and only one, dwelling unit. The purchase of an additional set(s) of that home plan as a reduced price from the original set or as part of a multiple set package does not constitute a license to construct more than one dwelling. This is also the case with reproductions, CAD files or any translation.

Similarly, the purchase of reproducible vellum carries the same copyright protection as mentioned above. It is generally allowed to make up to a maximum of 10 copies for the construction of a single dwelling only, to use any plans more than once, and to avoid any copyright license infringement, it is necessary to contact the plan designer to receive a release and a license for any extended usage. Dream Home Design will make special provisions for a plan usage when developments when previous arrangements have been made directly with Dream Home Design.

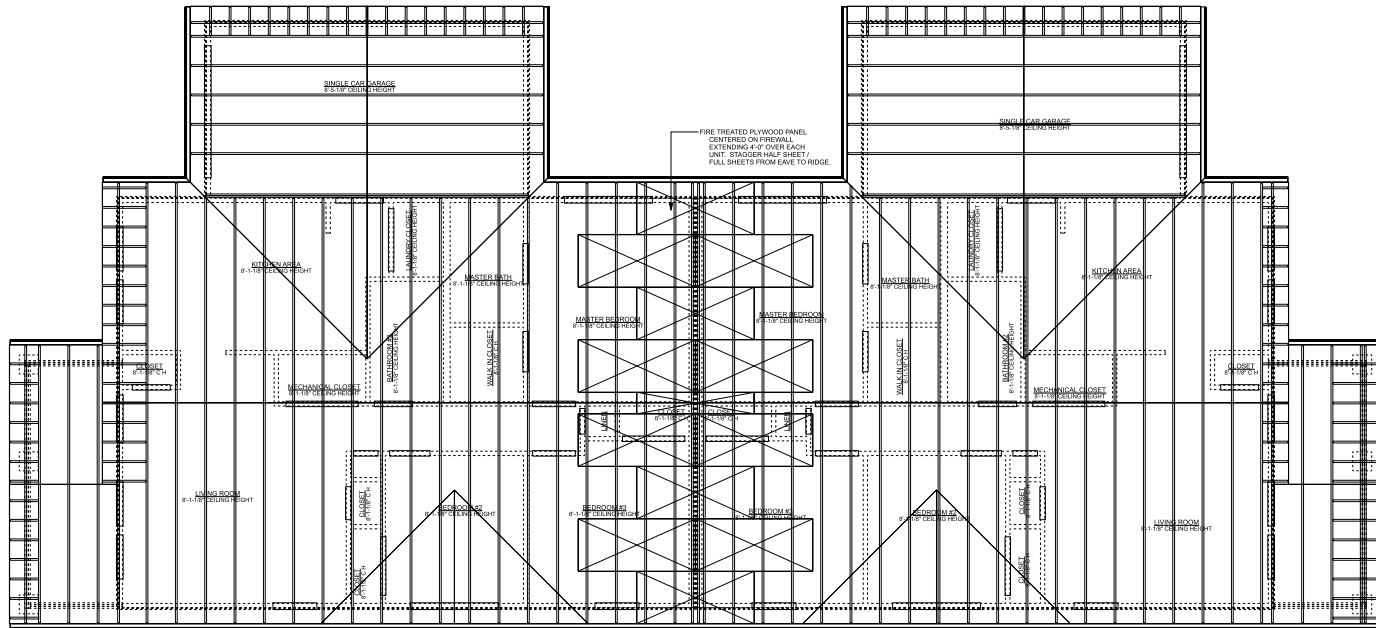
Whereas a purchase of a reproducible is granted license to make copies, it should be noted that as copyright material, making photocopies from blueprints is illegal. Copyright and licensing of home plans for construction exist to protect all parties. It respects and supports the intellectual property of the original architect or designer. Copyright law has been reinforced over the past few years. Willful infringement could cause settlements for statutory damages with fines plus attorney fees, damages and loss of profits.

File # 9-C-20-SU

DREAM HOME DESIGNS			
SCALE: 1/4" = 1'-0" UNLESS OTHERWISE NOTED	DATE: JUNE 20, 2020	DESIGNER: ERIC LOHMAN	DATE: JUNE 25, 2020
A NEW DUPLEX FOR POOVIN PILLAY			
2317 PEACHTREE STREET - KNOXVILLE, TENNESSEE			
ROOF ELEVATION PLAN			DATE: 7/1/2020-0010

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES, REGULATIONS, AND ORDINANCES.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO NEW HOME FRAME AND DESIGN, ERIC LOHMAN FOR ARCHITECTURE AND/OR CORRECTED BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT INDICATED.
3. ALL DIMENSIONS SHOULD BE READ OR CALCULATED AND NEVER SCALED.
4. ALL FOOTING TO BE BELOW FINISH FLOOR LINE (SEE LOCAL CODES) AND MUST REST ON UNDISTURBED SOIL CAPABLE OF HANDLING THE STRUCTURE.
5. CONSULT LOCAL ENGINEER FOR PROPER FOOTING AND BEARING SIZES.
6. CONTRACTOR SHALL INSURE COMPLETION OF THE BUILDING WITH ALL SITE REQUIREMENTS.
7. IF BACKFILL EXCEEDS HEIGHT ANY FOUNDATION WALL, REFER TO LOCAL CODE.
8. ALL FOUNDATION AND STRUCTURAL MEMBERS SHOULD BE VERIFIED AND CHECKED BY AN ENGINEER IN THE STATE WHERE CONSTRUCTION IS OCCURRING DUE TO A VARIOUS VARIANCE IN LOCAL CODES, SOIL BEARING CAPACITY, FROST LINE DEPTHS, GEOLOGICAL AND HYDRAULIC CONDITIONS, ETC. THE CONTRACTOR IS RESPONSIBLE FOR ADJUSTING AND VERIFYING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.
9. ALL WOOD, CONCRETE AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE, AND LOCAL BUILDING CODES WHERE APPLICABLE.
10. ALL LOCALS OF SOIL FRAMEWORK SHOULD BE DESIGNED TO CARRY LOADS AND SHOULD EXTEND DOWN FROM THE LEVELS BELOW AND TERMINATE AT THE FOUNDATION OR AT OTHER BEARING POINTS DESIGNED TO CARRY THE LOADS.



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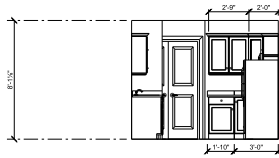
File # 9-C-20-SU

DREAM HOME DESIGNS

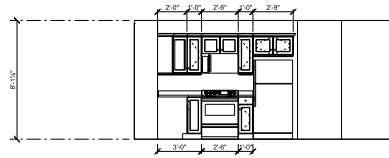
SCALE: 1/4" = 1'-0" UNLESS OTHERWISE NOTED	DESIGNED BY: ERIC LOHMAN
DATE: JUNE 20, 2020	REVISED: JUNE 25, 2020
A NEW DUPLEX FOR POOVIN PILLAY	
2317 PEACHTREE STREET - KNOXVILLE, TENNESSEE	
ROOF FRAMING PLAN	DRAWING NUMBER: TN-2020-0010

GENERAL NOTES

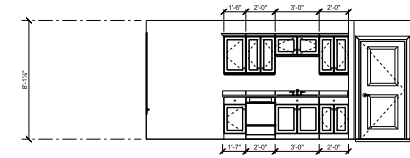
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES, REGULATIONS, AND FINA/VIA MISC.
2. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO NEW HOME PLANS AND DESIGN. ERIC LOHMAN FOR JUSTIFICATION AND/OR CORRECTIONS BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
3. ALL DIMENSIONS SHALL BE MEASUREMENTS TO FACE UNLESS OTHERWISE NOTED.
4. ALL FINISHINGS SHALL BE MEASUREMENTS TO FACE UNLESS OTHERWISE NOTED.
5. ALL FINISHINGS SHALL BE MEASUREMENTS TO FACE UNLESS OTHERWISE NOTED.
6. ALL FOOTINGS TO BE BELOW FROST LINE (SEE LOCAL CODES) AND MUST REST ON UNDISTURBED SOIL CAPABLE OF SUPPORTING THE STRUCTURE. CONSULT LOCAL ENGINEER FOR PROPER FOOTING AND REINFORCING SIZES.
7. CONTRACTOR SHALL INSURE COMPLETION OF THE BUILDING WITH ALL SITE REQUIREMENTS.
8. IF BACKFILL EXCEEDS 4' ADJACENT ANY FOUNDATION WALL, REINFORCE AS PER CODE.
9. ALL FOUNDATION AND STRUCTURAL MEMBERS SHOULD BE DESIGNED AND STAMPED BY AN ENGINEER IN THE STATE WHERE CONSTRUCTION IS OCCURRING DUE TO VARYING LOCAL CODES, SOIL BEARING CAPACITY, FROST LINE DEPTH, GEOLOGICAL AND WEATHER CONDITIONS, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL STRUCTURAL DETAILS AND CONDITIONS TO MEET ALL LOCAL CODES AND TO INSURE A QUALITY AND SAFE STRUCTURE.
10. ALL WOOD, CONCRETE AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE AND LOCAL BUILDING CODES WHERE APPLICABLE.
11. ALL COLUMNS OR SOLID FRAMING SHOULD BE DESIGNED TO CARRY LOADS AND SHOULD EXTEND DOWN THRU THE LEVEL BELOW AND TERMINATE AT THE FOUNDATION OR AT OTHER BEARING POINTS DESIGNED TO CARRY THE LOAD.



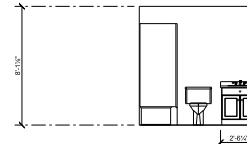
STREET SIDE UNIT - INTERIOR ELEVATION 3



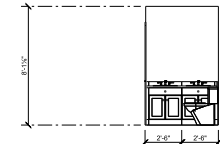
STREET SIDE UNIT - INTERIOR ELEVATION 2



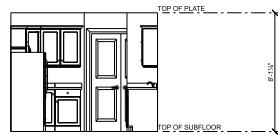
STREET SIDE UNIT - INTERIOR ELEVATION 1



STREET SIDE UNIT - INTERIOR ELEVATION 5



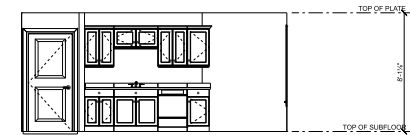
STREET SIDE UNIT - INTERIOR ELEVATION 4



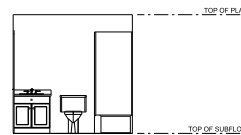
ALLEY SIDE UNIT - INTERIOR ELEVATION 3



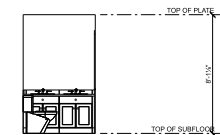
ALLEY SIDE UNIT - INTERIOR ELEVATION 2



ALLEY SIDE UNIT - INTERIOR ELEVATION 1



ALLEY SIDE UNIT - INTERIOR ELEVATION 5



ALLEY SIDE UNIT - INTERIOR ELEVATION 4

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File # 9-C-20-SU

DREAM HOME DESIGNS			
SCALE: 1/8" = 1'-0" UNO	APPROVED:	DESIGNED BY: ERIC LOZMAN	
DATE: JUNE 25, 2020		REVISED: JULY 25, 2020	
A NEW DUPLEX FOR POOVIN PILLAY			
2317 PEACHTREE STREET - KNOXVILLE, TENNESSEE			
INTERIOR ELEVATIONS			PROJECT NUMBER: TN-2020-0010

2018 International Residential Code® Construction Specifications and Methodologies

IMPORTANT NOTE: THESE NOTES AND SPECIFICATIONS ARE PROVIDED BY HOUSE PLAN RESOURCE AS A SERVICE TO THEIR CUSTOMERS TO PROVIDE THE MOST POPULAR CODE TOPICS. THE INFORMATION AND METHODOLOGIES PREPARED HEREIN ARE IN ACCORDANCE TO AND REFERENCED TO THE 2018 INTERNATIONAL RESIDENTIAL CODE®. THE INFORMATION IS ALSO A GENERAL SUMMARIZATION OF THE CODE AND IT IS RECOMMENDED THAT YOU BECOME FAMILIAR WITH THE FULL EXTENT OF THE ACTUAL CODE. THE NOTES AND SPECIFICATIONS MAY HAVE TO BE AMENDED DUE TO VARIATIONS IN LOCAL CODES AND GEOLOGICAL CONDITIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR HOMEOWNER TO MAKE THE NECESSARY MODIFICATIONS TO ENSURE CODE COMPLIANCE AND STRUCTURAL INTEGRITY. IT IS RECOMMENDED THAT YOU CONSULT A LOCAL ARCHITECT OR ENGINEER ON ALL LOCAL BUILDING ORDINANCES. SPECIAL ENGINEERING MAY REQUIRE THAT THESE SPECIFICATIONS BE CHANGED OR AMENDED TO COMPLY WITH SEISMIC, WIND, OR OTHER SPECIAL CONDITIONS AS REQUIRED BY LOCAL CONSTRUCTION METHODOLOGIES AND LOCAL CODES.

1 IMPORTANT DISCLAIMER

THE ENCLOSED INFORMATION IS INTENDED TO ASSIST AND INFORM YOU THROUGH THE CONSTRUCTION OF YOUR HOME. YOUR CONSTRUCTION PLANS HAVE BEEN DRAWN TO STANDARDS TO INDUSTRY STANDARDS. THESE PROFESSIONAL STANDARDS DETERMINE HOW CONSTRUCTION PLANS ARE DRAWN AND WHAT INFORMATION THEY INCLUDE. CONSTRUCTION PLANS ARE INTENDED AS A TECHNICAL GUIDE TO PROFESSIONAL CONTRACTORS AND ARE NOT INTENDED TO BE A STEP-BY-STEP INSTRUCTIONS. THEREFORE, IF YOU ARE PLANNING TO BUILD YOUR HOME WITHOUT THE SERVICES OF A PROFESSIONAL BUILDER, WE SUGGEST THAT YOU BECOME THOROUGHLY FAMILIAR WITH READING CONSTRUCTION PLANS OR CONSIDER CONSULTING A CONSTRUCTION SPECIALIST. IF YOU SHOULD HAVE ANY QUESTIONS REGARDING THE CONSTRUCTION PLANS AND/OR THE SUPPORTIVE DOCUMENTATION.

2 CHAPTER 3 :: BUILDING PLANNING

SECTION R304 MINIMUM ROOM AREAS

R304.1 MINIMUM AREA.
HABITABLE ROOMS SHALL HAVE A FLOOR AREA OF NOT LESS THAN TO SQUARE FEET (9.3 SQ).

EXCEPTION: KITCHENS.

R304.2 MINIMUM DIMENSIONS.
HABITABLE ROOMS SHALL BE NOT LESS THAN 7 FEET (2134 MM) IN ANY HORIZONTAL DIMENSION.

EXCEPTION: KITCHENS.

R304.3 HEIGHT EFFECT ON ROOM AREA.
PORTIONS OF A ROOM WITH A CEILING CEILING MEASURING LESS THAN 7 FEET (2134 MM), OR A FURRED CEILING MEASURING LESS THAN 7 FEET (2134 MM) FROM THE FINISHED FLOOR TO THE FINISHED CEILING SHALL NOT BE CONSIDERED AS CONTRIBUTING TO THE MINIMUM REQUIRED HABITABLE AREA FOR THAT ROOM.

SECTION R305 CEILING HEIGHT

R305.1 MINIMUM HEIGHT.
HABITABLE SPACE, HALLWAYS AND PORTIONS OF BASEMENTS CONTAINING THESE SPACES SHALL HAVE A MINIMUM HEIGHT OF NOT LESS THAN 7 FEET (2134 MM) BATHROOMS, TOILET ROOMS AND LAUNDRY ROOMS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 8 FEET (2438 MM).

NOTE: SEE SECTION R302.1 FOR EXCEPTIONS

R305.1.1 BASEMENTS.
PORTIONS OF BASEMENTS THAT DO NOT CONTAIN HABITABLE SPACE OR HALLWAYS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 8 FEET 8 INCHES (2622 MM).

EXCEPTION: AT BEAMS, DUCTS, DUCTS OR OTHER OBSTRUCTIONS, THE CEILING HEIGHT SHALL BE NOT LESS THAN 8 FEET 4 INCHES (2540 MM) FROM THE FINISHED FLOOR.

SECTION R306 SANITATION

R306.1 TOILET FACILITIES.
EVERY DWELLING UNIT SHALL BE PROVIDED WITH A WATER CLOSET, LAVATORY, AND A BATHUB OR SHOWER.

R306.2 KITCHEN.
EACH DWELLING UNIT SHALL BE PROVIDED WITH A KITCHEN AREA AND EVERY KITCHEN AREA SHALL BE PROVIDED WITH A SINK.

R306.3 SEWAGE DISPOSAL.
FLUSHING FIXTURES SHALL BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED PRIVATE SEWAGE DISPOSAL SYSTEM.

R306.4 WALK-IN SUPPLY TO FIXTURES.
FLUSHING FIXTURES SHALL BE CONNECTED TO AN APPROVED WATER SUPPLY. KITCHEN SINKS, LAVATORIES, BATHUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER.

SECTION R307 TILED, BATH, AND SHOWER SPACES

R307.1 SPACE REQUIRED. FIXTURES SHALL BE SPACED IN ACCORDANCE WITH FIGURE R307.1, AND IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION P2705.1.

R307.2 BATHUB AND SHOWER SPACES. BATHUB AND SHOWER FLOORS AND WALLS ABOVE BATHUBS WITH INSTALLED SHOWER HEADS AND BATHUB COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL BE TILED TO A HEIGHT OF NOT LESS THAN 6 FEET (1829 MM) ABOVE THE FLOOR.

R307.3 BATHUB AND SHOWER SPACES. BATHUB AND SHOWER FLOORS AND WALLS ABOVE BATHUBS WITH INSTALLED SHOWER HEADS AND BATHUB COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL BE TILED TO A HEIGHT OF NOT LESS THAN 6 FEET (1829 MM) ABOVE THE FLOOR.

R307.4 BATHUB AND SHOWER SPACES. BATHUB AND SHOWER FLOORS AND WALLS ABOVE BATHUBS WITH INSTALLED SHOWER HEADS AND BATHUB COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL BE TILED TO A HEIGHT OF NOT LESS THAN 6 FEET (1829 MM) ABOVE THE FLOOR.

R307.5 BATHUB AND SHOWER SPACES. BATHUB AND SHOWER FLOORS AND WALLS ABOVE BATHUBS WITH INSTALLED SHOWER HEADS AND BATHUB COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL BE TILED TO A HEIGHT OF NOT LESS THAN 6 FEET (1829 MM) ABOVE THE FLOOR.

R307.6 BATHUB AND SHOWER SPACES. BATHUB AND SHOWER FLOORS AND WALLS ABOVE BATHUBS WITH INSTALLED SHOWER HEADS AND BATHUB COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL BE TILED TO A HEIGHT OF NOT LESS THAN 6 FEET (1829 MM) ABOVE THE FLOOR.

R307.7 BATHUB AND SHOWER SPACES. BATHUB AND SHOWER FLOORS AND WALLS ABOVE BATHUBS WITH INSTALLED SHOWER HEADS AND BATHUB COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL BE TILED TO A HEIGHT OF NOT LESS THAN 6 FEET (1829 MM) ABOVE THE FLOOR.

R307.8 BATHUB AND SHOWER SPACES. BATHUB AND SHOWER FLOORS AND WALLS ABOVE BATHUBS WITH INSTALLED SHOWER HEADS AND BATHUB COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL BE TILED TO A HEIGHT OF NOT LESS THAN 6 FEET (1829 MM) ABOVE THE FLOOR.

SECTION R308 GLAZING

R308.1 HAZARDOUS LOCATIONS.
THE LOCATIONS SPECIFIED IN SECTIONS R308.1.1 THROUGH R308.1.4 SHALL BE CONSIDERED TO BE SPECIFIC HAZARDOUS LOCATIONS FOR THE PURPOSES OF GLAZING.

R308.1.1 GLAZING IN DOORS.
GLAZING IN FURRED OR OPERABLE FRAME OF SWINGING SLIDING AND BI-FOLD DOORS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.

NOTE: SEE SECTION 308.1.4 FOR EXCEPTIONS.

R308.1.2 GLAZING ADJACENT TO DOORS.
GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 20 INCHES (508 MM) ABOVE THE FLOOR OR WINDOW SURFACE AND IT MEETS EITHER OF THE FOLLOWING CONDITIONS:

1. WHERE THE GLAZING IS WITHIN 24 INCHES (610 MM) OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION;

2. WHERE THE GLAZING IS ON A WALL LESS THAN 100 DEGREES (1.75 RAD) FROM THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES (610 MM) OF THE HURDLE SIDE OF AN HAZARDOUS DOOR.

EXCEPTIONS:
1. DECORATIVE GLAZING;
2. WHERE THERE IS AN INTERFERING HALL OR OTHER PERMANENT BARRIER BETWEEN THE DOOR AND THE GLAZING;
3. WHERE ACCESS THROUGH THE DOOR IS TO A CLOSET OR OTHER AREA 3 FEET (914 MM) OR LESS IN DEPTH (GLAZING IN THIS APPLICATION SHALL COMPLY WITH SECTION R30.4.3);
4. GLAZING THAT IS ADJACENT TO THE FIXED PANEL OF PATIO DOOR.

R308.1.3 GLAZING IN WINDOWS.
GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION:

1. THE EXPOSED AREA OF AN INDIVIDUAL PANEL IS LARGER THAN 5 SQUARE FEET (0.50 M²);
2. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES (457 MM) ABOVE THE FLOOR;

3. THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES (914 MM) ABOVE THE FLOOR;

5. ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES (914 MM), MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING.

NOTE: SEE SECTION R308.4.3 FOR EXCEPTIONS.

R308.1.4 GLAZING IN GUARDS AND RAILINGS.
GLAZING IN GUARDS AND RAILINGS, INCLUDING STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL INFILL PANELS, REGARDLESS OF AREA OR HEIGHT ABOVE A WALKING SURFACE SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.

R308.1.5 STRUCTURAL GLASS BALUSTER PANELS.
GUARDS WITH STRUCTURAL GLASS BALUSTER PANELS SHALL BE INSTALLED WITH AN ATTACHED TOP RAIL OR HANDRAIL, THE TOP RAIL OR HANDRAIL SHALL BE SUPPORTED BY NOT LESS THAN THREE GLASS BALUSTER PANELS, OR SHALL BE OTHERWISE SUPPORTED TO REMAIN IN PLACE SHOULD ONE GLASS BALUSTER PANEL FAIL.

NOTE: SEE SECTION 308.4.4 FOR EXCEPTIONS.

R308.1.6 GLAZING AND WET SURFACES.
GLAZING IN WALLS, ENCLOSED OR FENCED CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHUBS, SHOWERS AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES (914 MM) MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION. THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANELS IN MULTIPLE GLAZING.

NOTE: SEE SECTION 308.4.5 FOR EXCEPTIONS.

R308.1.7 GLAZING ADJACENT TO STAIRS AND RAMPS.
GLAZING IN WALLS ADJACENT TO STAIRS AND RAMPS SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.

NOTE: SEE SECTION 308.4.6 FOR EXCEPTIONS.

R308.1.8 GLAZING ADJACENT TO THE BOTTOM STAIR LANDING.
GLAZING ADJACENT TO THE BOTTOM STAIR LANDING OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES (914 MM) ABOVE THE LANDING AND WITHIN A 90-DEGREE (1.57 RAD) HORIZONTAL PLANE AND WITHIN 18 DEGREES FROM THE BOTTOM TREAD NOSG SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.

NOTE: SEE SECTION 308.4.7 FOR EXCEPTIONS.

R308.1.9 GLAZING ADJACENT TO THE BOTTOM STAIR LANDING.
GLAZING ADJACENT TO THE BOTTOM STAIR LANDING OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES (914 MM) ABOVE THE LANDING AND WITHIN A 90-DEGREE (1.57 RAD) HORIZONTAL PLANE AND WITHIN 18 DEGREES FROM THE BOTTOM TREAD NOSG SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.

NOTE: SEE SECTION 308.4.7 FOR EXCEPTIONS.

R308.1.10 GLAZING ADJACENT TO THE BOTTOM STAIR LANDING.
GLAZING ADJACENT TO THE BOTTOM STAIR LANDING OF A STAIRWAY WHERE THE GLAZING IS LESS THAN 36 INCHES (914 MM) ABOVE THE LANDING AND WITHIN A 90-DEGREE (1.57 RAD) HORIZONTAL PLANE AND WITHIN 18 DEGREES FROM THE BOTTOM TREAD NOSG SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION.

NOTE: SEE SECTION 308.4.7 FOR EXCEPTIONS.

R308.2 SITE-BUILT WINDOWS.
SITE-BUILT WINDOWS SHALL COMPLY WITH SECTION 308.4 OF THE INTERNATIONAL BUILDING CODE.

R308.3 SKYLIGHTS AND SLOPED GLAZING.
SKYLIGHTS AND SLOPED GLAZING SHALL COMPLY WITH THE FOLLOWING SECTIONS:

R308.3.1 DEFINITIONS. THE FOLLOWING TERMS ARE DEFINED IN CHAPTER 2:
-SKYLIGHT, UNIT;
-SKYLIGHTS AND SLOPED GLAZING;
-TUBULAR DAYLIGHTING DEVICE (TDD).

SECTION R309 GARAGES AND CARPORTS

R309.1 FLOOR SURFACE.
GARAGE FLOOR SURFACES SHALL BE OF APPROVED MATERIAL. THE AREA OF FLOOR USED FOR PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL BE TOLPARED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TO LEAD TO THE MAIN VEHICLE ENTRY DOORWAY.

R309.2 CARPORTS.
CARPORTS SHALL BE OPEN OR NOT LESS THAN TWO SIDES. CARPORT FLOOR SURFACES SHALL BE OF APPROVED NONCOMBUSTIBLE MATERIAL. CARPORTS NOT OPEN ON TWO OR MORE SIDES SHALL BE CONSIDERED TO BE A GARAGE AND SHALL COMPLY WITH THE PROVISIONS OF THIS SECTION FOR GARAGES.

THE AREA OF FLOOR USED FOR PARKING OF AUTOMOBILES OR OTHER VEHICLES SHALL BE SLOPED TO FACILITATE THE MOVEMENT OF LIQUIDS TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY.

EXCEPTION: ASPHALT SURFACES SHALL BE PERMITTED AT GROUND LEVEL IN CARPORTS.

R309.3 AUTOMATIC GARAGE DOOR OPENERS.
AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 325.

R309.4 FIRE SPRINKLERS.
PRIVATE GARAGES SHALL BE PROTECTED BY FIRE SPRINKLERS UNLESS THE GARAGE WALL HAS BEEN DESIGNED BASED ON TABLE R302.1(2). NOTE: SPRINKLERS IN GARAGES SHALL BE CONNECTED TO AN AUTOMATIC SPRINKLER SYSTEM THAT COMPLIES WITH SECTION 903.4. GARAGE SPRINKLERS SHALL BE IDENTICAL SPRINKLERS OR QUICK-RESPONSE SPRINKLERS. DESIGNED TO PROVIDE A DENSITY OF 0.50 GPM/FT². GARAGE DOORS SHALL NOT BE CONSIDERED OBSTRUCTIONS WITH RESPECT TO SPRINKLER PLACEMENT.

SECTION R310 EMERGENCY ESCAPE AND RESCUE OPENINGS

R310.1 EMERGENCY ESCAPE AND RESCUE OPENING REQUIRED.
BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. WHERE BASEMENTS CONTAIN ONE OR MORE SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE REQUIRED IN EACH SLEEPING ROOM. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, OR TO A YARD OR COURTYARD THAT OPENS TO A PUBLIC WAY.

NOTE: SEE SECTION R310.1.1 FOR EXCEPTIONS.

R310.1.1 OPERATIONAL CONSTRAINTS AND OPENING CONTROL DEVICES.
EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERABLE FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. WINDOW OPENING CONTROL DEVICES ON WINDOWS SERVING AS A REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING SHALL COMPLY WITH ASTM F2090.

R310.1.2 EMERGENCY ESCAPE AND RESCUE OPENINGS.
EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE MINIMUM DIMENSIONS AS SPECIFIED IN THIS SECTION.

R310.1.3 MINIMUM OPENING AREA.
EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE. THE NET CLEAR HEIGHT OF THE OPENING SHALL BE NOT LESS THAN 24 INCHES (610 MM) AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES (508 MM).

EXCEPTION: GRADE FLOOR OPENINGS OR BELOW-GRADE CLEAR OPENINGS OF NOT LESS THAN 8.7 SQUARE FEET (0.80 M²), SHALL HAVE A NET CLEAR OPENING AREA OF NOT LESS THAN 5.7 SQUARE FEET (0.53 M²).

R310.1.4 LADDER AND STEPS.
WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44 INCHES (1118 MM) SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPEN POSITION. LADDERS OR STEPS REQUIRED BY THIS SECTION SHALL NOT BE REQUIRED TO COMPLY WITH SECTION R310.2.2, LADDERS OR STEPS SHALL HAVE A CLEAR WIDTH OF NOT LESS THAN 12 INCHES (305 MM), SHALL PROJECT NOT LESS THAN 3 INCHES (76 MM) FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES (457 MM) ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.

R310.1.5 LADDER AND STEPS.
WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44 INCHES (1118 MM) SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPEN POSITION. LADDERS OR STEPS REQUIRED BY THIS SECTION SHALL NOT BE REQUIRED TO COMPLY WITH SECTION R310.2.2, LADDERS OR STEPS SHALL HAVE A CLEAR WIDTH OF NOT LESS THAN 12 INCHES (305 MM), SHALL PROJECT NOT LESS THAN 3 INCHES (76 MM) FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES (457 MM) ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.

R310.1.6 LADDER AND STEPS.
WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44 INCHES (1118 MM) SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPEN POSITION. LADDERS OR STEPS REQUIRED BY THIS SECTION SHALL NOT BE REQUIRED TO COMPLY WITH SECTION R310.2.2, LADDERS OR STEPS SHALL HAVE A CLEAR WIDTH OF NOT LESS THAN 12 INCHES (305 MM), SHALL PROJECT NOT LESS THAN 3 INCHES (76 MM) FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES (457 MM) ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.

R310.1.7 LADDER AND STEPS.
WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44 INCHES (1118 MM) SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPEN POSITION. LADDERS OR STEPS REQUIRED BY THIS SECTION SHALL NOT BE REQUIRED TO COMPLY WITH SECTION R310.2.2, LADDERS OR STEPS SHALL HAVE A CLEAR WIDTH OF NOT LESS THAN 12 INCHES (305 MM), SHALL PROJECT NOT LESS THAN 3 INCHES (76 MM) FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES (457 MM) ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.

R310.1.8 LADDER AND STEPS.
WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44 INCHES (1118 MM) SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPEN POSITION. LADDERS OR STEPS REQUIRED BY THIS SECTION SHALL NOT BE REQUIRED TO COMPLY WITH SECTION R310.2.2, LADDERS OR STEPS SHALL HAVE A CLEAR WIDTH OF NOT LESS THAN 12 INCHES (305 MM), SHALL PROJECT NOT LESS THAN 3 INCHES (76 MM) FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES (457 MM) ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.

R310.1.9 LADDER AND STEPS.
WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44 INCHES (1118 MM) SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPEN POSITION. LADDERS OR STEPS REQUIRED BY THIS SECTION SHALL NOT BE REQUIRED TO COMPLY WITH SECTION R310.2.2, LADDERS OR STEPS SHALL HAVE A CLEAR WIDTH OF NOT LESS THAN 12 INCHES (305 MM), SHALL PROJECT NOT LESS THAN 3 INCHES (76 MM) FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES (457 MM) ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.

R310.1.10 LADDER AND STEPS.
WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44 INCHES (1118 MM) SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPEN POSITION. LADDERS OR STEPS REQUIRED BY THIS SECTION SHALL NOT BE REQUIRED TO COMPLY WITH SECTION R310.2.2, LADDERS OR STEPS SHALL HAVE A CLEAR WIDTH OF NOT LESS THAN 12 INCHES (305 MM), SHALL PROJECT NOT LESS THAN 3 INCHES (76 MM) FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES (457 MM) ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.

R310.2 WINDOW WELL HEIGHT.
WHERE A WINDOW IS PROVIDED IN THE EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL HAVE A WELL HEIGHT OF NOT MORE THAN 44 INCHES (1118 MM) ABOVE THE FLOOR. WHERE THE WELL HEIGHT IS BELOW GRADE, IT SHALL BE PROVIDED WITH A WINDOW WELL IN ACCORDANCE WITH SECTION R310.2.3.

R310.2.1 WINDOW WELLS.
THE HORIZONTAL AREA OF THE WINDOW WELL SHALL BE NOT LESS THAN 5.7 SQUARE FEET (0.53 M²) WITH A HORIZONTAL PROJECTION AND WIDTH OF NOT LESS THAN 36 INCHES (914 MM). THE AREA OF THE WINDOW WELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO BE FULLY OPENED.

NOTE: SEE SECTION 310.2.3 FOR EXCEPTIONS.

R310.2.2 LADDER AND STEPS.
WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44 INCHES (1118 MM) SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPEN POSITION. LADDERS OR STEPS REQUIRED BY THIS SECTION SHALL NOT BE REQUIRED TO COMPLY WITH SECTION R310.2.2, LADDERS OR STEPS SHALL HAVE A CLEAR WIDTH OF NOT LESS THAN 12 INCHES (305 MM), SHALL PROJECT NOT LESS THAN 3 INCHES (76 MM) FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES (457 MM) ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.

R310.2.3 DRAINAGE.
WINDOW WELLS SHALL BE DESIGNED FOR PROPER DRAINAGE BY CONNECTING TO THE BUILDING'S FOUNDATION DRAINAGE SYSTEM REQUIRED BY SECTION R405.1 OR BY AN APPROVED ALTERNATIVE METHOD.

NOTE: SEE SECTION 310.2.3.2 FOR EXCEPTIONS.

R310.2.4 EMERGENCY ESCAPE AND RESCUE OPENINGS UNDER DECKS AND PORCHES.
EMERGENCY ESCAPE AND RESCUE OPENINGS INSTALLED UNDER DECKS AND PORCHES SHALL BE FULLY OPERABLE AND PROVIDE A PATH NOT LESS THAN 36 INCHES (914 MM) IN HEIGHT TO A YARD OR COURT.

R310.2.5 REPLACEMENT WINDOWS.
REPLACEMENT WINDOWS INSTALLED BY BUILDING METHODS THE SCOPE OF THIS CODE SHALL BE EXEMPT FROM THE MINIMUM SIZE HEIGHT REQUIREMENTS OF SECTION R310.2.2 AND THE MINIMUM HEIGHT OF SECTION R310.2.1, PROVIDED THAT THE REPLACEMENT WINDOW MEETS THE FOLLOWING CONDITIONS:

1. THE REPLACEMENT WINDOW IS THE MANUFACTURER'S LARGEST STANDARD SIZE WINDOW THAT WILL FIT WITHIN THE EXISTING FRAME OR EXISTING WINDOW OPENING. THE REPLACEMENT WINDOW IS OF THE SAME OPERATING STYLE AS THE EXISTING WINDOW OR A STYLE THAT PROVIDES FOR AN EQUAL OR GREATER WINDOW OPENING AREA THAN THE EXISTING WINDOW;

2. THE REPLACEMENT WINDOW IS NOT PART OF A CHANGE OF OCCUPANCY.

R310.3 EMERGENCY ESCAPE AND RESCUE DOORS.
WHERE A DOOR IS PROVIDED AS THE REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL BE A SIDE-HINGED DOOR OR A FLOOR WHERE THE OPENING IS BELOW THE ADJACENT GRADE. IT SHALL BE PROVIDED WITH AN AREA WELL.

R310.3.1 MINIMUM DOOR OPENING SIZE.
THE MINIMUM NET CLEAR HEIGHT OPENING FOR ANY DOOR THAT SERVES AS AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE IN ACCORDANCE WITH SECTION R310.2.1.

R310.3.2 AREA WELLS.
AREA WELLS SHALL HAVE A WIDTH OF NOT LESS THAN 36 INCHES (914 MM). THE AREA WELL SHALL BE SIZED TO ALLOW THE EMERGENCY ESCAPE AND RESCUE DOOR TO BE FULLY OPENED.

R310.3.3 LADDER AND STEPS.
WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44 INCHES (1118 MM) SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPEN POSITION. LADDERS OR STEPS REQUIRED BY THIS SECTION SHALL NOT BE REQUIRED TO COMPLY WITH SECTION R310.2.2, LADDERS OR STEPS SHALL HAVE A CLEAR WIDTH OF NOT LESS THAN 12 INCHES (305 MM), SHALL PROJECT NOT LESS THAN 3 INCHES (76 MM) FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES (457 MM) ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.

R310.3.4 DRAINAGE.
WINDOW WELLS SHALL BE DESIGNED FOR PROPER DRAINAGE BY CONNECTING TO THE BUILDING'S FOUNDATION DRAINAGE SYSTEM REQUIRED BY SECTION R405.1 OR BY AN APPROVED ALTERNATIVE METHOD.

NOTE: SEE SECTION 310.3.2.1 FOR EXCEPTIONS.

R310.3.5 BARR, OBSTACLE, COVER AND SCREENS.
WHERE BARR, OBSTACLE, COVER, SCREEN OR SIMILAR DEVICES ARE PLACED OVER EMERGENCY ESCAPE AND RESCUE OPENINGS, THE BARR, OBSTACLE, COVER, SCREEN OR SIMILAR DEVICES SHALL COMPLY WITH SECTION R310.2.1 THROUGH R310.2.3, AND SUCH DEVICES SHALL BE RELEASABLE OR REMOVABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR FORCE GREATER THAN THAT REQUIRED FOR THE NORMAL OPERATION OF THE ESCAPE AND RESCUE OPENING.

R310.3.6 HALLWAYS.
THE WIDTH OF A HALLWAY SHALL BE NOT LESS THAN 3 FEET (914 MM).

R310.3 DWELLING ADDITIONS.
WHERE DWELLING ADDITIONS CONTAIN SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE PROVIDED IN EACH NEW SLEEPING ROOM. WHERE DWELLING ADDITIONS HAVE BASEMENTS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE PROVIDED IN THE NEW BASEMENT.

NOTE: SEE SECTION 310.5 FOR EXCEPTIONS.

R310.4 ALTERATIONS OR REPAIRS OF EXISTING BASEMENTS.
AN EMERGENCY ESCAPE AND RESCUE OPENING IS NOT REQUIRED WHERE EXISTING BASEMENTS UNDERGO ALTERATIONS OR REPAIRS.

SECTION R311 MEANS OF EGRESS

R311.1 MEANS OF EGRESS.
DWELLINGS SHALL BE PROVIDED WITH A MEANS OF EGRESS IN ACCORDANCE WITH THIS SECTION. THE MEANS OF EGRESS SHALL PROVIDE A CONTINUOUS AND UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ALL PORTIONS OF THE DWELLING TO THE REQUIRED EGRESS DOOR WITHOUT REQUIRING TRAVEL THROUGH A GARAGE. THE REQUIRED EGRESS DOOR SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.

R311.2 EGRESS DOOR.
NOT LESS THAN ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDE-HINGED AND SHALL PROVIDE A CLEAR WIDTH OF NOT LESS THAN 32 INCHES (813 MM) WHERE MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP. WITH THE DOOR OPEN 90 DEGREES (1.57 RAD), THE CLEAR HEIGHT OF THE DOOR OPENING SHALL BE NOT LESS THAN 78 INCHES (1981 MM) IN HEIGHT MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. OTHER DOORS SHALL NOT BE REQUIRED TO COMPLY WITH THESE MINIMUM DIMENSIONS. EGRESS DOORS SHALL BE READILY OPERABLE FROM INSIDE THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

R311.3 FLOORS AND LANDINGS AT EXTERIOR DOORS.
THREE AND LANDINGS AT EXTERIOR DOORS SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SWEEP. LANDINGS SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES (914 MM) MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT).

NOTE: SEE SECTION 311.3 FOR EXCEPTIONS.

R311.3.1 FLOOR ELEVATIONS AT THE REQUIRED EGRESS DOORS.
LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 1/2 INCHES (12.5 MM) LOWER THAN THE TOP OF THE THRESHOLD.

NOTE: SEE SECTION 311.3.1 FOR EXCEPTIONS.

R311.3.2 FLOOR ELEVATIONS AT OTHER EXTERIOR DOORS.
DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS OR FLOORS NOT MORE THAN 7/8 INCHES (19.05 MM) ABOVE THE TOP OF THE THRESHOLD.

NOTE: SEE SECTION 311.3.2 FOR EXCEPTIONS.

R311.3.3 STAIRS AND SCREEN DOORS.
STAIRS AND SCREEN DOORS SHALL BE PERMITTED TO SWING OVER EXTERIOR STAIRS AND LANDINGS.

