USE ON REVIEW REPORT

▸ **FILE #:**	**4-C-21-UR**	**AGENDA ITEM #:** **35**
		AGENDA DATE: **4/8/2021**
▸ **APPLICANT:**	**SALLY JEAN HAYS PERETZ O/B/O HAYS FARM AND DEVELOPMENT, LLC**	
OWNER(S):	Hays Farm and Development, LLC	
TAX ID NUMBER:	118 091 & 09102	**View map on KGIS**
JURISDICTION:	County Commission District 6	
STREET ADDRESS:	1201 Hickey Road & 0 Bob Gray Road	
▸ **LOCATION:**	**North side of Bob Gray Road, west side of Hickey Road**	
▸ **APPX. SIZE OF TRACT:**	**21.12 acres**	
SECTOR PLAN:	Northwest County	
GROWTH POLICY PLAN:	Planned Growth Area	
ACCESSIBILITY:	The two new lots would be accessed via a shared driveway off of Bob Gray Road, which is a major collector with a 19.2-ft pavement width inside a 60-ft right-of-way. The existing house would retain its access off of Hickey Road, a minor collector with a 17.7-ft pavement width inside a 60-ft right-of-way.	
UTILITIES:	Water Source: West Knox Utility District	
	Sewer Source: West Knox Utility District	
WATERSHED:	Beaver Creek	
▸ **ZONING:**	**BP (Business and Technology Park) / TO (Technology Overlay)**	
▸ **EXISTING LAND USE:**	**Single family residential dwelling & undeveloped property**	
▸ **PROPOSED USE:**	**Detached residential subdivision**	
HISTORY OF ZONING:	None noted for this property	
SURROUNDING LAND USE AND ZONING:	North: Single family dwellings - PR (Planned Residential) with up to 3.5 du/ac	
	South: Single family dwellings - BP (Business and Technology Park) / TO (Technology Overlay)	
	East: Church and single family dwellings - A (Agricultural) and RA (Low Density Residential)	
	West: Single family dwelling and agricultural use - BP (Business and Technology Park) / TO (Technology Overlay)	
NEIGHBORHOOD CONTEXT:	This area has been transitioning from large lot, Agricultural zoning to RA (Low Density Residential) and PR (Planned Residential) steadily since the 1980s. Therefore, the area is a mix of small lot, single family subdivisions off of side streets and large lot along main thoroughfares.	

STAFF RECOMMENDATION:

- **APPROVE the Development Plan for up to 3 detached dwelling units on individual lots, subject to 3 conditions:**

  1) Meeting all applicable requirements of the Knox County Zoning Ordinance.
  2) Meeting all applicable requirements of the Knox County Health Department.
  3) Meeting all applicable requirements of the Knox County Department of Engineering and Public Works.

  With the conditions noted, this plan meets the requirements for approval in the BP zone and the other criteria for approval of a Use on Review.

  COMMENTS:

  The applicant is proposing to develop a 3-lot subdivision that would occupy an approximately 21-acre site. The property is located on the west side of Hickey Road on the north side of its intersection with Bob Gray Road. Two of the properties are located at the rear of the site and would be accessed off of Bob Gray Road utilizing a shared driveway that stretches along the west side of the site. The third lot is for the existing house, which would retain its access point off of Hickey Road.

  The property is zoned BP (Business Park) / TO (Technology Overlay). The TO zone typically requires approval by the TTCDA. However, single family lots are exempt from that requirement and no TTCDA approval is needed.

  The base zone (BP) regulates the uses. The BP zone allows nonconforming uses (e.g., churches, houses, agricultural lots and structures) existing immediately preceding the change of zoning to the BP, (Business and Technology Park) Zone to continue, expand, have structures built or replaced, and have other improvements made to the property provided that the proposed improvement complies with the requirements of the A (Agricultural) Zone with a use on review approval. Therefore, this lot can be subdivided according to A (Agricultural) zone standards, which requires a minimum lot size of 1 acre. All lots are well over 1 acre in size.

  The BP zone has a peripheral boundary requirement of 50 feet unless adjacent to a residential use, in which case the peripheral boundary is 75 feet. There is residential zoning to the north, east, and south, so the 75-ft peripheral boundary has been applied to those frontages. The BP zone is adjacent to the west, so a 40-ft side setback is required along the western property line. The BP zone also has requirements for ground area coverage (GAC) and impervious area ratios (IAR). All three lots are developed below the maximum allowed for both the GAC and IAR.

  Lot 2R1 is a flag lot with the stem wrapping around lot 1R1 to provide access. The front portion of this driveway is shared with lot 3, and a 25-ft wide access easement along the flag stem of lot 2R1 is provided.

  No sidewalks are proposed, nor are they required.

  A traffic impact analysis is not required since the number of lots proposed does not meet the threshold for such an analysis.

  DEVELOPMENT STANDARDS FOR USES PERMITTED ON REVIEW (ARTICLE 4.10 – SECTION 2)

  The planning commission, in the exercise of its administrative judgment, shall be guided by adopted plans and policies, including the general plan and the following general standards:

  EFFECT OF THE PROPOSAL ON THE SUBJECT PROPERTY, SURROUNDING PROPERTY AND THE COMMUNITY AS A WHOLE

  1. The proposed detached residential subdivision will have minimal impact on local services since the lots would utilize a septic system.
  2. The proposed low density residential development is compatible with the scale and intensity of development that has occurred in this area.

  CONFORMITY OF THE PROPOSAL TO CRITERIA ESTABLISHED BY THE KNOX COUNTY ZONING ORDINANCE

  1. With the recommended conditions, the proposed subdivision is consistent with all relevant requirements of

the BP zoning, as well as other criteria for approval of a use on review:
2. The development is consistent with the following general standards for uses permitted on review:
a. The proposal is consistent with the adopted plans and policies of the General Plan and Sector Plan.
b. The use in is harmony with the general purpose and intent of the Zoning Ordinance.
c. The use will not significantly injure the value of adjacent property.
d. The use will not draw additional traffic through residential areas since only two new lots are proposed and since Bob Gray Rd. and Hickey Rd. are both collector streets.

CONFORMITY OF THE PROPOSAL TO ADOPTED MPC PLANS

1. The Northwest County Sector Plan has this property designated as TP (Technology Park), which allows the BP zone, which allows Agricultural lots to continue, expand, and improve if existing at the time of the BP zone implementation, which is the case here.
2. This site is located within the Planned Growth Area on the Knoxville-Knox County-Farragut Growth Policy Plan map.

ESTIMATED TRAFFIC IMPACT: 41 (average daily vehicle trips)

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

ESTIMATED STUDENT YIELD: 1 (public school children, grades K-12)

Schools affected by this proposal: Cedar Bluff Elementary, Cedar Bluff Middle, and Hardin Valley Academy.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knox County Board of Zoning Appeals. The date of the Knox County Board of Zoning Appeals hearing will depend on when the appeal application is filed. Appellants have 30 days to appeal a Planning Commission decision in the County.

4-C-21-UR
USE ON REVIEW

Petitioner: Jean Hays Peretz O/B/O Hays Farm and Development, LLC, Sally

Detached residential subdivision in BP (Business and Technology) / TO (Technology Overlay)