R311.4 VERTICAL EGRESS.
EGRESS FROM HABITABLE LEVELS INCLUDING HABITABLE ATTIC AND BASEMENTS THAT ARE NOT PROVIDED WITH AN EGRESS DOOR IN ACCORDANCE WITH SECTION R310.1.1 SHALL BE BY A RAMP IN ACCORDANCE WITH SECTION R311.7.

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R031.1 STAIRWAYS.

R311.1.1 WIDTH. STAIRWAYS SHALL BE NOT LESS THAN 36 INCHES (914 MM) IN CLEAR WIDTH AT ALL POINTS ABOVE THE FINISHED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. THE CLEAR WIDTH OF STAIRWAYS AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL BE NOT LESS THAN 31 1/2 INCHES (792 MM). WHEREA HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES (686 MM) WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES.

NOTE: SEE SECTION 311.1.2 FOR EXCEPTION.

R311.2 HEADROOM.

THE HEADROOM IN STAIRWAYS SHALL BE NOT LESS THAN 8 FEET 0 INCHES (2438 MM) MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY.

NOTE: SEE SECTION 311.2.2 FOR EXCEPTION.

R311.3 VERTICAL RISE.

A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE LARGER THAN 151 INCHES (3826 MM) BETWEEN FLOOR LEVELS OR LANDINGS.

R311.4 WALKLINE.

THE WALKLINE ACROSS WINDER TREADS AND LANDINGS SHALL BE CONCENTRIC TO THE TURN AND PARALLEL TO THE DIRECTION OF TRAVEL ENTERING AND EXITING THE TURN. THE WALKLINE SHALL BE LOCATED 12 INCHES (305 MM) FROM THE INSIDE OF THE TURN. THE 12 INCH (305 MM) DIMENSION SHALL BE MEASURED FROM THE WIDEST POINT OF THE CLEAR STAR WIDTH AT THE WALKING SURFACE. WHERE WINDERS ARE ADJACENT WITHIN A FLIGHT, THE POINT OF THE CLEAR STAR SHALL BE WITHIN THE ADJACENT WINDERS SHALL BE.

R311.5 STAR TREADS AND RISERS.

STAR TREADS AND RISERS SHALL MEET THE REQUIREMENTS OF THIS SECTION FOR THE PURPOSES OF THIS SECTION. DIMENSIONS AND DIMENSIONED SURFACES SHALL BE EXCLUSIVE OF CARPETS, RUGS OR RUNNERS.

R311.5.1 RISERS.

THE RISER HEIGHT SHALL BE NOT MORE THAN 7 1/4 INCHES (186 MM). THE RISER SHALL BE NOT MORE THAN 3/8 INCH (9.5 MM) AT THE LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN A FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM). RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE RISER OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES (5:11 RATIO) FROM THE VERTICAL. AT OPEN RISERS, OPEN WINDERS, LEAD TO MOIST, 20 INCHES (508 MM), AS MEASURED VERTICALLY, TO THE FLOOR OR CEILING. 101.1 (IN 104.1) NOT EXCEED THE RADIUS OF 4 INCHES (102 MM) SPHERE.

NOTE: SEE SECTION 311.5.4 FOR EXCEPTIONS.

R311.5.2 TREADS.

THE TREAD DEPTH SHALL BE NOT LESS THAN 10 INCHES (254 MM). THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH (9.5 MM).

R311.5.2.1 WINDER TREADS.

WINDER TREADS SHALL HAVE A TREAD DEPTH OF NOT LESS THAN 10 INCHES (254 MM) MEASURED BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AT THE INTERSECTIONS WITH THE WALKLINE. WINDER TREADS SHALL HAVE A TREAD DEPTH OF NOT LESS THAN 6 INCHES (152 MM) AT ANY POINT WITHIN THE CLEAR WIDTH OF THE STAR. WITHIN ANY FLIGHT OF STAIRS, THE LARGEST WINDER TREAD DEPTH AT THE WALKLINE SHALL NOT EXCEED THE SMALLEST WINDER TREAD BY MORE THAN 3/8 INCH (9.5 MM). CONSISTENTLY SHAPED WINDERS AT THE WALKLINE SHALL BE ALLOWED WITHIN THE SAME FLIGHT OF STAIRS AS RECTANGULAR TREADS AND SHALL NOT BE REQUIRED TO BE WITHIN 3/8 INCH (9.5 MM) OF THE RECTANGULAR TREAD DEPTH.

NOTE: SEE SECTION 311.5.2.2 FOR EXCEPTION.

R311.5.3 NOSINGS.

NOSINGS AT TREADS, LANDINGS AND FLOORS OF STAIRWAYS SHALL HAVE A RADIUS OF CURVATURE AT THE NOSING NOT GREATER THAN 9/16 INCH (14 MM) OR A BEVEL NOT GREATER THAN 1/4 INCH (2.5 MM). A NOSING PROJECTION NOT LESS THAN 3/4 INCH (19 MM) AND NOT MORE THAN 1 1/4 INCHES (32 MM) SHALL BE PROVIDED ON STAIRWAYS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLER OF NOSING PROJECTION BY MORE THAN 3/8 INCH (9.5 MM) WITHIN A STAIRWAY.

NOTE: SEE SECTION 311.5.3 FOR EXCEPTION.

R311.5.4 EXTERIOR PLASTIC COMPOSITE STAIR TREADS. PLASTIC COMPOSITE EXTERIOR STAIR TREADS SHALL COMPLY WITH THE PROVISIONS OF THIS SECTION AND SECTION R031.2.2.

R311.7 LANDINGS FOR STAIRWAYS.

THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. THE WIDTH PERPENDICULAR TO THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN THE WIDTH OF THE FLIGHT SERVED. FOR LANDINGS OF SHAPES OTHER THAN SQUARE OR RECTANGULAR, THE DEPTH AT THE WALKLINE AND THE TOTAL AREA SHALL BE NOT LESS THAN THAT OF A QUARTER CIRCLE WITH A RADIUS EQUAL TO THE REQUIRED LANDING WIDTH. WHERE THE STAIRWAY HAS A STRAIGHT RUN, THE DEPTH IN THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN 36 INCHES (914 MM).

NOTE: SEE SECTION 311.7.4 FOR EXCEPTION.

R311.7.1 STAIRWAY WALKING SURFACE.

THE WALKING SURFACE OF TREADS AND LANDINGS OF STAIRWAYS SHALL BE SLOPED NOT STEEPER THAN ONE UNIT VERTICAL IN 48 INCHES HORIZONTAL (2 PERCENT SLOPE).

R311.7.2 HANDRAILS.

HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF EACH FLIGHT OF STAIRS WITH THE FOLLOWING MINIMUM HEIGHT:

R311.7.2.1 HEIGHT. MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34 INCHES (864 MM) AND NOT MORE THAN 38 INCHES (965 MM).

NOTE: SEE SECTION 311.7.6 FOR EXCEPTIONS.

R311.7.2.2 HANDRAIL PROJECTION.

HANDRAILS SHALL NOT PROJECT MORE THAN 4 1/2 INCHES (114 MM) ON EITHER SIDE OF THE STAIRWAY.

NOTE: SEE SECTION 311.7.2.2 FOR EXCEPTIONS.

R311.7.3 HANDRAIL CLEARANCE.

HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES (38 MM) BETWEEN THE WALL AND THE HANDRAILS.

R311.7.4 CONTINUITY.

HANDRAILS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEVEL POSTS OR SAFETY TERMINALS AS A GUARD.

R311.7.5 GRIP SIZE.

REQUIRED HANDRAILS SHALL BE ONE OF THE FOLLOWING TYPES OR PROVIDE EQUIVALENT PERFORMANCE:

R311.7.6 EXTERIOR PLASTIC COMPOSITE HANDRAILS.

PLASTIC COMPOSITE EXTERIOR HANDRAILS SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R031.2.2.

R311.7.7 ILLUMINATION.

STAIRWAYS SHALL BE PROVIDED WITH ILLUMINATION IN ACCORDANCE WITH SECTION R303.7 AND R303.8.

R311.7.10 SPECIAL STAIRWAYS.

SPRINKLER STAIRWAYS AND BULKHEAD ENCLOSURE STAIRWAYS SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R031.7 EXCEPT AS SPECIFIED IN SECTIONS R311.7.10.1 AND R311.7.10.2.

R311.7.10.1 SPIRAL STAIRWAYS.

THE CLEAR WIDTH AT AND BELOW THE HANDRAILS AT SPIRAL STAIRWAYS SHALL BE NOT LESS THAN 20 INCHES (508 MM) AND THE WALKLINE RADIUS SHALL BE NOT GREATER THAN 24 1/2 INCHES (623 MM). EACH TREAD SHALL HAVE A DEPTH OF NOT LESS THAN 9 3/4 INCHES (248 MM) AT THE WALKLINE. TREADS SHALL BE IDENTICAL AND THE RISE SHALL BE NOT MORE THAN 4 1/2 INCHES (114 MM). HEADROOM SHALL BE NOT LESS THAN 6 FEET 8 INCHES (1982 MM).

R311.7.10.2 BULKHEAD ENCLOSURE STAIRWAYS.

STAIRWAYS SERVING BULKHEAD ENCLOSURES, NOT PART OF THE REQUIRED BUILDING EGRESS, PROVIDING ACCESS FROM THE OUTSIDE GRADE LEVEL TO THE BASEMENT SHALL BE EXEMPT FROM THE REQUIREMENTS OF SECTIONS R311.8 AND R311.7 WHERE THE HEIGHT FROM THE BASEMENT FINISHED FLOOR LEVEL TO GRADE ADJACENT TO THE STAIRWAY IS NOT MORE THAN 8 FEET (2438 MM) AND THE GRADE LEVEL OPENING TO THE FLOOR IS COVERED BY A BULKHEAD ENCLOSURE WITH Hinged DOORS OR SLIDING DOORS OR GATES.

R311.8 RAMPS.

R311.8.1 MAXIMUM SLOPE. RAMPS SERVING THE TOILETS DOOR REQUIRED BY SECTION R312.2 SHALL HAVE A SLOPE OF NOT MORE THAN 1 UNIT VERTICAL IN 12 UNITS HORIZONTAL (8.33 PERCENT SLOPE). OTHER RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1 UNIT VERTICAL IN 10 UNITS HORIZONTAL (10 PERCENT).

EXCEPTION: WHERE IT IS TECHNICALLY INFEASIBLE TO COMPLY BECAUSE OF SITE CONSTRAINTS, RAMPS SHALL HAVE A SLOPE OF NOT MORE THAN 1 UNIT VERTICAL IN 8 UNITS HORIZONTAL (12.5 PERCENT).

R311.8.2 LANDINGS REQUIRED.

THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH RAMP. WHERE DOORS OPEN ON RAMPS, AND WHERE RAMPS CHANGE DIRECTIONS, THE WIDTH OF THE LANDING PERPENDICULAR TO THE RAMP SLOPE SHALL BE NOT LESS THAN 36 INCHES (914 MM).

R311.8.3 HANDRAILS REQUIRED.

HANDRAILS SHALL BE PROVIDED ON NOT LESS THAN ONE SIDE OF RAMPS EXCEPT AS A PORT OF ONE UNIT VERTICAL IN 12 UNITS HORIZONTAL (8.33 PERCENT SLOPE).

R311.8.3.1 HEIGHT.

HANDRAIL HEIGHT, MEASURED ABOVE THE FINISHED SURFACE OF THE RAMP SLOPE, SHALL BE NOT LESS THAN 34 INCHES (864 MM) AND NOT MORE THAN 38 INCHES (965 MM).

R311.8.3.2 GRIP SIZE.

HANDRAILS ON RAMPS SHALL COMPLY WITH SECTION R311.7.5.

R311.8.3.3 CONTINUITY.

HANDRAILS WHERE REQUIRED ON RAMPS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE RAMP. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEVEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES (38 MM) BETWEEN THE WALL AND THE HANDRAILS.

SECTION R312: GUARDS AND WINDOW FALL PROTECTION

R312.1 GUARDS.

GUARDS SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.1.1 THROUGH R312.1.4.

R312.1.1 WHERE REQUIRED.

GUARDS SHALL BE PROVIDED FOR THOSE PORTIONS OF OPEN SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS AND LANDINGS, THAT ARE LOCATED MORE THAN 30 INCHES (762 MM) MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES (914 MM) TO THE EDGE OF THE OPEN SIDE. INSET SCREENING SHALL NOT BE CONSIDERED AS A GUARD.

R312.1.2 HEIGHT.

REQUIRED GUARDS AT OPEN SIDED WALKING SURFACES, INCLUDING STAIRS, PORCHES, BALCONIES OR LANDINGS, SHALL BE NOT LESS THAN 36 INCHES (914 MM) IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE OR THE LINE CONNECTING THE NOSINGS.

R312.1.3 OPENING LIMITATIONS.

REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4 INCHES (102 MM) IN DIAMETER.

R312.1.4 EXTERIOR PLASTIC COMPOSITE GUARDS.

PLASTIC COMPOSITE EXTERIOR GUARDS SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R031.4.

R312.2 WINDOW FALL PROTECTION.

WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R312.2.1 AND R312.2.2.

R312.2.1 WINDOW RAILS.

IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES (610 MM) ABOVE THE FINISHED FLOOR AND GREATER THAN 70 INCHES (1780 MM) ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW ON THE EXTERIOR OF THE BUILDING, THE OPERABLE WINDOW SHALL COMPLY WITH ONE OF THE FOLLOWING:

1. OPERABLE WINDOW OPENINGS WILL NOT ALLOW A 4-INCH-DIAMETER (102 MM) SPHERE TO PASS THROUGH WHERE THE OPENINGS ARE IN THEIR LARGEST OPENED POSITION.
2. OPERABLE WINDOWS ARE PROVIDED WITH WINDOW FALL PROTECTION DEVICES THAT COMPLY WITH ASTM F2090.
3. OPERABLE WINDOWS THAT ARE PROVIDED WITH WINDOW FALL PROTECTION DEVICES THAT COMPLY WITH SECTION R312.2.

R312.2.2 WINDOW OPENING CONTROL DEVICES.

WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE NET CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R312.1.

SECTION R313

AUTOMATIC FIRE SPRINKLER SYSTEMS

R313.1 TOWNHOUSE AUTOMATIC FIRE SPRINKLER SYSTEMS.

AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN TOWNHOUSES.

NOTE: SEE SECTION 313.1 FOR EXCEPTION.

R313.1.1 DESIGN AND INSTALLATION.

AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEMS FOR TOWNHOUSES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH SECTION 2009 OR NFPA 13D.

R313.1.3 HEIGHT.

THE SPRINKLER HEADS SHALL BE INSTALLED AT THE HEIGHT OF THE RAMP SLOPE, SHALL BE NOT LESS THAN 34 INCHES (864 MM) AND NOT MORE THAN 38 INCHES (965 MM).

R313.1.3.3 CONTINUITY.

HANDRAILS WHERE REQUIRED ON RAMPS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE RAMP. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEVEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES (38 MM) BETWEEN THE WALL AND THE HANDRAILS.

R313.2 DESIGN AND INSTALLATION.

RESIDENTIAL FIRE SPRINKLER SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH SECTION 2009 OR NFPA 13D.

SECTION R314 SMOKE ALARMS

R314.1 GENERAL.

SMOKE ALARMS SHALL COMPLY WITH NFPA 72 AND SECTION R314.

R314.1.1 LISTINGS.

SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 207; COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 208.

R314.2 WHERE REQUIRED.

SMOKE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH THIS SECTION.

R314.2.1 NEW CONSTRUCTION.

SMOKE ALARMS SHALL BE PROVIDED IN DWELLING UNITS.

R314.2.2 ALTERATIONS, REPAIRS AND ADDITIONS.

WHERE ALTERATIONS, REPAIRS OR ADDITIONS REQUIRE A PERMIT, EACH INDIVIDUAL DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS.

NOTE: SEE SECTION 314.2.2 FOR EXCEPTIONS.

R314.3 LOCATION.

SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:

1. IN EACH SLEEPING ROOM.
2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM. A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM.
3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS AND NOT INCLUDING CRAWL SPACES AND UNHABITABLE ATTICS, IN DWELLING OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS. A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
 4. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET (914 MM) HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY THIS SECTION.

R314.3.1 INSTALLATION NEAR COOKING APPLIANCES.

SMOKE ALARMS SHALL NOT BE INSTALLED IN THE FOLLOWING LOCATIONS UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM IN A LOCATION REQUIRED BY SECTION R314.3.

1. KITCHEN (SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 20 FEET (6096 MM) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE).
2. KITCHEN SMOKE ALARMS WITH AN ALARM-BLENDING SWITCH SHALL NOT BE INSTALLED LESS THAN 10 FEET (3048 MM) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
3. PHOTOELECTRIC SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 8 FEET (2438 MM) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.

R314.4 INTERCONNECTION.

WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT IN ACCORDANCE WITH SECTION R314.3, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. PHYSICAL INTERCONNECTION OF SMOKE ALARMS SHALL NOT BE REQUIRED WHERE LISTED WIRELESS ALARMS ARE INSTALLED AND ALL ALARMS SOUND UPON ACTIVATION OF ONE ALARM.

R314.5 COMBINATION ALARMS.

COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF SMOKE ALARMS.

R314.6 POWER SOURCE.

SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING. WHERE SUCH WIRING IS DERIVED FROM A COMMERCIAL SOURCE AND, WHERE PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION.

NOTE: SEE SECTION 314.6 FOR EXCEPTIONS.

R314.7 FIRE ALARM SYSTEMS.

FIRE ALARM SYSTEMS SHALL BE PERMITTED TO BE USED IN LIEU OF SMOKE ALARMS AND SHALL COMPLY WITH SECTION R314.7.1 THROUGH R314.7.4.

SECTION R315 CARBON MONOXIDE ALARMS

R315.1 GENERAL.

CARBON MONOXIDE ALARMS SHALL COMPLY WITH SECTION R315.

R315.1.1 LISTINGS.

CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 208; COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 204 AND UL 217.

R315.2 WHERE REQUIRED.

CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS R315.2.1 AND R315.2.2.

R315.2.1 NEW CONSTRUCTION.

FOR NEW CONSTRUCTION, CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN DWELLING UNITS WHERE EITHER OR BOTH OF THE FOLLOWING CONDITIONS EXIST:

1. THE DWELLING UNIT CONTAINS A FUEL-FIRED APPLIANCE.
2. THE DWELLING UNIT HAS AN ATTACHED GARAGE WITH AN OPENING THAT COMMUNICATES WITH THE DWELLING UNIT.

R315.2.2 ALTERATIONS, REPAIRS AND ADDITIONS.

WHERE ALTERATIONS, REPAIRS OR ADDITIONS REQUIRE A PERMIT OCCUR, THE INDIVIDUAL DWELLING UNIT SHALL BE EQUIPPED WITH CARBON MONOXIDE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS.

EXCEPTIONS:

NOTE: SEE SECTION 315.2.2 FOR EXCEPTIONS.

R315.3 LOCATION.

CARBON MONOXIDE ALARMS IN DWELLING UNITS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM. A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM.

R315.4 COMBINATION ALARMS.

COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF CARBON MONOXIDE ALARMS.

R315.5 INTERCONNECTIVITY.

WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT IN ACCORDANCE WITH SECTION R315.3, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. PHYSICAL INTERCONNECTION OF CARBON MONOXIDE ALARMS SHALL NOT BE REQUIRED WHERE LISTED WIRELESS ALARMS ARE INSTALLED AND ALL ALARMS SOUND UPON ACTIVATION OF ONE ALARM.

NOTE: SEE SECTION 315.5 FOR EXCEPTIONS.

R315.6 POWER SOURCE.

CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING. WHERE SUCH WIRING IS DERIVED FROM A COMMERCIAL SOURCE AND, WHERE PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION.

NOTE: SEE SECTION 315.6 FOR EXCEPTIONS.

R315.7 CARBON MONOXIDE DETECTION SYSTEMS.

CARBON MONOXIDE DETECTION SYSTEMS SHALL BE PERMITTED TO BE USED IN LIEU OF CARBON MONOXIDE ALARMS AND SHALL COMPLY WITH SECTIONS R314.6 THROUGH R314.8.

SECTION R321

ELEVATORS AND PLATFORM LIFTS

R321.1 ELEVATORS.

WHERE PROVIDED, PASSENGER ELEVATORS, LIMITED-USE AND LIMITED-MOBILITY ELEVATORS AND PLATFORM LIFTS AND ELEVATORS SHALL COMPLY WITH ASME A17.1 CSA B44.

SECTION R322

FLOOD-RESISTANT CONSTRUCTION

R322.1 GENERAL.

BUILDINGS AND STRUCTURES CONSTRUCTED IN WHOLE OR IN PART IN FLOOD HAZARD AREAS, INCLUDING A OR V ZONES AND COASTAL ZONES AS ESTABLISHED IN TABLE R301.2(1), AND SUBSTANTIAL IMPROVEMENT AND REPAIR OF SUBSTANTIAL DAMAGE OF BUILDINGS AND STRUCTURES IN FLOOD HAZARD AREAS, SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS CONTAINED IN THIS SECTION. BUILDINGS AND STRUCTURES THAT ARE LOCATED IN MORE THAN ONE FLOOD HAZARD AREA SHALL COMPLY WITH THE PROVISIONS ASSOCIATED WITH THE MOST RESTRICTIVE FLOOD HAZARD AREA. BUILDINGS AND STRUCTURES LOCATED IN WHOLE OR IN PART IN IDENTIFIED FLOODWAYS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ARTICLE 4.

R322.1.2 STRUCTURAL SYSTEMS.

STRUCTURAL SYSTEMS OF BUILDINGS AND STRUCTURES SHALL BE DESIGNED, CONNECTED AND ANCHORED TO RESIST FLOTATION, COLLAPSE OR PERMANENT LATERAL MOVEMENT DUE TO STRUCTURAL LOADS AND STRESSES FROM FLOODING EQUAL TO THE DESIGN FLOOD ELEVATION.

R322.1.3 FLOOD-RESISTANT CONSTRUCTION.

FOUNDATIONS AND STRUCTURES SPECIFIED IN AREAS PRONE TO FLOODING SHALL BE CONSTRUCTED BY METHODS AND PRACTICES THAT MINIMIZE FLOOD DAMAGE.

R322.1.4 ESTABLISHING THE DESIGN FLOOD ELEVATION.

THE DESIGN FLOOD ELEVATION SHALL BE USED TO DEFINE FLOOD HAZARD AREAS. AT A MINIMUM, THE DESIGN FLOOD ELEVATION SHALL BE THE HIGHER OF THE FOLLOWING:

1. THE BASE FLOOD ELEVATION AT THE DEPTH OF PEAK FLOODING OF FLOODING, INCLUDING WAVE HEIGHT, THAT HAS A 1 PERCENT (100-YEAR FLOOD) OR GREATER CHANCE OF BEING EQUALLED OR EXCEEDED IN ANY GIVEN YEAR.

R322.1.8 FLOOD RESISTANT MATERIALS.
BUILDING MATERIALS AND INSTALLATION METHODS USED FOR FLOORING AND INTERIOR AND EXTERIOR WALLS AND WALL COVERINGS BELOW THE ELEVATION REQUIRED IN SECTION R322.2 OR R322.3 SHALL BE FLOOD DAMAGE RESISTANT MATERIALS THAT CONFORM TO THE PROVISIONS OF FEMA 12-2.

SEE SECTION R322.2 FOR FLOOD HAZARD AREAS (INCLUDING A ZONES).

R322.2.2 ENCLOSED AREA BELOW DESIGN FLOOD ELEVATION
ENCLOSED AREAS, INCLUDING CRAWL SPACES, THAT ARE BELOW THE DESIGN FLOOD ELEVATION SHALL:
1. BE USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS OR STORAGE.
2. BE PROVIDED WITH FLOOD OPENINGS THAT MEET THE FOLLOWING CRITERIA AND ARE INSTALLED IN ACCORDANCE WITH SECTION R322.2.1 SECTIONS 2.1 THROUGH 2.3, AS WELL AS, SECTIONS:

R322.2.2.1 FOR INSTALLATION OF OPENINGS.
R322.2.3 FOUNDATION DESIGN AND CONSTRUCTION.
R322.2.4 TANKS.

R322.2.1 FOR INSTALLATION OF OPENINGS.
R322.2.3 FOUNDATION DESIGN AND CONSTRUCTION.
R322.2.4 TANKS.

REFER TO SECTION R322.3 FOR COASTAL HIGH HAZARD AREAS (INCLUDING V ZONES AND COASTAL A ZONES), WHERE DESIGNATED, INCLUDING:

- R322.3.1 LOCATION AND SITE PREPARATION
- R322.3.2 ELEVATION REQUIREMENTS
- R322.3.3 FOUNDATIONS
- R322.3.4 CONCRETE SLABS
- R322.3.5 WALLS BELOW DESIGN FLOOD ELEVATION
- R322.3.6 ENCLOSED AREAS BELOW DESIGN FLOOD ELEVATION
- R322.3.7 STARWAYS AND RAMPS
- R322.3.8 DECKS AND PORCHES
- R322.3.9 CONSTRUCTION DOCUMENTS
- R322.3.10 TANKS

R322.1.8 FLOOD-RESISTANT MATERIALS.
BUILDING MATERIALS AND INSTALLATION METHODS USED FOR FLOORING AND INTERIOR AND EXTERIOR WALLS AND WALL COVERINGS BELOW THE ELEVATION REQUIRED IN SECTION R322.2 OR R322.3 SHALL BE FLOOD DAMAGE RESISTANT MATERIALS THAT CONFORM TO THE PROVISIONS OF FEMA 12-2.

SEE SECTION R322.2 FOR FLOOD HAZARD AREAS (INCLUDING A ZONES).

R322.2.2 ENCLOSED AREA BELOW DESIGN FLOOD ELEVATION
ENCLOSED AREAS, INCLUDING CRAWL SPACES, THAT ARE BELOW THE DESIGN FLOOD ELEVATION SHALL:
1. BE USED SOLELY FOR PARKING OF VEHICLES, BUILDING ACCESS OR STORAGE.
2. BE PROVIDED WITH FLOOD OPENINGS THAT MEET THE FOLLOWING CRITERIA AND ARE INSTALLED IN ACCORDANCE WITH SECTION R322.2.1 SECTIONS 2.1 THROUGH 2.3, AS WELL AS, SECTIONS:

R322.2.2.1 FOR INSTALLATION OF OPENINGS.
R322.2.3 FOUNDATION DESIGN AND CONSTRUCTION.
R322.2.4 TANKS.

R322.2.1 FOR INSTALLATION OF OPENINGS.
R322.2.3 FOUNDATION DESIGN AND CONSTRUCTION.
R322.2.4 TANKS.

REFER TO SECTION R322.3 FOR COASTAL HIGH HAZARD AREAS (INCLUDING V ZONES AND COASTAL A ZONES), WHERE DESIGNATED, INCLUDING:

- R322.3.1 LOCATION AND SITE PREPARATION
- R322.3.2 ELEVATION REQUIREMENTS
- R322.3.3 FOUNDATIONS
- R322.3.4 CONCRETE SLABS
- R322.3.5 WALLS BELOW DESIGN FLOOD ELEVATION
- R322.3.6 ENCLOSED AREAS BELOW DESIGN FLOOD ELEVATION
- R322.3.7 STARWAYS AND RAMPS
- R322.3.8 DECKS AND PORCHES
- R322.3.9 CONSTRUCTION DOCUMENTS
- R322.3.10 TANKS

SECTION R323 STORM SHELTERS

R323.1 GENERAL.
THIS SECTION APPLIES TO STORM SHELTERS WHERE CONSTRUCTED AS SEPARATE, DETACHED BUILDINGS OR WHERE CONSTRUCTED AS SAFE ROOMS WITHIN BUILDINGS FOR THE PURPOSE OF PROVIDING REFUGE FROM STORMS THAT PRODUCE HIGH WINDS, SUCH AS TORNADOES AND HURRICANES. IN ADDITION TO OTHER APPLICABLE REQUIREMENTS IN THIS CODE, STORM SHELTERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ICC-ES E-602.

SECTION R326 SWIMMING POOLS, SPAS AND HOT TUBS

R326.1 GENERAL.
THE DESIGN AND CONSTRUCTION OF POOLS AND SPAS SHALL COMPLY.

CHAPTER 4 :: FOUNDATIONS

SECTION R401 GENERAL

R401.1 REQUIREMENTS.
FOUNDATION CONSTRUCTION SHALL BE CAPABLE OF ACCOMMODATING ALL LOADS IN ACCORDANCE WITH SECTION R501 AND OF TRANSMITTING THE RESULTING LOADS TO THE SUPPORTING SOIL. FILL SOILS THAT SUPPORT FOOTINGS AND FOUNDATIONS SHALL BE DESIGNED, INSTALLED AND TESTED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE.

R401.3 DRAINAGE.
SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL NOT FEWER THAN 6 INCHES (152 MM) WITHIN THE FIRST 10 FEET (3048 MM).

NOTE: SEE SECTION R401.3 FOR EXCEPTIONS

R401.4 SOIL TESTS

WHERE QUANTIFIABLE DATA CREATED BY ACCEPTED SOIL SCIENCE METHODOLOGIES INDICATE EXPANSIVE SOILS, COMPRESSIBLE SOILS, SHIFTING SOILS, OR OTHER QUESTIONABLE SOIL CHARACTERISTICS ARE LIKELY TO BE PRESENT, THE BUILDING OFFICIAL SHALL DETERMINE WHETHER TO REQUIRE A SOIL TEST TO DETERMINE THE SOIL'S CHARACTERISTICS AT A PARTICULAR LOCATION. THIS TEST SHALL BE DONE BY AN APPROVED AGENCY USING AN APPROVED METHOD.

SECTION R402 MATERIALS

R402.1 WOOD FOUNDATIONS.
WOOD FOUNDATION SYSTEMS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE.

R402.1.1 FASTENERS.
FASTENERS USED BELOW GRADE TO ATTACH PLYWOOD TO THE EXTERIOR SIDE OF EXTERIOR BASEMENT OR CRAWL SPACE WALL, STUDS, OR FASTENERS USED IN KNEE WALL CONSTRUCTION, SHALL BE OF TYPE 304 OR 316 STAINLESS STEEL. FASTENERS USED ABOVE GRADE TO ATTACH PLYWOOD AND ALL LUMBER-TOLUMBER FASTENERS EXCEPT THOSE USED IN KNEE WALL CONSTRUCTION SHALL BE OF TYPE 304 OR 316 STAINLESS STEEL, SILICON BRONZE, COPPER, HOT DIPPED GALVANIZED (ZINC COATED) STEEL NAILS, OR HOT-TUMBLE GALVANIZED (ZINC COATED) STEEL NAILS. ELECTRO-GALVANIZED STEEL NAILS AND GALVANIZED (ZINC COATED) STEEL STAPLES SHALL NOT BE PERMITTED.

R402.1.2 WOOD TREATMENT.
LUMBER AND PLYWOOD SHALL BE PRESURE-PRESERVATIVE TREATED AND DRIED AFTER TREATMENT IN ACCORDANCE WITH AWPA 11 (COMMODITY SPECIFICATION A, SPECIAL REQUIREMENT 4.2) AND SHALL BEAR THE LABEL OF AN ACCREDITED AGENCY. WHERE LUMBER OR PLYWOOD IS CUT OR DRILLED AFTER TREATMENT, THE TREATED SURFACE SHALL BE RE-TREATED WITH COPPER NAPHTHENATE. THE CONCENTRATION OF WHICH SHALL CONTAIN NOT LESS THAN 2 PERCENT COPPER METAL BY REPEATED BRUSHING, DIPPING OR SOAKING UNTIL THE WOOD CANNOT ABSORB MORE PRESERVATIVE.

R402.2 CONCRETE.
CONCRETE SHALL HAVE A MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF 3,000 PSI AS SHOWN IN TABLE R402.2. CONCRETE SUBJECT TO MODERATE OR SEVERE WEATHERING AS INDICATED IN TABLE R301.2(1) SHALL BE AIR ENTRAINMENT AS SPECIFIED IN TABLE R402.2. THE MAXIMUM WEIGHT OF FLY ASH, OTHER POZZOLAN, SILICA FUME, OR OTHER BLENDING AGENT THAT IS INCLUDED IN CONCRETE MIXTURES FOR GARAGE FLOOR SLABS AND FOR EXTERIOR PORCHES, CARPORT SLABS AND STEPS THAT ARE EXPOSED TO DEICING CHEMICALS SHALL NOT EXCEED THE PERCENTAGES OF THE TOTAL WEIGHT OF CEMENTITIOUS EXTERNALS SPECIFIED IN SECTION 19.3.1.4 OF ACI MATERIALS J USED TO PRODUCE CONCRETE AND TESTING THEREOF SHALL COMPLY WITH THE APPLICABLE STANDARDS LISTED IN CHAPTERS 19 AND 30 OF ACI 318 OR ACI 308.2 R402.2.1.

SECTION 403 FOOTINGS

R403.1 GENERAL.
ALL EXTERIOR WALLS SHALL BE SUPPORTED ON CONTINUOUS SOIL OR FILL/GRouted MASONRY OR CONCRETE FOOTINGS, CRUSHED STONE FOOTINGS, WOOD FOUNDATIONS, OR OTHER APPROVED STRUCTURAL SYSTEMS THAT SHALL BE OF SUFFICIENT DESIGN TO ACCOMMODATE ALL LOADS ACCORDING TO SECTION R501 AND TO TRANSMIT THE RESULTING LOADS TO THE SOIL WITHIN THE LIMITATIONS AS DETERMINED FROM THE CHARACTER OF THE SOIL. FOOTINGS SHALL BE SUPPORTED ON UNDISTURBED NATURAL SOILS OR ENGINEERED FILL. CONCRETE FOOTINGS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF SECTION R403 OR IN ACCORDANCE WITH ACI 318.

R403.1.1 MINIMUM SIZE.
THE MINIMUM WIDTH, W, AND THICKNESS, T, FOR CONCRETE FOOTINGS SHALL BE IN ACCORDANCE WITH TABLE R403.1(1). FOOTINGS R403.1(1) AND R403.1(2) SHALL BE NOT LESS THAN 2 INCHES (51 MM) AND SHALL NOT EXCEED THE THICKNESS OF THE FOOTING. FOOTING THICKNESS AND PROJECTION FOR FINISHES SHALL BE IN ACCORDANCE WITH SECTION R102.2. THE SIZE OF FOOTINGS SUPPORTING PERS AND COLUMNS SHALL BE BASED ON THE TRIBUTARY LOAD AND ALLOWABLE SOIL PRESSURE. IN ACCORDANCE WITH TABLE R403.1.1, FOOTINGS FOR WOOD FOUNDATIONS SHALL BE IN ACCORDANCE WITH THE DETAILS SET FORTH IN SECTION R403.1.2, FIGURES R403.1(2) AND R403.1(3). FOOTINGS FOR PRECAST CONCRETE SHALL BE IN ACCORDANCE WITH THE DETAILS SET FORTH IN SECTION R403.1.4, TABLE R403.1.4, AND FIGURES R403.1(4) AND R403.1(5).

REFER TO THESE SECTIONS FOR THE FOLLOWING TOPICS:

R403.1.2 CONTINUOUS FOOTING IN SEISMIC DESIGN CATEGORIES DR, D1 AND D2.
R403.1.3 INTERIOR BEARING AND GRACED WALL PANEL FOOTINGS IN SEISMIC DESIGN CATEGORIES DR, D1 AND D2.
R403.1.5 REINFORCEMENT.
R403.1.6 ISOLATED CONCRETE FOOTINGS.

R403.1.4 MINIMUM DEPTH.
EXTERIOR FOOTINGS SHALL BE PLACED NOT LESS THAN 12 INCHES (305 MM) BELOW THE UNDISTURBED GROUND SURFACE, WHERE APPLICABLE. THE DEPTH OF FOOTINGS R403.1.4.1 THROUGH R403.1.4.2.

R403.1.4.1 FROST PROTECTION.
EXCEPT WHERE OTHERWISE PROTECTED FROM FROST, FOUNDATION WALLS, PERS AND OTHER PERMANENT SUPPORTS OF BUILDINGS AND STRUCTURES SHALL BE PROTECTED FROM FROST BY ONE OR MORE OF THE FOLLOWING METHODS:
1. EXTENDED BELOW THE FROST LINE SPECIFIED IN TABLE R301.2 (1).
2. CONSTRUCTED IN ACCORDANCE WITH SECTION R403.3.
3. CONSTRUCTED IN ACCORDANCE WITH SECTION 4.2.
4. EXERCED NO SOLID ROCK.

FOOTINGS SHALL NOT BEAR ON FROZEN SOIL UNLESS THE FROZEN CONDITION IS PERMANENT.

NOTE: SEE SECTION R403.1.4.1 FOR EXCEPTIONS.

R403.1.5 SLOPE.
THE TOP SURFACE OF FOOTINGS SHALL BE LEVEL. THE BOTTOM SURFACE OF FOOTINGS SHALL NOT HAVE A SLOPE EXCEEDING ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL (10-PERCENT SLOPE). FOOTINGS SHALL BE STEPPED WHERE IT IS NECESSARY TO CHANGE THE ELEVATION OF THE TOP SURFACE OF THE FOOTINGS OR WHERE THE SLOPE OF THE BOTTOM SURFACE OF THE FOOTINGS WILL EXCEED ONE UNIT VERTICAL IN 10 UNITS HORIZONTAL (10-PERCENT SLOPE).

R403.1.6 FOUNDATION ANCHORAGE.
WOOD SOIL PLATES AND WOOD WALLS SUPPORTED DIRECTLY ON CONTINUOUS FOUNDATIONS SHALL BE ANCHORED TO THE FOUNDATION IN ACCORDANCE WITH SECTION 4.2.

COLD-FORMED STEEL FINISHING SHALL BE ANCHORED DIRECTLY TO THE FOUNDATION OR FASTENED TO WOOD SOIL PLATES IN ACCORDANCE WITH SECTION R503.3.1 OR R503.3.1.4, AS APPLICABLE. WOOD SOIL PLATES SUPPORTING FINISHING SHALL BE ANCHORED TO THE FOUNDATION IN ACCORDANCE WITH SECTION 4.2.

WOOD SOLE PLATES AT ALL EXTERIOR WALLS ON MONOLITHIC SLABS, WOOD SOLE PLATES OF BRICK OR WALL PANELS AT BUILDING INTERIORS ON MONOLITHIC SLABS AND ALL WOOD SOIL PLATES SHALL BE ANCHORED TO THE FOUNDATION WITH MINIMUM 1/2-INCH DIAMETER (12.7 MM) ANCHOR BOLTS SPACED NOT GREATER THAN 6 FEET (1829 MM) ON CENTER ON APPROVED ANCHORS OR ANCHOR STRAPS GRACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2-INCH DIAMETER (12.7 MM) ANCHOR BOLTS. BOLTS SHALL BE LOCATED IN THE MIDDLE THIRD OF THE WIDTH OF THE PLATE. A MUT AND GREATER SHALL BE TIGHTENED ON EACH ANCHOR BOLT. THERE SHALL BE NOT FEWER THAN TWO BOLTS PER PLATE SECTION WITH ONE BOLT LOCATED NOT MORE THAN 12 INCHES (305 MM) OR LESS THAN SEVEN BOLT DIAMETERS FROM EACH END OF THE PLATE SECTION. INTERIOR BEARING WALL SOLE PLATES ON MONOLITHIC SLAB FOUNDATION THAT ARE NOT PART OF A BRACED WALL PANEL SHALL BE POSITIVELY ANCHORED WITH APPROVED FASTENERS. SOIL PLATES AND SOLE PLATES SHALL BE PROTECTED AGAINST DEBRIS AND TERMITES WHERE REQUIRED BY SECTIONS R317 AND R318.

NOTE: SEE SECTION 403.1.6 FOR EXCEPTIONS

R403.1.6.1 FOUNDATION ANCHORAGE IN SEISMIC DESIGN CATEGORIES C, DR, D1 AND D2.

IN ADDITION TO THE REQUIREMENTS OF SECTION R403.1.6, THE FOLLOWING REQUIREMENTS SHALL APPLY TO WOOD LIGHT FRAME STRUCTURES IN SEISMIC DESIGN CATEGORIES DR, D1 AND D2 AND WOOD LIGHT-FRAME TOWNHUSES IN SEISMIC DESIGN CAT. C.

NOTE: SEE SECTION 403.1.6.1 FOR REQUIREMENTS

R403.1.7 FOOTINGS ON OR ADJACENT TO SLOPES.
THE PLACEMENT OF BUILDINGS AND STRUCTURES ON OR ADJACENT TO SLOPES STEEPER THAN ONE UNIT VERTICAL IN THREE UNITS HORIZONTAL (33.3 PERCENT SLOPE) SHALL CONFORM TO SECTIONS R403.1.7.1 THROUGH R403.1.7.4.

R403.1.8 FOUNDATIONS ON EXPANSIVE SOILS.
FOUNDATION AND FLOOR SLABS FOR BUILDINGS LOCATED ON AND DESIGN CRITERIA FOR WATER-PROOFING AND DAMP-PROOFING FOUNDATIONS INCLUDING THE FOLLOWING AREAS:

NOTE: SEE SECTION 403.1.8 FOR EXCEPTION AND EXPANSIVE SOILS CLASSIFICATIONS

R403.1.9 FOOTINGS FOR WOOD FOUNDATIONS.
WOOD FOUNDATIONS FOR WOOD FOUNDATIONS SHALL BE IN ACCORDANCE WITH FIGURES R403.1(1) AND R403.1(2). FINISHES SHALL BE WASHED AND WELL GRADED. THE MAXIMUM SIZE STONE SHALL NOT EXCEED 3/4 INCH (19.1 MM). GRAVEL SHALL BE FREE FROM ORGANIC, CLAY OR SILTY SOILS. SAND SHALL BE CRANE, NOT SMALLER THAN 1/16 INCH (1.6 MM) GRAINS AND SHALL BE FREE FROM ORGANIC, CLAY OR SILTY SOILS. CRUSHED STONE SHALL HAVE A MAXIMUM SIZE OF 1/2 INCH (12.7 MM).

R403.1.9.1 FROST-PROTECTED SHALLOW FOUNDATIONS.
FOR BUILDINGS WHERE THE MONTHLY MEAN TEMPERATURE OF THE BUILDING IS MAINTAINED AT NOT LESS THAN 54°F (15°C), FOOTINGS ARE NOT REQUIRED TO EXTEND BELOW THE FROST LINE WHERE PROTECTED FROM FROST BY INSULATION IN ACCORDANCE WITH FIGURE R403.3(1) AND TABLE R403.3(1). FOUNDATIONS PROTECTED FROM FROST IN ACCORDANCE WITH FIGURE R403.3(1) AND TABLE R403.3(1) SHALL NOT BE USED FOR UNHEATED SPACES SUCH AS PORCHES, UTILITY ROOMS, GARAGES AND CARPORTS, AND SHALL NOT BE ATTACHED TO BASEMENTS OR CRAWL SPACES THAT ARE NOT MAINTAINED AT A MINIMUM MONTHLY MEAN TEMPERATURE OF 54°F (15°C).

REFER TO SECTION 403 FOR THE FOLLOWING AREAS:

R403.1.9.2 FOUNDATIONS ADJOINING FROST-PROTECTED SHALLOW FOUNDATIONS.
R403.1.9.3 PROTECTION OF HORIZONTAL INSULATION BELOW GROUND.
R403.1.9.4 DRAINAGE.
R403.1.9.5 TERMITE PROTECTION.

R403.4 FOOTINGS FOR PRECAST CONCRETE FOUNDATIONS.
FOOTINGS FOR PRECAST CONCRETE FOUNDATIONS SHALL COMPLY WITH SECTION R403.4.

SECTION 404 FOUNDATION AND RETAINING WALLS

R404.1 CONCRETE AND MASONRY FOUNDATION WALLS.
REFER TO SECTION 404.1 FOR FURTHER SPECIFICATIONS, NOTES AND DESIGN CRITERIA FOR CONCRETE AND MASONRY FOUNDATION WALLS.

R404.2 WOOD FOUNDATION WALLS.
REFER TO SECTION 404.2 FOR FURTHER SPECIFICATIONS, NOTES AND DESIGN CRITERIA FOR WOOD FOUNDATION WALLS.

R404.3 WOOD SOIL PLATES.
WOOD SOIL PLATES SHALL BE NOT LESS THAN 2 INCH BY 4 INCH (51 MM BY 102 MM) NOMINAL LUMBER. SOIL PLATE ANCHORAGE SHALL BE IN ACCORDANCE WITH SECTIONS R403.1.6 AND R403.1.1.

R404.4 RETAINING WALLS.
RETAINING WALLS THAT ARE NOT EXTERNALLY SUPPORTED AT THE TOP AND THAT RETAIN IN EXCESS OF 48 INCHES (1219 MM) OF UNBALANCED FILL OR RETAINING WALLS EXCEEDING 24 INCHES (610 MM) IN HEIGHT THAT RESIST LATERAL LOADS IN ADDITION TO SOIL, SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE TO ENSURE STABILITY AGAINST OVERTURNING, SLIDING, EXCESSIVE FOUNDATION PRESSURE AND WATER UPLIFT. RETAINING WALLS SHALL BE DESIGNED FOR A SAFETY FACTOR OF 1.5 AGAINST LATERAL SLIDING AND OVERTURNING. THIS SECTION SHALL NOT APPLY TO FOUNDATION WALLS SUPPORTING BUILDINGS.

R404.5 PRECAST CONCRETE FOUNDATION WALLS.
REFER TO SECTION 404.5 FOR FURTHER SPECIFICATIONS, NOTES AND DESIGN CRITERIA FOR PRECAST CONCRETE FOUNDATION WALLS.

SECTION R405 FOUNDATION DRAINAGE

R405.1 CONCRETE OR MASONRY FOUNDATIONS.
DRAINS SHALL BE PROVIDED AROUND CONCRETE OR MASONRY FOUNDATIONS THAT WILL DRAIN WATER AND EXCESSIVE HUMIDITY FROM UNHEATED SPACES LOCATED BELOW GRADE. DRAINAGE TILES, GRAVEL OR CRUSHED STONE DRAINS, PERFORATED PIPE OR OTHER APPROVED SYSTEMS OR MATERIALS SHALL BE INSTALLED ON TOP OR BELOW THE TOP OF THE FOOTING OR BELOW THE BOTTOM OF THE SLAB AND SHALL BE PROTECTED BY GRAVEL OR MECHANICAL MEANS INTO AN APPROVED DRAINAGE SYSTEM. GRAVEL OR CRUSHED STONE DRAINS SHALL EXTEND NOT LESS THAN 1 FOOT (305 MM) BEYOND THE OUTSIDE EDGE OF THE FOOTING AND 6 INCHES (152 MM) ABOVE THE TOP OF THE FOOTING AND BE COVERED WITH AN APPROVED FILTER MEMBRANE MATERIAL. THE TOP OF OPEN JOINTS OF DRAIN TILES SHALL BE PROTECTED WITH STRIPS OF BUILDING PAPER. EXCEPT WHERE OTHERWISE RECOMMENDED BY THE DRAIN MANUFACTURER, PERFORATED DRAINS SHALL BE SURROUNDED WITH AN APPROVED FILTER MEMBRANE OR THE FILTER MEMBRANE SHALL COVER THE WASHED GRAVEL OR CRUSHED ROCK COVERING THE DRAIN. DRAINAGE TILES OR PERFORATED PIPE SHALL BE PLACED ON NOT LESS THAN 2 INCHES (51 MM) OF WASHED GRAVEL OR CRUSHED ROCK NOT LESS THAN ONE SIZE LARGER THAN THE TILE JOINT OPENING OR PERFORATION AND COVERED WITH NOT LESS THAN 6 INCHES (152 MM) OF THE SAME MATERIAL.

NOTE: SEE SECTION 405 FOR FURTHER SPECIFICATIONS, NOTES AND DESIGN CRITERIA FOR PRECAST CONCRETE FOUNDATION WALLS

SECTION R406 FOUNDATION WATER PROOFING AND DAMP PROOFING

REFER TO SECTION 406 FOR FURTHER SPECIFICATIONS, NOTES AND DESIGN CRITERIA FOR WATER-PROOFING AND DAMP-PROOFING FOUNDATIONS INCLUDING THE FOLLOWING AREAS:

R406.1 CONCRETE AND MASONRY FOUNDATION DAMP-PROOFING.
R406.2 CONCRETE AND MASONRY FOUNDATION WATER-PROOFING.
R406.3 DAMP-PROOFING FOR WOOD FOUNDATIONS.
R406.4 PRECAST CONCRETE FOUNDATION SYSTEM DAMP-PROOFING.

SECTION R407 COLUMNS

REFER TO SECTION 407 FOR FURTHER SPECIFICATIONS, NOTES AND DESIGN CRITERIA FOR COLUMNS INCLUDING THE FOLLOWING AREAS:

R407.1 WOOD COLUMN PROTECTION.
R407.2 STEEL COLUMN PROTECTION.
R407.3 STRUCTURAL REQUIREMENTS.

SECTION R408 UNDER-FLOOR SPACE

REFER TO SECTION 408 FOR FURTHER SPECIFICATIONS, NOTES AND DESIGN CRITERIA FOR UNDER-FLOOR SPACE, INCLUDING THE FOLLOWING AREA:

R408.1 VENTILATION.
R408.2 OPENINGS FOR UNDER-FLOOR VENTILATION.
R408.3 UNVENTED CRAWL SPACE.
R408.4 ACCESS.
R408.5 REMOVAL OF DEBRIS.
R408.6 FINISHED GRADE.
R408.7 FLOOD RESISTANCE.

CHAPTER 5 :: FLOORS

SECTION R501 GENERAL

R501.1 APPLICATION.
THE PROVISIONS OF THIS CHAPTER SHALL CONTROL THE DESIGN AND CONSTRUCTION OF THE FLOORING OF BUILDINGS, INCLUDING THE FLOORS OF ATTIC SPACES USED TO HOUSE MECHANICAL OR PLUMBING FIXTURES AND EQUIPMENT.

R501.2 REQUIREMENTS.

FLOOR CONSTRUCTION SHALL BE CAPABLE OF ACCOMMODATING ALL LOADS IN ACCORDANCE WITH SECTION R501 AND OF TRANSMITTING THE RESULTING LOADS TO THE SUPPORTING STRUCTURAL ELEMENTS.

SECTION R502 WOOD FLOOR FRAMING

R502.1 GENERAL.
WOOD AND WOOD-BASED PRODUCTS USED FOR LOAD-SUPPORTING PURPOSES SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THIS SECTION. SEE SECTIONS 502.1.1 THROUGH 502.1.7 FOR FURTHER SPECIFICATIONS.

R502.2 DESIGN AND CONSTRUCTION.
FLOORS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CHAPTER, FIGURE R502.2 AND SECTIONS R501 AND R518 OR IN ACCORDANCE WITH ANSI AWC 601. SEE SECTIONS 502.2.1 THROUGH 502.2.2 FOR FURTHER SPECIFICATIONS.

R502.3 ALLOWABLE JOIST SPANS.
SPANS FOR FLOOR JOISTS SHALL BE IN ACCORDANCE WITH TABLES R502.3.1(1) AND R502.3.1(2). FOR OTHER GRADES AND SPECIES AND FOR OTHER LOADING CONDITIONS, REFER TO THE AWC 601. SEE SECTIONS 502.3.1 THROUGH 502.3.3 FOR FURTHER SPECIFICATIONS.

R502.4 JOISTS UNDER BEARING PARTITIONS.
JOISTS UNDER PARALLEL BEARING PARTITIONS SHALL BE OF ADEQUATE SIZE TO SUPPORT THE LOAD DOUBLE JOISTS. SIZED TO ADEQUATELY SUPPORT THE LOAD, THAT ARE SEPARATED TO PERMIT THE INSTALLATION OF PIPING OR VENTS SHALL BE FULL DEPTH SOLID BLOODED WITH LUMBER NOT LESS THAN 2 INCHES (51 MM) IN NOMINAL THICKNESS SPACED NOT MORE THAN 2 FEET (610 MM) ON CENTER. BEARING PARTITIONS PERPENDICULAR TO JOISTS SHALL NOT BE OFFSET FROM SUPPORTING ORDERS. WALLS OR PARTITIONS MORE THAN THE JOIST DEPTH UNLESS SUCH JOISTS ARE OF SUFFICIENT SIZE TO CARRY THE ADDITIONAL LOAD.

R502.5 ALLOWABLE ORDER AND HEAD R SPANS.
THE ALLOWABLE SPANS OF ORDERS AND HEADERS FABRICATED OF DIMENSION LUMBER SHALL NOT EXCEED THE VALUES SET FORTH IN TABLES R502.5(1), R502.5(2) AND R502.5(3).

R502.6 BEARING.
THE ENDS OF EACH JOIST, BEAM OR ORDER SHALL HAVE NOT LESS THAN 1 1/2 INCHES (38 MM) OF BEARING ON MASONRY OR CONCRETE THAT IS SUPPORTED BY APPROVED JOIST HANGERS. ALTERNATIVELY, THE ENDS OF JOISTS SHALL BE SUPPORTED ON A 1-INCH BY 4-INCH (25 MM BY 102 MM) REDWOOD STRIP AND SHALL BE NAILLED TO THE ADJACENT STUD. THE BEARING ON MASONRY OR CONCRETE SHALL BE DIRECT, OR A SOIL PLATE OF 2-INCH-NOMINAL (51 MM) NOMINAL THICKNESS SHALL BE PROVIDED UNDER THE JOIST, BEAM OR ORDER. THE SOIL PLATE SHALL PROVIDE A MINIMUM NOMINAL BEARING AREA OF 48 SQUARE INCHES (3080 MM²). SEE SECTIONS 502.6.1 THROUGH 502.6.2 FOR FURTHER SPECIFICATIONS.

REFER TO THE IRC FOR FURTHER INFORMATION ON THE FOLLOWING AREAS:

- R502.7 LATERAL RESTRAINT AT SUPPORTS.
- R502.8 CUTTING, DRILLING AND NOTCHING.
- R502.9 FASTENING.
- R502.10 FRAMING OF OPENINGS.
- R502.11 WOOD TRUSSES.
- R502.12 SHARP TYPING REQUIRED.
- R502.13 FIRELOCKING REQUIRED.

REFER TO THE IRC FOR THE FOLLOWING SECTIONS:

SECTION 503 FLOOR SHEATHING
SECTION 504 FLOOR SURFACE FINISHES
SECTION 505 COLD-FORMED STEEL FLOOR FRAMING

SECTION R506 CONCRETE FLOORS (ON GROUND)

R506.1 GENERAL.
CONCRETE SLAB ON GROUND FLOORS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS SECTION OR ACI 302.2. FLOORING SHALL BE A MINIMUM 3 1/2 INCHES (89 MM) THICK FOR EXPANSIVE SOILS. SEE SECTION R403.1.6. THE SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE SHALL BE AS SET FORTH IN SECTION R402.2.

R506.2 SITE PREPARATION.
THE AREA WITHIN THE FOUNDATION WALLS SHALL HAVE ALL VEGETATION, TOP SOIL AND FOREIGN MATERIAL REMOVED.

R506.2.1 FILL.
FILL MATERIAL SHALL BE FREE OF VEGETATION AND FOREIGN MATERIAL. THE FILL SHALL BE COMPACTED TO ENSURE UNIFORM SUPPORT OF THE SLAB, AND EXCEPT WHERE APPROVED, THE FILL DEPTHS SHALL NOT EXCEED 6 INCHES (152 MM) FOR CLEAN SAND OR GRAVEL AND 8 INCHES (203 MM) FOR EARTH.

DREAM HOME DESIGNS			
SCALE	DATE	APPROVED	DRAWN BY
1/8" = 1'-0"	UNO		EROLLOMAN
DATE	JULY 25, 2020		JULY 25, 2020
A NEW DUPLEX FOR POOVIN PILLAY 2317 PEACHTREE STREET - KNOXVILLE, TENNESSEE			
2018 IRC REQUIREMENTS			

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R902.2 BASE.
A 1/4-INCH (6.35 MM) DIAM. COURSE CONSISTING OF CLEAN GRAVEL SAND, GRAVEL, CRUSHED STONE, CRUSHED CONCRETE OR CRUSHED BLAST FURNACE SLAG PASSING A 2 INCH (51 MM) SIEVE SHALL BE PLACED ON THE PREPARED SUBGRADE WHERE THE SLAB IS BELOW GRADE.

NOTE: SEE SECTION 900.2.2 FOR EXCEPTION

R902.3 VAPOR RETARDER.
A 6 MILS (0.15 MM) POLYETHYLENE OR APPROVED VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES (152 MM) SHALL BE PLACED BETWEEN THE CONCRETE FLOOR SLAB AND THE BASE COURSE OR THE PREPARED SUBGRADE WHERE A BASE COURSE DOES NOT EXIST.

NOTE: SEE SECTION 900.2.3 FOR EXCEPTIONS

R902.4 REINFORCEMENT SURROUND.
WHERE PROVIDED IN SLABS ON GROUND, REINFORCEMENT SHALL BE CONCRETE TO REMAIN IN PLACE FROM THE CENTER TO UPPER ONE-THIRD OF THE SLAB FOR THE DURATION OF THE SUPPORTED PLACEMENT.

SECTION R507 DECKS

R507.1 DECKS.
WOOD-FRAMED DECKS SHALL BE IN ACCORDANCE WITH THIS SECTION. FOR DECKS USING MATERIALS AND CONDITIONS NOT PRESCRIBED IN THIS SECTION, REFER TO SECTION R508.

R507.2 MATERIALS.
MATERIALS FOR THE CONSTRUCTION OF DECKS SHALL COMPLY WITH THIS SECTION.

R507.2.1 WOOD MATERIALS.
WOOD MATERIALS SHALL BE NO. 2 GRADE OR BETTER LUMBER (PRESERVATIVE-TREATED IN ACCORDANCE WITH SECTION R517, OR APPROVED, NATURALLY DURABLE LUMBER) AND TRIMITE, PROVIDED WHERE REQUIRED IN ACCORDANCE WITH SECTION R316. WHERE DESIGNATED BY SECTION R507.2.1, UNLESS OTHERWISE PROVIDED, WOOD STRUCTURAL MEMBERS SHALL BE DESIGNATED USING THE WET SERVICE FACTOR DEFINED IN AWC NDS, CUTS, NOTCHES, AND DRILLED HOLES OF PRESERVATIVE-TREATED WOOD MEMBERS SHALL BE TREATED IN ACCORDANCE WITH SECTION R517.1. ALL PRESERVATIVE-TREATED WOOD PRODUCTS IN CONTACT WITH THE GROUND SHALL BE LABELED FOR SUCH USE.

R507.2.1.1 ENGINEERED WOOD PRODUCTS.
ENGINEERED WOOD PRODUCTS SHALL BE IN ACCORDANCE WITH SECTION R502.

R507.2.2 PLASTIC COMPOSITE DECK BOARDING, STAIR TREADS, GUARDS, OR HANDRAILS.
PLASTIC COMPOSITE EXTERIOR DECK BOARDING, STAIR TREADS, GUARDS AND HANDRAILS SHALL COMPLY WITH THE REQUIREMENTS OF ASTM D7052 AND SECTION R507.3. SEE SECTIONS R507.2.1 THROUGH R507.2.3 AND SECTIONS R507.2.3 THROUGH R507.2.4 FOR FURTHER SPECIFICATIONS.

R507.2.3 FASTENERS AND CONNECTORS.
METAL FASTENERS AND CONNECTORS USED FOR ALL DECKS SHALL BE IN ACCORDANCE WITH SECTION R317.3 AND TABLE R307.3.3.

R507.3 FOOTINGS.
REFER TO THE IRC FOR INFORMATION REGARDING FOOTINGS.

R507.4 DECK POSTS.
FOR SINGLE LEVEL WOOD-FRAMED DECKS WITH BEAMS SIZED IN ACCORDANCE WITH TABLE R507.4, DECK POST SIZE SHALL BE IN ACCORDANCE WITH TABLE R507.4.

R507.4.1 DECK POST TO FOOTING CONNECTION.
WHERE POSTS BEAR ON CONCRETE, FOOTINGS IN ACCORDANCE WITH SECTION R603 AND FIGURE R507.4.1, LATERAL RESTRAINT SHALL BE PROVIDED BY MANUFACTURED CONCRETE OR A MINIMUM POST EMBEDMENT OF 12 INCHES (305 MM) IN SURROUNDING SOILS OR CONCRETE PIERS. OTHER FOOTING SYSTEMS SHALL BE PERMITTED.

NOTE: SEE SECTION R507.4.1 FOR EXCEPTIONS

R507.5 DECK BEAMS.
MAXIMUM ALLOWABLE SPANS FOR WOOD DECK BEAMS, AS SHOWN IN FIGURE R507.5, SHALL BE IN ACCORDANCE WITH TABLE R507.5. BEAM PILES SHALL BE FASTENED WITH TWO ROWS OF 10D (3/8 INCH X 0.125-INCH) NAILS MINIMUM AT 18 INCHES (450 MM) ON CENTER ALONG EACH EDGE. BEAMS SHALL BE PERMITTED TO CANTILEVER AT EACH END UP TO ONE-FOURTH OF THE ALLOWABLE BEAM SPAN. DECK BEAMS OF OTHER MATERIALS SHALL BE PERMITTED WHERE DESCRIBED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICES.

R507.7 DECKING.
MAXIMUM ALLOWABLE SPACING FOR JOISTS SUPPORTING DECKING SHALL BE IN ACCORDANCE WITH TABLE R507.7. WOOD DECKING SHALL BE ATTACHED TO EACH SUPPORTING MEMBER WITH NOT LESS THAN TWO 3D THREADED NAILS OR TWO NO. 8 WOOD SCREWS, OTHER APPROVED DECKING OR FASTENING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION REQUIREMENTS.

R507.8 VERTICAL AND LATERAL SUPPORTS.
WHERE SUPPORTED BY ATTACHMENT TO AN EXTERIOR WALL, DECKS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE AND DESIGNED FOR BOTH VERTICAL AND LATERAL LOADS. SUCH ATTACHMENT SHALL NOT BE ACCOMPLISHED BY THE USE OF TOWELS OR WALLS SUBJECT TO WITHDRAWAL. FOR DECKS WITH CANTILEVER FRAMING MEMBERS, CONNECTION TO EXTERIOR WALLS OR OTHER FRAMING MEMBERS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST UPLIFT RESULTING FROM THE FULL LOAD SPECIFIED IN TABLE R501.5.2 ACTING ON THE CANTILEVERED PORTION OF THE DECK. WHERE POSITIVE CONNECTION TO THE PRIMARY BUILDING STRUCTURE CANNOT BE VERIFIED DURING INSPECTION, DECKS SHALL BE SELF-SUPPORTING.

R507.8.1 DECK POST TO DECK FOOTING.
POSTS SHALL BEAR ON FOOTINGS IN ACCORDANCE WITH SECTION R603 AND FIGURE R507.8.1. POSTS SHALL BE RESTRAINED TO PREVENT LATERAL DISPLACEMENT AT THE BOTTOM SUPPORT. SUCH LATERAL RESTRAINT SHALL BE PROVIDED BY MANUFACTURED CONNECTORS INSTALLED IN ACCORDANCE WITH SECTION R507.4 AND THE MANUFACTURER'S INSTRUCTIONS OR A MINIMUM POST EMBEDMENT OF 12 INCHES (305 MM) IN SURROUNDING SOILS OR CONCRETE PIERS.

CHAPTER 6 :: WALL CONSTRUCTION

SECTION R601 GENERAL

R601.1 APPLICATION.
THE PROVISIONS OF THIS CHAPTER SHALL CONTROL THE DESIGN AND CONSTRUCTION OF WALLS AND PARTITIONS FOR BUILDINGS.

R601.2 REQUIREMENTS.
WALL CONSTRUCTION SHALL BE CAPABLE OF ACCOMMODATING ALL LOADS IMPOSED IN ACCORDANCE WITH SECTION R301 AND OF TRANSMITTING THE RESULTING LOADS TO THE SUPPORTING STRUCTURAL ELEMENTS.

SECTION R602 WOOD WALL FRAMING

R602.1 GENERAL.
WOOD AND WOOD-BASED PRODUCTS USED FOR LOAD SUPPORTING PURPOSES SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THIS SECTION. SEE SECTIONS 602.1.1 THROUGH 602.1.3 FOR FURTHER SPECIFICATIONS.

R602.2 GRADE.
STUDS SHALL BE A MINIMUM NO. 3 STANDARD OR STUD GRADE LUMBER.

NOTE: SEE SECTION 602.2.2 FOR EXCEPTION

R602.3 DESIGN AND CONSTRUCTION.
EXTERIOR WALLS OF WOODFRAME CONSTRUCTION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CHAPTER AND FIGURES R602.3.1 AND R602.3.2, OR IN ACCORDANCE WITH AWC NDS. COMPONENTS OF EXTERIOR WALLS SHALL BE FASTENED IN ACCORDANCE WITH TABLE R602.3.1(1) THROUGH R602.3.1(4). WALL SHEATHING SHALL BE FASTENED DIRECTLY TO FRAMING MEMBERS AND, WHERE PLACED ON THE EXTERIOR SIDE OF AN EXTERIOR WALL, SHALL BE CAPABLE OF RESISTING THE WIND PRESSURES LISTED IN TABLE R301.2(2). ADJUSTED FOR HEIGHT AND EXPOSURE USING TABLE R301.2(3) AND SHALL CONFORM TO THE REQUIREMENTS OF TABLE R602.3.3. WALL SHEATHING USED ONLY FOR EXTERIOR WALL COVERING PURPOSES SHALL COMPLY WITH SECTION R507.3. STUDS SHALL BE CONTINUOUS FROM SUPPORT AT THE SOLE PLATE TO A SUPPORT AT THE TOP PLATE TO RESIST LOADS PERPENDICULAR TO THE WALL. THE SUPPORT SHALL BE FOUNDATION OR FLOOR, CEILING OR ROOF DIAPHRAGM OR SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE.

NOTE: SEE SECTION 602.3.3 FOR EXCEPTION

R602.3.1 FASTENERS.
SEE SECTIONS 602.3.1 THROUGH 602.3.5 FOR FURTHER SPECIFICATIONS.

REFER TO THE IRC FOR FURTHER INFORMATION ON THE FOLLOWING AREAS:

R602.3.2 DESIGN AND CONSTRUCTION.
EXTERIOR WALLS OF WOODFRAME CONSTRUCTION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CHAPTER AND FIGURES R602.3.1 AND R602.3.2, OR IN ACCORDANCE WITH AWC NDS. COMPONENTS OF EXTERIOR WALLS SHALL BE FASTENED IN ACCORDANCE WITH TABLE R602.3.1(1) THROUGH R602.3.1(4). WALL SHEATHING SHALL BE FASTENED DIRECTLY TO FRAMING MEMBERS AND, WHERE PLACED ON THE EXTERIOR SIDE OF AN EXTERIOR WALL, SHALL BE CAPABLE OF RESISTING THE WIND PRESSURES LISTED IN TABLE R301.2(2). ADJUSTED FOR HEIGHT AND EXPOSURE USING TABLE R301.2(3) AND SHALL CONFORM TO THE REQUIREMENTS OF TABLE R602.3.3. WALL SHEATHING USED ONLY FOR EXTERIOR WALL COVERING PURPOSES SHALL COMPLY WITH SECTION R507.3. STUDS SHALL BE CONTINUOUS FROM SUPPORT AT THE SOLE PLATE TO A SUPPORT AT THE TOP PLATE TO RESIST LOADS PERPENDICULAR TO THE WALL. THE SUPPORT SHALL BE FOUNDATION OR FLOOR, CEILING OR ROOF DIAPHRAGM OR SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE.

NOTE: SEE SECTION 602.3.3 FOR EXCEPTION

R602.3.4 FASTENERS.
SEE SECTIONS 602.3.1 THROUGH 602.3.5 FOR FURTHER SPECIFICATIONS.

REFER TO THE IRC FOR FURTHER INFORMATION ON THE FOLLOWING AREAS:

R602.3.5 FASTENERS.
SEE SECTIONS 602.3.1 THROUGH 602.3.5 FOR FURTHER SPECIFICATIONS.

R602.4 WALL BRACING.
STUDS SHALL BE BRACED IN ACCORDANCE WITH THIS SECTION OR, WHEN APPLICABLE, SECTION R602.12 WHERE A BUILDING OR PORTION THEREOF DOES NOT COMPLY WITH ONE OR MORE OF THE BRACING REQUIREMENTS IN THIS SECTION. THOSE PORTIONS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH SECTION R301.1.

REFER TO SECTIONS 602.10.1 THROUGH 602.10.12 FOR BRACED WALL PANELS, DESIGN AND CRITERIA.

REFER TO THE IRC FOR THE FOLLOWING SECTIONS:

SECTION 603 COLD-FORMED STEEL WALL FRAMING
SECTION 604 WOOD STRUCTURAL PANELS
SECTION 605 PARTICLEBOARD
SECTION 606 GENERAL MASONRY CONSTRUCTION
SECTION 607 MASONRY CONSTRUCTION
SECTION 608 EXTERIOR CONCRETE WALL CONSTRUCTION
SECTION 609 INSULATION
SECTION 610 STRUCTURAL INSULATED PANEL WALL CONSTRUCTION

SECTION R609 EXTERIOR WINDOWS AND DOORS.

R609.1 GENERAL.
THIS SECTION GOVERNS THE PERFORMANCE AND CONSTRUCTION REQUIREMENTS FOR EXTERIOR WINDOWS AND DOORS INSTALLED IN WALLS. WINDOWS AND DOORS SHALL BE INSTALLED AND FLASHED IN ACCORDANCE WITH THE FINISHING MANUFACTURER'S WRITTEN INSTRUCTIONS. WINDOW AND DOOR OPENINGS SHALL BE FLASHED IN ACCORDANCE WITH SECTION R703.4. WRITTEN INSTALLATION INSTRUCTIONS SHALL BE PROVIDED BY THE FINISHING MANUFACTURER FOR EACH WINDOW OR DOOR.

R609.2 PERFORMANCE.
EXTERIOR WINDOWS AND DOORS SHALL BE CAPABLE OF RESISTING THE DESIGN WIND LOADS SPECIFIED IN TABLE R301.2(2), ADJUSTED FOR HEIGHT AND EXPOSURE IN ACCORDANCE WITH TABLE R301.2(3) OR SET LISTED IN ACCORDANCE WITH AWC NDS. DESIGN WIND PRESSURES DETERMINED FROM AWC NDS USING THE ULTIMATE STRENGTH DESIGN (USD) ARE PERMITTED TO BE MULTIPLIED BY 0.8. DESIGN WIND LOADS FOR EXTERIOR WALLS NOT PART OF A LABELED ASSEMBLY SHALL BE PERMITTED TO BE DETERMINED IN ACCORDANCE WITH CHAPTER 24 OF THE IRC. DESIGN WIND LOADS FOR EXTERIOR GLAZING NOT PART OF A LABELED ASSEMBLY SHALL BE PERMITTED TO BE DETERMINED IN ACCORDANCE WITH CHAPTER 24 OF THE IRC. STRUCTURAL EXTERIOR WALLS.

R609.3 GARAGE DOORS.
GARAGE DOORS SHALL BE TESTED IN ACCORDANCE WITH EITHER R502.2 OR R503.3. REQUIRED DESIGN WIND PRESSURES DETERMINED FROM AWC NDS USING THE ULTIMATE STRENGTH DESIGN (USD) ARE PERMITTED TO BE MULTIPLIED BY 0.8. DESIGN WIND LOADS FOR EXTERIOR WALLS NOT PART OF A LABELED ASSEMBLY SHALL BE PERMITTED TO BE DETERMINED IN ACCORDANCE WITH CHAPTER 24 OF THE IRC. STRUCTURAL EXTERIOR WALLS.

R609.4 GARAGE DOORS.
GARAGE DOORS SHALL BE TESTED IN ACCORDANCE WITH EITHER R502.2 OR R503.3. REQUIRED DESIGN WIND PRESSURES DETERMINED FROM AWC NDS USING THE ULTIMATE STRENGTH DESIGN (USD) ARE PERMITTED TO BE MULTIPLIED BY 0.8. DESIGN WIND LOADS FOR EXTERIOR WALLS NOT PART OF A LABELED ASSEMBLY SHALL BE PERMITTED TO BE DETERMINED IN ACCORDANCE WITH CHAPTER 24 OF THE IRC. STRUCTURAL EXTERIOR WALLS.

CHAPTER 7 :: INTERIOR COVERING

R702.1 GENERAL.
INTERIOR COVERINGS OR WALL FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THIS CHAPTER AND TABLE R702.1(1). TABLE R702.1(2), TABLE R702.1(3), TABLE R702.1(4), TABLE R702.1(5), AND TABLE R702.1(6) SHALL COMPLY WITH THE REQUIREMENTS OF SECTION R702.1.1 FOR SUPPORT AND SECTION R702.1.2 FOR ANCHORAGE. EXCEPT AN ANCHOR IS NOT REQUIRED. INTERIOR FINISHES AND MATERIALS SHALL CONFORM TO THE FLAME SPREAD AND SMOKE DEVELOPMENT REQUIREMENTS OF SECTION R702.1.1.

R702.2 GRADE.
STUDS SHALL BE A MINIMUM NO. 3 STANDARD OR STUD GRADE LUMBER.

NOTE: SEE SECTION 602.2.2 FOR EXCEPTION

R702.3 DESIGN AND CONSTRUCTION.
EXTERIOR WALLS OF WOODFRAME CONSTRUCTION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CHAPTER AND FIGURES R602.3.1 AND R602.3.2, OR IN ACCORDANCE WITH AWC NDS. COMPONENTS OF EXTERIOR WALLS SHALL BE FASTENED IN ACCORDANCE WITH TABLE R602.3.1(1) THROUGH R602.3.1(4). WALL SHEATHING SHALL BE FASTENED DIRECTLY TO FRAMING MEMBERS AND, WHERE PLACED ON THE EXTERIOR SIDE OF AN EXTERIOR WALL, SHALL BE CAPABLE OF RESISTING THE WIND PRESSURES LISTED IN TABLE R301.2(2). ADJUSTED FOR HEIGHT AND EXPOSURE USING TABLE R301.2(3) AND SHALL CONFORM TO THE REQUIREMENTS OF TABLE R602.3.3. WALL SHEATHING USED ONLY FOR EXTERIOR WALL COVERING PURPOSES SHALL COMPLY WITH SECTION R507.3. STUDS SHALL BE CONTINUOUS FROM SUPPORT AT THE SOLE PLATE TO A SUPPORT AT THE TOP PLATE TO RESIST LOADS PERPENDICULAR TO THE WALL. THE SUPPORT SHALL BE FOUNDATION OR FLOOR, CEILING OR ROOF DIAPHRAGM OR SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE.

NOTE: SEE SECTION 602.3.3 FOR EXCEPTION

R702.3.1 FASTENERS.
SEE SECTIONS 602.3.1 THROUGH 602.3.5 FOR FURTHER SPECIFICATIONS.

REFER TO THE IRC FOR FURTHER INFORMATION ON THE FOLLOWING AREAS:

R702.3.2 DESIGN AND CONSTRUCTION.
EXTERIOR WALLS OF WOODFRAME CONSTRUCTION SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CHAPTER AND FIGURES R602.3.1 AND R602.3.2, OR IN ACCORDANCE WITH AWC NDS. COMPONENTS OF EXTERIOR WALLS SHALL BE FASTENED IN ACCORDANCE WITH TABLE R602.3.1(1) THROUGH R602.3.1(4). WALL SHEATHING SHALL BE FASTENED DIRECTLY TO FRAMING MEMBERS AND, WHERE PLACED ON THE EXTERIOR SIDE OF AN EXTERIOR WALL, SHALL BE CAPABLE OF RESISTING THE WIND PRESSURES LISTED IN TABLE R301.2(2). ADJUSTED FOR HEIGHT AND EXPOSURE USING TABLE R301.2(3) AND SHALL CONFORM TO THE REQUIREMENTS OF TABLE R602.3.3. WALL SHEATHING USED ONLY FOR EXTERIOR WALL COVERING PURPOSES SHALL COMPLY WITH SECTION R507.3. STUDS SHALL BE CONTINUOUS FROM SUPPORT AT THE SOLE PLATE TO A SUPPORT AT THE TOP PLATE TO RESIST LOADS PERPENDICULAR TO THE WALL. THE SUPPORT SHALL BE FOUNDATION OR FLOOR, CEILING OR ROOF DIAPHRAGM OR SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE.

NOTE: SEE SECTION 602.3.3 FOR EXCEPTION

R702.3.4 FASTENERS.
SEE SECTIONS 602.3.1 THROUGH 602.3.5 FOR FURTHER SPECIFICATIONS.

R702.4 WALL BRACING.
STUDS SHALL BE BRACED IN ACCORDANCE WITH THIS SECTION OR, WHEN APPLICABLE, SECTION R602.12 WHERE A BUILDING OR PORTION THEREOF DOES NOT COMPLY WITH ONE OR MORE OF THE BRACING REQUIREMENTS IN THIS SECTION. THOSE PORTIONS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH SECTION R301.1.

REFER TO SECTIONS 602.10.1 THROUGH 602.10.12 FOR BRACED WALL PANELS, DESIGN AND CRITERIA.

R703.4 FLASHING.

APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED AS SHOWN IN A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. SELF-ADHERED MEMBRANES USED AS FLASHING SHALL COMPLY WITH ASTM F1171. FLUID-APPLIED MEMBRANES USED AS FLASHING IN EXTERIOR WALLS SHALL COMPLY WITH ASTM F1174. FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH. APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS:

1. EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER-RESISTIVE BARRIER, COMPLYING WITH SECTION 703.2 FOR SUBSTANTIVE DRAINAGE. MECHANICALLY ATTACHED FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL BE INSTALLED IN ACCORDANCE WITH ONE OR MORE OF THE FOLLOWING:

REFER TO SECTION 1.1 THROUGH 1.3 FOR FURTHER SPECIFICATIONS.

REFER TO THE IRC FOR FURTHER INFORMATION ON THE FOLLOWING AREAS:

R703.3 WOOD, HARDBOARD AND WOOD STRUCTURAL PANEL SHEATHING.

R703.3.1 WOOD SHAKES AND SHINGLES.
R703.3.2 EXTERIOR PLASTER.
R703.3.3 ANCHORED SYSTEM AND MASONRY VENEER GENERAL.
R703.3.4 EXTERIOR INSULATION AND FINISH SYSTEM (EIFS) WITH DRAINAGE.

R703.3.5 FIBER CEMENT SHEATHING.

R703.3.6 VINYL SIDING.

R703.3.7 ANCHORED MASONRY VENEER INSTALLATION.

R703.3.8 INSULATED VINYL SIDING.

R703.3.9 CLADDING ATTACHMENT OVER FOAM SHEATHING TO WOOD FRAMING.

R703.3.10 CLADDING ATTACHMENT OVER FOAM SHEATHING TO MASONRY OR CONCRETE WALL CONSTRUCTION.

CHAPTER 8 :: WOOD ROOF FRAMING

R802.1 GENERAL.
WOOD AND WOOD-BASED PRODUCTS USED FOR LOAD SUPPORTING PURPOSES SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THIS SECTION.

SEE SECTIONS 802.1.1 THROUGH 802.1.7 FOR FURTHER SPECIFICATIONS.

R802.2 DESIGN AND CONSTRUCTION.
THE FRAMING DETAILS REQUIRED IN SECTION R802 APPLY TO ROOFS HAVING A MINIMUM SLOPE OF THREE UNITS VERTICAL IN 12 UNITS HORIZONTAL (25 PERCENT SLOPE) OR GREATER.

ROOF CEILING SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THIS CHAPTER AND FIGURES R802.1(1), R802.1(2) AND R802.1(3) OR IN ACCORDANCE WITH AWC NDS. COMPONENTS OF ROOF-CELING SHALL BE FASTENED IN ACCORDANCE WITH TABLE R802.1(1).

R802.2.1 RAFTERS.
RAFTERS SHALL BE FRAMED NOT MORE THAN 12 INCHES (305 MM) OFFSET FROM EACH OTHER TO RIDGE BOARD OR DIRECTLY OPPOSITE FROM EACH OTHER WITH A GUSSET PLATE AS THE RIDGE BOARD SHALL BE NOT LESS THAN 1 INCH (25 MM) NOMINAL THICKNESS OR 1 1/2 INCH (38 MM) NOMINAL THICKNESS AND 1 1/2 INCH (38 MM) NOMINAL DEPTH. RAFTERS SHALL BE PERMITTED TO BE SPACED AT 16 INCHES (406 MM) ON CENTER. RAFTERS SHALL BE PERMITTED TO BE SPACED AT 24 INCHES (609 MM) ON CENTER. RAFTERS SHALL BE PERMITTED TO BE ATTACHED TO THEIR SUPPORTING WALL ASSEMBLIES IN ACCORDANCE WITH TABLE R802.1(1).

R802.2.2 TRUSS UPLIFT RESISTANCE.
TRUSSES SHALL BE ATTACHED TO SUPPORTING WALL ASSEMBLIES BY CONNECTIONS CAPABLE OF RESISTING UPLIFT FORCES AS SPECIFIED ON THE TRUSS DESIGN DRAWINGS FOR THE ULTIMATE DESIGN WIND SPEED AS DETERMINED BY FIGURE R301.2(3) AND LISTED IN TABLE R301.2(1) OR AS SHOWN ON THE CONSTRUCTION DOCUMENTS. UPLIFT FORCES SHALL BE PERMITTED TO BE DETERMINED AS SPECIFIED BY TABLE R802.1(1), IF APPLICABLE, OR AS DETERMINED BY ACCEPTED ENGINEERING PRACTICE.