Map No: 118

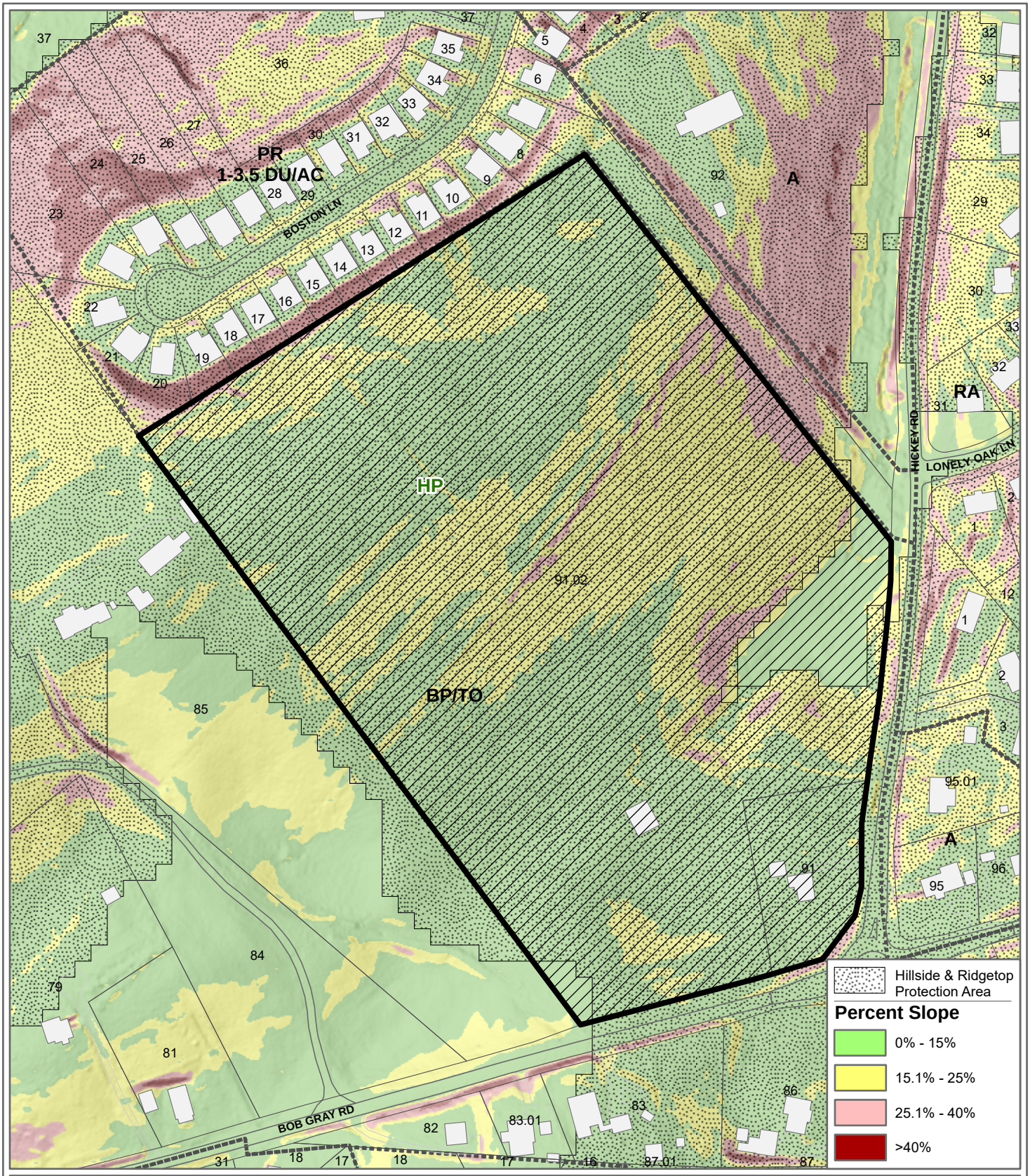
Jurisdiction: County

0 500 Feet

N

Original Print Date: 3/10/2021 Revised:

*Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902*



4-C-21-UR
SLOPE ANALYSIS

Petitioner: Hays Farm and Development, LLC.

Subject Property

Map No.: 118
Jurisdiction: County

0 250
Feet

Original Print Date: 3/4/2021 Revised:

*Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902*

CATEGORY	ACRES	RECOMMENDED DENSITY (Dwelling Units / Acre)	NUMBER OF UNITS
Non-Hillside	**0.95**	**3.00**	**2.9**
0-15% Slope	12.12	5.00	60.6
15-25% Slope	7.13	2.00	14.3
25-40% Slope	0.75	0.50	0.4
Greater than 40% Slope	0.01	0.20	0.0
Ridgetops	0		0.0
Subtotal: Sloped Land	**20.01**		**75.2**
Maximum Density Guideline (Hillside & Ridgetop Protection Plan)	**20.96**	**3.73**	**78.1**
Proposed Density (Applicant)	***20.96***	***5.00***	***104.8***

From Hillside & Ridgetop Protection Plan, page 33

LOW DENSITY AND RURAL RESIDENTIAL USES

Density and Land Disturbance Guidelines

As proposals for changes to the zoning map and development plans/concept plans are considered, the following factors are recommended to determine the overall allowable density for residential rezonings and the overall land disturbance allowable in new development or subdivisions for those portions of parcels that are within the Hillside and Ridgetop Protection Area. These factors should be codified as regulations in the future. The areas of the Growth Policy Plan referenced below are presented on page 18.

Table 3: Residential Density and Land Disturbance Guidelines
for Recommendations on Changes to the Zoning Map and Development Plan/ Concept Plan Review within the Hillside and Ridgetop Protection Area that is within the Urban Growth and the Planned Growth Area

Percent of Slope	*Recommended Maximum Density Factor**	*Recommended Maximum Land Disturbance Factor***
0 - 15	Knox County: 5 dua City of Knoxville: 6 dua	100%
15 - 25	2 dua	50%
25 - 40	0.5 dua	20%
40 or more	0.2 dua	10%
Ridgetops***	***	***

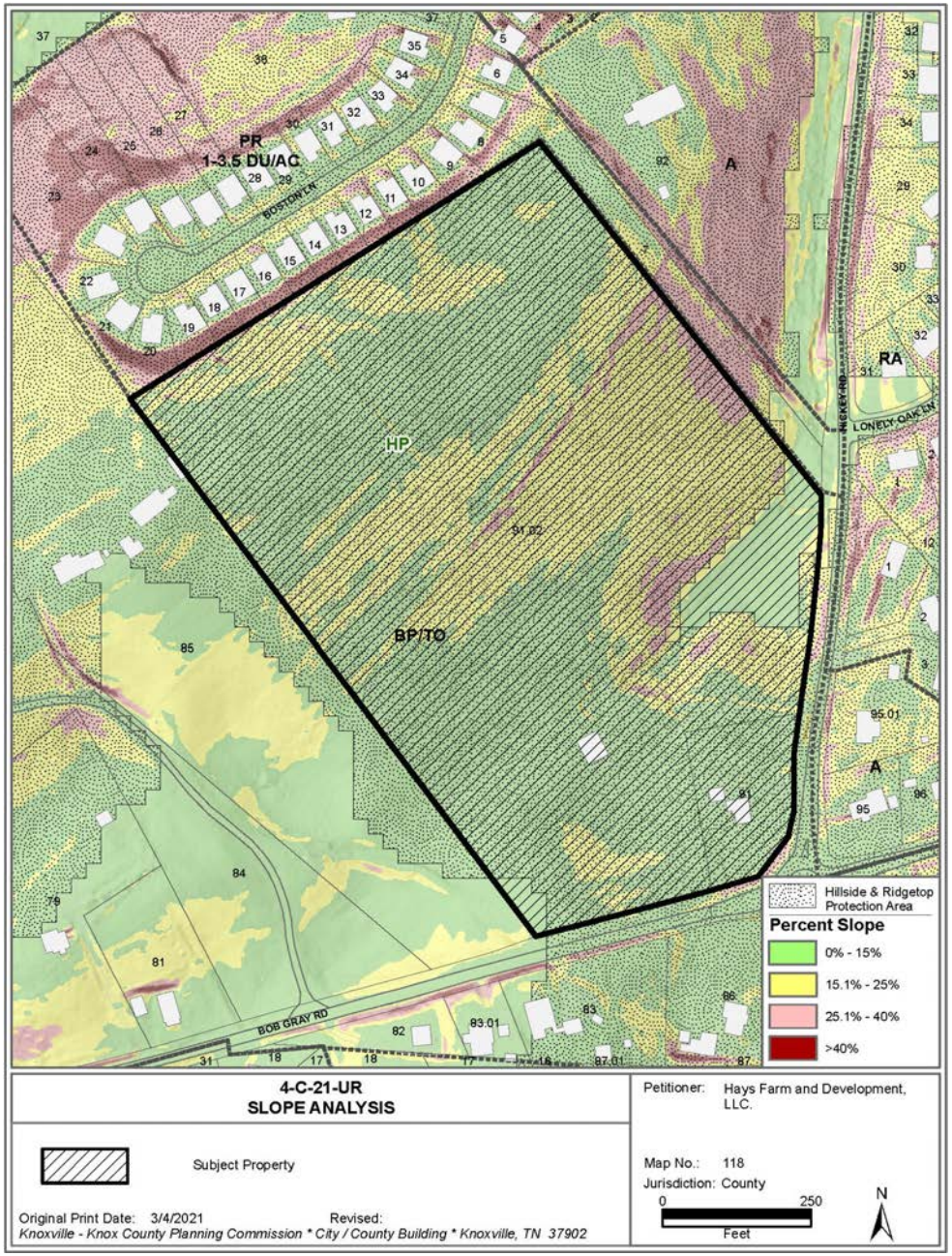
dua: dwelling units per acre

* These factors should be considered guidelines to determine an overall recommended residential density for requests for changes to the zoning map to planned residential (RP-1 in the city and PR in the county) zone districts that are considered by the Metropolitan Planning Commission prior to being considered by the appropriate legislative body. The resulting zone district development right would be considered a budget for dwelling units to be applied over the entire proposed development.