R802.2.3 RAFTER UPLIFT RESISTANCE.
INDIVIDUAL RAFTERS SHALL BE ATTACHED TO SUPPORTING WALL ASSEMBLIES BY CONNECTIONS CAPABLE OF RESISTING UPLIFT FORCES AS DETERMINED BY TABLE R802.1(1) OR AS DETERMINED BY ACCEPTED ENGINEERING PRACTICE. CONNECTIONS FOR BEAMS USED IN A ROOF SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE.

R802.2.4 RAFTER UPLIFT RESISTANCE.
INDIVIDUAL RAFTERS SHALL BE ATTACHED TO SUPPORTING WALL ASSEMBLIES BY CONNECTIONS CAPABLE OF RESISTING UPLIFT FORCES AS DETERMINED BY TABLE R802.1(1) OR AS DETERMINED BY ACCEPTED ENGINEERING PRACTICE. CONNECTIONS FOR BEAMS USED IN A ROOF SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE.

R802.2.5 RAFTER UPLIFT RESISTANCE.
INDIVIDUAL RAFTERS SHALL BE ATTACHED TO SUPPORTING WALL ASSEMBLIES BY CONNECTIONS CAPABLE OF RESISTING UPLIFT FORCES AS DETERMINED BY TABLE R802.1(1) OR AS DETERMINED BY ACCEPTED ENGINEERING PRACTICE. CONNECTIONS FOR BEAMS USED IN A ROOF SYSTEM SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE.

REFER TO THE IRC FOR THE FOLLOWING SECTIONS:

SECTION 803 ROOF SHEATHING
SECTION 804 COLD-FORMED STEEL ROOF FRAMING

SECTION 805 CEILING FINISHES

R805.1 CEILING INSTALLATION.
CEILING SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS FOR INTERIOR WALL FINISHES AS PROVIDED IN SECTION R702.

R805.2 ALLOWABLE CEILING JOIST SPANS.
R805.3 CEILING.
R805.4 DRILLING, DRILLING AND NOTCHING.
R805.5 LATERAL SUPPORT.
R805.6 FRAMING OF OPENINGS.

R802.10 WOOD TRUSSES.

R802.11 TRUSS DESIGN DRAWINGS.
TRUSS DESIGN DRAWINGS PREPARED IN CONFORMANCE TO SECTION R802.11.1, SHALL BE PROVIDED TO THE BUILDING OFFICIAL AND APPROVED PRIOR TO INSTALLATION. TRUSS DESIGN DRAWINGS SHALL BE PROVIDED WITH THE SHEARMENT OF TRUSSES DELIVERED TO THE JOB SITE. TRUSS DESIGN DRAWINGS SHALL INCLUDE, AT A MINIMUM, THE FOLLOWING INFORMATION:

R802.12 DESIGN.
WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE. THE DESIGN AND MANUFACTURE OF METAL-PLATE-CONNECTED WOOD TRUSSES SHALL COMPLY WITH ANSPF 1. THE TRUSS DESIGN DRAWINGS SHALL BE PREPARED BY A REGISTERED PROFESSIONAL ENGINEER REQUIRED BY THE STATUTES OF THE JURISDICTION IN WHICH THE TRUSS IS TO BE CONSTRUCTED IN ACCORDANCE WITH SECTION R106.1.

R802.13 BRACING.
TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR THE BUILDING AND ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH ACCEPTED INDUSTRY PRACTICE (SUCH AS THE DECA BUILDING COMPONENT SAFETY INSTITUTE (BCSI) GUIDE TO GOOD PRACTICE FOR HANDLERS, INSTALLATION & BRACING OF METAL-PLATE CONNECTED WOOD TRUSSES).

R802.14 BRACING.
TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR THE BUILDING AND ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH ACCEPTED INDUSTRY PRACTICE (SUCH AS THE DECA BUILDING COMPONENT SAFETY INSTITUTE (BCSI) GUIDE TO GOOD PRACTICE FOR HANDLERS, INSTALLATION & BRACING OF METAL-PLATE CONNECTED WOOD TRUSSES).

R802.15 BRACING.
TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR THE BUILDING AND ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH ACCEPTED INDUSTRY PRACTICE (SUCH AS THE DECA BUILDING COMPONENT SAFETY INSTITUTE (BCSI) GUIDE TO GOOD PRACTICE FOR HANDLERS, INSTALLATION & BRACING OF METAL-PLATE CONNECTED WOOD TRUSSES).

R802.16 BRACING.
TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR THE BUILDING AND ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH ACCEPTED INDUSTRY PRACTICE (SUCH AS THE DECA BUILDING COMPONENT SAFETY INSTITUTE (BCSI) GUIDE TO GOOD PRACTICE FOR HANDLERS, INSTALLATION & BRACING OF METAL-PLATE CONNECTED WOOD TRUSSES).

R802.17 BRACING.
TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR THE BUILDING AND ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH ACCEPTED INDUSTRY PRACTICE (SUCH AS THE DECA BUILDING COMPONENT SAFETY INSTITUTE (BCSI) GUIDE TO GOOD PRACTICE FOR HANDLERS, INSTALLATION & BRACING OF METAL-PLATE CONNECTED WOOD TRUSSES).

R802.18 BRACING.
TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR THE BUILDING AND ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH ACCEPTED INDUSTRY PRACTICE (SUCH AS THE DECA BUILDING COMPONENT SAFETY INSTITUTE (BCSI) GUIDE TO GOOD PRACTICE FOR HANDLERS, INSTALLATION & BRACING OF METAL-PLATE CONNECTED WOOD TRUSSES).

R802.19 BRACING.
TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR THE BUILDING AND ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH ACCEPTED INDUSTRY PRACTICE (SUCH AS THE DECA BUILDING COMPONENT SAFETY INSTITUTE (BCSI) GUIDE TO GOOD PRACTICE FOR HANDLERS, INSTALLATION & BRACING OF METAL-PLATE CONNECTED WOOD TRUSSES).

R802.20 BRACING.
TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR THE BUILDING AND ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH ACCEPTED INDUSTRY PRACTICE (SUCH AS THE DECA BUILDING COMPONENT SAFETY INSTITUTE (BCSI) GUIDE TO GOOD PRACTICE FOR HANDLERS, INSTALLATION & BRACING OF METAL-PLATE CONNECTED WOOD TRUSSES).

R802.21 BRACING.
TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR THE BUILDING AND ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH ACCEPTED INDUSTRY PRACTICE (SUCH AS THE DECA BUILDING COMPONENT SAFETY INSTITUTE (BCSI) GUIDE TO GOOD PRACTICE FOR HANDLERS, INSTALLATION & BRACING OF METAL-PLATE CONNECTED WOOD TRUSSES).

R802.22 BRACING.
TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR THE BUILDING AND ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH ACCEPTED INDUSTRY PRACTICE (SUCH AS THE DECA BUILDING COMPONENT SAFETY INSTITUTE (BCSI) GUIDE TO GOOD PRACTICE FOR HANDLERS, INSTALLATION & BRACING OF METAL-PLATE CONNECTED WOOD TRUSSES).

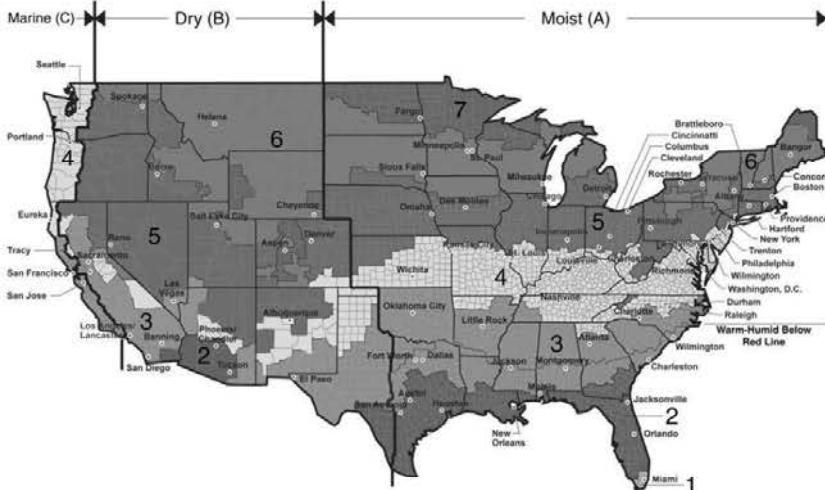
R802.23 BRACING.
TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR THE BUILDING AND ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH ACCEPTED INDUSTRY PRACTICE (SUCH AS THE DECA BUILDING COMPONENT SAFETY INSTITUTE (BCSI) GUIDE TO GOOD PRACTICE FOR HANDLERS, INSTALLATION & BRACING OF METAL-PLATE CONNECTED WOOD TRUSSES).

R802.24 BRACING.
TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR THE BUILDING AND ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH ACCEPTED INDUSTRY PRACTICE (SUCH AS THE DECA BUILDING COMPONENT SAFETY INSTITUTE (BCSI) GUIDE TO GOOD PRACTICE FOR HANDLERS, INSTALLATION & BRACING OF METAL-PLATE CONNECTED WOOD TRUSSES).

R802.25 BRACING.
TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR THE BUILDING AND ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH ACCEPTED INDUSTRY PRACTICE (SUCH AS THE DECA BUILDING COMPONENT SAFETY INSTITUTE (BCSI) GUIDE TO GOOD PRACTICE FOR HANDLERS, INSTALLATION & BRACING OF METAL-PLATE CONNECTED WOOD TRUSSES).

R802.26 BRACING.
TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR THE BUILDING AND ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH ACCEPTED INDUSTRY PRACTICE (SUCH AS THE DECA BUILDING COMPONENT SAFETY INSTITUTE (BCSI) GUIDE TO GOOD PRACTICE FOR HANDLERS, INSTALLATION & BRACING OF METAL-PLATE CONNECTED WOOD TRUSSES).

R802.27 BRACING.
TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY IN ACCORDANCE WITH THE REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS FOR THE BUILDING AND ON THE INDIVIDUAL TRUSS DESIGN DRAWINGS. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED IN ACCORDANCE WITH ACCEPTED INDUSTRY PRACTICE (SUCH AS THE DECA BUILDING COMPONENT SAFETY INSTITUTE (BCSI) GUIDE TO GOOD PRACTICE FOR



All of Alaska in Zone 7 except for the following Boroughs in Zone 8: Bethel, Dillingham, Fairbanks, N. Star, Nome North Slope, Northwest Arctic, Southeast Fairbanks, Wade Hampton, and Yukon-Koyukuk.
 Zone 1 includes: Hawaii, Guam, Puerto Rico, and the Virgin Islands

TABLE N1102.4.1.1 (N1102.4.1.1)
 AIR BARRIER AND INSULATION INSTALLATIONS

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
General requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope consists of continuous air barrier, outside of joints in the air barrier shall be sealed.	Insulation installation shall not be used as a sealing measure.
Ceilings/joists	The air barrier in any dropped ceiling or vault shall be sealed with the insulation and any pipes in the air barrier shall be sealed. Access openings, drop mount seams, or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/joists shall be sealed with the air barrier.
Walls	The portion of the foundation and all parts shall be sealed. The portion of the top plate and the top of exterior walls shall be sealed. These shall also be sealed.	Exterior thermal envelope insulation shall be installed in a continuous manner. Insulation shall be installed in a continuous manner with the air barrier.
Windows, skylights and doors	The space between framing and sills, and framing the joints or windows and doors, shall be sealed.	Windows shall be sealed to prevent air leakage. The air barrier shall be installed behind exterior and communication cases. Alternatively, air-sealed boxes shall be installed.
Roof joists	Roof joists shall be sealed.	Roof joists shall be sealed.
Flues penetrating above garage and unfinished floors and runs above garages	The air barrier shall be installed at any exposed edge of foundation.	Flue penetration shall be sealed to prevent air leakage. Alternatively, fire-rated seals shall be installed in accordance with the manufacturer's instructions.
Clear space walls	Exposed walls in unvented attics shall be sealed with a continuous air barrier or other approved material.	Clear space insulation shall be installed in a continuous manner. Insulation shall be permanently attached to the walls.
Stair penetrations	Door shafts, utility penetrations, and the shafts opening to exterior or unconditioned space shall be sealed.	Door shafts, utility penetrations, and the shafts opening to exterior or unconditioned space shall be sealed.
Roofline cavities		Roofline cavities shall be sealed to prevent air leakage. Insulation shall be installed in a continuous manner.

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Garage separation	An air barrier shall be provided between the garage and conditioned spaces.	Insulation shall be installed in the garage and conditioned spaces.
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the finished surface.	Recessed light fixtures installed in the building thermal envelope shall be sealed to the finished surface.
Flashing and siding		In exterior walls, such insulation shall be installed to the exterior surface and shall be sealed to the exterior surface.
Shower/bath or exterior wall	The air barrier installed at exterior walls shall be sealed to the exterior surface.	Exterior walls shall be sealed to prevent air leakage. The air barrier shall be installed behind exterior and communication cases. Alternatively, air-sealed boxes shall be installed.
Electrical/phone box on exterior walls		The air barrier shall be installed behind exterior and communication cases. Alternatively, air-sealed boxes shall be installed.
MUAC register doors		MUAC register doors that penetrate building thermal envelope shall be sealed to the exterior surface.
Concealed openings		Where required to be sealed, concealed openings shall only be sealed to the exterior surface. Caulking or other adhesive sealants shall not be used to fill gaps between the register cover plates and walls or ceilings.

A. Repetition of top plate shall be in accordance with the provisions of IRC 602.

TABLE N1102.4.2 (N1102.4.2)
 INSULATION AND SELECTION REQUIREMENTS BY COMPONENT

Climate Zone	Foundation (unflooded)	Foundation (flooded)	Walls (unflooded)	Walls (flooded)	Roof	Attic	Basement	Slab	Other
1	R-10	R-10	R-5	R-5	R-30	R-19	R-5	R-5	R-5
2	R-10	R-10	R-5	R-5	R-30	R-19	R-5	R-5	R-5
3	R-10	R-10	R-5	R-5	R-30	R-19	R-5	R-5	R-5
4	R-10	R-10	R-5	R-5	R-30	R-19	R-5	R-5	R-5
5	R-10	R-10	R-5	R-5	R-30	R-19	R-5	R-5	R-5
6	R-10	R-10	R-5	R-5	R-30	R-19	R-5	R-5	R-5
7	R-10	R-10	R-5	R-5	R-30	R-19	R-5	R-5	R-5
8	R-10	R-10	R-5	R-5	R-30	R-19	R-5	R-5	R-5

TABLE N1102.4.3 (N1102.4.3)
 EQUIVALENT R-VALUES

Climate Zone	Foundation (unflooded)	Foundation (flooded)	Walls (unflooded)	Walls (flooded)	Roof	Attic	Basement	Slab	Other
1	0.30	0.30	0.15	0.15	1.00	0.60	0.15	0.15	0.15
2	0.40	0.40	0.20	0.20	1.00	0.60	0.15	0.15	0.15
3	0.50	0.50	0.25	0.25	1.00	0.60	0.15	0.15	0.15
4	0.60	0.60	0.30	0.30	1.00	0.60	0.15	0.15	0.15
5	0.70	0.70	0.35	0.35	1.00	0.60	0.15	0.15	0.15
6	0.80	0.80	0.40	0.40	1.00	0.60	0.15	0.15	0.15
7	0.90	0.90	0.45	0.45	1.00	0.60	0.15	0.15	0.15
8	1.00	1.00	0.50	0.50	1.00	0.60	0.15	0.15	0.15

File # 9-C-20-SU

DREAM HOME DESIGNS

1102 JULY 25, 2020

A NEW DUPLEX FOR POOVIN PILLAY
 2317 PEACHTREE STREET - KNOXVILLE, TENNESSEE

2018 IRC REQUIREMENTS



DEVELOPMENT REQUEST

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
- Rezoning

Steven W. Abbott Jr

Surveyor

Applicant Name

Affiliation

7/27/2020

9/10/2020

9-C-20-SU

Date Filed

Meeting Date (if applicable)

File Numbers(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Steven W. Abbott Jr

Abbott Land Surveying, LLC

Name

Company

1109 E Woodshire Dr

Knoxville

TN

37922

Address

City

State

Zip

865.671.1149

survmap@tds.net

Phone

Email

CURRENT PROPERTY INFO

SAPOLA GP

P.O. Box 51032 Knoxville, TN 37950

423.956.3305

Owner Name (if different)

Owner Address

Owner Phone

2317 Peachtree Street

109DL006

Property Address

Parcel ID

N Peachtree St; E Fisher Pl

11,037 s.f.

General Location

Tract Size

1st District

RN-2

Jurisdiction (specify district above) City County

Zoning District

South City

LDR

UGB

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

SFR

N

KUB

KUB

Existing Land Use

Septic (Y/N)

Sewer Provider

Water Provider

REQUEST

DEVELOPMENT

- Development Plan Use on Review / Special Use
 Residential Non-Residential

Home Occupation (specify): _____

Other (specify): Two-Family Dwelling (Duplex) _____

SUBDIVISION

Proposed Subdivision Name _____ Unit / Phase Number _____

Parcel Change

Combine Parcels Divide Parcel Total Number of Lots Created: _____

Other (specify): _____

Attachments / Additional Requirements

ZONING

Zoning Change: _____
Proposed Zoning _____

Plan Amendment Change: _____
Proposed Plan Designation(s) _____

Proposed Density (units/acre) _____ Previous Rezoning Requests _____

Other (specify): _____

STAFF USE ONLY

PLAT TYPE

- Staff Review Planning Commission

ATTACHMENTS

- Property Owners / Option Holders Variance Request

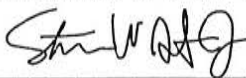
ADDITIONAL REQUIREMENTS

- Design Plan Certification (*Final Plat only*)
 Use on Review / Special Use (*Concept Plan only*)
 Traffic Impact Study

FEE 1:		TOTAL: 450.00
0402		
FEE 2:		
FEE 3:		

AUTHORIZATION

By signing below, I certify I am the property owner, applicant or the owners authorized representative.



Steven W. Abbott Jr

07/07/2020

Applicant Signature

Please Print

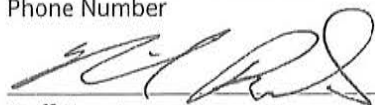
Date

865.671.1149

survmap@tds.net

Phone Number

Email



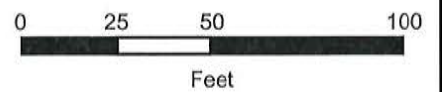
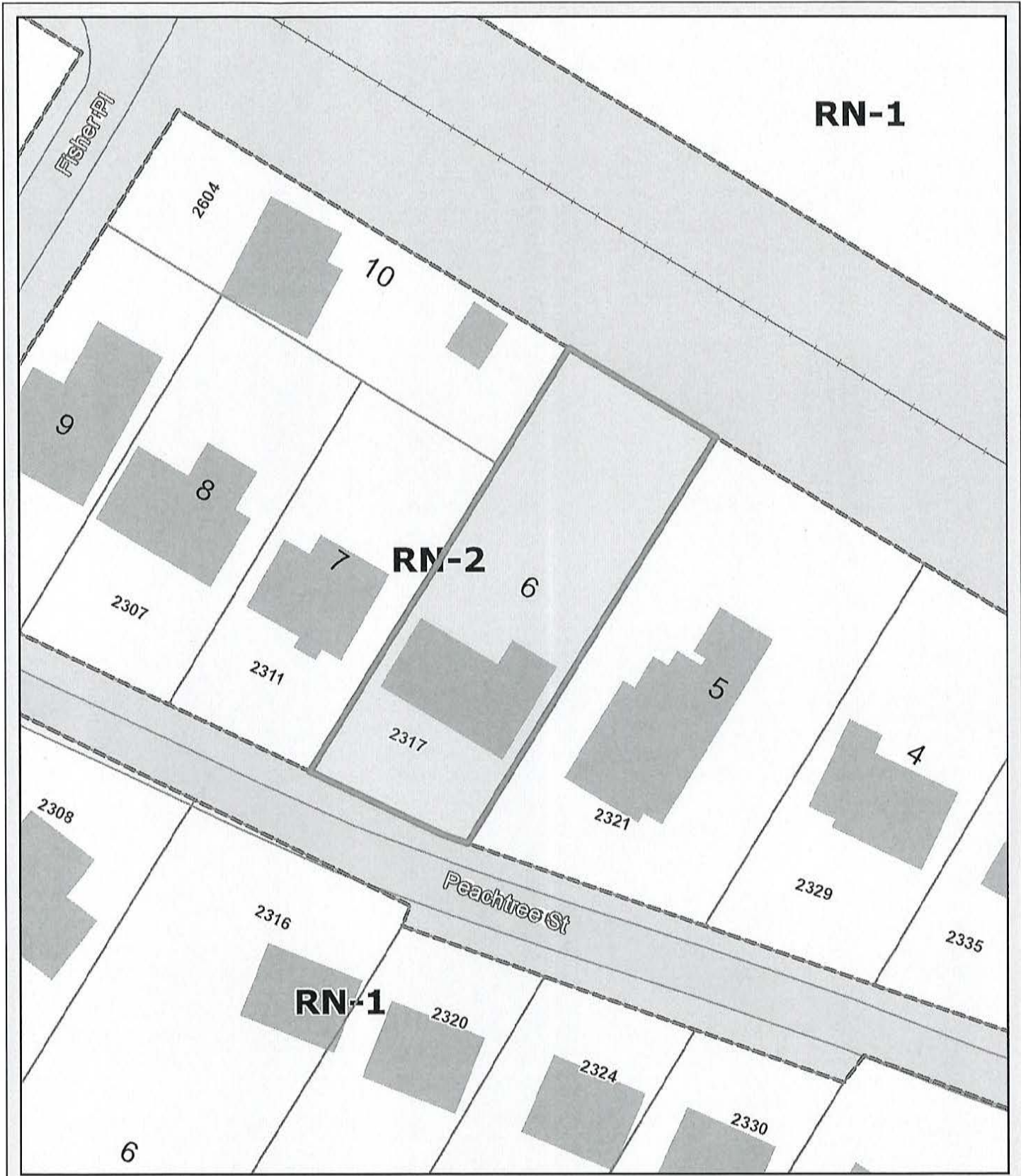
Michael Reynolds

07/27/2020

Staff Signature

Please Print

Date



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Printed: 7/27/2020 10:52:56 AM



SPECIAL USE REPORT

▶ **FILE #:** 9-E-20-SU

AGENDA ITEM #: 29

AGENDA DATE: 9/10/2020

▶ **APPLICANT:** WADE LOVIN / MBI COMPANIES

OWNER(S): Alliance Funeral Group Inc.

TAX ID NUMBER: 94 H A 00801

[View map on KGIS](#)

JURISDICTION: City Council District 3

STREET ADDRESS: 2724 Western Ave.

▶ **LOCATION:** South side of Western Ave., south of Texas Ave.

▶ **APPX. SIZE OF TRACT:** 1.8 acres

SECTOR PLAN: Central City

GROWTH POLICY PLAN: Inside City limits

ACCESSIBILITY: Western Avenue is a major arterial with a 82-foot pavement width inside a right-of-way that varies in width from 118 feet to 124 feet at this location. There are dedicated turn lanes onto Texas Avenue from Western Avenue in front of this property.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Third Creek

▶ **ZONING:** C-G-1 (General Commercial) pending

▶ **EXISTING LAND USE:** Cemetery

▶ **PROPOSED USE:** Crematorium

N/A

HISTORY OF ZONING: None noted for this property

SURROUNDING LAND USE AND ZONING: North: Commercial and office - C-H-1 (Highway Commercial) and I-MU (Industrial Mixed Use)

South: Agricultural/forestry/vacant - OS (Parks and Open Space)

East: Transportation/communications/utilities - OS (Parks and Open Space)

West: Agricultural/forestry/vacant - C-G-1 (General Commercial) and RN-3 (General Residential)

NEIGHBORHOOD CONTEXT: This portion of Western is a mix of uses with warehouse and industrial uses, single family residential uses, and commercial uses in the immediate area.

STAFF RECOMMENDATION:

▶ **Approve the request for a crematorium of approximately 6,000 square feet, subject to 2 conditions.**

1. Meeting all applicable requirements of the City of Knoxville Zoning Ordinance.
2. Meeting all applicable requirements of the City of Knoxville Department of Engineering.

With the conditions noted, this plan meets the requirements for approval of a crematorium in the C-G-1 (General Commercial) zone and the other criteria for approval of a use on review.

COMMENTS:

This request is a for a crematorium in the C-G-1 (General Commercial) zone, which allows crematoriums as a special use. The facility would be located on the Old Gray Cemetery site. The crematorium is not expected to generate additional traffic to the cemetery.

The site will largely remain as is. The crematorium would utilize the existing entry for the cemetery and share its parking. The City of Knoxville's Building Permits and Inspections Office has affirmed they would not require additional parking spaces for the crematorium. An access easement has been platted to provide access to the crematorium since it is located on a separate lot. Three existing accessory structures are proposed for demolition, and a proposed addition behind the existing main building would house the crematorium. A landscaping buffer would not be required since the site is not adjacent to residential structures. However, there is existing vegetation that will remain along the creek to the south and east, and ample existing vegetation on the southern portion of the adjacent cemetery lot.

Crematoriums are also subject to state regulation per the 2010 Tennessee Code [Title 62 - Professions, Businesses and Trades, Chapter 5 - Funeral Directors and Embalmers, Part 5 – Cremation] and must meet the requirements of the Tennessee Board of Funeral Directors and Embalmers [Chapter 0660-09 Requirements for a Crematory].

EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE

1. The proposed use will have no impact on schools.
2. No significant traffic will be added to the surrounding roads with the approval of this request.
3. There will be no impact on utility requirements in the area.
4. The smokestack is required to be 500 feet from the nearest residential property. In this case, the smokestack would be over 1,000 feet from the nearest residential property.

CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

1. The proposed crematorium is consistent with the standards for special uses in general:
 - The proposed development is consistent with the adopted plans and policies of the General Plan and One Year Plan.
 - The use is in harmony with the general purpose and intent of the Zoning Ordinance.
 - The use is compatible with the character of the neighborhood in which it is proposed, which contains the adjacent cemetery to the south and west and commercial and industrial uses to the north and east.
 - The use will not significantly injure the value of adjacent property.
 - The use will not draw additional traffic through residential areas.
2. The proposed crematorium in the C-G-1 district is consistent with the standards required for a crematorium as a special use:
 - Both a funeral home and a crematorium are allowed within the district.
 - The smokestack of the crematorium is located over 500 feet from any existing educational facilities, day care centers, pre-schools/kindergartens, or residential dwellings, measured from the smokestack to the nearest residential lot line.
3. The proposal meets all relevant requirements of the RN-2 zoning district including dimensional standards and uses.

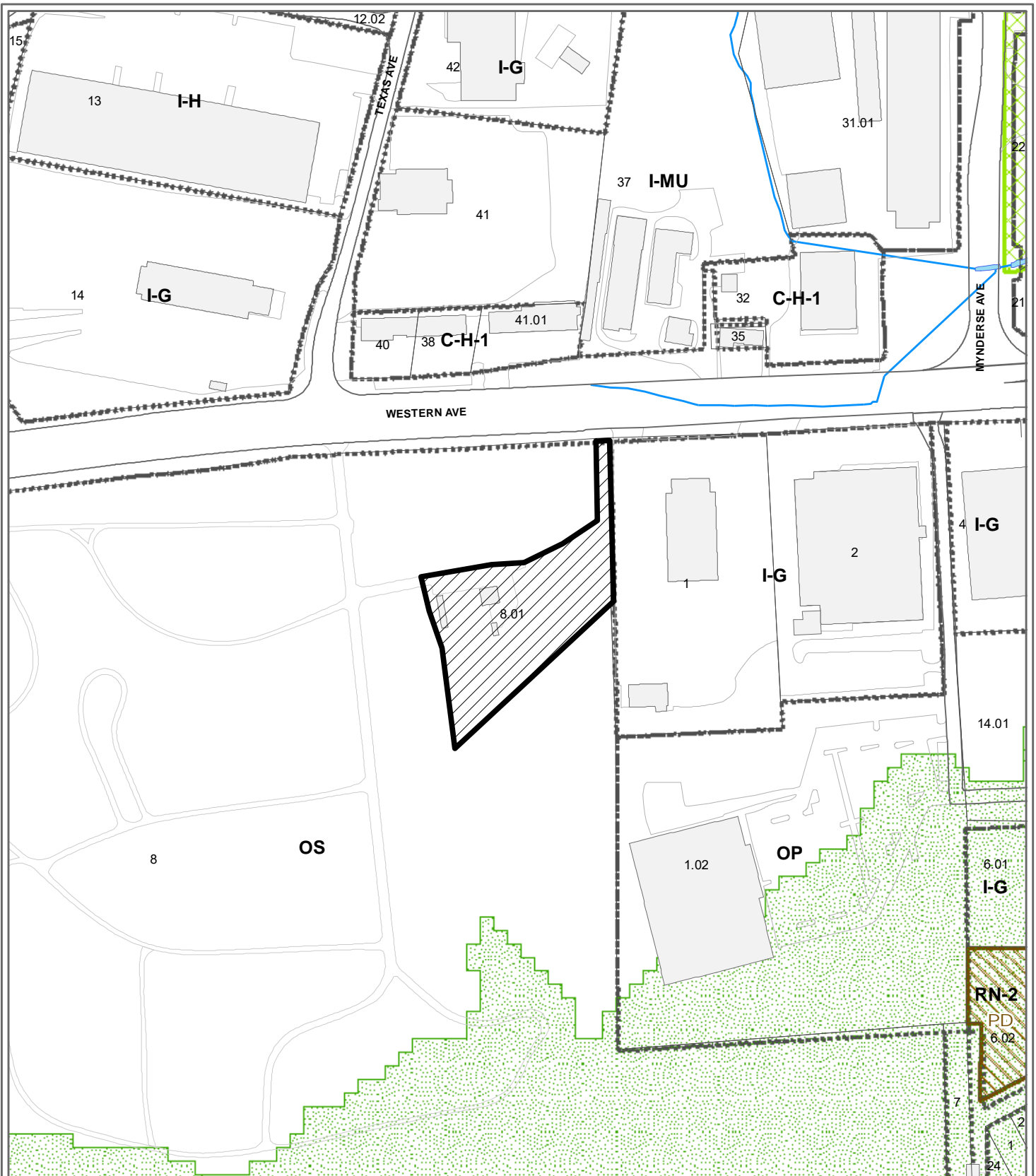
CONFORMITY OF THE PROPOSAL TO ADOPTED PLANS

1. The Central City Sector Plan designates this property for General Commercial (GC) uses. Crematoriums are allowed as a special use within the C-G zones.
2. The site is located within City limits on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal a Planning Commission decision in the City.



**9-E-20-SU
SPECIAL USE**

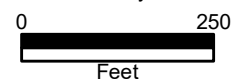


Crematorium in C-G-1 (General Commercial) pending

Petitioner: Lovin / MBI Companies, Wade

Map No: 94

Jurisdiction: City



Original Print Date: 8/13/2020

Revised:

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

NOTES

- ① This is not a general property survey in accordance with TCA code 62-18.
- ② Property is zoned: C-G-1
- ③ Verify current zoning with appropriate government planning agency prior to any site design and/or construction.

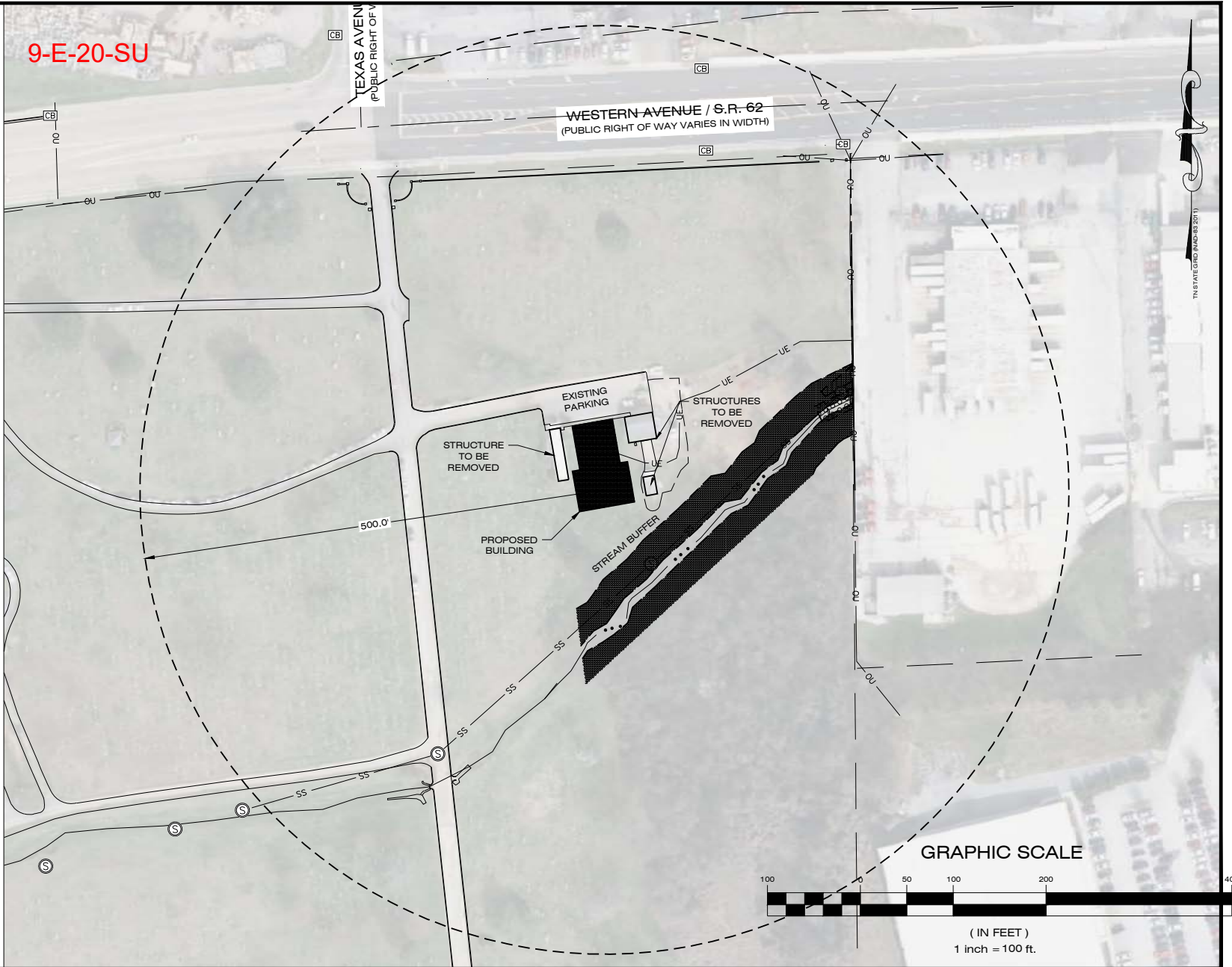
Proposed Crematory Site at New Grey Cemetery

Knox County, Tennessee
 City of Knoxville
 Street Address: Western Ave
 Drawing Date: 7-31-20



MBI COMPANIES INC.
 299 N. WEISGARBER ROAD
 KNOXVILLE, TN 37919

PHONE: (865) 584-0999
 FAX: (865) 584-5213
 WEB: mbicompanies.com



P:\9100\020 - Proposed Cremation\New Gray Cremation\New Gray - PROPOSED SITE.dwg 7/31/20

Certificate of Ownership and General Dedication

We, Alliance Funeral Group Inc., the undersigned owner of the property shown herein, hereby certify that as our owner of subdivision and dedicate the streets as shown to the public use forever and hereby certify that we are the owner in fee simple of the property, and as property owner have an unrestricted right to dedicate right-of-way and/or grant easement as shown on this plat.

Owner's Printed Name: _____
 Signature: _____
 Date: _____

State of _____ County of _____, 20____
 on this _____ day of _____, 20____

Before me personally appeared _____ to me known to be the person described in, and who executed the foregoing instrument, and acknowledged that he executed the same as his free act and deed.

Witness my hand and notarial seal, this _____ day and year above.

Written _____ Notary _____
 My Commission expires _____ "Year"

WAIVER APPROVED BY CITY ENGINEERING

Reverend Approved by City Engineering on _____
 1) Review the standard drainage and utility easement from 10' or 8' as required to 8' along all property lines per Subdivision Regulation 3.11.4.2-4.

**In the City of Knoxville and Several Areas of Knox County
 Certificate of Approval of Public Sanitary Sewer System - Minor Subdivision**

This is to certify that the subdivision shown herein is approved subject to the installation of public sanitary sewers and treatment facilities, and that such installation shall be in accordance with State and local regulations.

It is the responsibility of the property owner to verify with the Utility Provider the availability of sanitary sewers in the vicinity of the site and to pay for the installation of the required connections.

Utility Provider: _____
 Authorized Signature for Utility: _____ Date: _____

Certificate of Approval of Public Water System - Minor Subdivision

This is to certify that the subdivision shown herein is approved subject to the installation of public water system, and that such installation shall be in accordance with State and local regulations.

It is the responsibility of the property owner to verify with the Utility Provider the availability of water system in the vicinity of the site and to pay for the installation of the required connections.

Utility Provider: _____
 Authorized Signature for Utility: _____ Date: _____

Owner Certificate for Public Sewer and Water System - Minor Subdivision

I, the undersigned owner(s) of the property shown herein understand and am responsible for all utility work with the utility providers the availability of public sewer and water systems in the vicinity of the site and to pay for the installation of the required connections.

Owner's Printed Name: _____
 Signature: _____
 Date: _____

Taxes and Assessments

This is to certify that all property taxes and assessments due on this property have been paid.

City Tax Clerk: _____ Date: _____
 Knox County Taxes: Signed: _____ Date: _____

Addressing Department Certification

I, the undersigned hereby certify that the subdivision name and all street names conform to the Knoxville County Street Naming and Addressing Ordinance, the Administrative Rules of the Planning Commission, and State regulations.

Sign: _____
 Date: _____

City of Knoxville Department of Engineering

The Knoxville Department of Engineering hereby approves this plat on this _____ day of _____, 20____.

Engineering Director: _____

zoning Certification

zoning Showing Signed on Official Map: _____
 Date: _____

Planning Staff Certification of Approval for Recording - Final Plat

This is to certify that the subdivision plan herein has been found to conform with the Subdivision Regulations of Knoxville and Knox County and with existing official plans, with the exception of any variances and waivers noted on this plat and that the record plat is hereby approved for recording in the office of the Knox County Register of Deeds, pursuant to Section 13-2-202 of Tennessee Code Annotated. The approval of this plat by the Planning Commission shall not be deemed to constitute or affect an endorsement by the City, Knoxville or Knox County of the decision of any street or other ground upon the plat.

Sign: _____
 Date: _____

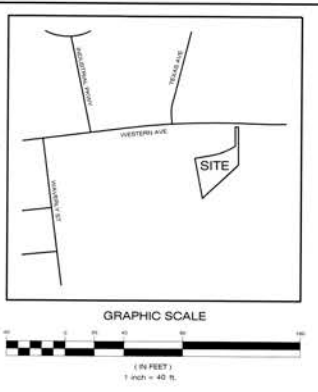
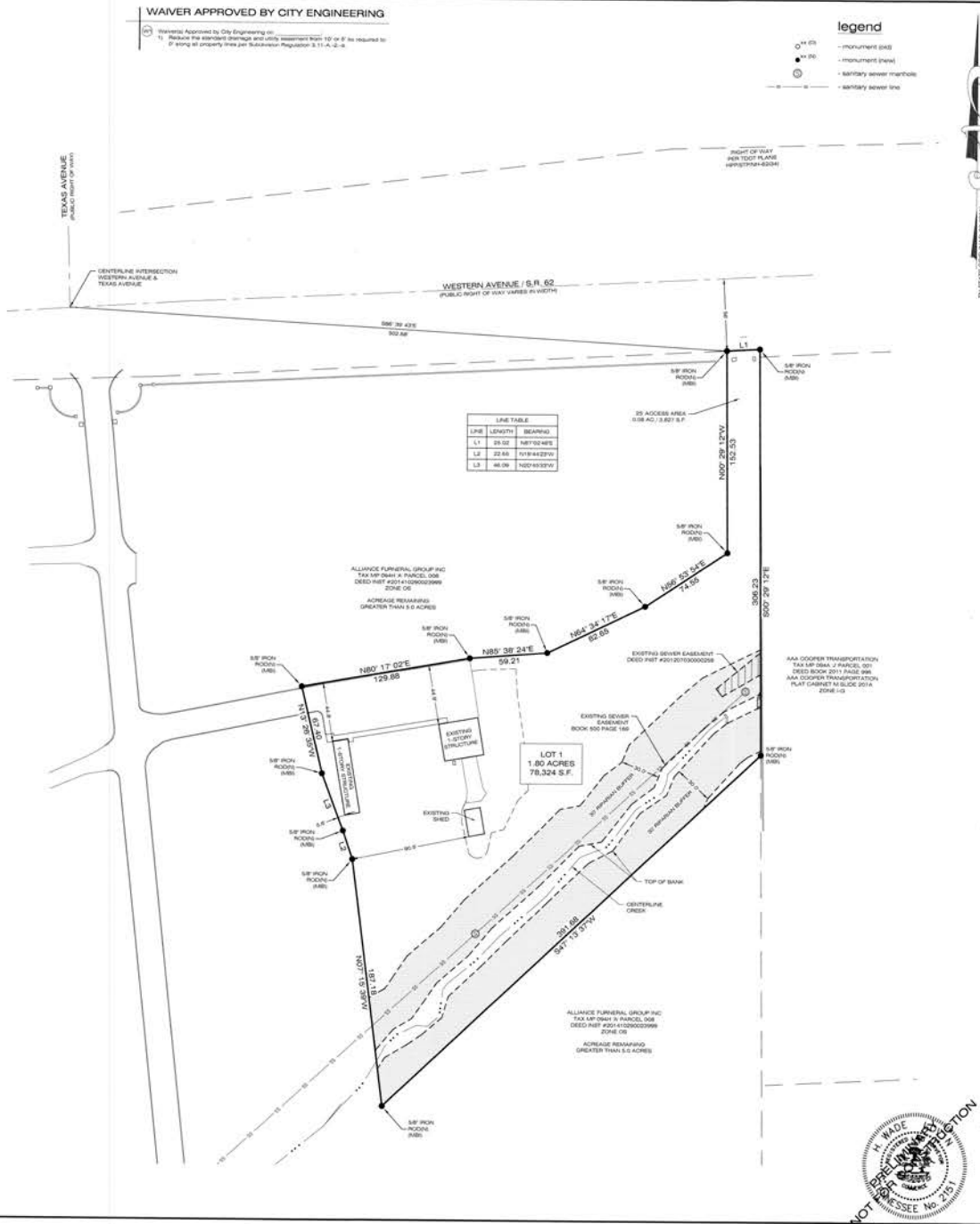
Certification of Final Plat - All Indicated Markers, Monuments and Benchmarks are

I hereby certify that I am a registered land surveyor licensed to practice surveying under the laws of the State of Tennessee. I further certify that this plat and accompanying drawings, instruments, and statements conform to, and are based on, the knowledge, skill and professional judgment of the registered land surveyor. I also certify that all monuments, markers, benchmarks and corners have been placed in accordance with the standards described and certified in a report filed with the Planning Commission, or to reproduce and certify that they have been placed in accordance with the standards and criteria set forth in the report. The indicated permanent reference markers and monuments, benchmarks and property monuments were in place on the _____ day of _____, 20____.

Registered Land Surveyor: _____
 Tennessee License No.: 2151 _____
 Date: _____

Knox County Property Assessor

Sign: _____
 Date: _____



GENERAL NOTES

- 1) The purpose of this plat is: Create a lot of record.
- 2) Verify exact size, depth and location of all underground utilities prior to construction.
- 3) Property subject to all applicable easements, setback and restrictions of record.
- 4) Verify current zoning with appropriate government planning agency prior to any site design and/or construction.
- 5) This survey plat does not warrant title.
- 6) Horizontal coordinates are on the State Grid (NAD83-2011), with elevations on NAVD83. Distances have not been reduced to grid.
- 7) By graphic platting, this property lies in Zone X on FEMA Panel #4109000770, which loses an effective date of August 5, 2013, and is not in a special flood hazard area.
- 8) There shall be a utility and drainage easement ten (10) feet in width inside all exterior lot lines adjoining streets and private rights-of-way and five (5) feet in width shall be provided along both sides of all interior lot lines and on the inside of all other exterior lot lines. No easements are required where easements have been approved.
- 9) Total Lots = 1 Total Area = 1.87 acres (81,308 sq. ft.)

UTILITY INFORMATION

- | | | |
|---|--|--|
| ELECTRIC SERVICE
Knoxville Utilities Board
4505 Montecornie Pike
Knoxville, TN 37921
Phone: 865-524-2911 | WATER SERVICE
Knoxville Utilities Board
4505 Montecornie Pike
Knoxville, TN 37921
Phone: 865-524-2911 | SEWER SERVICE
Knoxville Utilities Board
4505 Montecornie Pike
Knoxville, TN 37921
Phone: 865-524-2911 |
| GAS SERVICE
Knoxville Utilities Board
4505 Montecornie Pike
Knoxville, TN 37921
Phone: 865-524-2911 | TELEPHONE SERVICE
AT&T
5700 Asheville Hwy
Knoxville, TN 37924
Phone: 800-295-2956 | CABLE SERVICE
Comcast
5700 Asheville Hwy
Knoxville, TN 37924
Phone: 800-295-2956 |
- Utility information shown on this survey is represented by a combination of available maps and features evident during the field survey only.
- Verify exact size, depth and location of all underground utilities prior to design and/or construction.
- Notify Tennessee One-Call System, Inc. for underground utility location before you dig.

ZONING INFORMATION

- 1) Property is zoned OS-Plans & Open Space Zoning District.
- 2) Building Setbacks: Setbacks per required zoning.
- 3) Verify all zoning regulations by contacting:
 KNOXVILLE-KNOX COUNTY PLANNING
 Suite 400, City Court Building
 400 Main Street
 Knoxville, Tennessee 37902
 Phone (865) 215-2900
 contact@knoxplanning.org

5-NN-20
 5-26-20

PRELIMINARY NOT FOR CONSTRUCTION, RECORD PURPOSES, OR IMPLEMENTATION

SURVEYOR'S CERTIFICATION

Certification of Competency and Accuracy of Survey
 I hereby certify that this is a Conformity Survey and the title of precision of the unadjusted survey is not less than 1 : 10,000 as shown herein and that said survey was conducted in compliance with the Surveying and Mapping Rules of Tennessee, the State Board of Examiners for Land Surveyors - Standards of Practice.

Registered Land Surveyor: _____ H. Wade Loomis
 Tennessee License No.: 2151 _____
 Date: _____



MBI

MBI CORPORAES, INC.
 808 W. WILSON ROAD
 KNOXVILLE, TN 37918

PHONE: 865.584.0262
 FAX: 865.584.0271
 WEB: www.mbi.com

Know what's below.
 Call before you dig.
 In Tennessee call 811 or 1-800-351-1111

OWNER:
 Alliance Funeral Group Inc.
 5400 Rutledge Pike
 Knoxville, TN 37920

SEAL

IMPROVING LIVES THROUGH DESIGN SINCE 1930

PLANNING SERVICE

NEW GRAY
 WESTERN AVENUE
 KNOXVILLE, TENNESSEE

FINAL PLAT OF:

Knox County, TN
 City of Knoxville, TN
 City Ward 23
 City Block 2830

Tax Parcel 66
 Map 5867 - 9 Parcel 08

Deed Ref: 1
 ref #2011-03000399

Plat Ref: 20
 N/A

Clear Chart: B. Fain
 Drawn By: M. Barnwell
 App'd. By: W. Loomis

Field Date: 5-21-20
 Drawing Date: 5-26-20
 Last Revision:

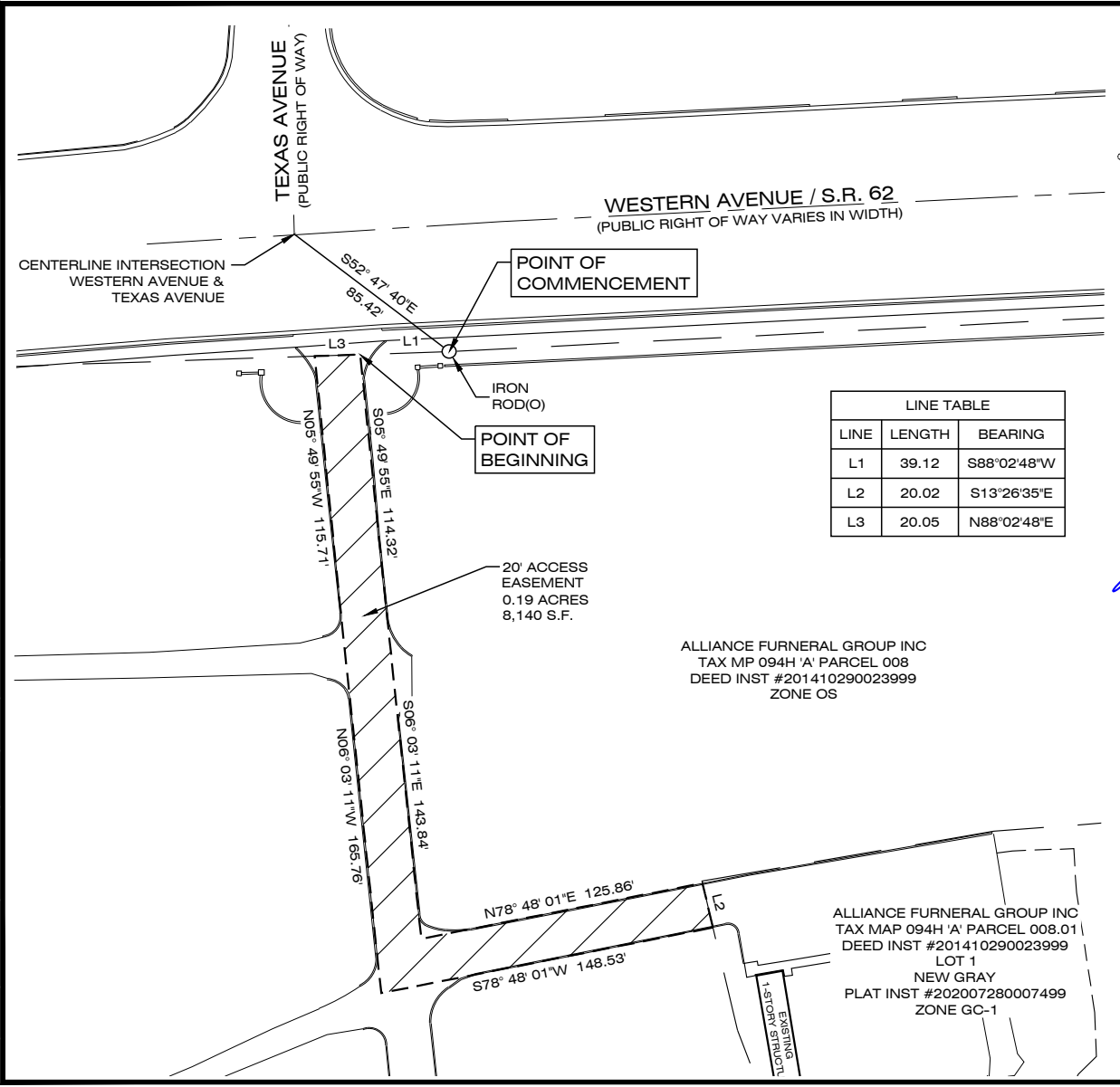
Scale: 1" = 40'

Job No: 20088

SHEET NO:

1 OF 1

R:\Survey\2020 ProjectalKnox County\200385 New Gray Crematory\New Gray - Access Easmt Exhibit.dwg 8/17/20



LINE TABLE		
LINE	LENGTH	BEARING
L1	39.12	S88°02'48"W
L2	20.02	S13°26'35"E
L3	20.05	N88°02'48"E

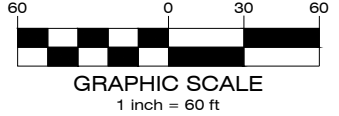
ALLIANCE FURNERAL GROUP INC
 TAX MP 094H 'A' PARCEL 008
 DEED INST #201410290023999
 ZONE OS

ALLIANCE FURNERAL GROUP INC
 TAX MAP 094H 'A' PARCEL 008.01
 DEED INST #201410290023999
 LOT 1
 NEW GRAY
 PLAT INST #202007280007499
 ZONE GC-1

20' ACCESS EASEMENT DESCRIPTION

SITUATED within the 23rd City Ward of the City of Knoxville, Knox County, Tennessee and being a 20Minutes access easement crossing Tax Map 094H 'A' Parcel 008 and being more particularly bounded and described as follows:

COMMENCING at an iron rod on the south right of way line of Western Avenue / S.R. 62, located South 52 Degrees 47 Minutes 40 Seconds East for a distance of 85.42 feet from the centerline intersection of Texas Avenue & Western Avenue, marking a common corner of property now or formerly belonging to Alliance Funeral Group Inc (Deed Inst #201410290023999); thence along the south right of way line of Western Avenue, South 88 Degrees 02 Minutes 48 Seconds West for a distance of 39.12 feet to the **POINT OF BEGINNING**; thence, South 05 Degrees 49 Minutes 55 Seconds East for a distance of 114.32 feet to a point; thence South 06 Degrees 03 Minutes 11 Seconds East for a distance of 143.84 feet to a point; thence North 78 Degrees 48 Minutes 01 Seconds East for a distance of 125.86 feet to a point on the common line of property now or formerly belonging to Alliance Funeral Group Inc (Plat Inst #202007280007499); thence along the line of Alliance Funeral Group, South 13 Degrees 26 Minutes 35 Seconds East for a distance of 20.02 feet to a point; thence leaving the line of Alliance Funeral Group, South 78 Degrees 48 Minutes 01 Seconds West for a distance of 148.53 feet to a point; thence North 06 Degrees 03 Minutes 11 Seconds West for a distance of 165.76 feet to a point; thence North 05 Degrees 49 Minutes 55 Seconds West for a distance of 115.71 feet to a point on the south right of way line of Western Avenue; thence along the south right of way line of Western Avenue, North 88 Degrees 02 Minutes 48 Seconds East a distance of 20.05 feet to the **POINT OF BEGINNING** and containing 0.19 acres / 8,140 s.f.



20' ACCESS EASEMENT EXHIBIT

Knox County, Tennessee
 City of Knoxville
 City Ward: 23
 City Block: 23220

Street Address: 2724 Western Ave

Tax Map 094H 'A' Parcel 008

Deed Ref(s): Inst #201410290023999
 Plat Ref(s): N/A

Drawing Date: 8-17-20
 Last Rev. Date:
 Draftsman: M. Blankenship
 Approved By: W. Lovin

MBI

MBI COMPANIES INC.
 299 N. WEISGARBER ROAD
 KNOXVILLE, TN 37919

PHONE:	(865) 584-0999
FAX:	(865) 584-5213
WEB:	mbicompanies.com



400 Main Street
Suite 403
Knoxville, TN 37902
P: 865.215.2507
F: 865.215.2237

Addressing Department Review and Comments

File #: 9-E-20-SU
Tax Parcel ID: 094HA008
Subdivision:
Owner/Applicant: Alliance Funeral Group
Surveyor: H Wade Lovin
Company: MBI Companies Inc.
Email: wadel@mbicompanies.com

Date Submitted: 7/24/20
Review Type: SU
Unit or Phase:
Phone: 865.803.9526
Office: 865.584.0999
Cell: 865.583.9702
Fax: 865.584.5213

Visit our website: <http://www.knoxplanning.org/addressing> for a list of existing and available street names.

All subdivision and street names must conform to the Knoxville/Knox County Street Uniform Naming and Addressing Ordinance, Subdivision Regulations and the Administrative Rules of the Planning Commission.

Proposed and/or Existing Subdivision or Street Names	Results of Review, Corrections, and Comments (date subdivision or street name reserved)	Approved, Pending, Denied, Revise, Note
	If the use is approved by the Planning Commission, a separate address will be assigned for the new building	Note
	Unresolved addressing issues may delay building permits	Note
	No addressing issues	

Comments may be modified based on new information from updated plans, field reviews or other agencies.

Andrea Kupfer (865.215.3797) andrea.kupfer@knoxplanning.org	1st Review	Donna Hill (865.215.3872) donna.hill@knoxplanning.org	2nd Review
	7/30/2020		8.14.20



DEVELOPMENT REQUEST

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
- Rezoning

Wade Lovin - MBI Companies

Surveyor

Applicant Name

Affiliation

July 24, 2020

September 10, 2020

9-E-20-SU

Date Filed

Meeting Date (if applicable)

File Numbers(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Wade Lovin

MBI Companies

Name

Company

299 N. Weisgarber Rd

Knoxville

TN

37919

Address

City

State

Zip

865-584-0999

Wadel@mbicompanies.com

Phone

Email

CURRENT PROPERTY INFO

Alliance Funeral Group Incorporated

5430 Rutledge Pike

865-803-9526

Owner Name (if different)

Owner Address

Owner Phone

2724 Western Ave

part of 094HA008

Property Address

Parcel ID

S/S

Western Ave @ Texas Ave

1.80

General Location

Tract Size

3rd District

C-G-1 (pending)

Jurisdiction (specify district above)

- City
- County

Zoning District

Central City

GC (pending)

w/in city limits

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

cemetery

N

KUB

KUB

Existing Land Use

Septic (Y/N)

Sewer Provider



Water Provider

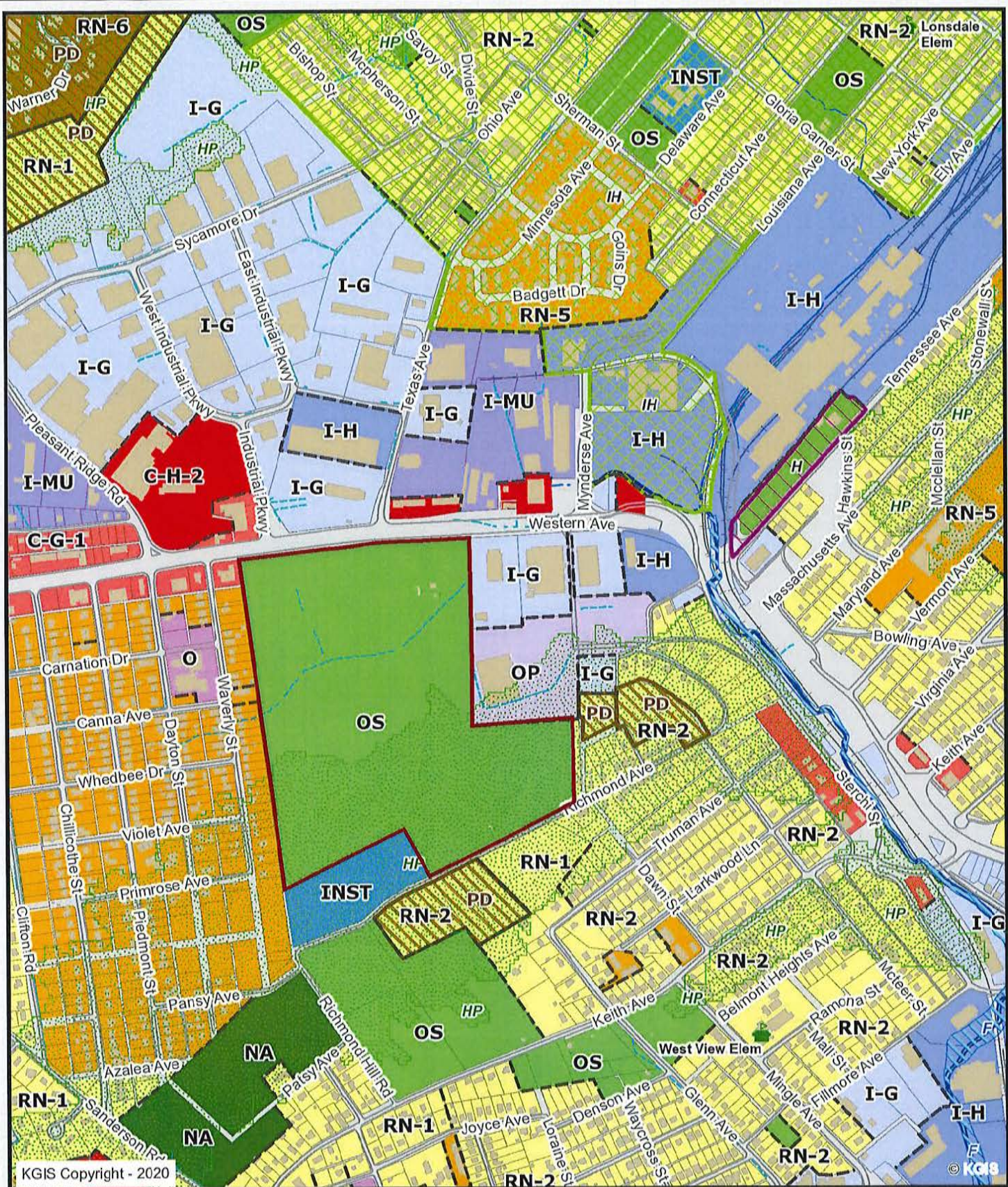
REQUEST

DEVELOPMENT	<input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Use on Review / Special Use	
	<input type="checkbox"/> Residential <input type="checkbox"/> Non-Residential	
SUBDIVISION	<input type="checkbox"/> Home Occupation (specify): _____	
	<input checked="" type="checkbox"/> Other (specify): <u>Crematorium</u>	
	<input type="checkbox"/> Proposed Subdivision Name _____	Unit / Phase Number _____
	<input type="checkbox"/> Parcel Change	
ZONING	<input type="checkbox"/> Combine Parcels <input type="checkbox"/> Divide Parcel Total Number of Lots Created: _____	
	<input type="checkbox"/> Other (specify): _____	
	<input type="checkbox"/> Attachments / Additional Requirements	
	<input type="checkbox"/> Zoning Change: _____ Proposed Zoning _____	
	<input type="checkbox"/> Plan Amendment Change: _____ Proposed Plan Designation(s) _____	
Proposed Density (units/acre) _____ Previous Rezoning Requests _____		
<input type="checkbox"/> Other (specify): _____		

STAFF USE ONLY	PLAT TYPE <input type="checkbox"/> Staff Review <input type="checkbox"/> Planning Commission	FEE 1: 0401 \$1500.00	TOTAL: \$ 1500.00
	ATTACHMENTS <input type="checkbox"/> Property Owners / Option Holders <input type="checkbox"/> Variance Request	FEE 2:	
	ADDITIONAL REQUIREMENTS <input type="checkbox"/> Design Plan Certification (Final Plat only) <input type="checkbox"/> Use on Review / Special Use (Concept Plan only) <input type="checkbox"/> Traffic Impact Study	FEE 3:	

AUTHORIZATION By signing below, I certify I am the property owner, applicant or the owners authorized representative.

 Applicant Signature	<u>H. Wade Lovin - MBI Companies</u> Please Print	<u>7/27/20</u> Date
<u>865-584-0999</u> Phone Number	<u>wadel@mbicompanies.com</u> Email	
 Staff Signature	<u>Michelle Portier</u> Please Print	<u>1/27/2020</u> Date



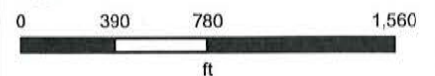
2724 Western Ave.

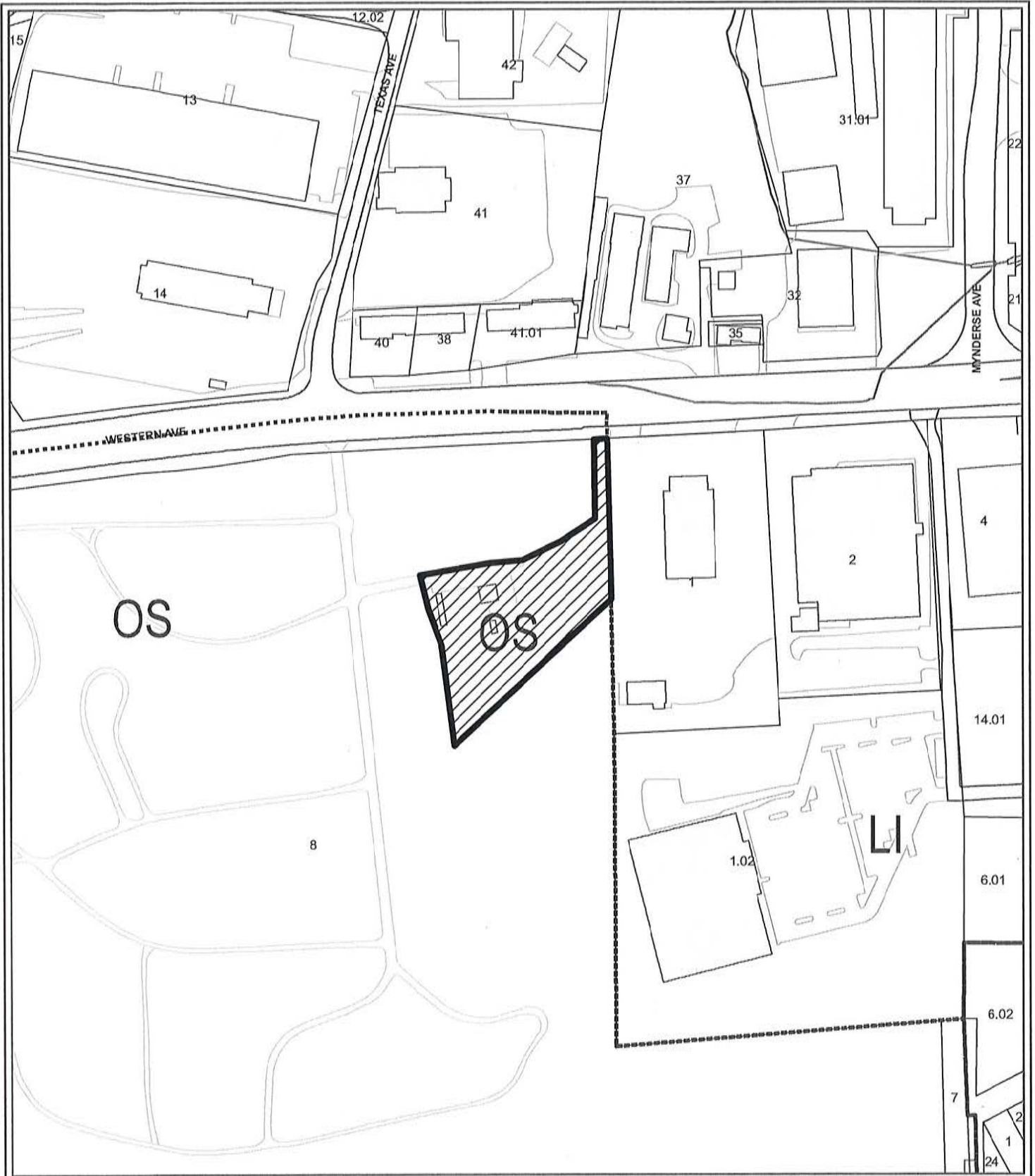
Knoxville - Knox County - KUB Geographic Information System

KGIS makes no representation or warranty as to the accuracy of his map and its information nor to its fitness for use. Any user of this map product accepts the same AS IS, WITH ALL FAULTS, and assumes all responsibility for the use thereof, and further covenants and agrees to hold KGIS harmless from any and all damage, loss, or liability arising from any use of this map product.



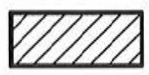
Printed: 7/27/2020 at 2:30:59 PM





**7-D-20-PA / 7-H-20-RZ
PLAN AMENDMENT**

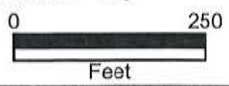
Petitioner: Lovin OBO Alliance Funeral Group Inc., Wade



From: OS (Open Space)
To: GC (General Commercial)

Map No: 94
Jurisdiction: City

Original Print Date: 6/16/2020 Revised:
Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902





TO: Planning Commission

FROM: Emily Dills

DATE: September 2, 2020

SUBJECT: Final Plat Recommendations

The attached spreadsheet includes recommendations for all Final Plat requests on the September 10, 2020 Planning Commission agenda. Included are the recommendations for postponement, approval, denial, and withdrawal. Requests for postponement and withdrawal will be heard at the beginning of the meeting when the list of all agenda items requested postponement or withdrawal is considered.

The items recommended for approval are recommended subject to all required certifications and approvals being shown on the final plat prior to certification for recording. The plats recommended for approval will be heard by consent with all other items recommended for approval.

Regarding those plats, recommended for denial, a separate staff report will be prepared for your consideration at the September meeting.

If you have any questions concerning these recommendations, please let me know.

FINAL PLATS

ITEM #	SUBDIVISION	APPLICANT	LOCATION	SURVEYOR	ACRES	LOTS	VAR./COMMENTS	RECOMMENDATION
30	ROBBINS PROPERTY (9-SA-20-F)	Hinds Surveying Co. Stan Hinds	7936 Maynardville Pk. / Parcel ID 20 073030& 07309	Hinds Surveying	11.18	2	1. To reduce the requirements of the Subdivision Regulations Access Standards (3.03) to allow existing 25' Access Easement to serve three lots in it's existing condition as shown on plat"	Approve Variance APPROVE Final Plat



PLANNED DEVELOPMENT PRELIMINARY PLAN

▶ **FILE #:** 9-A-20-PD

AGENDA ITEM #: 31

AGENDA DATE: 9/10/2020

▶ **APPLICANT:** BRIAN ROWE

OWNER(S): Brian Rowe

TAX ID NUMBER: 119 D D 00302, 00303, &00304

[View map on KGIS](#)

JURISDICTION: City Council District 2

STREET ADDRESS: 633 , 639 & 0 Mars Hill Rd.

▶ **LOCATION:** West side of Mars Hill Rd., east of N. Gallaher View Rd., south of Middlebrook Pk

▶ **APPX. SIZE OF TRACT:** 1.5 acres

SECTOR PLAN: Northwest County

GROWTH POLICY PLAN: Urban Growth Area (Inside City Limits)

ACCESSIBILITY: Access is via Mars Hill Rd, a local street with 19-20' of pavement within 40' of right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: Ten Mile Creek

▶ **ZONING:** RN-2 (Single-Family Residential Neighborhood) / PD (Planned Development)

▶ **EXISTING LAND USE:** Residential & Vacant

▶ **PROPOSED USE:** Three two-family dwelling (duplex) structures on individual lots
4 du/ac

HISTORY OF ZONING: The property was rezoned RP-1 < 5.99 du/ac in 2007 (10-C-07-RZ) and is currently zoned RN-2/PD.

SURROUNDING LAND USE AND ZONING: North: Vacant land / RN-2 (Single-Family Residential Neighborhood) & PD (Planned Development)

South: Vacant land / RN-1 (Single-Family Residential Neighborhood) & PD (Planned Development)

East: Attached & detached houses / RN-1 (Single-Family Residential Neighborhood), RN-3 (General Residential Neighborhood) & PD (Planned Development)

West: N. Gallaher View Rd, Vacant land / RB (General Residential)

NEIGHBORHOOD CONTEXT: The site is located along a section of N Gallaher View Rd. that includes a mix of low and medium density residential development. The development along Mars Hill Rd include low density residential and the adjacent property to the north was recently approved for a small church.

STAFF RECOMMENDATION:

► **WITHDRAW the application as requested by the applicant.**

The applicant has requested withdrawal of this Planned Development application so a Special Use application can be submitted for the October Planning Commission meeting.

COMMENTS:

The applicant is proposing three two-family dwelling (duplex) structures on individual lots. The property is currently zoned RN-2/PD and the former zoning on the property was RP-1 < 5.99 du/ac. In 2015, the Planning Commission approved a Use on Review for an assisted living facility on this site. The transitional rules of the new zoning ordinance (Section 1.4.G) states that all previously approved planned districts remain in effect and are subject to all plans, regulations, and/or conditions of their approval, and that these developments are subject to the Planned Development (PD) amendment and/or development approval procedures. The PD amendment process requires a preliminary plan to be approved by both the Planning Commission and City Council, and then a final plan to be approved by the Planning Commission.

In April 2020, the Planning Commission recommended amendments to the transitional rules to remove the former commercial planned districts from those where the previously approved plans remain in effect. During the July 9, 2020 Council workshop, City Council recommended additional changes to the proposed amendments so that the former planned commercial districts are not removed from this section and that amendments to all previously approved development plans be subject to the Special Use approval procedures as they were under the old code. The Special Use (SU) process is what the former Use on Review (UOR) approval procedures were called.

The Planning Commission will consider the revised amendments to the transition rules at the September 2020 meeting and if recommended for approval, the City Council will consider the amendments in October 2020. If City Council approves the amendments on emergency at their October 6th meeting, the applicants new application for SU application for the October 8th Planning Commission could be considered for approval. If City Council does not approve the amendments on emergency then the SU application will need to be postponed until at least the November Planning Commission meeting to allow time for a final decision to be made by City Council.

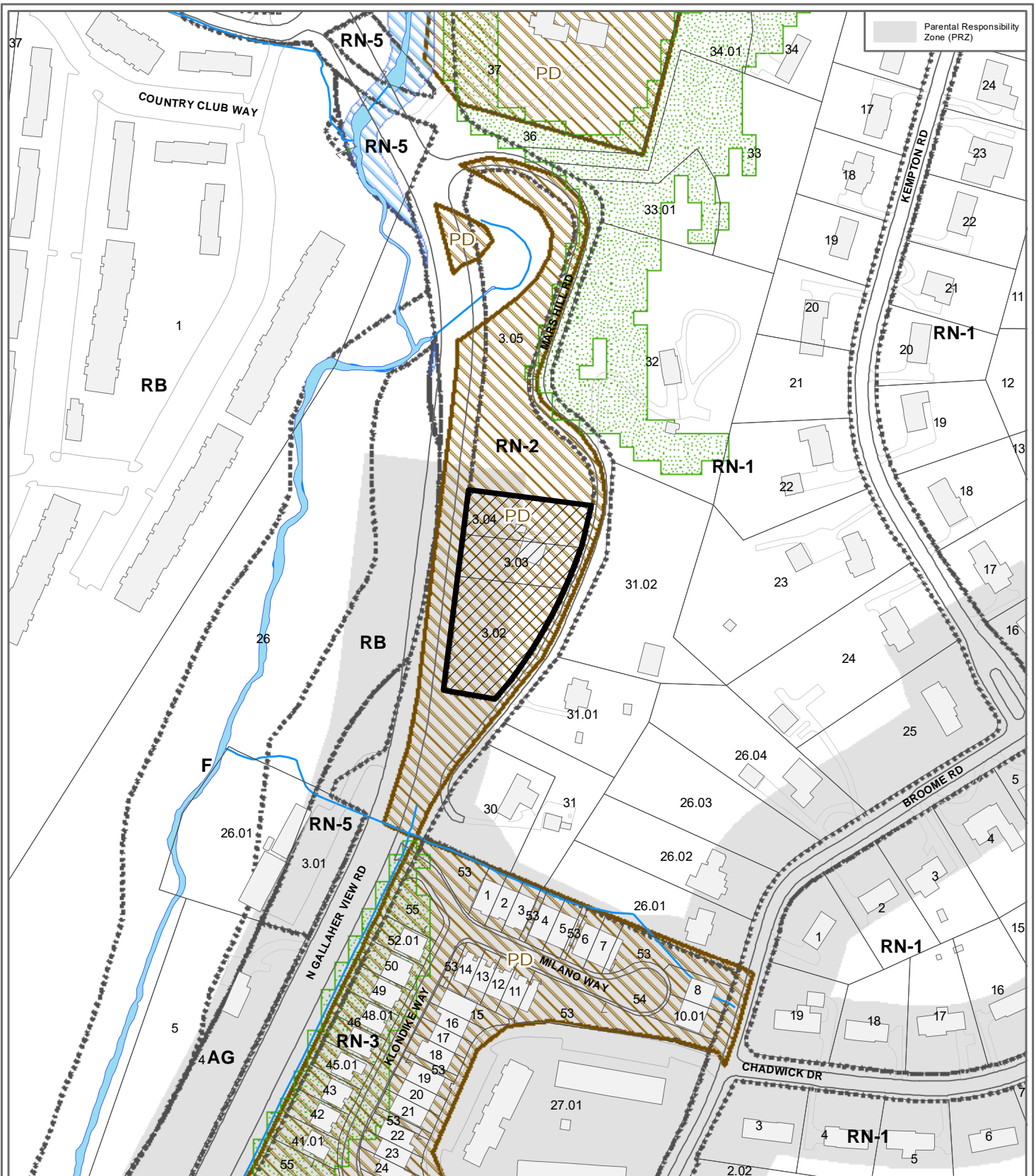
ESTIMATED TRAFFIC IMPACT: 76 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: 0 (public school children, grades K-12)

Schools affected by this proposal: Cedar Bluff Elementary, Bearden Middle, and Bearden High.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.



**9-A-20-PD
DEVELOPMENT PLAN**

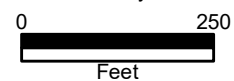


Three two-family dwelling (duplex) structures on individual lots in RN-2 (Single-Family Residential Neighborhood) / PD (Planned Development)

Petitioner: Rowe, Brian

Map No: 119

Jurisdiction: City



Original Print Date: 8/14/2020

Revised:

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902



MARS HILL DUPLEX

LOT 2

MARS HILL ROAD

KNOXVILLE, TN 37923

the
benefield · richters
company

planning
architecture

516 union ave
knoxville, tn 37902
(865) 637-7009



PERSPECTIVES
ARE FOR VISUAL
REFERENCE
ONLY DO NOT
SCALE. REFER TO
CONSTRUCTION
DOCUMENTS.