** Until such time as regulations are codified by the appropriate legislate body, these factors should be considered guidelines to determine an overall recommended land disturbance area for development plans and concept plans that are considered for approval by the Metropolitan Planning Commission. The overall land disturbance area would be considered a budget for land disturbance to be applied over the entire proposed development.

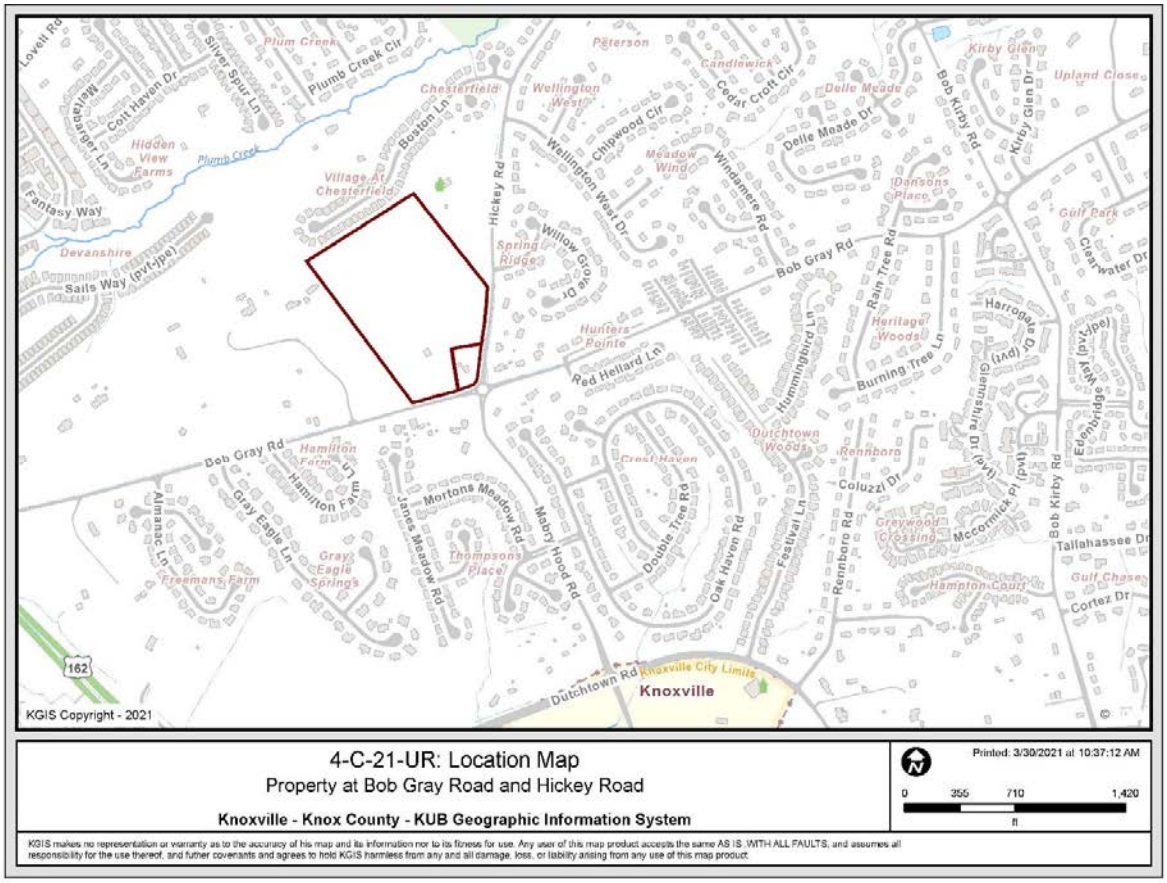
*** Ridgetops are generally the more level areas on the highest elevations of a ridge. Because the shapes of Knox County ridges are so varied (see pages 8 - 9), the ridgetop area should be determined on a case-by-case basis with each rezoning and related development proposal.

The Knoxville Knox County Hillside and Ridgetop Protection Plan — 33



4-C-21-UR

Exhibit A. Contextual Images



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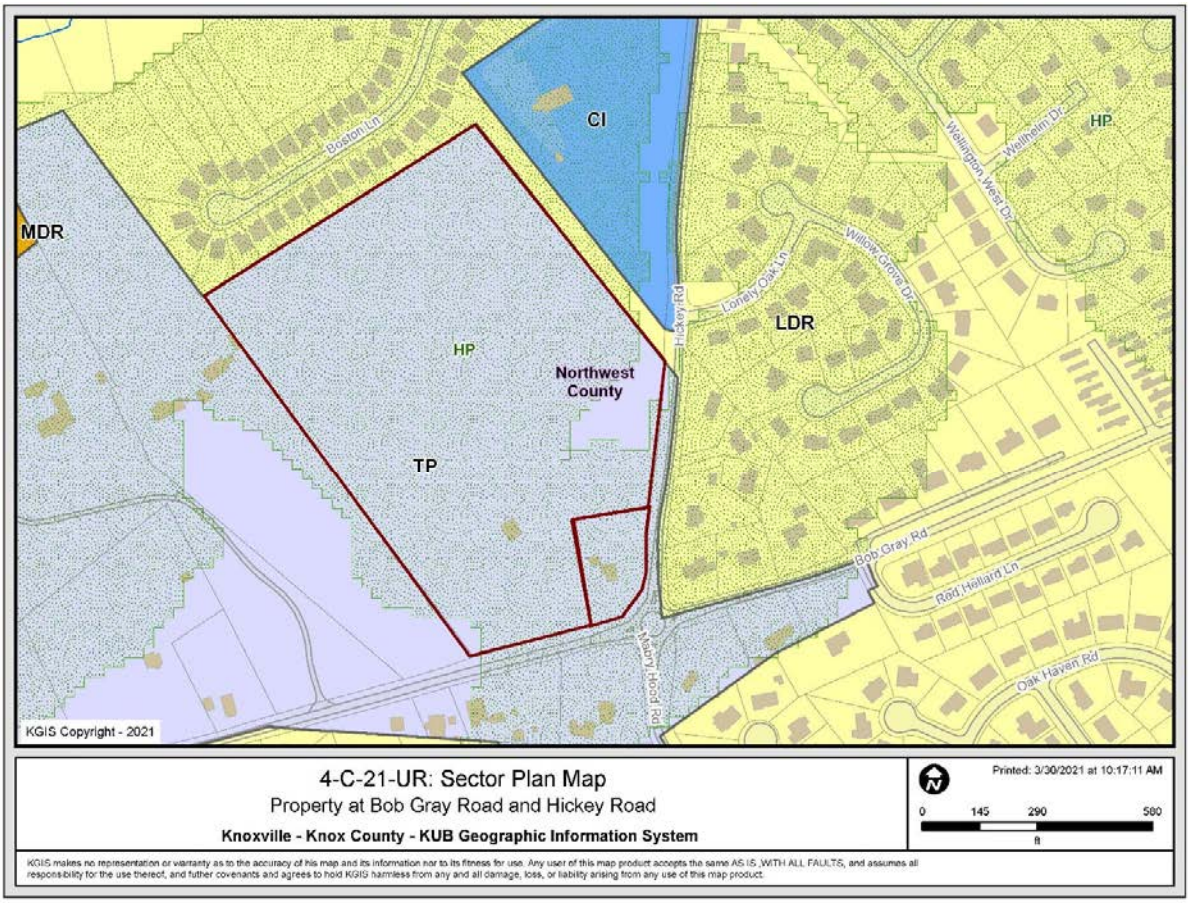
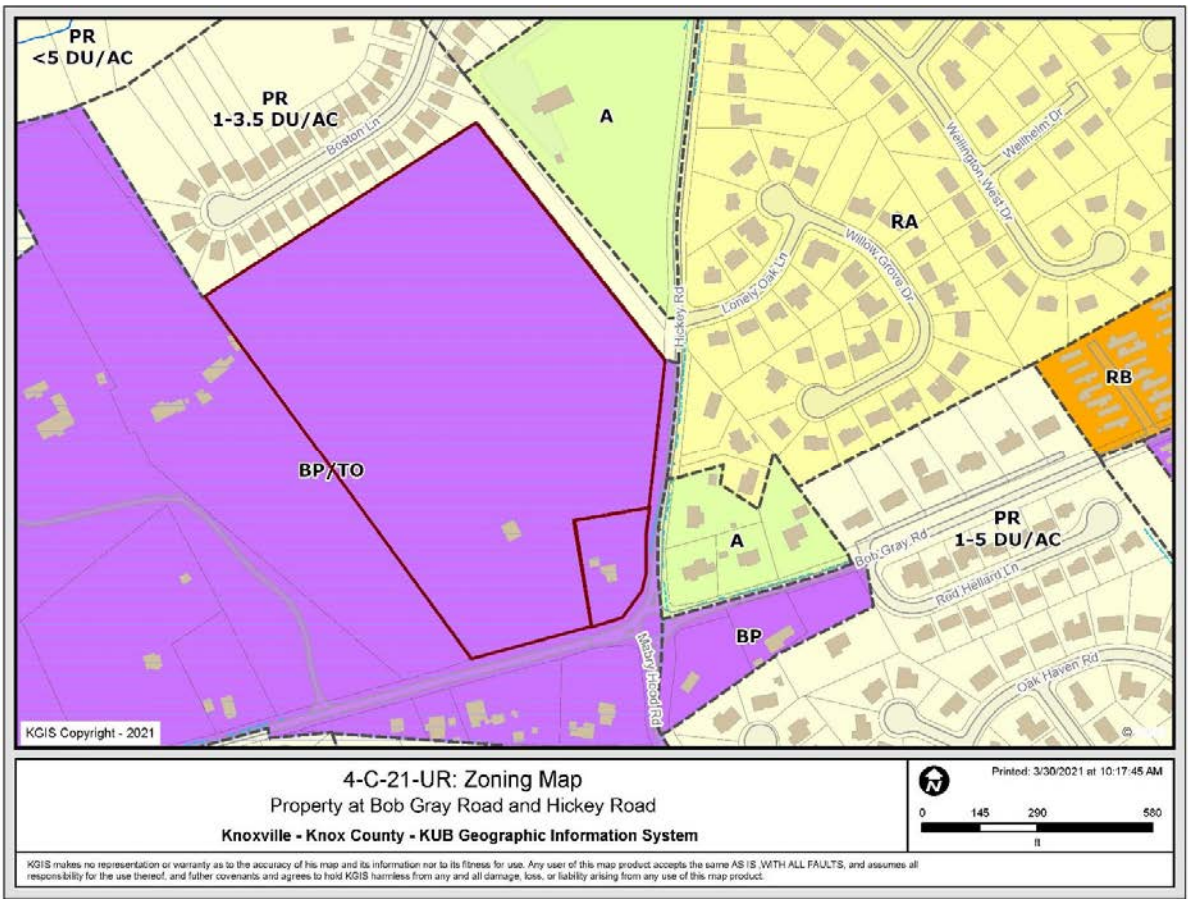
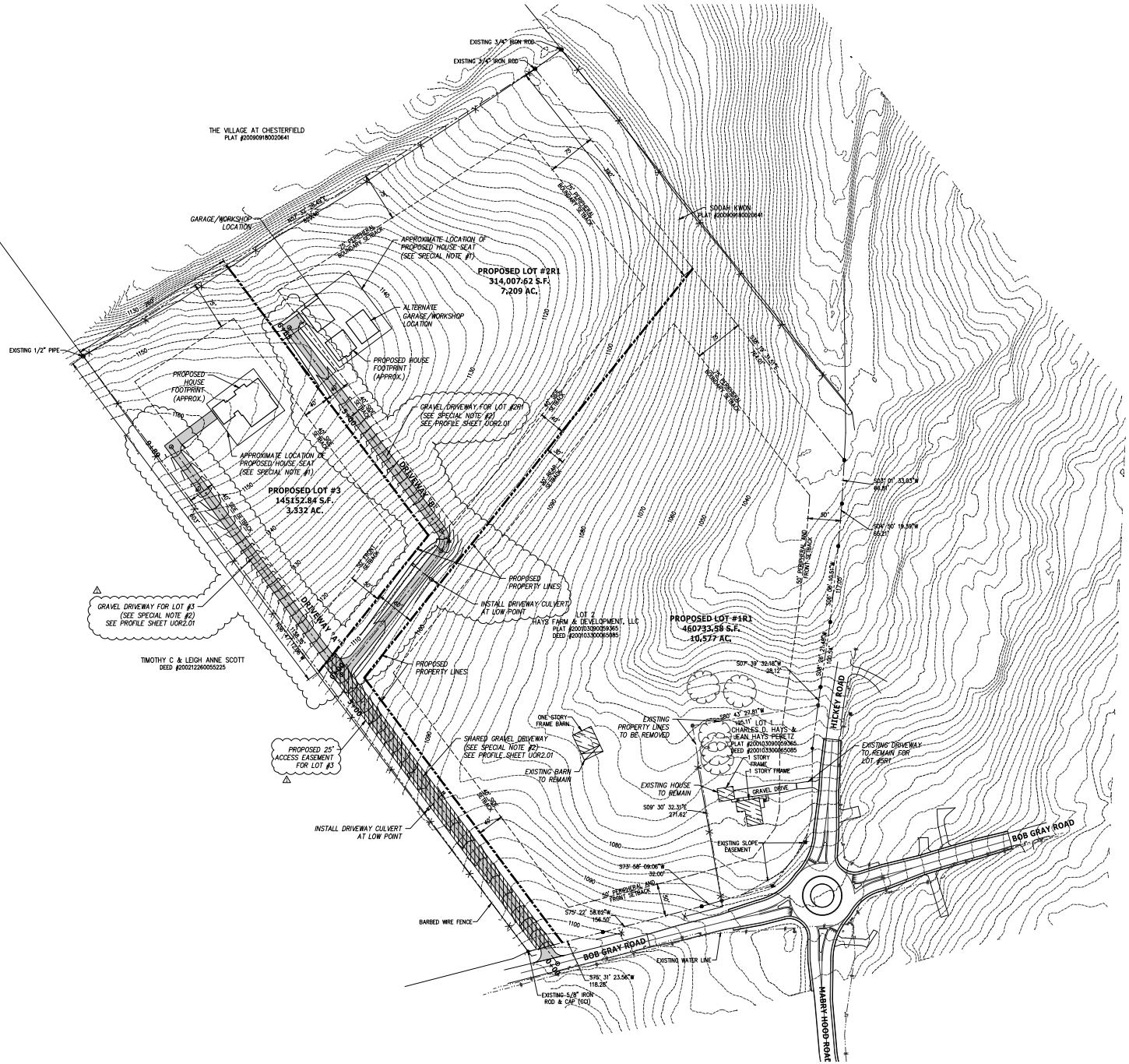






GENERAL NOTES:

1. OWNERSHIP AND REFERENCE
   PARCEL 91.02
   HAYS FARM & DEVELOPMENT LLC
   500 E. FOX DEN DRIVE
   KNOXVILLE, TN 37934
   CLT MAP 118, PARCEL 91.02
   INSTRUMENT NUMBER 20010309-0059365
   DEED: 20010330-0065085
2. TOTAL SITE AREA = 21.12 AC±
3. PROPOSED LOTS = 3
4. ALL SETBACKS SHALL BE IN ACCORDANCE WITH KNOX COUNTY ZONING ORDINANCE:
   BP/TO - BUSINESS AND TECHNOLOGY PARK ZONE
   FRONT: 50' (75' ADJ. TO RESIDENTIAL)
   SIDE: 40'
   REAR: 35' (50' ADJ. TO RESIDENTIAL)
   PERIPHERY: 50' (75' ADJ. TO RESIDENTIAL)

LANDSCAPING:

1. ALL LANDSCAPING ACTIVITIES SHALL BE IN ACCORDANCE WITH SECTION 63-40, "LANDSCAPING," OF THE KNOX COUNTY MINIMUM SUBDIVISION REGULATIONS.