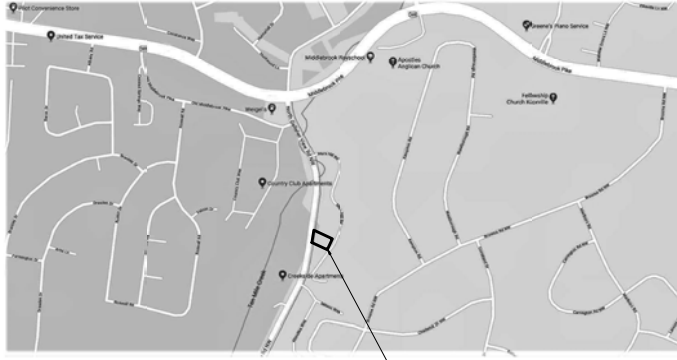
EXTERIOR RENDERING LOOKING WEST

DRAWING INDEX

- G-000 COVERSHEET
- G-001 ABBREVIATIONS, SYMBOLS & NOTES
- C-101 SITE PLAN
- A-101 FLOOR PLAN
- A-102 REFLECTED CEILING & ELECTRICAL OUTLET PLAN
- A-103 FOUNDATION, ROOF FRAMING, & ROOF PLANS
- A-201 EXTERIOR ELEVATIONS
- A-301 WINDOW & DOOR DETAILS, ENLARGED KITCHEN PLAN
- A-601 WALL SECTIONS
- A-901 SPECIFICATIONS
- TOTAL SHEETS: 10



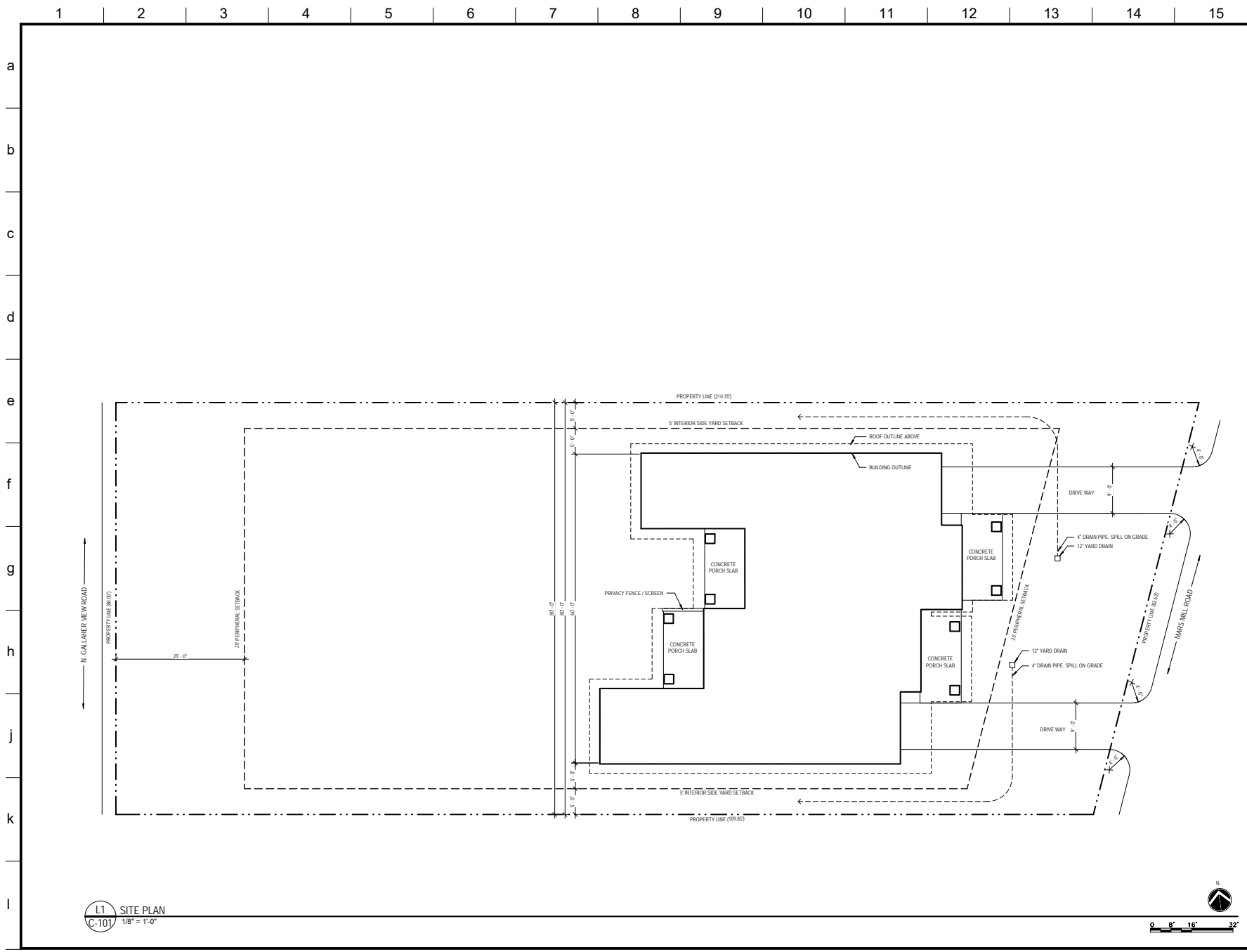
LOCATION MAP



LOCATION MAP

9-A-20-PD
7/27/2020

MARS HILL DUPLEX
RELEASE FOR CONSTRUCTION
ISSUE DATE: 10/22/2019



benefield • richters
 planning
 architecture
 516 union ave
 knoxville, tn 37902
 (865) 637-7000

MARS HILL DUPLEX

**LOT 2
 MARS HILL ROAD
 KNOXVILLE, TN 37923**

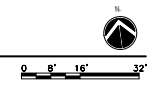
SITE PLAN

DATE	BY	REVISION
RELEASE FOR CONSTRUCTION	DR	AM

9-A-20-PD
 7/27/2020

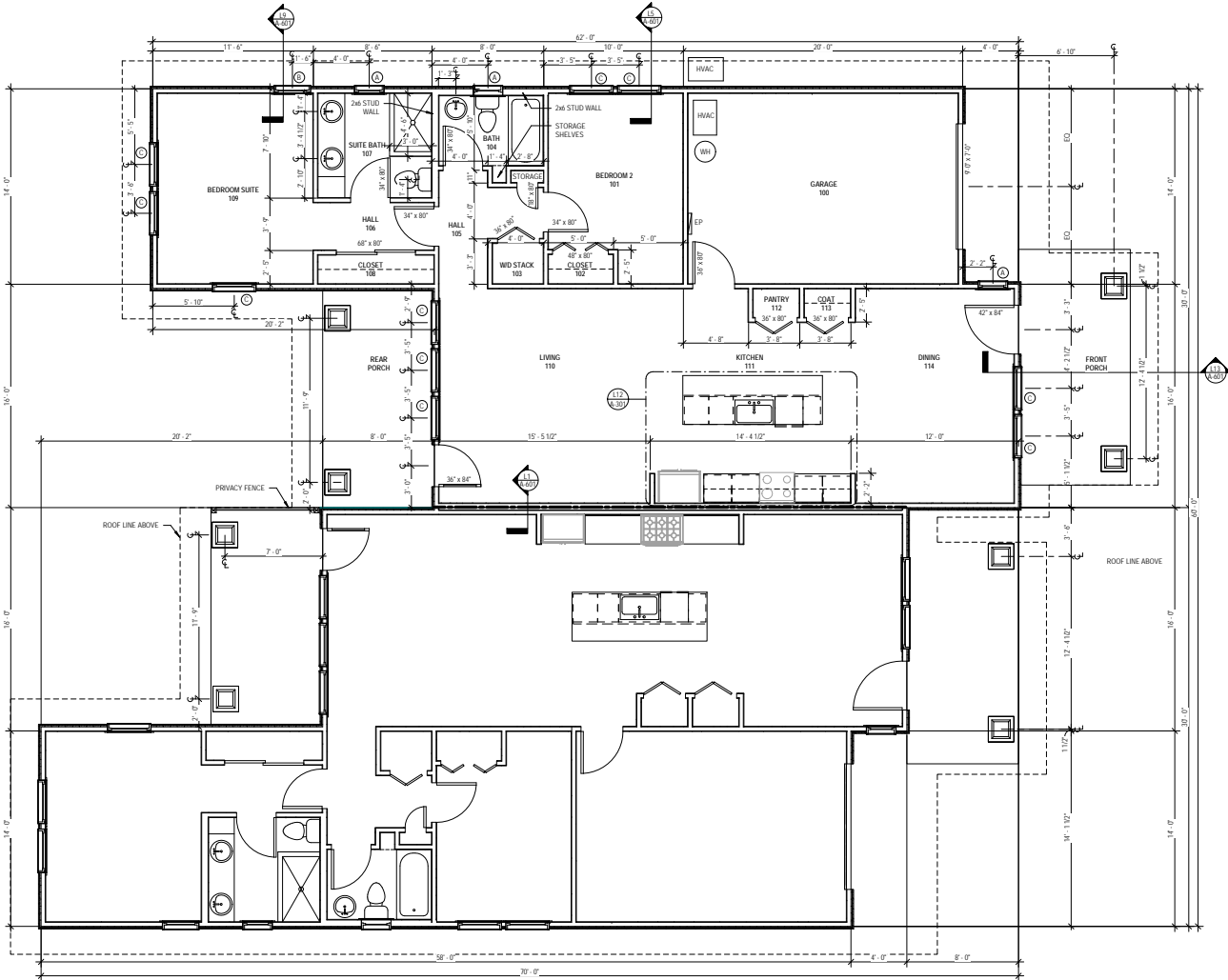
C-101

L1 SITE PLAN
 C-101 1/8" = 1'-0"



1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

a
b
c
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h
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k
l

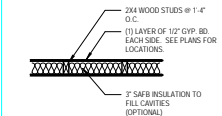


FLOOR PLAN LEGEND

- KEYNOTE REFERENCE
- WALL
- INDICATES 1-HR FIRE RATED WALL CONSTRUCTION - SEE PLAN AND NOTES FOR WALL TYPES
- WINDOW
- DOOR
- REFR REFRIGERATOR
- WID WASHER/DRYER
- EP ELECTRICAL PANEL
- WH WATER HEATER
- WINDOW DESIGNATION
- 36" x 80" DOOR DIMENSIONS

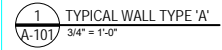
GENERAL FLOOR PLAN NOTES:

1. FIELD VERIFY DIMENSIONS. REPORT DISCREPANCIES TO ARCHITECT
2. DIMENSIONS ARE FROM FACE OF STUD AND FACE OF MASONRY UNLESS NOTED OTHERWISE
3. INTERIOR PARTITIONS, U.N.O., SHALL BE WALL TYPE 'A'. EXTEND TO BOTTOM OF STRUCTURE. SEE A-101 FOR WALL TYPE DEFINITION
4. PROVIDE SOLID WOOD BLOCKING OR PLYWOOD FOR INSTALLATION OF TOILET ACCESSORIES, SHELVEING, CASEWORK, AND OTHER SPECIALTY OR WALL MOUNTED ITEMS.

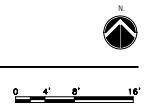


SEALANT NOTES: APPLY SEALANT (FIRE RATED WHERE REQUIRED) AT THE FOLLOWING CONDITIONS:

1. INTERSECTION OF GYP PANELS AND FLOOR & ROOF DECKING.
2. GYP PANELS MEET DISSIMILAR MATERIALS.
3. OUTLETS & OTHER WALL PENETRATIONS.
4. EXPANSION & CONTROL JOINTS.



L3 WALL FRAMING PLAN
A-101 1/4" = 1'-0"



benefield.richters
planning
architecture
516 Union Ave.
Knoxville, TN 37902
(865) 637-7000

MARS HILL DUPLEX
LOT 2
MARS HILL ROAD
KNOXVILLE, TN 37923

FLOOR PLAN

DATE	ISSUED BY	REVISION	DATE
RELEASE FOR CONSTRUCTION	SM	AM	10/28/19

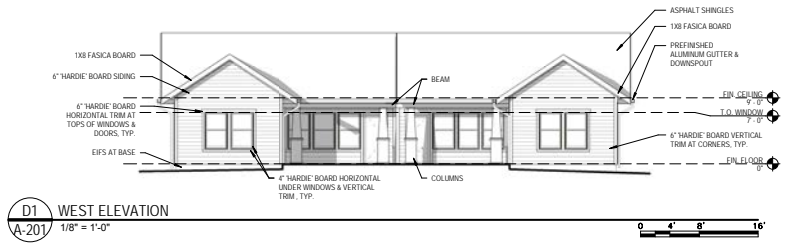
9-A-20-PD
7/27/2020

A-101

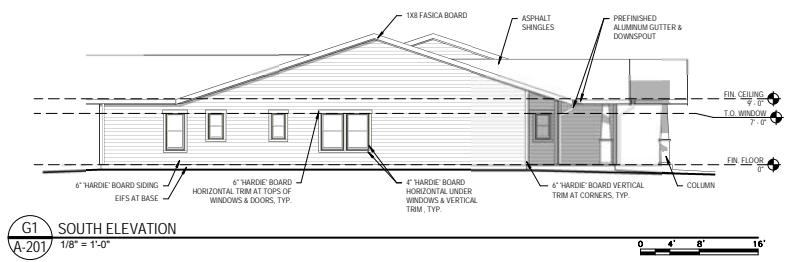
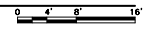
1 2 3 4 5 6 7 8 9 10 11 12 13 14 15

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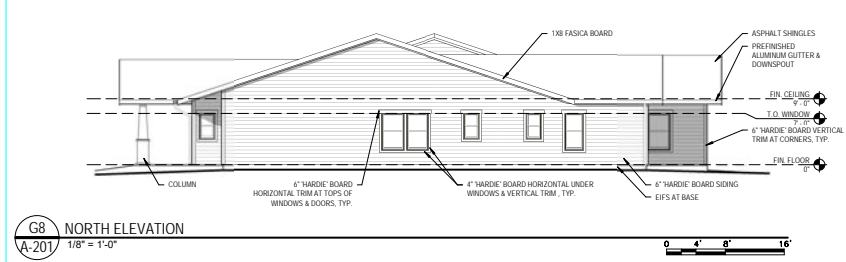
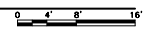
benefield.richters
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 516 union ave
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 (865) 637-7000



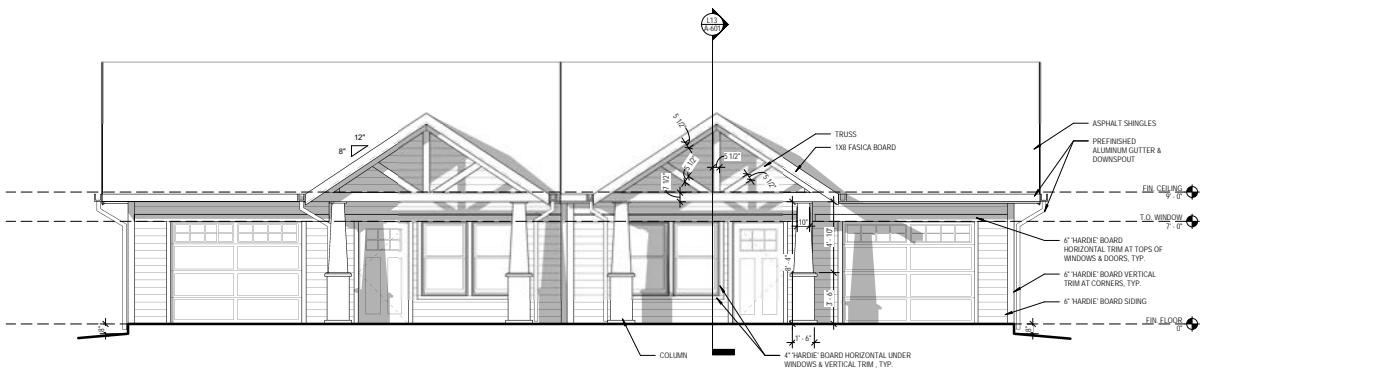
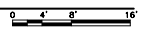
D1 WEST ELEVATION
 A-201 1/8" = 1'-0"



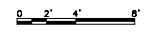
G1 SOUTH ELEVATION
 A-201 1/8" = 1'-0"



G8 NORTH ELEVATION
 A-201 1/8" = 1'-0"



L1 EAST ELEVATION
 A-201 1/4" = 1'-0"



MARS HILL DUPLEX
 LOT 2
 MARS HILL ROAD
 KNOXVILLE, TN 37923
 EXTERIOR ELEVATIONS

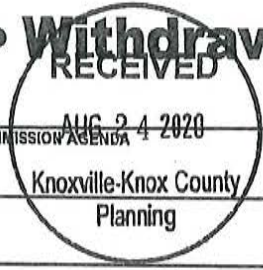
DATE	ISSUED BY	REVISION	DATE
RELEASE FOR CONSTRUCTION	GH	AM	10/25/20

9-A-20-PD
 7/27/2020

A-201



Request to Postpone • Table • Withdraw



Name of Applicant: Brian Rowe
AS IT APPEARS ON THE CURRENT PLANNING COMMISSION AGENDA

Original File Number(s): 9-A-20-PD

Date Scheduled for Planning Review: 9/10/2020

Date Request Filed: 8/24/2020 Request Accepted by: Mike Reynolds

REQUEST

Postpone
Please postpone the above application(s) until:

DATE OF FUTURE PUBLIC MEETING

Table
Please table the above application(s).

Withdraw
Please withdraw the above application(s).

State reason for request:
Resubmitting as Special Use
(10-A-20-SU)

Eligible for Fee Refund? Yes No

Amount: _____

Approved by: _____

Date: _____

APPLICATION AUTHORIZATION

I hereby certify that I am the property owner, applicant, or applicant's authorized representative.

Signature: [Signature]

PLEASE PRINT
Name: Brian Rowe

Address: 312 S. Gay St Suite 200

City: Knoxville State: TN Zip: 37802

Telephone: 865-771-9982

Fax: N/A

E-mail: brian.rove@blackswenths.com

PLEASE NOTE

Consistent with the guidelines set forth in Planning's Administrative Rules and Procedures:

POSTPONEMENTS

Any first time (new) Planning application is eligible for one automatic postponement. This request is for 30 days only and does not require Planning approval if received no later than 3:30 p.m. on the Friday prior to the Planning Commission meeting. All other postponement requests must be acted upon by Planning before they can be officially postponed to a future public meeting.

TABLINGS

Any item requested for tabling must be acted upon by the Planning Commission before it can be officially tabled.

WITHDRAWALS

Any item is eligible for automatic withdrawal. A request for withdrawal must be received no later than 3:30p.m. on the Friday prior to the Planning Commission meeting. Withdrawal requests that do not meet these guidelines must be acted upon by Planning Commission before they can be officially withdrawn.

Any new item withdrawn may be eligible for a fee refund according to the following:

Application withdrawal with fee refund will be permitted only if a written request is received prior to public notice. This request must be approved by either the Executive Director, or the Planning Services Manager. Applications may be withdrawn after this time, but without fee refund.

(1) Download and fill out this form at your convenience. (2) Sign the application digitally (or print, sign, and scan). (3) Either print the completed form and bring it to the Knoxville-Knox County Planning offices or email it to applications@knoxplanning.org.

Reset Form



Planning
KNOXVILLE | KNOX COUNTY

DEVELOPMENT REQUEST

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
- Rezoning

Brian Rowe

Applicant Name

Owner

Affiliation

9-A-20-PD

8/27/2020

Date Filed

9/10/2020

Meeting Date (if applicable)

~~9-D-20-SU~~

File Numbers(s)

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Brian Rowe

Century Building LLC

Name

Company

312 S Gay St

Knoxville

TN

37902

Address

City

State

Zip

865-771-9982

brian.rowe@blackswan.tn.com

Phone

Email

CURRENT PROPERTY INFO

SAME

Owner Name (if different)

Owner Address

Owner Phone

0.33, 0.39
Merrill Hill Road

119 DD00302, 119 DP00303, 119 DP00304

Property Address

Parcel ID

West side of Merrill Hill Rd.

East of Gollaker View, South of Middlebrook

2.86 acres ± 1.5 acres ±

General Location

Tract Size

City of Knoxville 2nd District

RN-2/PD (formally RP-1)

Jurisdiction (specify district above)

- City
- County

Zoning District

NW County

LDR

Urban Growth

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

Residential

N

KUB

KUB

Existing Land Use

Septic (Y/N)

Sewer Provider

Water Provider

REQUEST

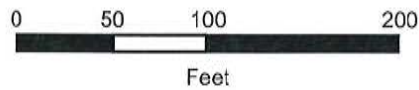
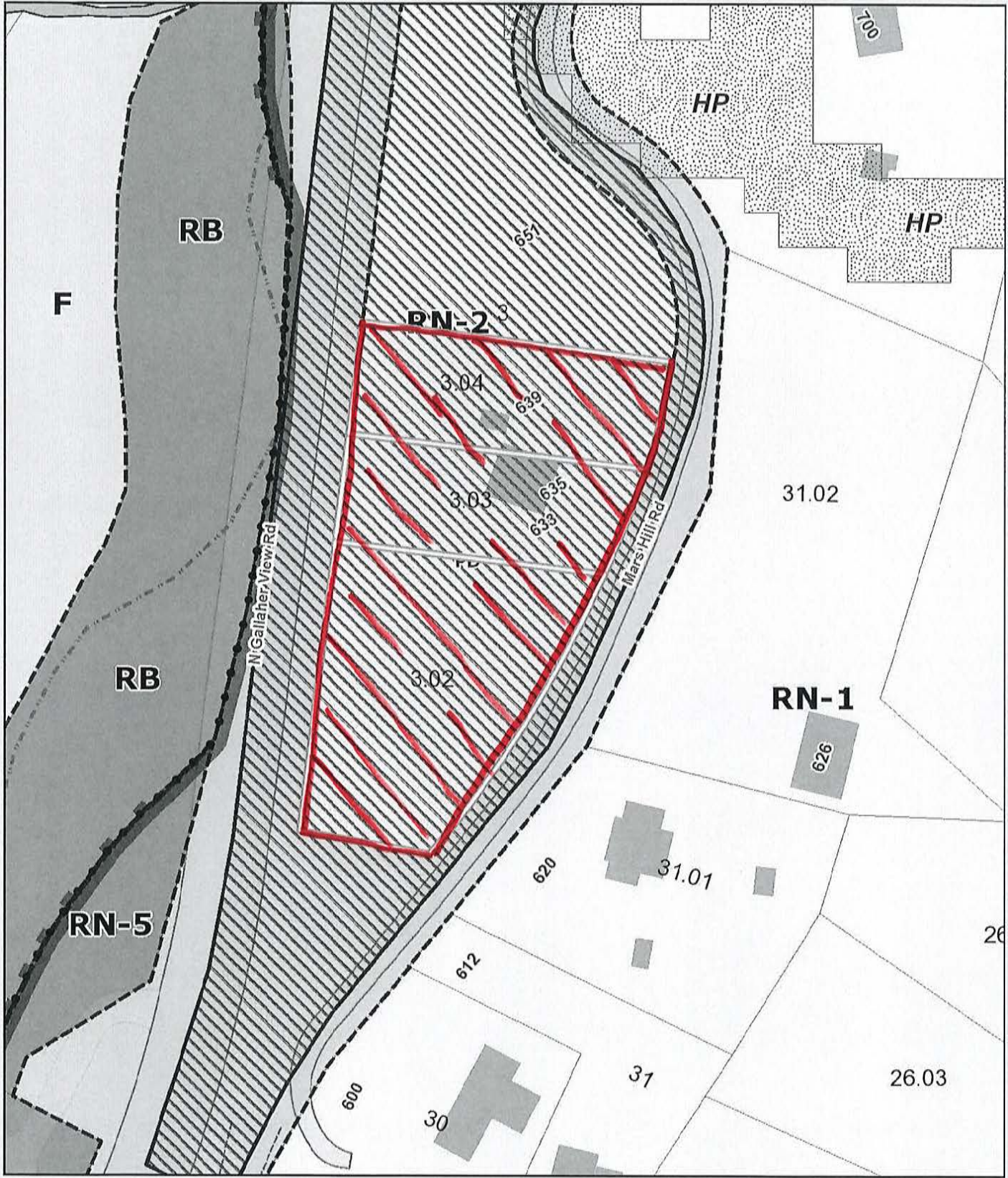
Duplex Construction on 3 lots

DEVELOPMENT	<input type="checkbox"/> Development Plan <input checked="" type="checkbox"/> Use on Review / Special Use		
	<input type="checkbox"/> Residential <input type="checkbox"/> Non-Residential		
	<input type="checkbox"/> Home Occupation (specify): _____		
	<input type="checkbox"/> Other (specify): _____		
SUBDIVISION	<input type="checkbox"/> Proposed Subdivision Name _____	Unit / Phase Number _____	
	<input type="checkbox"/> Parcel Change		
	<input type="checkbox"/> Combine Parcels <input type="checkbox"/> Divide Parcel	Total Number of Lots Created: _____	
	<input type="checkbox"/> Other (specify): _____		
	<input type="checkbox"/> Attachments / Additional Requirements		
ZONING	<input type="checkbox"/> Zoning Change: _____	Proposed Zoning _____	
	<input type="checkbox"/> Plan Amendment Change: _____	Proposed Plan Designation(s) _____	
	Proposed Density (units/acre) _____	Previous Rezoning Requests _____	
	<input type="checkbox"/> Other (specify): _____		

STAFF USE ONLY	PLAT TYPE	<input type="checkbox"/> Staff Review <input type="checkbox"/> Planning Commission	FEE 1:	TOTAL: <i>\$1900.⁰⁰</i>
	ATTACHMENTS	<input type="checkbox"/> Property Owners / Option Holders <input type="checkbox"/> Variance Request	<i>0403</i>	
	ADDITIONAL REQUIREMENTS	<input type="checkbox"/> Design Plan Certification (<i>Final Plat only</i>)	FEE 2:	
	<input type="checkbox"/> Use on Review / Special Use (<i>Concept Plan only</i>)	<input type="checkbox"/> Traffic Impact Study	FEE 3:	

AUTHORIZATION By signing below, I certify I am the property owner, applicant or the owners authorized representative.

<i>[Signature]</i>	<i>Brian Rowe</i>	<i>6/27/2020</i>
Applicant Signature	Please Print	Date
<i>365-771-5982</i>	<i>brian.rowe@blackswater.com</i>	
Phone Number	Email	
<i>[Signature]</i>	<i>Michael Reynolds</i>	<i>7/27/2020</i>
Staff Signature	Please Print	Date

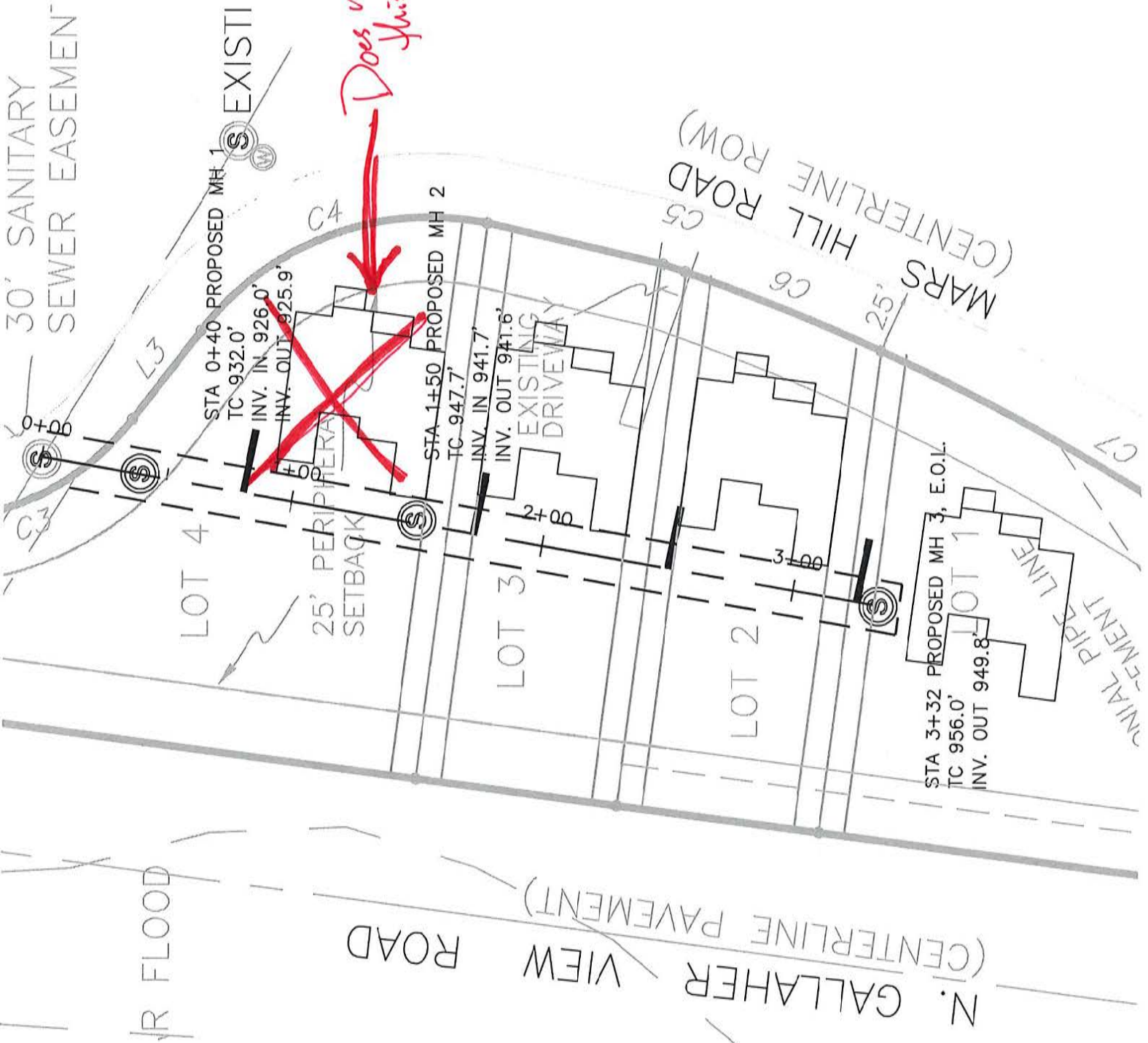


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Printed: 7/27/2020 11:33:00 AM

30' SANITARY SEWER EASEMENT



Does not include this lot.

R FLOOD

N. GALLAHER VIEW ROAD (CENTERLINE PAVEMENT)

MARS HILL ROAD (CENTERLINE ROW)

LOT 4

LOT 3

LOT 2

STA 0+40 PROPOSED MH 1
TC 932.0'
INV. IN 926.0'
INV. OUT 925.9'

STA 1+50 PROPOSED MH 2
TC 947.7'
INV. IN 941.7'
INV. OUT 941.6'

STA 3+32 PROPOSED MH 3, E.O.L.
TC 956.0'
INV. OUT 949.8'

25' PERIPHERAL SETBACK

EXISTING DRIVEWAY

ANNUAL PIPE LINE EASEMENT



PLANNED DEVELOPMENT PRELIMINARY PLAN

▶ **FILE #:** 9-B-20-PD

AGENDA ITEM #: 32

AGENDA DATE: 9/10/2020

▶ **APPLICANT:** KROGER LIMITED PARTNERSHIP I

OWNER(S): Kroger Limited Partnership I

TAX ID NUMBER: 58 K C 007 PART OF

[View map on KGIS](#)

JURISDICTION: City Council District 5

STREET ADDRESS: 5201 N. Broadway

▶ **LOCATION:** Northeast side of Knox Rd., south side of N. Broadway

▶ **APPX. SIZE OF TRACT:** 9.15 acres

SECTOR PLAN: North City

GROWTH POLICY PLAN: N/A

ACCESSIBILITY:

UTILITIES: Water Source:

Sewer Source:

WATERSHED:

▶ **ZONING:** C-G-2 (General Commercial) / PD (Planned Development)

▶ **EXISTING LAND USE:** Parking Lot

▶ **PROPOSED USE:** Fuel center for Kroger grocery store

HISTORY OF ZONING: The property was rezoned PC-1(k) in 2008 (7-M-08-RZ) and is currently zoned C-G-2.

SURROUNDING LAND USE AND ZONING: North: Kroger, office, general commercial / C-G-2 (General Commercial)

South: Restaurants, general commercial / C-G-2 (General Commercial)

East: Neighborhood commercial, medical office, restaurant, residential / C-G-2 (General Commercial), C-N (Neighborhood Commercial), O (Office) & RN-1 (Single-Family Residential Neighborhood)

West: Park, vacant land / C-G-2 (General Commercial), OS (Parks and Open Space) & F (Floodplain)

NEIGHBORHOOD CONTEXT: This developed site is located on N. Broadway within the Fountain City commercial area and west of the Gibbs Drive (National Register) Historic District. The current zoning is the area consists of C-G-2, O, C-N, RN-1, RN-4, and OS.

STAFF RECOMMENDATION:

▶ **WITHDRAW** the application as requested by the applicant.

The applicant has requested withdrawal of this Planned Development application so a Special Use application can be submitted for the October Planning Commission meeting.

COMMENTS:

The applicant is proposing a fuel center in the parking lot of the Kroger in Fountain City. The property is currently zoned C-G-2 and the former zoning on the property was PC-1(k). In 2008, the Planning Commission approved the development plan for the Kroger on this site. The transitional rules of the new zoning ordinance (Section 1.4.G) states that all previously approved planned districts remain in effect and are subject to all plans, regulations, and/or conditions of their approval, and that these developments are subject to the Planned Development (PD) amendment and/or development approval procedures. The PD amendment process requires a preliminary plan to be approved by both the Planning Commission and City Council, and then a final plan to be approved by the Planning Commission.

In April 2020, the Planning Commission recommended amendments to the transitional rules to remove the former commercial planned districts from those where the previously approved plans remain in effect. During the July 9, 2020 Council workshop, City Council recommended additional changes to the proposed amendments so that the former planned commercial districts are not removed from this section and that amendments to all previously approved development plans be subject to the Special Use approval procedures as they were under the old code. The Special Use (SU) process is what the former Use on Review (UOR) approval procedures were called.

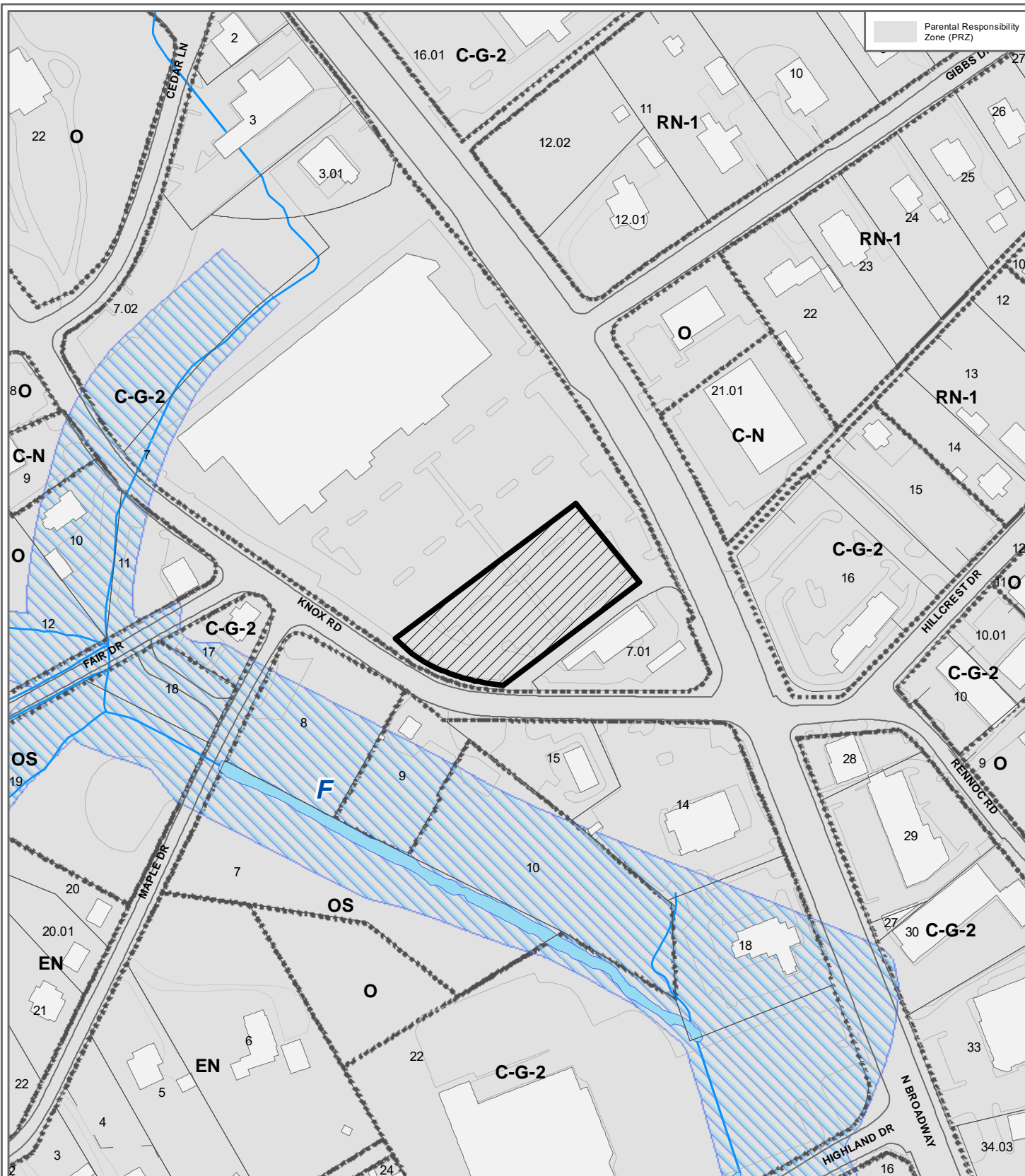
The Planning Commission will consider the revised amendments to the transition rules at the September 2020 meeting and if recommended for approval, the City Council will consider the amendments in October 2020. If City Council approves the amendments on emergency at their October 6th meeting, the applicants new application for SU application for the October 8th Planning Commission could be considered for approval. If City Council does not approve the amendments on emergency then the SU application will need to be postponed until at least the November Planning Commission meeting to allow time for a final decision to be made by City Council.

ESTIMATED TRAFFIC IMPACT: 2054 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: Not applicable.

If approved, this item will be forwarded to Knoxville City Council for action on 10/6/2020 and 10/20/2020. If denied, Knoxville-Knox County Planning Commission's action is final, unless the action to deny is appealed to Knoxville City Council. The date of the appeal hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal a Planning Commission decision in the City.



**9-B-20-PD
DEVELOPMENT PLAN**

Petitioner: Kroger Limited Partnership I

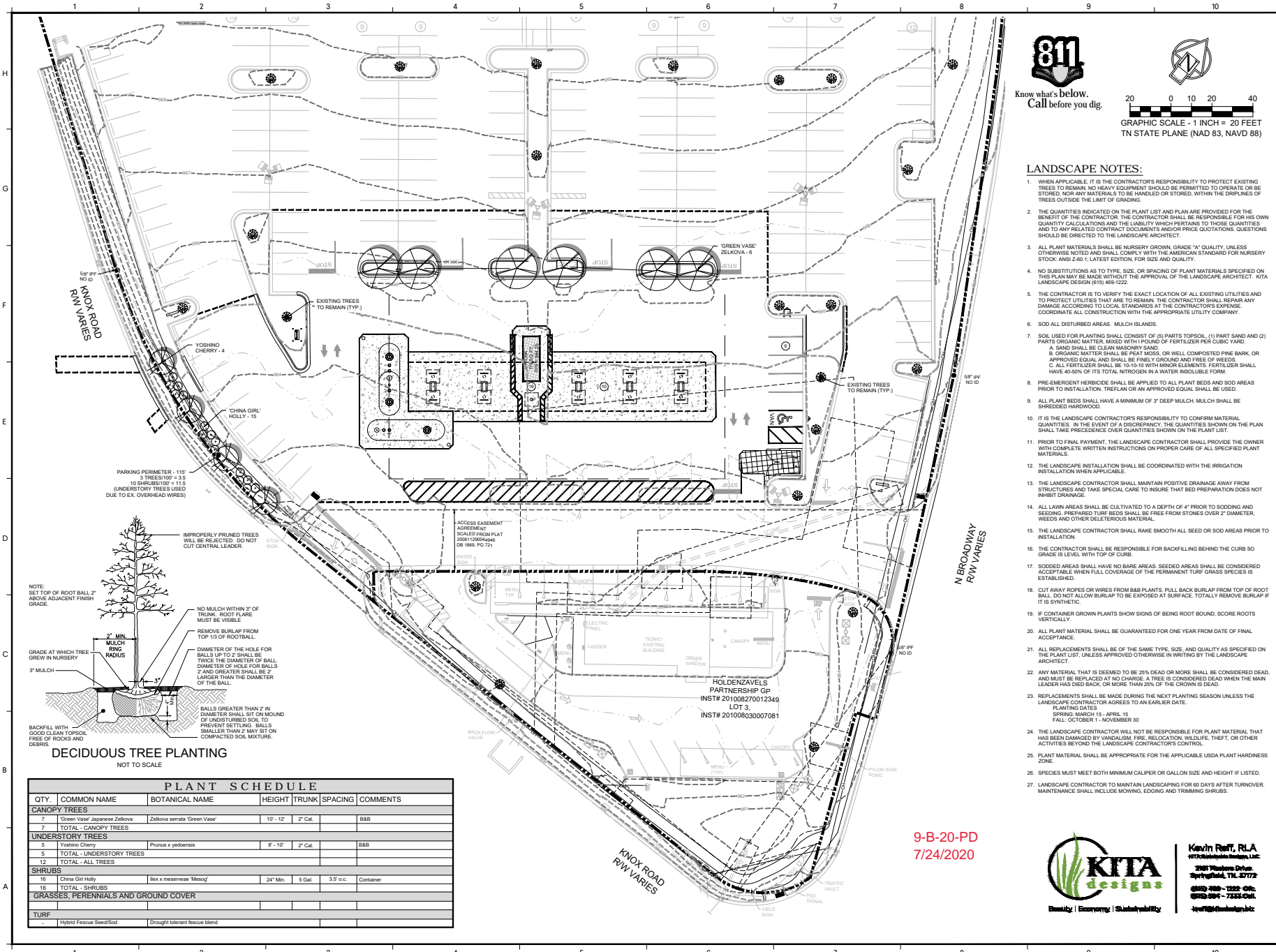


Fuel center for Kroger grocery store in C-G-2 (General Commercial) / PD (Planned Development)

Original Print Date: 8/14/2020 Revised:
Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Map No: 58
Jurisdiction: City

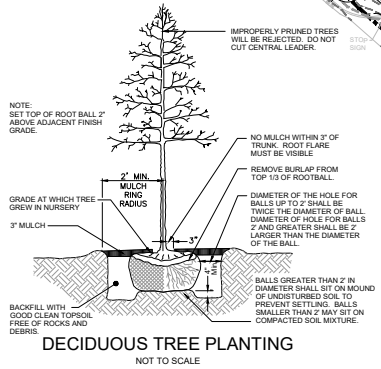




811
Know what's below.
Call before you dig.

GRAPHIC SCALE - 1 INCH = 20 FEET
TN STATE PLANE (NAD 83, NAVD 88)

- LANDSCAPE NOTES:**
1. WHEN APPLICABLE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING TREES TO REMAIN. NO HEAVY EQUIPMENT SHOULD BE PERMITTED TO OPERATE OR BE STORED, NOR ANY MATERIALS TO BE HANDLED OR STORED, WITHIN THE DROPLINES OF TREES OUTSIDE THE LIMIT OF GRADING.
 2. THE QUANTITIES INDICATED ON THE PLANT LIST AND PLAN ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS AND THE LIABILITY WHICH PERTAINS TO THESE QUANTITIES AND TO ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS. QUESTIONS SHOULD BE DIRECTED TO THE LANDSCAPE ARCHITECT.
 3. ALL PLANT MATERIALS SHALL BE NURSERY GROWN, GRADE "A" QUALITY, UNLESS OTHERWISE NOTED AND SHALL COMPLY WITH THE AMERICAN STANDARDS FOR NURSERY STOCK: ANSI Z60.1, LATEST EDITION, FOR SIZE AND QUALITY.
 4. NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT. KITA, LANDSCAPE DESIGN (615) 469-1222.
 5. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TO PROTECT UTILITIES THAT ARE TO REMAIN. THE CONTRACTOR SHALL REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
 6. SO ALL DISTURBED AREAS: MULCH (B) OR SOIL (C) SHALL BE RESTORED TO ORIGINAL CONDITION.
 7. SOIL USED FOR PLANTING SHALL CONSIST OF (B) PARTS TOPSOIL, (1) PART SAND AND (2) PARTS ORGANIC MATTER, MIXED WITH (1) POUND OF FERTILIZER PER CUBIC YARD. A. SAND SHALL BE CLEAN MASONRY SAND. B. ORGANIC MATTER SHALL BE PEAT MOSS OR WELL-COMPOSTED PINE BARK, OR APPROVED EQUAL AND SHALL BE FINELY GROUND AND FREE OF WEEDS. C. ALL FERTILIZER SHALL BE 10-10-10 WITH MINOR ELEMENTS. FERTILIZER SHALL HAVE 40-50% OF ITS TOTAL NITROGEN IN A WATER INSOLUBLE FORM.
 8. PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AND SOO AREAS PRIOR TO INSTALLATION. TRIFLURAN OR AN APPROVED EQUAL SHALL BE USED.
 9. ALL PLANT BEDS SHALL HAVE A MINIMUM OF 3" DEEP MULCH. MULCH SHALL BE SHREDDED HARDWOOD.
 10. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO CONFIRM MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT LIST.
 11. PRIOR TO FINAL PAYMENT, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH COMPLETE WRITTEN INSTRUCTIONS ON PROPER CARE OF ALL SPECIFIED PLANT MATERIALS.
 12. THE LANDSCAPE INSTALLATION SHALL BE COORDINATED WITH THE IRRIGATION INSTALLATION WHEN APPLICABLE.
 13. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES AND TAKE SPECIAL CARE TO INSURE THAT BED PREPARATION DOES NOT INHIBIT DRAINAGE.
 14. ALL LAWN AREAS SHALL BE CULTIVATED TO A DEPTH OF 4" PRIOR TO SOODING AND SEEDING. PREPARED TURF BEDS SHALL BE FREE FROM STONES OVER 2" DIAMETER, WEEDS AND OTHER DELETERIOUS MATERIAL.
 15. THE LANDSCAPE CONTRACTOR SHALL RAKE SMOOTH ALL SOO OR SOO AREAS PRIOR TO INSTALLATION.
 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING BEHIND THE CURB SO GRADE IS LEVEL WITH TOP OF CURB.
 17. SOODED AREAS SHALL HAVE NO BARE AREAS. SEEDDED AREAS SHALL BE CONSIDERED ACCEPTABLE WHEN FULL COVERAGE OF THE PERMANENT TURF GRASS SPECIES IS ESTABLISHED.
 18. CUT AWAY ROPES OR WIRES FROM BAB PLANTS. PULL BACK BURLAP FROM TOP OF ROOT BALL. DO NOT ALLOW BURLAP TO BE EXPOSED AT SURFACE. TOTALLY REMOVE BURLAP IF IT IS SYNTHETIC.
 19. IF CONTAINER GROWN PLANTS SHOW SIGNS OF BEING ROOT BOUND, SCORE ROOTS VERTICALLY.
 20. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
 21. ALL REPLACEMENTS SHALL BE OF THE SAME TYPE, SIZE, AND QUALITY AS SPECIFIED ON THE PLANT LIST, UNLESS APPROVED OTHERWISE IN WRITING BY THE LANDSCAPE ARCHITECT.
 22. ANY MATERIAL THAT IS DEEMED TO BE 20% DEAD OR MORE SHALL BE CONSIDERED DEAD, AND MUST BE REPLACED AT NO CHARGE. A TREE IS CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR MORE THAN 20% OF THE CROWN IS DEAD.
 23. REPLACEMENTS SHALL BE MADE DURING THE NEXT PLANTING SEASON UNLESS THE LANDSCAPE CONTRACTOR AGREES TO AN EARLIER DATE.
PLANTING DATES:
SPRING: MARCH 15 - APRIL 15
FALL: OCTOBER 1 - NOVEMBER 30
 24. THE LANDSCAPE CONTRACTOR WILL NOT BE RESPONSIBLE FOR PLANT MATERIAL THAT HAS BEEN DAMAGED BY VANDALISM, FIRE, RELOCATION, WILDLIFE, THEFT, OR OTHER ACTIVITIES BEYOND THE LANDSCAPE CONTRACTOR'S CONTROL.
 25. PLANT MATERIAL SHALL BE APPROPRIATE FOR THE APPLICABLE USDA PLANT HARDNESS ZONE.
 26. SPECIES MUST MEET BOTH MINIMUM CALIPER OR GALLON SIZE AND HEIGHT IF LISTED.
 27. LANDSCAPE CONTRACTOR TO MAINTAIN LANDSCAPING FOR 60 DAYS AFTER TURN-OVER. MAINTENANCE SHALL INCLUDE MOWING, EDGING AND TRIMMING SHRUBS.



PLANT SCHEDULE						
QTY.	COMMON NAME	BOTANICAL NAME	HEIGHT	TRUNK	SPACING	COMMENTS
CANOPY TREES						
7	'Green Vase' Japanese Zelkova	Zelkova serrata 'Green Vase'	10' - 12'	2" Cal.		B&B
7	TOTAL - CANOPY TREES					
UNDERSTORY TREES						
5	Yoshino Cherry	Prunus x yedoensis	8' - 10'	2" Cal.		B&B
5	TOTAL - UNDERSTORY TREES					
12	TOTAL - ALL TREES					
SHRUBS						
16	China Girl Holly	Ilex x meserveae 'Missy'	24" Min.	5 Gal.	3.0' o.c.	Container
16	TOTAL - SHRUBS					
GRASSES, PERENNIALS AND GROUND COVER						
TURF						
	Hybrid Fescue Seed/Soil	Drought tolerant fescue blend				

9-B-20-PD
7/24/2020



Kevin Reff, R.L.A.
1774 Woodlands Dr.,
Springfield, TN 37174
(615) 469-1222
(615) 894-7333
kita@kitadesigns.com

GMC

330 West End Avenue, Suite 420
Nashville, TN 37203
T 615.333.7200
GMCNETWORK.COM

Kroger

KROGER STORE U-698
FUEL CENTER
2000 KNOXVILLE PIKE
KNOXVILLE TN 37918

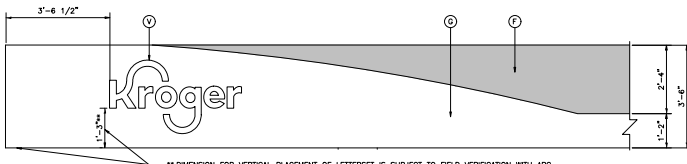
ISSUE DATE: 06/15/2020
DRAWN BY: S. DOODS
CHECKED BY: B. BARK

GMC PROJECT #CNAS190111

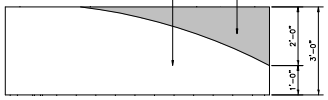
6/15/20

LANDSCAPE PLAN

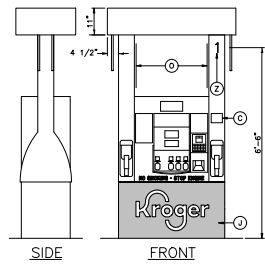
L-1.1



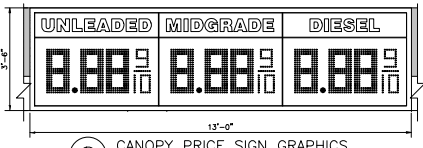
1 CANOPY GRAPHICS
SCALE: 1/2"=1'-0"



2 KIOSK GRAPHICS
SCALE: 1/2"=1'-0"



7 DISPENSER ELEVATION
SCALE: 1/2"=1'-0"

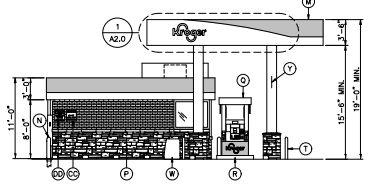


8 CANOPY PRICE SIGN GRAPHICS
SCALE: 1/2"=1'-0"

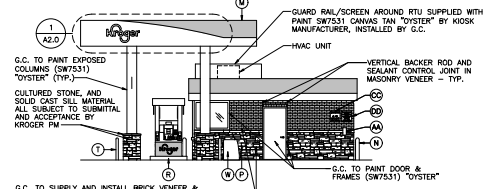
CONTRACTOR SHALL SUBMIT: MASONRY, MORTAR, MASONRY VENEER TIES, HORIZONTAL MASONRY VENEER REINFORCING AND PAINT SAMPLES TO OWNER'S CONSTRUCTION REPRESENTATIVE FOR APPROVAL PRIOR TO ORDERING MATERIALS. SOLID 'L' CORNERS OR PISTOL CUT CORNERS SHALL BE USED AT ALL OUTSIDE CORNERS OF MASONRY VENEER.

EQUIPMENT SCHEDULE

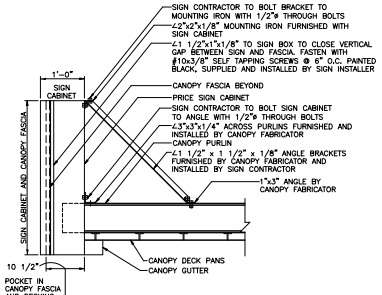
ITEM	DESCRIPTION	COLOR	MANUFACTURER	MODEL	FURNISHED BY	INSTALLED BY
A	INTERNALLY ILLUMINATED IDENTIFICATION SIGN		CUMMINGS SIGNS		OWNER	SIGN INSTALLER
B	LED 'PRICE SIGN AND CONTROL ANTENNA, SEE DETAIL 10, THIS SHEET		LANDMARK SIGN ALLIANCE		OWNER	SIGN INSTALLER
C	STATIC WARNING DECAL		WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
D	NOT USED					
E	MASONRY BASE BY G.C.				OWNER	GENERAL CONTRACTOR
F	CANOPY FASCIA	SANDSTONE			CANOPY FABRICATOR	CANOPY FABRICATOR
G	CANOPY FASCIA	OYSTER			CANOPY FABRICATOR	CANOPY FABRICATOR
H	NOT USED					
I	PREFRIG BEAD/ VINYL ADDRESS DECALS PER LOCAL AUTHORITY SPECIFICATIONS, IF REQUIRED				GENERAL CONTRACTOR	GENERAL CONTRACTOR
J	DISPENSER DOOR GRAPHICS	RED WITH WHITE LETTERS	WAYNE		DISPENSER MANUFACTURER	DISPENSER MANUFACTURER
K	KIOSK FASCIA	SANDSTONE			KIOSK FABRICATOR	KIOSK FABRICATOR
L	KIOSK FASCIA	OYSTER			KIOSK FABRICATOR	KIOSK FABRICATOR
M	CANOPY				CANOPY FABRICATOR	CANOPY FABRICATOR
N	6" DIAMETER BOLLARD - G.C. TO PAINT	SAFETY RED			GENERAL CONTRACTOR	GENERAL CONTRACTOR
O	HEALTH AND SAFETY DECALS		WAYNE		DISPENSER MANUFACTURER	GENERAL CONTRACTOR
P	KIOSK - PREFABRICATED				KIOSK FABRICATOR	GENERAL CONTRACTOR
Q	DISPENSER		WAYNE		OWNER	GENERAL CONTRACTOR
R	ISLAND FORMS		RIVERSIDE		OWNER	GENERAL CONTRACTOR
S	CANOPY COLLARS - G.C. TO PAINT EXPOSED PORTIONS SEE DRAWINGS FOR ADDITIONAL WORK BY G.C.		SWTSEST CANVAS TAIL 'OYSTER'		CANOPY FABRICATOR	CANOPY FABRICATOR
T	STAINLESS STEEL TRAFFIC U PIPE GUARD		RIVERSIDE		OWNER	GENERAL CONTRACTOR
U	LED 'TRIPLE SIGN AND CONTROL ANTENNA, SEE DETAIL 8, THIS SHEET		LANDMARK SIGN ALLIANCE		OWNER	SIGN INSTALLER
V	ILLUMINATED CHANNEL LETTERS		CUMMINGS SIGNS		OWNER	SIGN INSTALLER
W	WASTE RECEPTACLE/WINDSHIELD SERVICE CENTER		DCI MARKETING		OWNER	GENERAL CONTRACTOR
X	NOT USED					
Y	PUMP NUMBER FLAG				CANOPY FABRICATOR	GENERAL CONTRACTOR
Z	4" BLACK VINYL DECAL (DISPENSER NUMBER)				OWNER	GENERAL CONTRACTOR
AA	CALL BOX				OWNER	GENERAL CONTRACTOR
BB	EMERGENCY FUEL SHUTDOWN SIGN		REFER TO A3.1: DETAIL 1		GENERAL CONTRACTOR	GENERAL CONTRACTOR
CC	UNATTENDED WARNING SIGN		REFER TO A3.1: DETAIL 2		GENERAL CONTRACTOR	GENERAL CONTRACTOR
DD	EMERGENCY INSTRUCTION SIGN		REFER TO A3.1: DETAIL 3		GENERAL CONTRACTOR	GENERAL CONTRACTOR



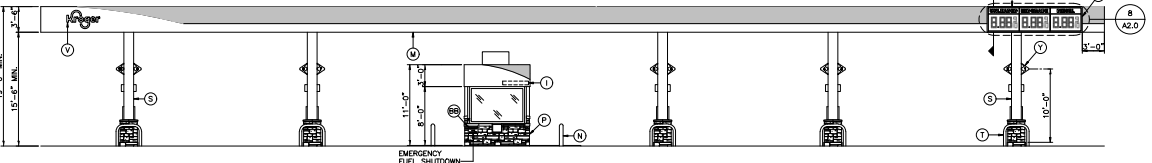
3 LEFT ELEVATION
SCALE: 1/8"=1'-0"



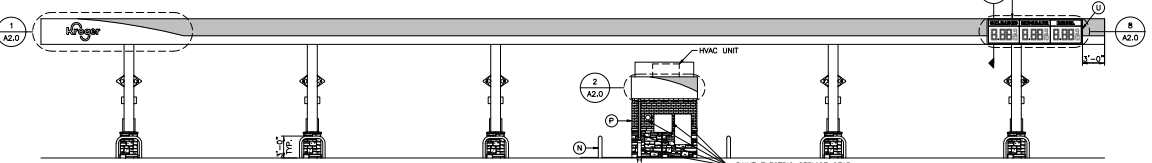
4 RIGHT ELEVATION
SCALE: 1/8"=1'-0"



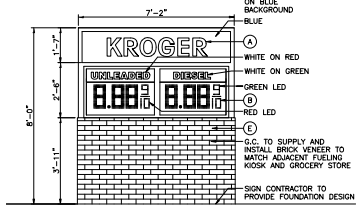
9 SECTION AT CANOPY SIGN
NOT TO SCALE



5 FRONT ELEVATION
SCALE: 1/8"=1'-0"



6 REAR ELEVATION
SCALE: 1/8"=1'-0"



10 ID SIGN GRAPHICS
SCALE: 3/8"=1'-0"

9-B-20-PD
7/24/2020

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NOTE TO CONTRACTOR:
THIS SET OF DRAWINGS AND DOCUMENTS IS INTENDED AS A SET OF GUIDELINES FOR THE PROJECT AND ARE INTENDED TO BE USED IN CONJUNCTION WITH A SET OF CONSTRUCTION SPECIFICATIONS TO BE SUPPLIED BY OWNER. THEY MUST BE READ TO INCORPORATE ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING FEDERAL A.D.A. REQUIREMENTS. THIS SET ASSUMES THAT THERE ARE NO UNUSUAL SOIL CONDITIONS OR WIND LOADS. THE FAILURE OF THIS CONSTRUCTION MAY REQUIRE SIGNIFICANT CHANGES TO THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONFORM TO ALL APPLICABLE CODES AND TO INFORM THE OWNER/ARCHITECTS OF ANY QUESTIONS OR CLARIFICATIONS WHICH ARE DESIRED. CONTRACTORS SHALL ALSO VISIT THE SITE BEFORE BIDDING. CONTRACTORS ARE REQUIRED TO KNOW ALL OBSERVABLE CONDITIONS AND APPLICABLE CODES.



PRELIMINARY
NOT FOR
CONSTRUCTION

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Submitted to: Kroger Co.
Submitted by: Galloway
Project No: 024-19-005
Date: 07/24/2020

REVISIONS

No.	DESCRIPTION	DATE

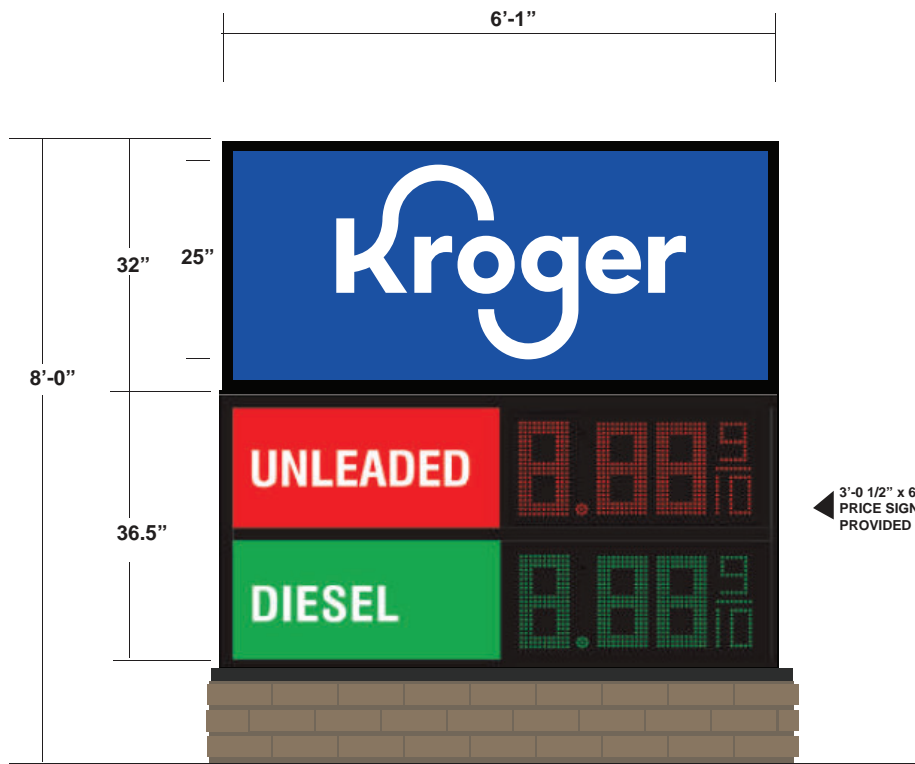
Project #: U-698
Date: MARCH, 2020
Scale: FULL
Disk File: KroU0698_A2.0-ELEV
Model: 5x1(GD)1RR Brick

Address: 5201 N. Broadway St.
Knoxville, TN 37918

EXTERIOR ELEVATIONS
& SIGNAGE

Sheet: A2.0

A



SCALE: 3/4" = 1'-0"

NOTE: MAX 32 SQ. FT. @ 8' OAH
15' SETBACK

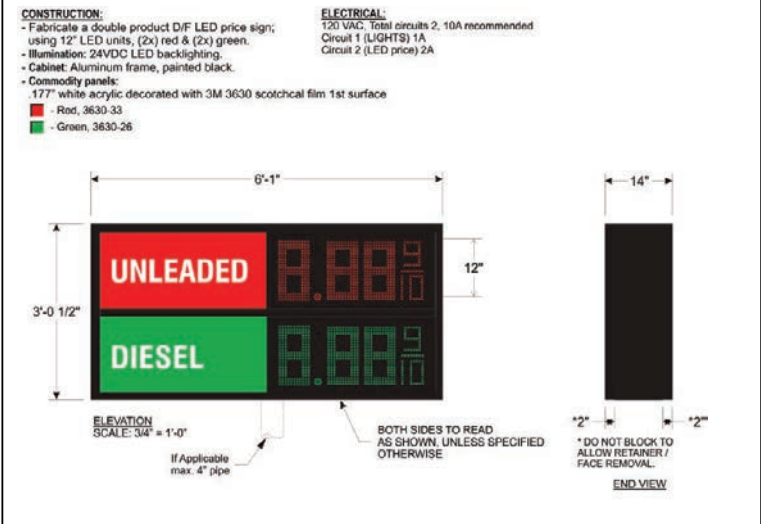
- DOUBLE FACE INTERNALLY ILLUMINATED SIGN CABINET.
- ALUMINUM CABINET & RETAINERS PAINTED BLACK.
- FLAT POLYCARBONATE FACES DECORATED WITH FLAT, FIRST SURFACE VINYL COPY.
- LED ILLUMINATION.
- 2'-6" X 6'-8" PRICE SIGN PROVIDED BY OTHERS.
- FOUNDATION & BRICK BY OTHERS.
- CUMMINGS TO PROVIDE POLE & CEMENT BOARD.



3730-8537 KROGER BLUE

- BRICK BASE COLOR T.B.D.

PRICE SIGN DETAILS



9-B-20-PD
7/24/2020

KROGER #698
5201 NORTH BROADWAY
KNOXVILLE, TN

35 SQ. FT.



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CUSTOMER APPROVAL:

DATE _____

Rev. #	DATE	BY	Rev. #	DATE	BY
Rev. #1	_____	_____	Rev. #4	_____	_____
Rev. #2	_____	_____	Rev. #5	_____	_____
Rev. #3	_____	_____	Rev. #6	_____	_____



DRAWING NO:
102230.01A

DATE 5-22-2020

S. Hawke



Request to Postpone • Table • Withdraw

RECEIVED

Name of Applicant: Kroger Limited Partnership I

AS IT APPEARS ON THE CURRENT PLANNING COMMISSION AGENDA AUG 24 2020

Original File Number(s): 9-B-20-PD

Knoxville-Knox County
Planning

Date Scheduled for Planning Review: September 10, 2020

Date Request Filed: July 24, 2020

Request Accepted by: Mike Reynolds *WR*

REQUEST

Postpone

Please postpone the above application(s) until:

DATE OF FUTURE PUBLIC MEETING

Table

Please table the above application(s).

Withdraw

Please withdraw the above application(s).

State reason for request:

* Resubmitting the request as a Special use.

(10-B-20-SU)

Eligible for Fee Refund? Yes No

Amount: _____

Approved by: _____

Date: _____

APPLICATION AUTHORIZATION

I hereby certify that I am the property owner, applicant, or applicant's authorized representative.

Signature: *RH*

PLEASE PRINT

Name: Randy Harper

Address: 3310 West End Ave., Suite 420

City: Nashville State: TN Zip: 37203

Telephone: 615-417-7175

Fax: _____

E-mail: randy.harper@gmcnetwork.com

PLEASE NOTE

Consistent with the guidelines set forth in Planning's *Administrative Rules and Procedures*:

POSTPONEMENTS

Any first time (new) Planning application is eligible for one automatic postponement. This request is for 30 days only and does not require Planning approval if received no later than 3:30 p.m. on the Friday prior to the Planning Commission meeting. All other postponement requests must be acted upon by Planning before they can be officially postponed to a future public meeting.

TABLINGS

Any item requested for tabling must be acted upon by the Planning Commission before it can be officially tabled.

WITHDRAWALS

Any item is eligible for automatic withdrawal. A request for withdrawal must be received no later than 3:30p.m. on the Friday prior to the Planning Commission meeting. Withdrawal requests that do not meet these guidelines must be acted upon by Planning Commission before they can be officially withdrawn.

Any new item withdrawn may be eligible for a fee refund according to the following:

Application withdrawal with fee refund will be permitted only if a written request is received prior to public notice. This request must be approved by either the Executive Director, or the Planning Services Manager. Applications may be withdrawn after this time, but without fee refund.



DEVELOPMENT REQUEST

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
- Rezoning

Kroger Limited Partnership I

Applicant Name

Affiliation

July 24, 2020

Date Filed

September 10, 2020

Meeting Date (if applicable)

File Numbers(s)

PD
9-B-20-50

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Bradley Bork

Name

Goodwyn Mills Cawood

Company

3310 West End Ave., Suite 420

Address

Nashville

City

TN

State

37203

Zip

615-333-7200 x554

Phone

brad.bork@gmcnetwork.com

Email

CURRENT PROPERTY INFO

Kroger Limited Partnership I

Owner Name (if different)

1014 Vine St., Cincinnati, OH 45202

Owner Address

Owner Phone

5201 N. Broadway, Knoxville, TN

Property Address

058KC007

Parcel ID

east of
Northwest corner of Knox Rd. & N. Broadway

General Location

9.15 ac.

Tract Size

Knoxville *5th*

Jurisdiction (specify district above)

- City
- County

C-G-2

Zoning District

North City
Planning Sector

MU-SD NC-6

Sector Plan Land Use Classification

Inside City
Growth Policy Plan Designation

no Parking lot
Existing Land Use

N

Septic (Y/N)

KUB

Sewer Provider

KUB

Water Provider

REQUEST

DEVELOPMENT

- Development Plan Use on Review / Special Use
- Residential Non-Residential
- Home Occupation (specify):
- Other (specify): *Fuel Center for Kroger grocery store.*

SUBDIVISION

- Proposed Subdivision Name Unit / Phase Number
- Parcel Change
- Combine Parcels Divide Parcel Total Number of Lots Created:
- Other (specify):
- Attachments / Additional Requirements

ZONING

- Zoning Change: Proposed Zoning
- Plan Amendment Change: Proposed Plan Designation(s)
- Proposed Density (units/acre) Previous Rezoning Requests
- Other (specify):

STAFF USE ONLY

PLAT TYPE

- Staff Review Planning Commission

FEE 1: *0401*

TOTAL:

ATTACHMENTS

- Property Owners / Option Holders Variance Request

FEE 2: *\$1,500*

ADDITIONAL REQUIREMENTS

- Design Plan Certification (*Final Plat only*)
- Use on Review / Special Use (*Concept Plan only*)
- Traffic Impact Study

FEE 3:

AUTHORIZATION

By signing below, I certify I am the property owner, applicant or the owners authorized representative.

Bradley Bork
Applicant Signature

Bradley Bork
Please Print

7/24/2020
Date

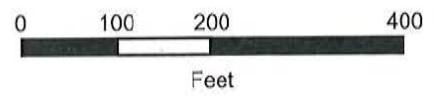
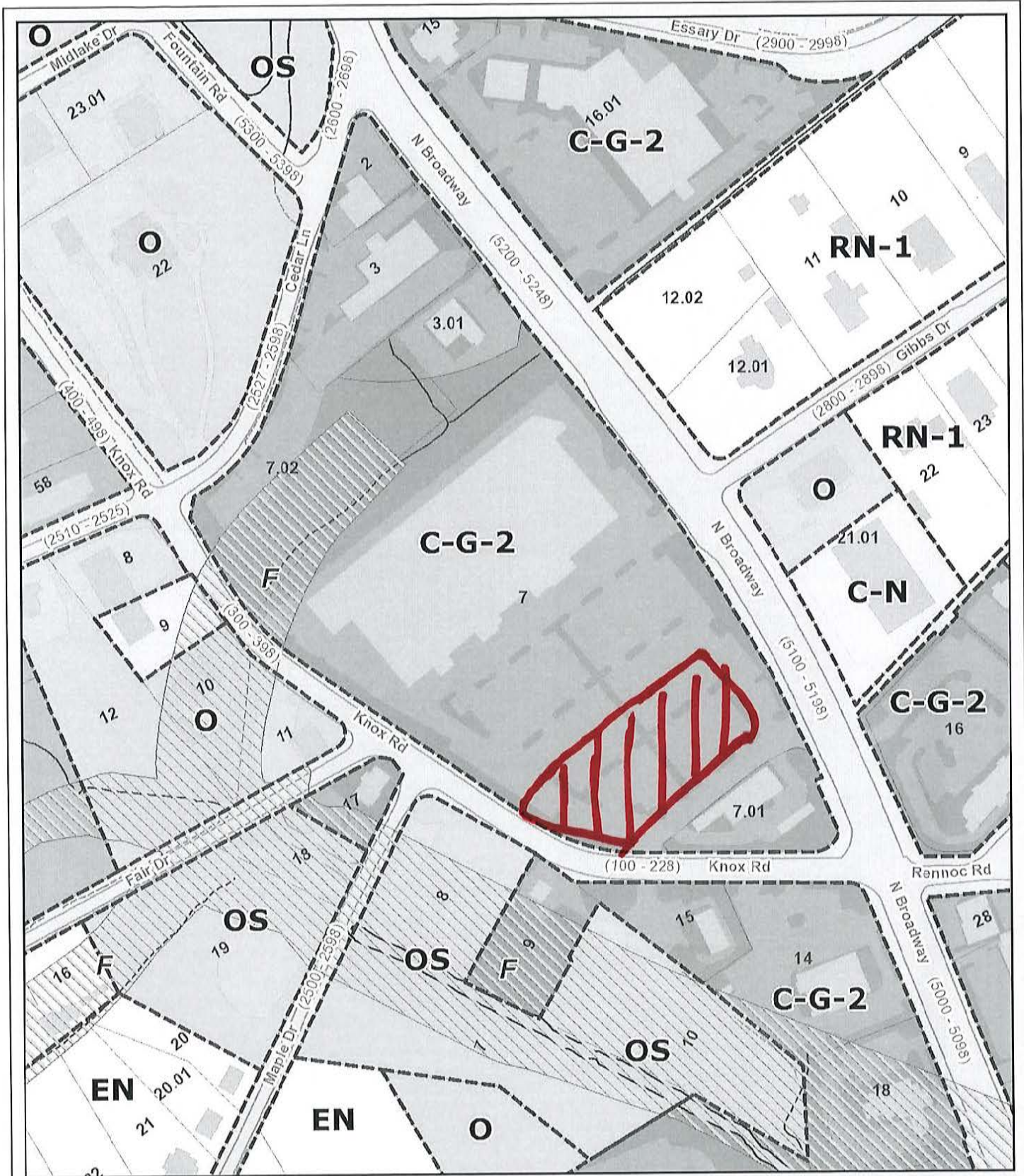
615-333-7200 x554
Phone Number

brad.bork@gmcnetwork.com
Email

Michael Reynolds
Staff Signature

Michael Reynolds
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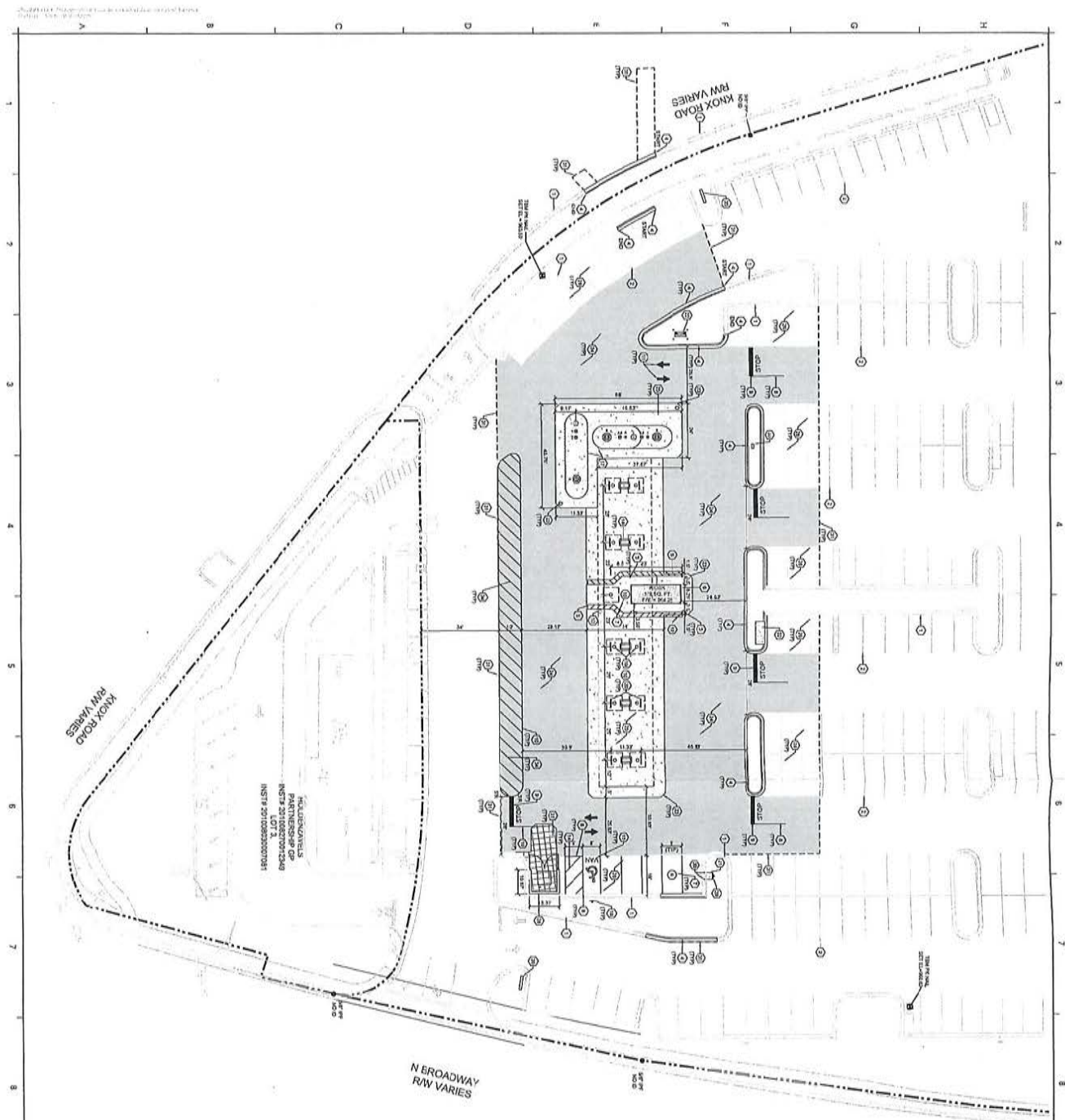
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Date



KGIS makes no representation or warranty as to the accuracy of this map and its information, nor to its fitness for use. Any user of this map product accepts the same AS IS, WITH ALL FAULTS, and assumes all responsibility for the use thereof, and further covenants and agrees to hold KGIS harmless from any and all damage, loss, or liability arising from any use of this map product.

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Printed: 7/24/2020 1:20:27 PM



KNOX ROAD
R/W VARIES

HOLDSUMMERS
PARTNERSHIP GP
R/W 20' LOT 3
INST# 201008230007081

N BROADWAY
R/W VARIES



GRAPHIC SCALE - 1 INCH = 20 FEET
TN STATE PLANS (MVD PER PLAN 18)

PAVING LEGEND:

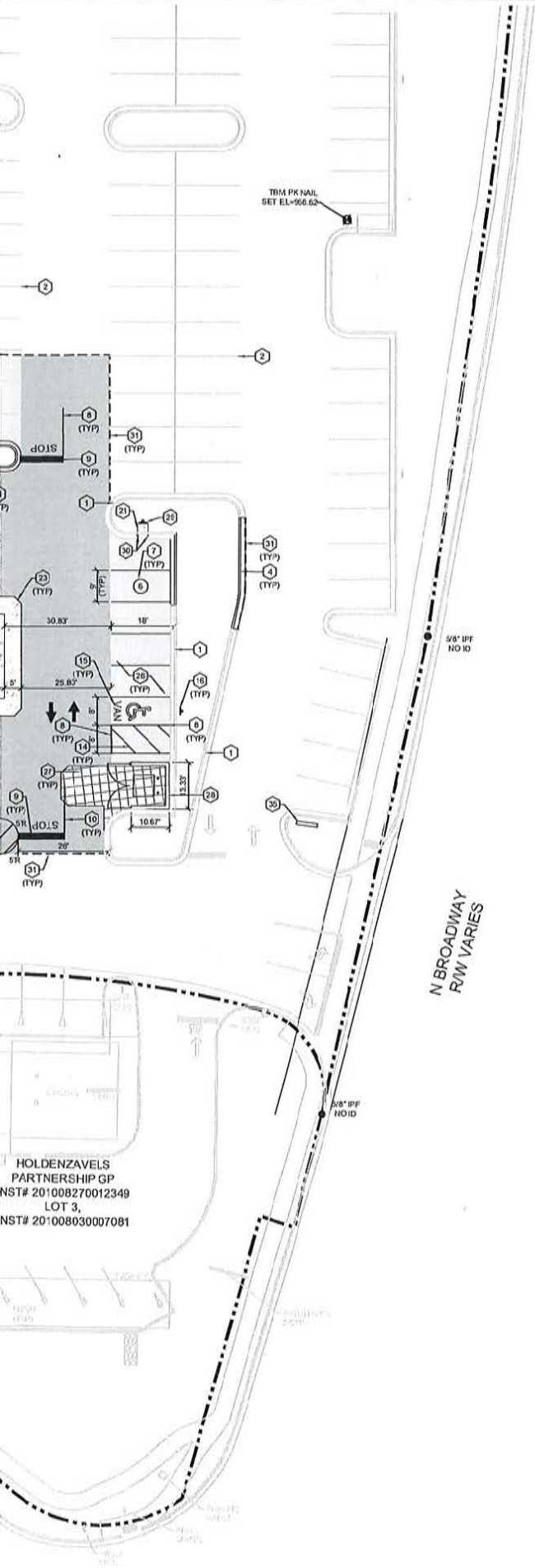
- ASPH/CONC PAVED DRIVEWAY SECTION
- ASPH/CONC PAVED SIDEWALK SECTION
- ASPH/CONC PAVED PARKING SECTION
- ASPH/CONC PAVED DRIVEWAY SECTION

NOTE:
SEE CALL FOR MATERIAL SPECIFICATIONS

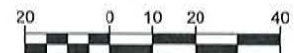
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9-B-20-50
7/24/2020

<p>SITE PLAN</p> <p>C-2.1</p>	<p>KROGER STORE U-698 FUEL CENTER 3018 BROADWAY KNOXVILLE, TN 37909</p> <p>GMC PROJECT #CNAS190111</p>	<p>ISSUE DATE</p> <p>8/11/2020</p>	<p>3310 West End Avenue, Suite 420 Nashville, TN 37203 T 615.3337200 GMCNETWORK.COM</p>	
		<p>DRAWN BY: SDGDDJ</p> <p>CHECKED BY: EROOK</p>		



Know what's below.
Call before you dig.



GRAPHIC SCALE - 1 INCH = 20 FEET
TN STATE PLANE (NAD 83, NAVD 88)

PAVING LEGEND:

- HEAVY DUTY ASPHALT PAVEMENT SECTION
- LIGHT DUTY ASPHALT PAVEMENT SECTION
- HEAVY DUTY CONCRETE PAVEMENT SECTION (TANK/CANOPY SLABS) (REF. GALLOWAY PLANS)
- HEAVY DUTY CONCRETE PAVEMENT DUMPSTER PAD SECTION (BID ALTERNATE) (BASE BID - HEAVY DUTY ASPHALT)

NOTE:

REF. C-0.2 FOR ADDITIONAL NOTES.