EROSION CONTROL:

1. EROSION CONTROL SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH TDEC AND KNOX COUNTY STORMWATER REQUIREMENTS FOR SINGLE LOT DEVELOPMENT.
2. AS A MINIMUM, SILT FENCE SHALL BE INSTALLED AROUND THE PERIMETER OF THE PROPERTY, UNTIL PAVING & LANDSCAPING OPERATIONS ARE COMPLETED.

DRAINAGE & WATER QUALITY:

1. DETENTION IS NOT REQUIRED.
2. WATER QUALITY FACILITIES ARE NOT REQUIRED.

UTILITY SERVICES:

UTILITY SERVICES ARE TO BE PROVIDED BY THE FOLLOWING:
WATER - WEST KNOX UTILITY DISTRICT (WKUD)
SEWER - SEPTIC

SPECIAL NOTES:

1. HOUSE SEAT LOCATION SHOWN IS APPROXIMATE. FINAL LOCATION TO BE DETERMINED BY OWNER AND BUILDING CONTRACTOR BASED ON GRADES AND FINAL HOUSE FOOTPRINT CONFIGURATION AND DIMENSIONS. FINAL LOCATION SHALL CONFORM TO APPLICABLE BUILDING SETBACK LINES AS SHOWN.
2. GRAVEL DRIVEWAY LOCATION SHOWN IS APPROXIMATE. FINAL LOCATION TO BE DETERMINED BY OWNER AND CONTRACTOR BASED ON EXISTING GRADES AND FINAL HOUSE LOCATION AND ORIENTATION.

DEVELOPMENT INTENSITY CALCULATIONS

LOT #1R1
GROSS LOT AREA = 10.58 ACRES

BUILDING FOOTPRINT (3,003.61 S.F.) = 0.07 ACRES
SIDEWALKS & ETC. = 0.05 ACRES
GRAVEL DRIVEWAYS (ASSUMED IMPERVIOUS) = 0.04 ACRES
GROSS IMPERVIOUS AREA = 0.16 ACRES

IMPERVIOUS AREA RATIO (IAR) = GROSS IMPERVIOUS AREA/ GROSS LOT AREA 0.16 AC./10.58 AC. = 2% < 30% MAX
GROUND AREA COVERAGE (GAC) = BUILDING FOOTPRINT AREA/ GROSS LOT AREA 0.07 AC./10.58 AC. = .007% < 25% MAX

LOT #2R1
GROSS LOT AREA = 7.21 ACRES

BUILDING FOOTPRINT (2571.67 S.F.) = 0.06 ACRES
SIDEWALKS & ETC. = 0.05 ACRES
GRAVEL DRIVEWAYS (ASSUMED IMPERVIOUS) = 0.44 ACRES
GROSS IMPERVIOUS AREA = 0.55 ACRES

IMPERVIOUS AREA RATIO (IAR) = GROSS IMPERVIOUS AREA/ GROSS LOT AREA 0.55 AC./7.21 AC. = 8% < 30% MAX
GROUND AREA COVERAGE (GAC) = BUILDING FOOTPRINT AREA/ GROSS LOT AREA 0.06 AC./7.21 AC. = .008% < 25% MAX

LOT #3
GROSS LOT AREA = 3.33 ACRES

BUILDING FOOTPRINT (3788.02 S.F.) = 0.09 ACRES
SIDEWALKS & ETC. = 0.03 ACRES
GRAVEL DRIVEWAYS (ASSUMED IMPERVIOUS) = 0.17 ACRES
GROSS IMPERVIOUS AREA = 0.29 ACRES

IMPERVIOUS AREA RATIO (IAR) = GROSS IMPERVIOUS AREA/ GROSS LOT AREA .29 AC./3.33 AC. = 9% < 30% MAX
GROUND AREA COVERAGE (GAC) = BUILDING FOOTPRINT AREA/ GROSS LOT AREA 0.09 AC./3.33 AC. = .03% < 25% MAX

LEGEND

- PROPOSED GRAVEL DRIVEWAY
- PROPOSED SINKHOLE BUFFER
- BUILDING SETBACK
- ZONING LINE (APPROX.)
- BOUNDARY LINE (APPROX.)
- PROPOSED LOT LINE
- (1) PROPOSED LOT NUMBER

REVISIONS	DATE
⚠ REVISED PER KNOX PLANNING COMMENTS	3/22/2021

CANNON+CANNON

CLIENT:
HAYS FARM, LLC
500 EAST FOX DEN DRIVE
KNOXVILLE, TN 37934

PROJECT:
⚠ HAYS HILLS SUBDIVISION
7501 HICKEY ROAD
KNOXVILLE, TN 37932

USE ON REVIEW
SITE LAYOUT PLAN
(4-C-21-UR) ⚠

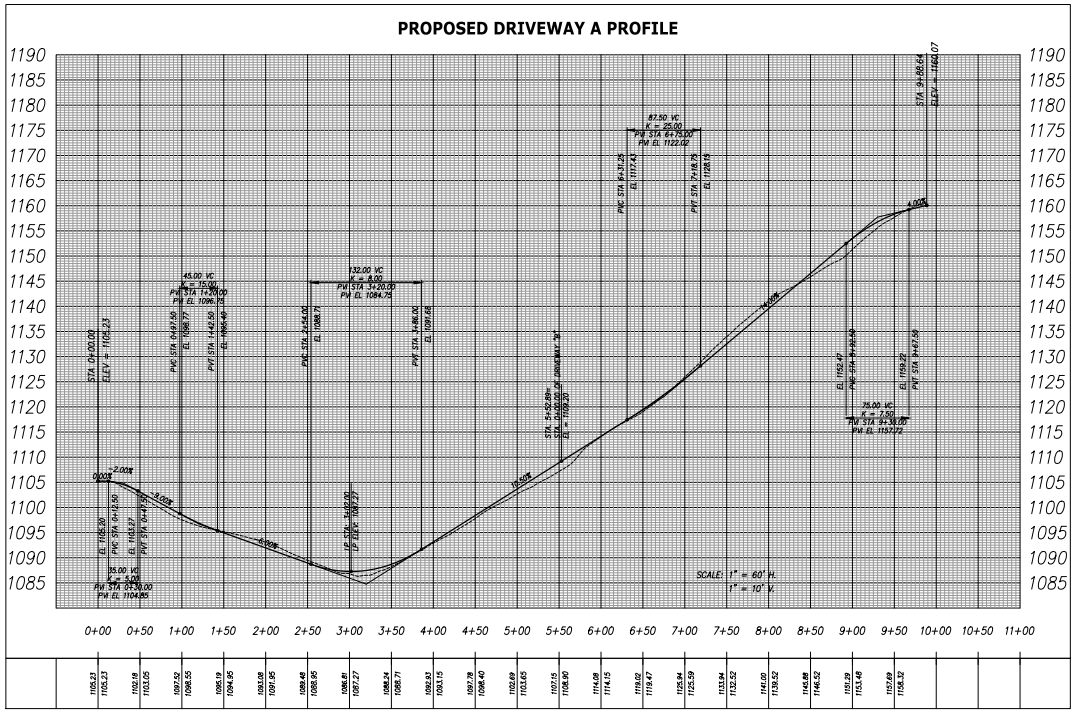
JASON R. HUNT
REGISTERED LANDSCAPE ARCHITECT
STATE OF TENNESSEE
3/22/2021

CCI PROJECT NO.	01567-4000		
DRAWING DATE	FEBRUARY 19, 2021		
PM	RGB	PIC	HD
DRAWN	JRH	CHECKED	JRH

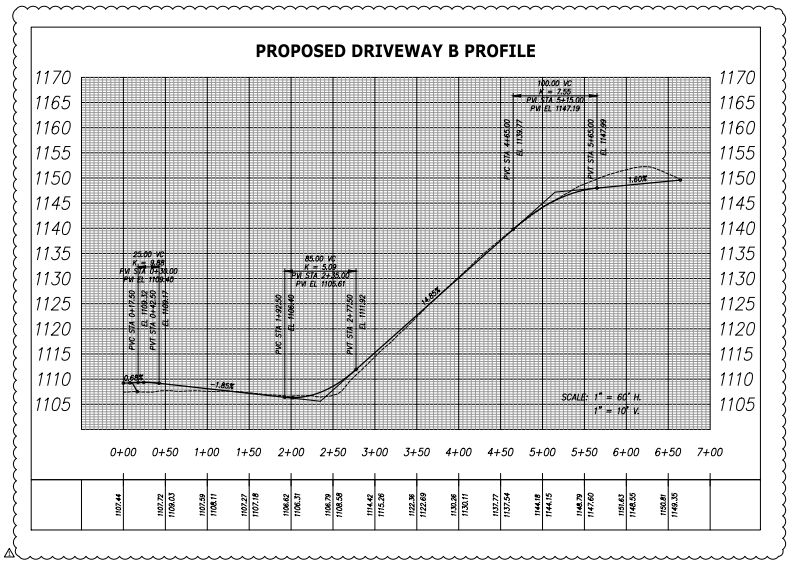
UOR1.01

FOR USE ON REVIEW SUBMITTAL ONLY - NOT FOR CONSTRUCTION

PROPOSED DRIVEWAY A PROFILE



PROPOSED DRIVEWAY B PROFILE



GENERAL NOTES:

1. SEE SHEET UOR1.01 FOR NOTES.

REVISIONS	DATE
REVISED PER KNOX PLANNING COMMENTS	3/22/2021

CLIENT:
HAYS FARM, LLC
500 EAST FOX DEN DRIVE
KNOXVILLE, TN 37934

PROJECT:
HAYS HILLS SUBDIVISION
KNOXVILLE, TN 37932

USE ON REVIEW
DRIVEWAY PROFILE
(4-C-21-UR)

CCI PROJECT NO. 01567-4000
DRAWING DATE FEBRUARY 19, 2021
PM RGB | PIC HD
DRAWN JRH | CHECKED JRH

3/22/2021

UOR2.01

FOR USE ON REVIEW SUBMITTAL ONLY - NOT FOR CONSTRUCTION

DRUMMOND HOUSE PLANS YOUR BEST PLAN

SEND US **PICTURES** OF **YOUR HOUSE** !

Drummond House Plans is always looking for homes built from our plans to be used in our different publications.

Once your construction and landscape is completed, simply take a few pictures (exterior and interior) and send them via email to **photos@drummondhouseplans.com** or by regular mail to:

455 St-Joseph boulevard, Suite 201
Drummondville (Quebec) Canada J2C 7B5

Drummond House Plans could use your pictures and in turn increase your chances of being selected, you will find below some helpful tips in creating the right setting and back drop for your house to take good quality pictures.

- Set your digital camera at the highest resolution (photo quality)
- Make sure to remove everything that could damage the photo or hide the house (car in the driveway, garbage cans, bicycles, etc...)
- Take pictures when the sun is facing the house and ideally when the sky is lightly cloudy to attenuate shadows.
- Take pictures of your house from different angles, the pictures can be surprising.

Drummond House Plans commits to treat the photographs and information received in confidence.

ADDITIONAL SERVICES :

MATERIALS LIST

Make sure you do not miss anything and control your costs by getting the complete list of materials for building your home. You will have in hand the exact quantities of materials needed to facilitate your shopping and order at each stage of construction.

CUSTOM HOME DESIGN SERVICES

Whether you are looking to distinguish yourself and your home from those in your neighbourhood or you simply want for your home to completely reflect your needs and life style, **Drummond House Plans** has the skilled design team to make your custom dream home reality. We have the tools and the expertise required to create a unique custom home plan suited to your every needs, all the while respecting your budget.

HOME RENOVATION DESIGN SERVICES

You are renovating your home to adapt it to your family's changing needs, or simply to upgrade it ? **Drummond House Plans**' professionnal team can design your home renovation or addition and guide you through the process in order to achieve the results you are expecting, whether it would be for the interior layout or for the exterior appearance.

BUILDER'S PROGRAM

In order to better serve the needs of the builders' community **Drummond House Plans** has developed its own Builder's Program.

By subscribing to this unique Program, **FREE OF CHARGE**, you will have access to a wide range of plan packages and marketing tools supplied by **Drummond House Plans**. Throught our 40 years of experience and knowledge of the builder's community, we have come to know and developed the support and services that will help you increase your productivity and differentiate the services you offer from your competitors.

For more information, contact us at **1 800 567-5267** or email us at : **info@drummondhouseplans.com**

Are you planning on making **MODIFICATIONS** to your new home plan?
Drummond House Plans can help !
Call us NOW! 1 800 567-5267

Here are only a few of the many MODIFICATIONS that can be done to your new home plan.

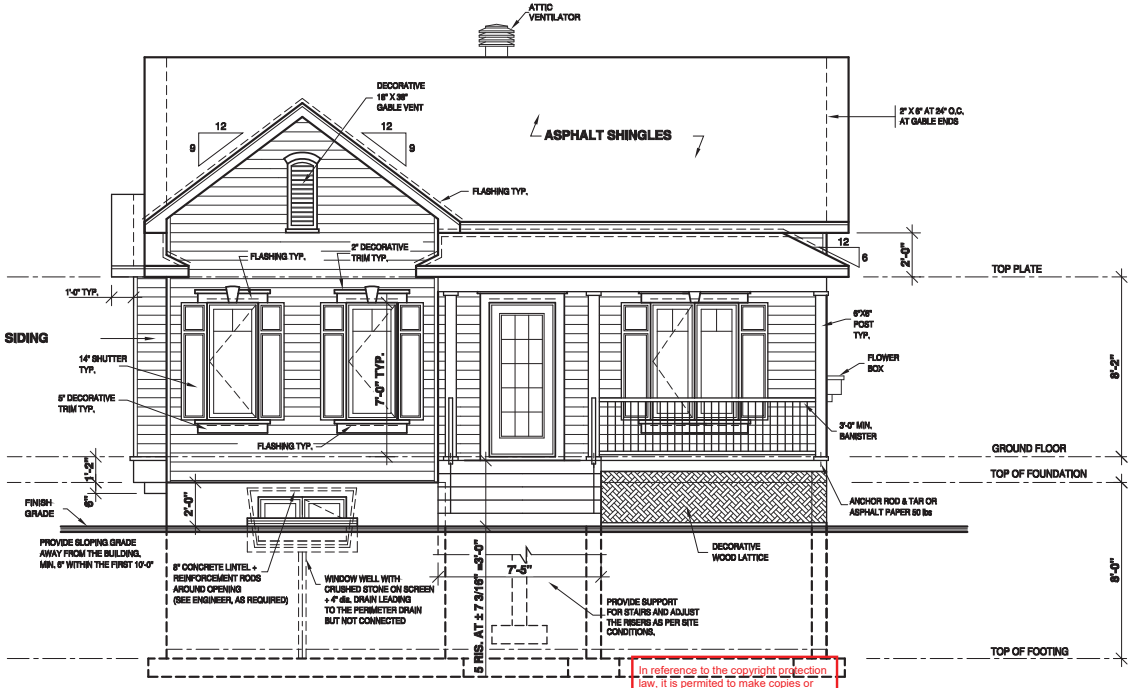
Avoid any misunderstandings between you and your builder and possible costly construction errors by modifying your plan by **Drummond House Plans**' professionnal team of designers. If you plan on building your home differently than specified on your plan, be sure to make the changes before starting construction!

YOUR PLAN SHOULD EXPRESS AND REPRESENT YOUR NEEDS EXACTLY !