CONTRACTOR KEY NOTES:

- 1 EXISTING CONCRETE CURB TO REMAIN
- 2 EXISTING STRIPING TO REMAIN
- 3 PROPOSED BOLLARD (REF. GALLOWAY PLANS)
- 4 INSTALL CONCRETE CURB AND GUTTER
- 5 REF. GALLOWAY PLANS FOR STRIPING AROUND KIOSKS
- 6 FUEL CENTER KIOSK (REF. FUEL CENTER ARCHITECTURAL PLANS)
- 7 INDICATES NUMBER OF PARKING SPACES PER PARKING BAY
- 8 4" WIDE PAINTED SINGLE SOLID WHITE LINE (SSWL) (TYP)
- 9 24" WHITE PAINTED STOP BAR AND "STOP" (REF. C-6.2)
- 10 4" WIDE PAINTED SINGLE SOLID YELLOW LINE (SSYL) (TYP)
- 11 WHITE PAINTED DIRECTIONAL ARROWS
- 12 4" WIDE PAINTED SINGLE SOLID YELLOW STRIPES (SSYL), 2" O.C. @45°
- 13 4" WIDE PAINTED SINGLE SOLID YELLOW STRIPES (SSYL), 4" O.C. @45°
- 14 4" WIDE PAINTED SINGLE SOLID WHITE STRIPES (SSWL), 2" O.C. @45°
- 15 PAINTED WHITE INTERNATIONAL SYMBOL OF ACCESSIBILITY & PAINTED "VAN" WHERE APPLICABLE (WHITE LETTERS)
- 16 VAN ACCESSIBLE ADA PARKING SIGN (REF. C-6.1)
- 17 UNDERGROUND FUEL STORAGE TANKS (10K DIESEL/6K EO/20K EIO REGULAR/6K EIO PREMIUM) PER TANK DRAWINGS (EXCAVATED MATERIAL FOR TANKS TO BE DISPOSED OF BY FUEL CONTRACTOR)
- 18 FUEL DISPENSER ISLANDS AND DISPENSERS (PER GALLOWAY PLANS), (DISPENSER ISLAND ELEVATIONS PER SHEET C-3.1)
- 19 OVERHEAD CANOPY AND ASSOCIATED COLUMNS (REF. FASHION PLANS)
- 20 INVERTED U-SHAPED BOLLARD (REF. GALLOWAY PLANS)
- 21 AIR COMPRESSOR MOUNTING PAD, SLOPE CONCRETE PAD FOR POSITIVE DRAINAGE (REF. GALLOWAY PLANS)
- 22 VENT RISER FROM FUEL TANKS W/ PROTECTIVE BOLLARDS (REF. GALLOWAY PLANS)
- 23 7 CHAMFER
- 24 FULL DEPTH HEAVY DUTY ASPHALT PAVEMENT SECTION
- 25 HEAVY DUTY CONCRETE PAVEMENT SECTION (CANOPY / TANK SLABS) (REF. GALLOWAY PLANS)
- 26 LIGHT DUTY ASPHALT PAVEMENT SECTION
- 27 HEAVY DUTY CONCRETE PAVEMENT DUMPSTER PAD SECTION (BID ALTERNATE) (BASE BID - HEAVY DUTY ASPHALT)
- 28 PROPOSED DUMPSTER ENCLOSURE (BID ALTERNATE) (REF. GALLOWAY PLANS)
- 29 SIGN TO READ "SPACE RESERVED FOR AIR ACCESS ONLY" (REF. C-6.1)
- 30 INSTALL 6" Ø CONCRETE FILLED, SCHEDULE 40 STEEL PIPE BOLLARD (REF. C-6.2)
- 31 SAW CUT LINE OF EXISTING PAVEMENT
- 32 PROPANE CYLINDER PAD AND LOCKER
- 33 OVERFILL ALARM
- 34 4" WIDE THERMOPLASTIC PAINTED SINGLE SOLID WHITE STRIPES (SSWL), WITH REFLECTIVE GLASS BEADS, 5" O.C. @45°
- 35 PROPOSED MONUMENT SIGN

N BROADWAY R/W VARIES

9-B-20-SU
7/24/2020



3310 West End Avenue, Suite 420
Nashville, TN 37203
T 615.333.7200
GMCNETWORK.COM

ISSUE	DATE
BID SET	06/15/2020

DRAWN BY: SDOODS
CHECKED BY: EBOOK



KROGER STORE U-698
FUEL CENTER
5207 N. BROADWAY
KNOXVILLE, TN 37918

GMC PROJECT #CNAS190111



SITE PLAN

C-2.1

ORDINANCE
AMENDMENTS



MEMORANDUM

Date: August 29, 2020
To: Planning Commission
From: Amy Brooks AICP, Interim Executive Director
On behalf of: City of Knoxville, Plans Review and Inspections
Subject: 4-A-20-OA, Agenda Item # 36

Background

This item was originally heard at Planning Commission's April 2020 meeting and recommended for approval to City Council. City Council postponed consideration of the item on May 5, 2020, May 19, 2020 and again on June 2, 2020 pending a Council workshop on the agenda item. That workshop was held on July 9, 2020 to review the purpose of the transition rules found in Section 1.4.G, Appendix B of the Knoxville City Code. At its July 28, 2020 meeting, the Knoxville City Council adopted a motion to refer this agenda item back to the Planning Commission for its reconsideration.

Planning and City staff took feedback from the Council workshop as well as community members into consideration when re-evaluating the proposed amendments. Based on this feedback and internal analysis, additional changes were identified to clarify how previously approved planned districts would be reviewed under the new zoning code.

Unlike what was proposed in April, former commercial planned districts will remain in effect per Article 1.4G. However, these former planned districts will be subject to the special use approval procedures, formally called use on review, and not the new Planned Development procedures created as part of the new zoning ordinance. They will be mapped with (C) to identify them as a previously approved planned district.

The intent of these amendments is to ensure the review of these previously approved planned district properties is consistent with the process under which they were originally approved.

Staff Recommendation

Planning staff recommends approval of the draft amendments to Knoxville City Code, Appendix B, Zoning Code, to Articles 1.4, 3.1, 14.1, 14.2, and 16.2 to address transition rules associated with previously approved planned districts.

If you have any questions, comments, or would like additional information, please feel free to contact me by email at amy.brooks@knoxplanning.org or by phone at 215-4001.

Exhibit 1: City of Knoxville memo

Exhibit 2: Proposed amendments to Articles 1.4, 3.1, 14.1, 14.2, and 16.2



MEMORANDUM

DATE: August 31, 2020

TO: Planning Commission & City Council

FROM: Stephanie Welch
Chief of Economic and Community Development Officer
Deputy to the Mayor

RE: Transition Rules for Previously Approved Planned Districts

Background

Under the *prior* City Zoning Code, property owners could apply to have their properties zoned under a Planned District. Often, conditions would be placed on the property during the process. Under the *new* City Zoning Code, which went into effect on January 1, 2020, previously approved Planned Districts remained in place and subject to all plans, regulations, and/or conditions of their approval.

Initially, City staff proposed the removal of certain Planned Districts from the transition rules of Article 1.4 because the updated development standards in the new Zoning Code have made many of these Planned Districts obsolete. However, during a City Council workshop on July 9, 2020, City Council expressed concern about this proposal because of the lack of public input during the process.

Proposed Amendment

City staff drafted the attached proposal to provide additional clarification, address Council’s concern, and avoid unnecessary barriers to quality development in Knoxville. If adopted, all Planned Districts will remain in effect and subject to the plans, regulations, and/or conditions of their initial approval. Planned Districts will be designated with a “(C)” on the official zoning map.

The proposed amendment allows a clear path forward in the event that a property owner wants to remove the Planned District designation and requirements entirely, or to modify those requirements. Under the proposal, these requests will follow the Special Use review process, which includes the opportunity for the public to express support or opposition to the property owner’s application.

If the request is to make a **modification**, the Knoxville-Knox County Planning Commission (the "Planning Commission") will approve, approve with conditions, or deny the application. However, if the request is to **remove** the Planned District designation and requirements, the Planning Commission will recommend to City Council that the application be approved or denied. City Council will hold a public hearing and make a final decision.

Public Process

By requiring applications to modify or remove Planned District requirements to follow the Special Use review process, the public will be notified in three ways. First, the public will be notified by publication in the *Knoxville News Sentinel* at least 15 days before the Planning Commission reviews the item at their normal monthly meeting. Additionally, written notice of the application will be sent to every property owner within 200 feet of the property, and these notices will be mailed at least 12 days before the Planning Commission meeting. Finally, a sign will be posted at the subject property at least 12 days before the Planning Commission meeting. Those who sign up to receive email updates from Knoxville-Knox County Planning will also receive notice of the items on the agenda for the monthly Planning Commission meetings.

Members of the public will have an opportunity to speak in favor of, or opposition to, an application to modify or remove the Planned District requirements at the monthly Planning Commission meeting. If the application is to **remove** the Planned District requirements, the Planning Commission's recommendation will be sent to City Council for approval or denial at another hearing, which will provide additional opportunities for public review and input.

Recommendation

City staff supports the adoption of the attached proposed amendment.

Sincerely,



Stephanie Welch
Chief of Economic and Community Development Officer
Deputy to the Mayor

Attachments

Proposed language, Articles 1.4, 3.1, 14.1, 14.2, and 16.2

Changes proposed to:

- Article 1.4.**
- Article 3.1.**
- Article 14.1 and 14.2.**
- Article 16.2.**

ARTICLE 1 – TITLE, PURPOSE, AND APPLICABILITY

1.4 - TRANSITION RULES

[...] G. Previously Approved Planned Districts

1. As of the effective date of this Code, all previously approved planned districts of RP-1, RP-2, RP-3, PC-1, PC-2, SC-1, SC-2, SC-3, I-1, BP-1, TND-1, and TC-1 remain in effect and are subject to all plans, regulations, and/or conditions of their approval.
2. ~~These developments are subject to the Planned Development (PD) amendment and/or development approval procedures, as applicable, of this Code.~~
3. ~~For the purposes of the Zoning Map, existing planned districts may be indicated as planned developments (PD).~~
2. For the purposes of the Zoning Map, previously approved planned districts will be designated with a “(C)”.
3. Any changes to a previously approved planned district, or request to remove the planned district designation from a property shall be made through the Special Use process in Article 16.2.

[...]

(Ord. No. [O-38-2020](#), § 1, 2-25-20; Ord. No. [O-87-2020](#), § 1, 5-19-20)

ARTICLE 3 – ZONING DISTRICTS AND ZONING MAP

3.1 - ZONING DISTRICTS

In order to carry out the purpose and intent of this Code, the City is divided into the following zoning districts:

- A. **Residential Districts**
[...]
- B. **Commercial and Office Districts**
[...]
- C. **Industrial Districts**
[...]
- D. **Form-Based Code Districts**

[...]

E. Special Purpose and Overlay Districts

AG Agricultural Zoning District

INST Institutional Zoning District

OS Parks and Open Space Zoning District

NA Natural Areas Zoning District

H Historic Overlay Zoning District

NC Neighborhood Conservation Overlay Zoning District

IH Infill Housing Overlay Zoning District

TO-1 Technology Park Overlay Zoning District

HP Hillside Protection Overlay Zoning District

F Floodplain Overlay Zoning District

(C) Planned Districts under Article 1.4.G.

ARTICLE 14 – CODE ADMINISTRATORS

14.1 - CITY COUNCIL POWERS

The City Council has the following specific powers pursuant to this Code:

- A. To make final decisions on zoning text and map amendment applications.
- B. To make final decisions on preliminary plans of planned development applications.
- C. To hear appeals on decisions of the Knoxville-Knox County Planning Commission and the Board of Zoning Appeals.
- D. **To make final decisions on requests to remove a previously approved planned district designation from the official map and all associated plans, regulations, and conditions from a property.**

14.2 - KNOXVILLE-KNOX COUNTY PLANNING COMMISSION POWERS

The Knoxville-Knox County Planning Commission has the following powers pursuant to this Code:

- A. To make recommendations to the City Council on zoning text and map amendment applications.
- B. To make final decisions on special use applications, **including requests to modify the requirements of any plans and/or conditions placed on properties during the special use review process except as applicable under Article 16.2.D.3.**

- C. To make final decisions on special use applications for previously approved planned districts, to modify or remove the requirements of any plans or conditions placed on the properties.
- D. To hear appeals on decisions of the Design Review Board.
- E. To hear appeals on decisions of the Infill Housing Review Committee.
- F. To make recommendations to the City Council on preliminary plans for planned development applications and final decisions on final plans for planned development.
- G. In addition, Knoxville-Knox County Planning staff will make final decisions on site plan review applications as follows:
 - 1. Site plan review applications in the EN District.
 - 2. Site plan review applications for townhouse and multi-family dwellings in the RN-4 District per Section 4.2.B.2.
- H. To make recommendations to the City Council on requests to remove a previously approved planned district designation from a property on the zoning map, and thereby removing the previously approved planned district status, including removing all requirements of any plans or conditions.

ARTICLE 16 – ZONING APPLICATIONS

16.2 - SPECIAL USE REVIEW

A. Purpose

This Code is based upon the division of the City into districts. Within each district the use of land and structures are substantially uniform. It is recognized, however, that there are certain uses which, because of their unique characteristics, are potentially incompatible with existing development, or because the effects of such uses cannot be foreseen.

B. Initiation

1. A property owner in the City, or his/her designee, may file an application to use his/her land for one or more of the special uses authorized within the zoning district. A property owner may only propose a special use for property under his/her control.
2. For the purpose of this section, special use applications include requests for previously approved planned district properties to modify and/or remove requirements of any plans or conditions placed on properties, or requests to remove the planned district designation from the zoning map.

C. Authorization

The Knoxville-Knox County Planning Commission will take formal action on special use applications.

D. Procedure

An application for a special use must be filed with the Knoxville-Knox County Planning staff. An application. Once it is determined that the application is complete, the staff will schedule the application for consideration by the Knoxville-Knox County Planning Commission.

1. Upon receipt of a complete application, the Knoxville-Knox County Planning Commission will consider the special use at a public hearing.
2. The Knoxville-Knox County Planning Commission must evaluate the application based upon the evidence presented at the public hearing, pursuant to the approval standards of this section. Except as provided in 16.2.D.3 below, the Knoxville-Knox County Planning Commission must either approve, approve with conditions, or deny the special use application.
3. Applications to remove the planned district designation from the zoning map are subject to review by the Planning Commission, which shall recommend that the City Council approve or deny the application.
4. The City Council will hold a public hearing on the application following receipt of the Knoxville-Knox County Planning Commission recommendation. The City Council must approve or deny the application. If approved, the zoning district standards shall apply.

E. Conditions

1. Conditions placed upon the special use related to the physical development of the site must be shown on the site plan. A statement must be submitted with the site plan indicating any conditions placed upon the operation of the special use.
2. Prior to final approval of the special use by the Knoxville-Knox County Planning Commission, the proposed conditions must be sent to City staff and Knoxville-Knox County Planning staff for review and recommendation. The Knoxville-Knox County Planning Commission may approve the special use with conditions after receipt of the staff recommendation.
3. A revised site plan showing all required conditions must be submitted prior to issuance of a building permit and/or required licenses.

F. Standards

1. The listing of a use as a special use within a zoning district does not constitute an assurance or presumption that such special use will be approved. Rather, each special use must be evaluated on an individual basis, in relation to all applicable standards of this Code. Such evaluation will determine whether approval of the special use is appropriate at the particular location and in the particular manner proposed. The proposed special use must meet all of the following criteria which Knoxville-Knox County Planning will support with documented findings.
2. The Knoxville-Knox County Planning Commission, in the exercise of its administrative judgment, will be guided by adopted plans and policies, including the General Plan and the One-Year Plan, and by the following general standards:
 - a. The use is consistent with adopted plans and policies, including the General Plan and the One-Year Plan.
 - b. The use is in harmony with the general purpose and intent of this Zoning Code.
 - c. The use is compatible with the character of the neighborhood where it is proposed, and with the size and location of buildings in the vicinity.
 - d. The use will not significantly injure the value of adjacent property or by noise, lights, fumes, odors, vibration, traffic, congestion, or other impacts detract from the immediate environment.

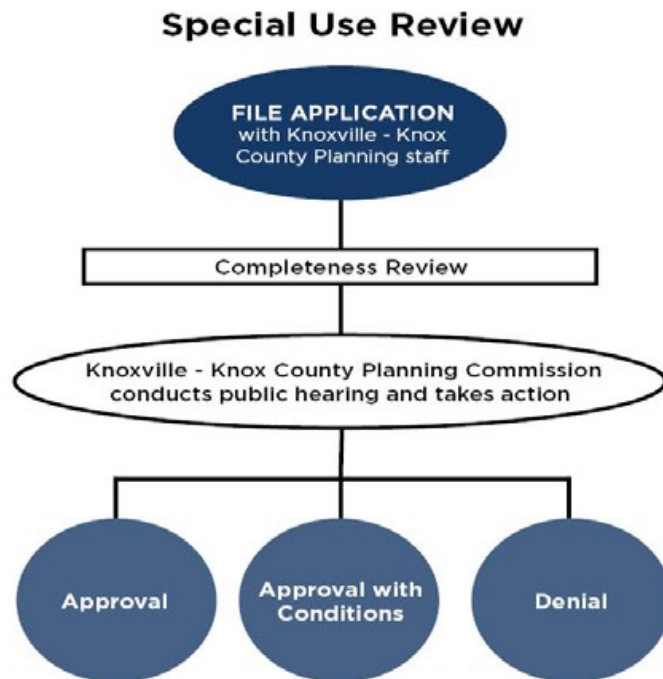
- e. The use is not of a nature or so located as to draw substantial additional traffic through residential streets.
- f. The nature of development in the surrounding area is not such as to pose a potential hazard to the proposed use or to create an undesirable environment for the proposed use.

G. **Requests for Modifications to Approved Special Uses**

1. Any modifications to the conditions of approval for a previously approved special use must be resubmitted as a new special use application.
2. **Any modifications to the conditions of development within a previously approved planned district must be submitted as a new special use application following the procedure in D.1 and D.2. of this Article.**

H. **Appeals**

Anyone aggrieved by a final determination of the Knoxville-Knox County Planning Commission may file an appeal in accordance with Section 16.12.





CITY OF KNOXVILLE, TENNESSEE

Agenda Item #33

4-A-20-OA

OFFICE OF THE CITY COUNCIL

Memorandum

To: Amy Brooks, Interim Executive Director

Knoxville-Knox County Planning Commission

From: Will Johnson, City Recorder

Date: August 4, 2020

Re: File No. 4-A-20-OA

At its July 28, 2020 meeting, the Knoxville City Council adopted a motion to refer this ordinance to the Planning Commission for its consideration.

Please let me know if you require additional information.



MEMORANDUM

Date: August 29, 2020
To: Planning Commission
From: Amy Brooks, AICP, Interim Executive Director
On behalf of: City of Knoxville, Plans Review and Inspections Department
Subject: **5-A-20-OA, Agenda Item 34**

Staff Recommendation

Staff recommends approval of the proposed amendments to Knoxville City Code, Appendix B, Zoning Code, Article 13.9.E to address limitations on the maximum sign area in the Office Park (OP).

Background

This item was first considered and recommended for approval by the Planning Commission on June 11, 2020. At its July 14, 2020 meeting, Knoxville City Council adopted a motion to refer this ordinance to the Planning Commission to consider a cap on the size of signs in the Office Park (OP) District rather than using a percentage of the wall area of the primary building elevation to determine the maximum size of a sign as originally proposed.

City and Planning staff reviewed the request and re-assert that the proposed restriction should be based on the percentage of the wall area of any primary building elevation. The intent of the OP district is to accommodate large office development and office parks typically found in a campus like setting. This change will allow adequate attached signage that is proportionate to the building size within this district.

Additional changes intended to mitigate undesirable impacts from signs were included by creating greater distinction between standards in the Office District and the Office Park District:

- The sign size limit of 24 square feet in the Office district remains.
- Internally illuminated signs in the Office district are not permitted unless they are part of a Healthcare facilities with an emergency room. These facilities may internally illuminate signs upon approval of a master sign plan

If you have any questions, comments, or would like additional information, please feel free to contact me by email at amy.brooks@knoxplanning.org or by phone at 215-4001.

Exhibit 1: City of Knoxville Memo

Exhibit 2: Proposed amendments to Knoxville City Code, Appendix B, Zoning Code, Article 13.9.E



MEMORANDUM

DATE: August 31, 2020

TO: Planning Commission & City Council

FROM: Stephanie Welch
Chief of Economic and Community Development Officer
Deputy to the Mayor

RE: Signs in the Office (O) and Office Park (OP) Districts

Background

Under the new City Zoning Code, which went into effect on January 1, 2020, signs in the Office (O) and Office Park (OP) zoning districts follow the same requirements. In both districts, signs are limited to 5% of the wall area of the primary building elevation with two further requirements. First, the sign area could be placed on any elevation except on elevations that faced adjacent residential districts. Second, no individual sign could be larger than 24 square feet in area. In effect, individual signs on buildings with a wall area of 480 square feet or less on the primary elevation follow the 5% rule and stay proportional, while larger buildings are restricted to the 24 square foot limitation for the individual signs.

Because many buildings in the OP zoning district tend to be larger and rent to multiple tenants, City staff members have received a number of requests for variances regarding signs in the OP district related to the 24 square foot limitation for individual signs.

Proposed Amendment

City staff drafted the attached proposal to address the 24 square foot limitation for individual signs in the OP district and to avoid unnecessary barriers to quality development in Knoxville. The proposal clarifies that individual, attached signs in the OP zoning district would not be subject to the 24 square foot limitation. If adopted, signs in the O district will remain subject to the 5% wall area limitation for attached signs and the 24 square foot limitation.

Additionally, for clarification, City staff identified the need to replace the term “hospitals” with “healthcare facilities” so that the use is identifiable in the Use Matrix of Article 9.

Recommendation

City staff supports the adoption of the attached proposed amendment.

Sincerely,

A handwritten signature in black ink, appearing to read 'StW', with a long horizontal flourish extending to the right.

Stephanie Welch
Chief of Economic and Community Development Officer
Deputy to the Mayor

Attachments

Proposed language, Article 13.9.E.2.a

Changes proposed at: 13.9.E.2.a**13.9 - SIGNS PERMITTED IN SPECIFIC DISTRICTS**

In addition to signs that may be allowable pursuant to other sections of this Article and this Code, this section delineates the signs allowable in specific districts and the standards for such signs.

A. Agricultural and Open Space Districts: AG, OS, NA

1. In the AG District, non-illuminated nameplates and wall signs for home occupations with proper approval of the home occupation use are allowed as attached signs, with a maximum sign area of two square feet.
2. In the AG, OS, and NA Districts, detached signs are allowed, and may include ground signs, monument signs, column signs, and temporary signs as permitted within this section; provided that the signs are for the purpose of advertising the sale of farm products produced on the premises. Such signs are limited to two non-illuminated signs on the parcel or lot, and each individual sign cannot exceed 12 square feet in sign area and eight feet in height.
3. In the AG, OS, and NA Districts, identification signs, detached or attached to a building, are permitted for public parks, playgrounds and other outdoor recreation uses with a maximum sign area of nine square feet and a maximum height of eight feet. Such signs may be externally illuminated, but cannot be internally illuminated.

B. F Floodplain Overlay Zoning District

1. In the F Overlay District, identification signs, detached or attached to a building, are permitted for public parks, playgrounds, and other outdoor recreation uses with a maximum sign area of nine square feet and a maximum height of eight feet.
2. Detached identification signs may be externally illumination, but cannot be internally illuminated.
3. All signs in this district are subject to review and approval by the City Stormwater Engineering Department.

C. H Historic Overlay Zoning Districts

1. In the H Overlay District, one information sign, detached or attached to the building, is permitted in connection with the use of the lot with a maximum sign area of nine square feet and a maximum height of eight feet.
2. An information sign is allowed in addition to any other signs allowed in accordance with the underlying base zone district.
3. All signs in the H Overlay District are subject to review and approval by the Historic Zoning Commission.

D. Residential Districts: EN, RN-1, RN-2, RN-3, RN-4, RN-5, RN-6, and RN-7

1. In the residential districts, the following signs on a residential parcel or lot are allowed, subject to the following dimensional requirements:
 - a. For properly approved home occupations, one wall sign with a maximum sign area of two square feet. Such signs cannot be illuminated.
 - b. Wall signs for multi-family dwellings, rooming and boarding houses, and fraternity and sorority houses with a maximum total sign area of nine square feet per structure; such sign are limited to only the name and/or address of the premises, and the name of the management. Such signs may be externally illuminated, but cannot be internally illuminated.

- c. Monument or column signs for multi-family dwellings on sites greater than two acres, mobile home parks, and subdivisions with more than 25 lots for residential purposes; provided that such signs are limited to one sign per each separate street frontage that exceeds 150 lineal feet; cannot exceed a maximum sign area of 36 square feet and a maximum height of six feet; and may be externally illuminated, but cannot be internally illuminated.
2. In residential zone districts, the following signs on a nonresidential parcel or lot are allowed, subject to the following dimensional requirements:
 - a. For medical facilities with less than 150 linear feet of street frontage, clubhouses for civic or nonprofit organizations, lodge halls, studios and day care centers for more than 12 children:
 - i. Non-illuminated attached signs, excluding window signs, up to a maximum total sign area of 16 square feet.
 - ii. One monument or column sign with a maximum sign area of 20 square feet, and a maximum height of five feet. Such sign may be externally illuminated, but cannot be internally illuminated.
 - b. For medical facilities with 150 linear feet or more of street frontage, churches, schools, public buildings, cemeteries and country clubs:
 - i. Non-illuminated attached signs, excluding window signs, with a maximum total sign area of 32 square feet.
 - ii. One monument or column sign with a maximum total sign area of 36 square feet, and a maximum height of six feet. Such sign may be externally illuminated, but cannot be internally illuminated.

E. Office Districts: O, OP

1. In the office districts, regulation of signs for permitted residential uses are the same as those for the residential districts.
2. In the office districts, the following signs on a nonresidential parcel or lot are allowed, subject to the following dimensional requirements:
 - a. Attached signs with a total allowed sign area not to exceed 5% of the wall area of the primary building elevation(s), provided that the sign area may be used on any elevation of the building that does not face an adjacent residential district. **Within the Office (O) District, and that** no individual sign may exceed 24 square feet in area. Such signs, **in the O District**, cannot be internally illuminated, but may be externally illuminated provided that no light source is visible from the public right-of-way or adjacent properties. **Healthcare facilities Hospitals** with an emergency room may internally illuminate signs upon approval of a master sign plan.
 - b. One detached sign is allowed per parcel or lot, but is limited only to monument or column sign; provided that the maximum sign area is 36 square feet and the maximum height is six feet. Such detached signs cannot be internally illuminated, but may be externally illuminated provided that no light source is visible from the public right-of-way or adjacent properties.

F. Commercial, Industrial, and Institutional Districts: C-N, C-G, C-H, C-R, DK, I-MU, I-RD, I-G, I-H, INST

1. In the commercial, industrial, and institutional districts, the following signs on a nonresidential parcel or lot are allowed, subject to the following dimensional requirements:
 - a. Development directory and project directional signs may be approved as part of a master sign plan.

- b. Attached signs with a total allowed sign area equal to 10% of the wall area of the primary building elevation(s), and such sign area may be used on any elevation of the building.
 - c. Detached signs in accordance with the standards described herein, except that standards specified for individual districts control.
2. In the commercial, industrial, and institutional districts, the number of detached signs on a nonresidential parcel or lot are allowed in accordance with the following requirements:
- a. One detached sign is allowed per street frontage, up to a maximum of two per parcel or lot. For these purposes, an adjacent interstate highway is considered a street frontage, even if there is no access to it.
 - b. The detached sign that is oriented to the street frontage on which the parcel is addressed is deemed primary and subject to the requirements of this subsection.
 - c. Any secondary detached sign on each lot is limited to a monument or column sign with a maximum sign area of 32 square feet and a maximum sign height of eight feet.
3. In the commercial, industrial, and institutional districts, the maximum sign height for primary detached signs is based upon the classification of the road or road adjacent to the property upon which the primary detached sign is located, as indicated in Table 13-2: Roadway Type and Maximum Sign Height:

Table 13-2: Roadway Type and Maximum Sign Height	
Roadway Type	Maximum Allowable Sign Height
Property within 500 feet of interstate interchange area	35 feet
Property adjacent to interstate right-of-way	30 feet
Property fronting on federally designated highways	20 feet
All other roadway classifications	10 feet

4. In the commercial, industrial, and institutional districts, the maximum sign area for primary detached signs is based upon the classification of the road or road adjacent to the property upon which the primary detached sign is located, as indicated in Table 13-3: Roadway Type and Maximum Sign Area:

Table 13-3: Roadway Type and Maximum Sign Area	
Roadway Type	Maximum Allowable Sign Area

Property within 500 feet of interstate interchange area	200 sf
Property adjacent to interstate right-of-way	200 sf
Property fronting on federally designated highways	165 sf
All other roadway classifications	100 sf

5. The following exceptions apply to the above standards:
- a. On parcels and lots adjacent to the interstate, a secondary detached sign, if located within 100 feet of the interstate right-of-way and if its sign faces are oriented perpendicular or radial to the interstate right-of-way is subject to the maximum height and sign area requirements for a primary detached sign.
 - b. On parcels and lots adjacent to any streets or roads that are part of the state scenic highway system, only a monument or column sign is allowed, provided that the maximum sign height for such sign is six feet and the maximum sign area is 36 square feet.
 - c. In the C-N District, the maximum sign area for detached signs is 50 square feet.
 - d. In the I-RD District, the maximum sign area for detached signs is 100 square feet and the maximum height is six feet.
 - e. In a C-G, C-H, C-R, I-RD, and I-G Districts, additional signs may be approved by the Knoxville-Knox County Planning Commission provided that scale drawings indicate the signs will not detract from the character of the development or surrounding development; and that the development plan clearly shows that because of unusual topography, building locations and relationships or developments with multiple structures, additional signs are essential to inform and direct the public.

(Ord. No. [O-38-2020](#), § 1, 2-25-20)



CITY OF KNOXVILLE, TENNESSEE

OFFICE OF THE CITY COUNCIL

Agenda Item #34
5-A-20-OA

Memorandum

To: Amy Brooks, Interim Executive Director

Knoxville-Knox County Planning Commission

From: Will Johnson, City Recorder

Date: July 15, 2020

Re: File No. 5-A-20-OA

At its July 14, 2020 meeting, the Knoxville City Council adopted a motion to refer this ordinance to the Planning Commission to consider a cap for the Office Park (OP) district.

Please let me know if you require additional information.

Date: August 25, 2020
To: Knoxville-Knox County Planning Commission
From: Amy Brooks, AICP, Interim Executive Director
Subject: 9-A-20-OA

REQUEST

City Administration has requested that Knoxville-Knox County Planning review and make a recommendation on an amendment to the City of Knoxville Zoning Code, Article 9.2 Use Matrix Table 9-1 to add pre-school/kindergarten as a special use in the Parks and Open Space (OS) Zoning District.

BACKGROUND

Pre-schools and kindergartens are currently allowed as a special use in all the residential districts and as a permitted use in the all commercial and office districts. All pre-schools and kindergartens are subject to additional use standards found in Section 9.3.W including complying with all applicable state and federal regulations.

OS District Purpose

The Parks and Open Space (OS) Zoning District is intended to create, preserve, and enhance public open space to meet the passive and active park and recreational needs of the City. The OS District provides for both improved and unimproved park and recreation lands. Facilities may include, but are not limited to, structures or other active, play-oriented facilities such as playgrounds, recreational fields, ball-fields, sport courts, dog parks, marinas, cemeteries, golf courses, cultural facilities such as museums and libraries, and associated accessory facilities such as recreation and community centers, park administrative offices, and restroom facilities.

ANALYSIS

Allowing pre-schools/kindergarten's in the OS district as a special use is not in conflict with the intent of the OS District and will allow organizations like Ijams Nature Center to establish early learning centers in locations that can more easily meet the licensing requirements for usable open space per child while expanding opportunities for early childhood education. The Special Use process requires a public meeting and will ensure that preschools and kindergartens proposed on an OS zoned property will be compatible with the surrounding uses.

With nature-based pre-schools growing at by 500 percent since 2012 and the need for greater access to high quality child care and early learning programs at an all-time high, expanding the zoning districts

where pre-schools and kindergartens can be located creates more opportunity within the City for stable and high-quality child care. Stable, high quality care is essential to families' economic stability, parents' ability to work, and children's healthy development.

RECOMMENDATION

Staff recommends that the Knoxville-Knox County Planning Commission recommend Knoxville City Council approve an amendment to City of Knoxville Zoning Code, Article 9.2 Use Matrix Table 9-1 to add pre-school/kindergarten as a special use in the Parks and Open Space (OS) Zoning District.

Please let me know if you have any questions.

Exhibit 1: Proposed amendment to Article 9.2 Use Matrix Table 9-1



Changes proposed in 9-1 Use Matrix (Preschool/kindergarten)

9.2 - USE MATRIX

- A. Table 9-1: Use Matrix identifies the principal and temporary uses allowed within each zoning district.
- B. P indicates that the use is permitted by-right in the district. S indicates that the use is a special use in the district and requires special use approval. If a cell is blank, the use is not allowed in the district.
- C. In the case of temporary uses, a T indicates the temporary use is allowed in the district and may require approval of a temporary use permit per the standards of Section 9.4.
- D. For accessory uses, see Article 10.
- E. Townhouse and multi-family dwellings are allowed in the RN-4 District as either permitted or special based upon the number of units, as described in Section 4.2.B. Therefore, the use matrix indicates both a P and a S within the cell.
- F. Additional use restrictions apply to certain DK District subdistricts per Section 5.2.B.
- G. Certain uses are prohibited as standalone structures in the OP District per Section 5.2.C.
- H. See Article 7 for use permissions within the CU and SW Districts.
- I. In the case of the C-G-1, C-G-2, and C-G-3 Districts, the uses allowed in the C-G District in Table 9-1 apply to all districts.
- J. In the case of the C-H-1 and C-H-2 Districts, the uses allowed in the C-H District in Table 9-1 apply to all districts.
- K. In the case of the C-R-1 and C-R-2 Districts, the uses allowed in the C-R District in Table 9-1 apply to all districts.

TABLE 9-1: USE MATRIX																								
P = Permitted Use S = Special Use T = Temporary Use																								
PRINCIPAL USE	EN	RN-1	RN-2	RN-3	RN-4	RN-5	RN-6	RN-7	C-N	C-G	C-H	C-R	DK	O	OP	I-MU	I-RD	I-G	I-H	AG	INST	OS	NA	USE STANDARD (Section)
Agriculture																				P	P			
Airport																			P					
Alternative Correctional Facility											S													
Amusement Facility—Indoor										P	P	P	P			P								
Amusement Facility—Outdoor										P	P					S								
Animal Care Facility—Large Animal																				P	P			
Animal Care Facility—Small Animal									P	P	P	P	S	S		P				P	P			9.3.A

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Animal Breeder																		P	9.3.A				
Art Gallery									P	P	P	P	P					P					
Arts and Fitness Studio									P	P	P	P	P	P	S	P	S						
Bed and Breakfast	P	P	P	P														P	9.3.B				
Body Modification Establishment									S	P	P	P	P					P					
Broadcasting Facility—With Antennae															P		P	P	P	P			
Broadcasting Facility—No Antennae									P	P	P	P	P	P	P	P	P			P			
Campground																		S		P	9.3.C		
Car Wash										S	P	P									9.3.D		
Cemetery																				P			
Community Center	P	P	P	P	P	P	P	P	P	P	P	P	P	P						P			
Conservation Area																			P	P	P		
Crematory										S	S	S										9.3.M	
Country Club																					P		
Cultural Facility										P	P	P	P	P	P						P		
Day Care Center										P	P	P	P	P	P								9.3.E
Day Care Home	P	P	P	P	P	P	P	P															9.3.E
Domestic Violence Shelter	P	P	P	P	P	P	P	P														P	
Drive-Through Facility										S	P	P											9.3.F
Drug/Alcohol Treatment Facility, Residential											S				S							P	

Exhibit 1

9-A-20-OA

Drug Treatment Clinic										S										P						9.3.G	
Dwelling—Above the Ground Floor									P	P	P	P	P	P													
Dwelling—Manufactured Home	P	P	P	P	P	P	P															S					9.3.H
Dwelling—Multi-Family					P,S	P	P	P	P	P	P	P	P	P													9.3.I
Dwelling—Townhouse				S	P,S	P	P	P	P	P	P	P	P	P													9.3.I
Dwelling—Single-Family	P	P	P	P	P	P	P		P	P					P	P											
Dwelling—Two-Family		S	S	P	P	P	P		P	P					P	P											9.3.J
Eating and Drinking Establishment										S	P	P	P	P									P	P	P		
Educational Facility—Primary or Secondary	P	P	P	P	P	P	P	P		P	P	P	P														
Educational Facility—University or College/Vocational											P	P	S	P			P	S	P	P		S	P				
Financial Institution										P	P	P	P	P	P	P											
Financial Service, Alternative											S	S	S														9.3.K
Food Bank																									P		
Food Pantry											S	S															
Food Truck Park										S	P	P	P	P											P	P	
Fraternity/Sorority					S	S	S	S																			
Funeral Home											S	S	S														
Garden, Community	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	9.3.N
Garden, Market	S	S	S	S	S	S	S	S	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	9.3.N
Garden, Personal	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	9.3.N
Gas Station										S	S	P	P					S	S	P	P						9.3.O

Exhibit 1

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Golf Course/Driving Range												P	P							P		
Government Office/Facility									P	P	P	P	P	P	P	P	P	P	P		P	
Greenhouse/Nursery—Retail		S	S	S	S	S	S	S	S	P	P	P		S							P	
Group Home	P	P	P	P	P	P	P															
Halfway House						S	S	S		P	P	P	P	S	S	S					P	
Healthcare Facility											S			S		S					P	
Heavy Retail, Rental, and Service											P	P						P		S		
Heliport														S	S	S	S	S			S	
Homeless Shelter											S	S	S								P	
Hotel										P	P	P	P		P	P	P					
Impound Lot																		P				9.3.P
Independent Living Facility			S	S	P	P	P	P	P	P	P	P	P	S								
Industrial—Craft										P	P	P	P		P		P					9.3.Q
Industrial—General															P	P	P	P				
Industrial—Heavy																		P				
Industrial Design									P	P	P	P	P		P	P	P	P				
Kennel											S	S			S					P		9.3.A
Live Entertainment—Secondary Use										P	P	P	P		P							
Live Performance Venue										S	P	P	S		P							
Live/Work									P	P			P	P	P							9.3.R
Lodge/Meeting Hall									P	P	P	P	P	P	P	P	P	P	P			9.3.S

Exhibit 1

9-A-20-OA

Marina										S						S	S			S		9.3.T	
Medical/Dental Office/Clinic										S	P	P	P	P	P	P		S					
Micro-Brewery/Distillery/Winery										S	P	P	P	P		P		P					9.3.U
Neighborhood Nonresidential Reuse	S	S	S	S	S	S	S	S															9.3.V
Nightclub										S	S	S	S										
Office										P	P	P	P	P	P	P	P	P	P	P	P		
Parking Lot										S	S	P									P		Art. 11
Parking Structure										P	P	P	P		P	P	P				P		Art. 11
Personal Service Establishment										P	P	P	P	P	P		P	P	P				
Place of Worship	S	S	S	S	S	S	S	S	S	P	P	P	P	P	P	P					P	P	
Pre-School/Kindergarten	S	S	S	S	S	S	S	S	S	P	P	P	P	P	P						S	9.3.W	
Public Park	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P			P	P	P
Public Safety Facility	S	S	S	S	S	S	S	S	S	P	P	P	P	P	P	P	P	P	P	P	P		
Public Works Facility											P	P				P		P	P	P			
Reception Facility											P	P	P	P		S					S		9.3.X
Research and Development																P	P	P	P	P			
Residential Care Facility						S	P	P	S	S	S	S	S								P		9.3.Y
Retail Goods Establishment										P	P	P	P	P		P	P	P					
Retail Liquor Stores										P	P	P	P		P								
Salvage Yard																				S			9.3.Z
Self-Storage Facility: Enclosed										S	P	P			P		P	P					9.3.AA

Exhibit 1

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Self-Storage Facility: Outdoor												S	P						P	P					9.3.AA	
Social Service Center												S												P		
Solar Farm					S	S	S	S				S	S		P			P	P	P	S	S			9.3.BB	
Storage Yard, Outdoor												P							P	P					9.3.CC	
Storage Yard, Outdoor— Secondary Use												P	P			S			P	P					9.3.CC	
Vehicle Dealership												P	P													
Vehicle Operation Facility																			P	P						
Vehicle Rental—Indoor												S	P	P	S											
Vehicle Rental—With Outdoor Storage/Display													P	P												
Vehicle Repair/Service												S	P	P			S								9.3.DD	
Warehouse and Distribution																	P	P	P	P						
Waste Transfer Station																				P						
Wholesale Establishment												S				S	P	P	P							
Wind Energy System																	S	S	S	S	S				9.3.EE	
Wireless Telecommunications	S	S	S	S	S	S	S	S	S	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	9.3.FF	

TEMPORARY USE	EN	RN-1	RN-2	RN-3	RN-4	RN-5	RN-6	RN-7	C-N	C-G	C-H	C-R	DK	O	OP	I-MU	I-RD	I-G	I-H	AG	INST	OS	NA	USE STANDARD (Section)
Animals for Control of Invasive Species	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	9.4.A
Farmers' Market							T	T	T	T	T	T	T	T	T	T				T	T	T		9.4.B

Exhibit 1

9-A-20-OA

Farmstand	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T				T	T		9.4.C	
Mobile Food Units (MFUs)/Mobile Food Vendors										T	T	T	T	T	T	T	T	T				T			9.4.D
Real Estate Project Sales Office/Model Unit	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T			T			Sec. 9.4.E
Temporary Contractor Office and Contractor Yard	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T				T			9.4.F
Temporary Outdoor Entertainment	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T			T	T	T		9.4.G
Temporary Outdoor Sales	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T			T	T			9.4.H
Temporary Outdoor Storage Container	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T					9.4.I
Temporary Recreational Vehicle Park											T	T	T									T			9.4.J
Temporary Warehouse Sales (Indoor)																		T				T	T		9.4.K
Tent	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T		9.4.L

(Ord. No. [O-43-2020](#), § 1, 3-24-20; Ord. No. [O-61-2020](#), § 1, 4-21-20)