DRUMMOND HOUSE PLANS YOUR BEST PLAN

Contact us for more information :
1 800 567-5267 or **info@drummondhouseplans.com**

Also discover over **1300 HOUSE PLANS**, cottages, garages and multi-family homes by visiting **www.drummondhouseplans.com**



AREA SCHEDULE	SQ.FT.
GROUND FLOOR	1 026
SECOND FLOOR	----
BASEMENT	----
TOTAL:	1 026
OTHER	----
BONUS ROOM	----
GARAGE	----

DRUMMOND HOUSE PLANS

info@drummondhouseplans.com

1-800-567-5267

DRUMMOND HOUSE PLANS

NOTES:

THESE PLANS HAVE BEEN DRAWN ACCORDING TO HIGH QUALITY STANDARDS AND PRACTICES AND ARE AN ACCURATE GUIDE TO BUILDING CONSTRUCTION. HOWEVER, LOCAL REGULATIONS AND LOCAL BUILDING CODE REQUIREMENTS VARY, AND AS SUCH, MAY REQUIRE CHANGES. THE BUILDING CONTRACTOR MUST REVISE AND ENSURE WITH HIS CLIENT THAT THE PLANS CONFORM TO ALL CURRENT GOVERNMENTAL AND/OR BUILDING CODE REQUIREMENTS IN THE MUNICIPALITY WHERE THE HOME WILL BE BUILT. THE CLIENT IS RESPONSIBLE FOR THE VERIFICATION OF MUNICIPAL REGULATIONS. DRUMMOND DESIGNS INC. WILL NOT ASSUME LIABILITY FOR MISHAPS BEFORE, DURING, OR AFTER THE USE OF THESE PLANS FOR CONSTRUCTION.

THIS HOME PLAN HAS BEEN ORIGINALLY DRAWN BY DRUMMOND DESIGNS INC. AND IS ITS EXCLUSIVE PROPERTY. ANY REPRODUCTION IS STRICTLY FORBIDDEN. THE PURCHASE OF A HOME PLAN DOES NOT INCLUDE THE LICENSE FOR ADVERTISING USE. THIS LICENSE CAN BE PURCHASE UPON REQUEST. THE PURCHASE OF A LICENSE IS REQUIRED IF MORE THAN ONE HOUSE IS TO BE BUILT WITH THIS HOME PLAN.

YOUR CITY OR STATE MAY REQUIRE THAT YOU HAVE A CERTIFIED ARCHITECT OR ENGINEER APPROVE YOUR PLANS AND AFFIX HIS SEAL TO THE PLANS FOR SAFETY REASONS OR PARTICULAR REGULATIONS.

THE BEST PLAN OUR COMMITMENT

CUSTOMER INFO

AMY LARSON

905 COXBORO CT
KNOXVILLE
TN, US 37923-6619

(865)207-2705

REVISION	NO	DATE	BY

STAMP BY:

PROJECT INFO
NEW CONSTRUCTION
(UNFINISHED BASEMENT)

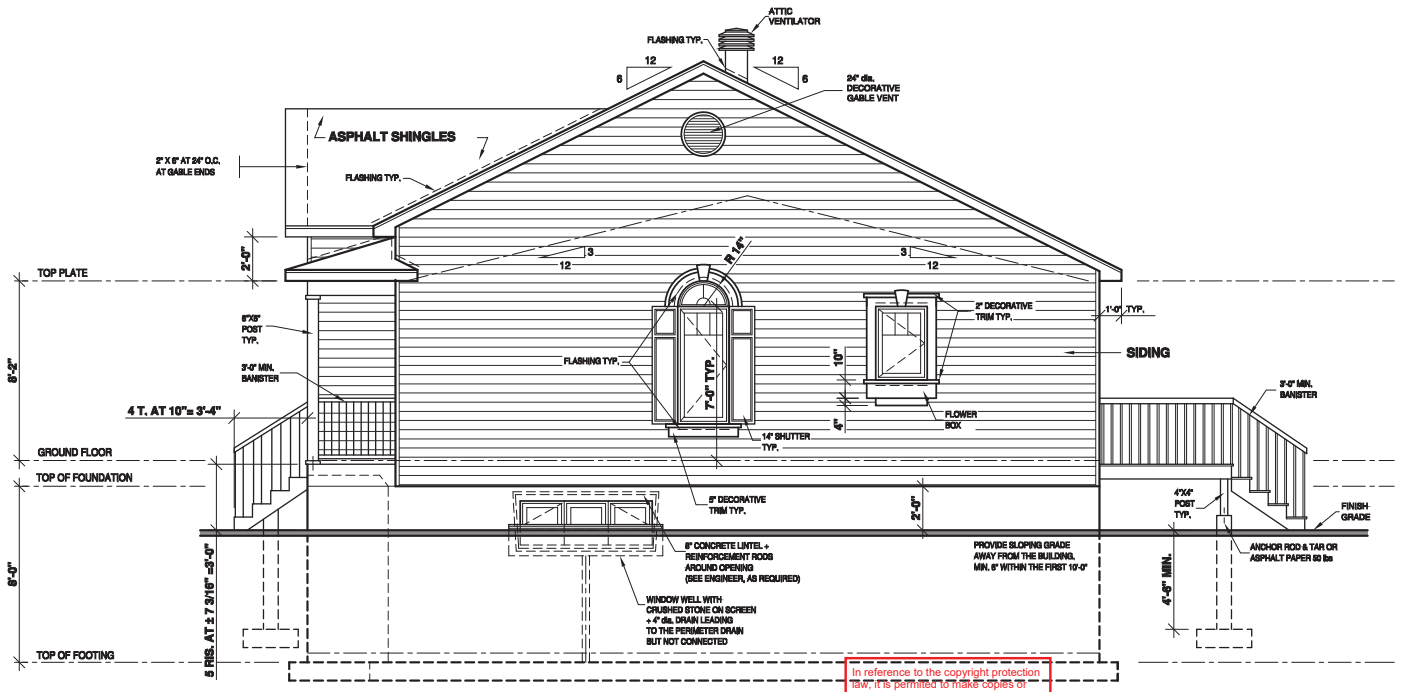
DRAWING
FRONT ELEVATION

DESIGNED BY	DRAWN BY	CHECKED BY
D.C.	K.A.	V.ST-L.

DATE	SCALE
14/03/2019	1/4"=1'-0"

PLAN NO.	SHEET NO.
2171	1-10

4-C-21-UR



DRUMMOND HOUSE PLANS

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THE BEST PLAN OUR COMMITMENT

CUSTOMER INFO

AMY LARSON
905 COXBORO CT
KNOXVILLE
TN, US 37923-6619
(865)207-2705

REVISION	NO	DATE	BY

STAMP BY:

PROJECT INFO
NEW CONSTRUCTION
(UNFINISHED BASEMENT)

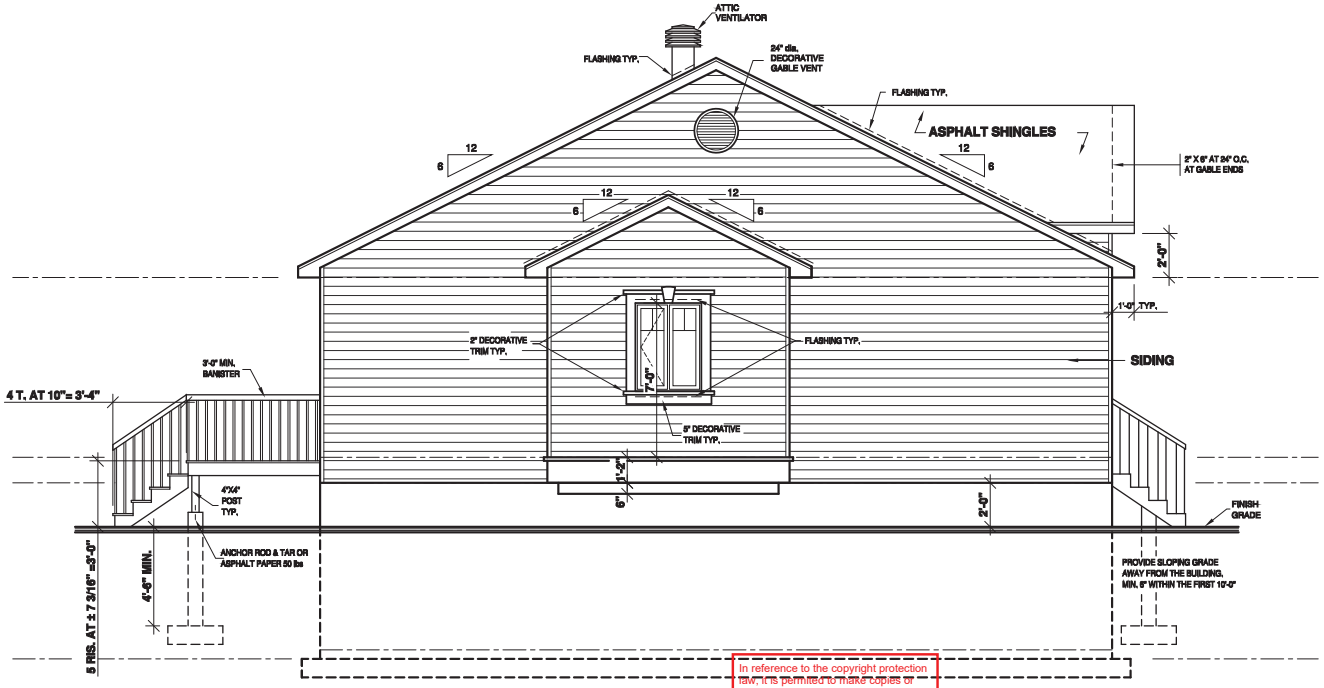
DRAWING
RIGHT ELEVATION

DESIGNED BY	DRAWN BY	CHECKED BY
D.C.	K.A.	V.ST-L.

DATE	SCALE
14/03/2019	1/4"=1'-0"

PLAN NO.	SHEET NO.
2171	2-10

4-C-21-UR



DRUMMOND HOUSE PLANS
info@drummondhouseplans.com
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REVISION	NO	DATE	BY

STAMP BY:

PROJECT INFO
NEW CONSTRUCTION
(UNFINISHED BASEMENT)

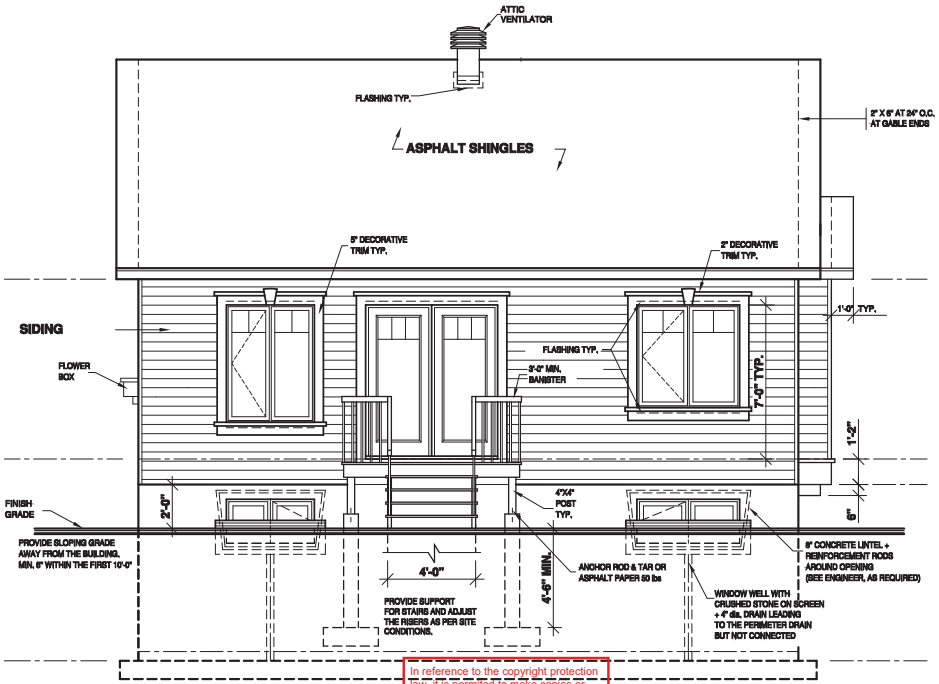
DRAWING
LEFT ELEVATION

DESIGNED BY	DRAWN BY	CHECKED BY
D.C.	K.A.	V.ST-L.

DATE	SCALE
14/03/2019	1/4"=1'-0"

PLAN NO.	SHEET NO.
2171	3-10

4-C-21-UR



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PROJECT INFO
NEW CONSTRUCTION
(UNFINISHED BASEMENT)

DRAWING
REAR ELEVATION

DESIGNED BY	DRAWN BY	CHECKED BY
D.C.	K.A.	V.ST-L.

DATE	SCALE
14/03/2019	1/4"=1'-0"

PLAN NO.	SHEET NO.
2171	4-10

4-C-21-UR

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- AS PRECAUTION, A FIREPROOF LINER SHOULD BE INSTALLED BETWEEN FIREBOX OR PREFABRICATED FIREPLACE AND COMBUSTIBLE FRAMING.

- MINIMUM FOUNDATION DEPTH BELOW FINISHED GRADE IS 4'-6", THIS DEPTH MAY VARY ACCORDING TO LOCAL CODE REQUIREMENTS.

- ENDS OF STEEL BEAMS SUPPORTED ON EXTERIOR WALL MUST BE INSULATED ON A MINIMUM LENGTH OF 24".

- TO PROTECT AGAINST FROST HEAVE ON ALL CONCRETE FOUNDATIONS WALLS, PILASTER AND CONCRETE ANGLES, MUST BE COVERED WITH EITHER A PROTECTIVE MEMBRANE, 15 LBS ASPHALT PAPER, POLYETHYLENE, RIGID INSULATION OR 1/2" TAR FIBERBOARD.

- 2" MINIMUM SPACE IS REQUIRED BETWEEN THE ROOF AREA AND MOISTURE SENSITIVE EXTERIOR FACING.

-IT IS MANDATORY TO VENTILATE THE ROOF ADEQUATELY. THE VENTILATORS CHOSEN BY THE CUSTOMER AND/OR THE CONTRACTOR WILL BE REQUIRED TO RESPECT THE CURRENT BUILDING CODE.

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-THE WINDOWS IN THE STAIRS, BATHROOMS AND THOSE THAT ARE SERVING AS A BANISTER MUST BE TEMPERED GLASS IN ACCORDANCE WITH THE CURRENT CODE.

-IT IS RECOMMENDED TO INSTALL A CHAMBER SYSTEM FOR UNDERGROUND GAS (RADON) AT THE CENTER OF THE FLOOR ON THE SLAB IN THE GRANULAR MATERIAL TO ALLOW THE CONNECTION OF THE EVACUATION SYSTEM VENT.

- ALL VAPOR BARRIERS INDICATED IN THIS PLAN SHOULD BE SEALED WHEN THEY OVERLAP AND AROUND OPENINGS. IT IS IMPORTANT TO INSTALL A VAPOR BARRIER AT THE BACK OF THE ELECTRIC BOXES AND THE SEAL IT.

- PROVIDE A SMOKE ALARM FOR EACH FLOOR AND ONE IN EACH BEDROOM. THE SMOKE ALARMS MUST BE CONNECTED PERMANENTLY TO AN ELECTRICAL CIRCUIT AND USE BATTERY AS A SUPPLY SOURCE. 10 MIN TEMPORARY SWITCH DEVICE SHOULD BE INSTALLED IN CASE OF FALSE ALARM.

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- ALL POSTS IN EXTERIOR WALL TO BE MIN. 3-2"X6" UNLESS OTHERWISE SPECIFIED.

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- THE PLYWOOD PANELS MAY BE REPLACED BY AN ORIENTED STRESS BOARD PANEL (OSB) OR EQUIVALENT.

- PROVIDE BRACING IN ALL EXTERIOR WALL CORNERS. BRACING CAN BE MADE OF 1/2" PLYWOOD, 1/2" OSB OR STEEL BRACING INSTALLED AT 45° ANGLE.

- IN A MASONRY WALL, THE HORIZONTAL STEEL CLAMPS ARE TO BE PLACED AT A MAX. 3'-0" SPACING, THE VERTICAL ONES AT 16" MAX. THE SIZE OF THE STEEL LINTELS (OVER OPENINGS) TO BE DETERMINED BY THE MACON.

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- TEMPORARY INTERRUPT DEVICE
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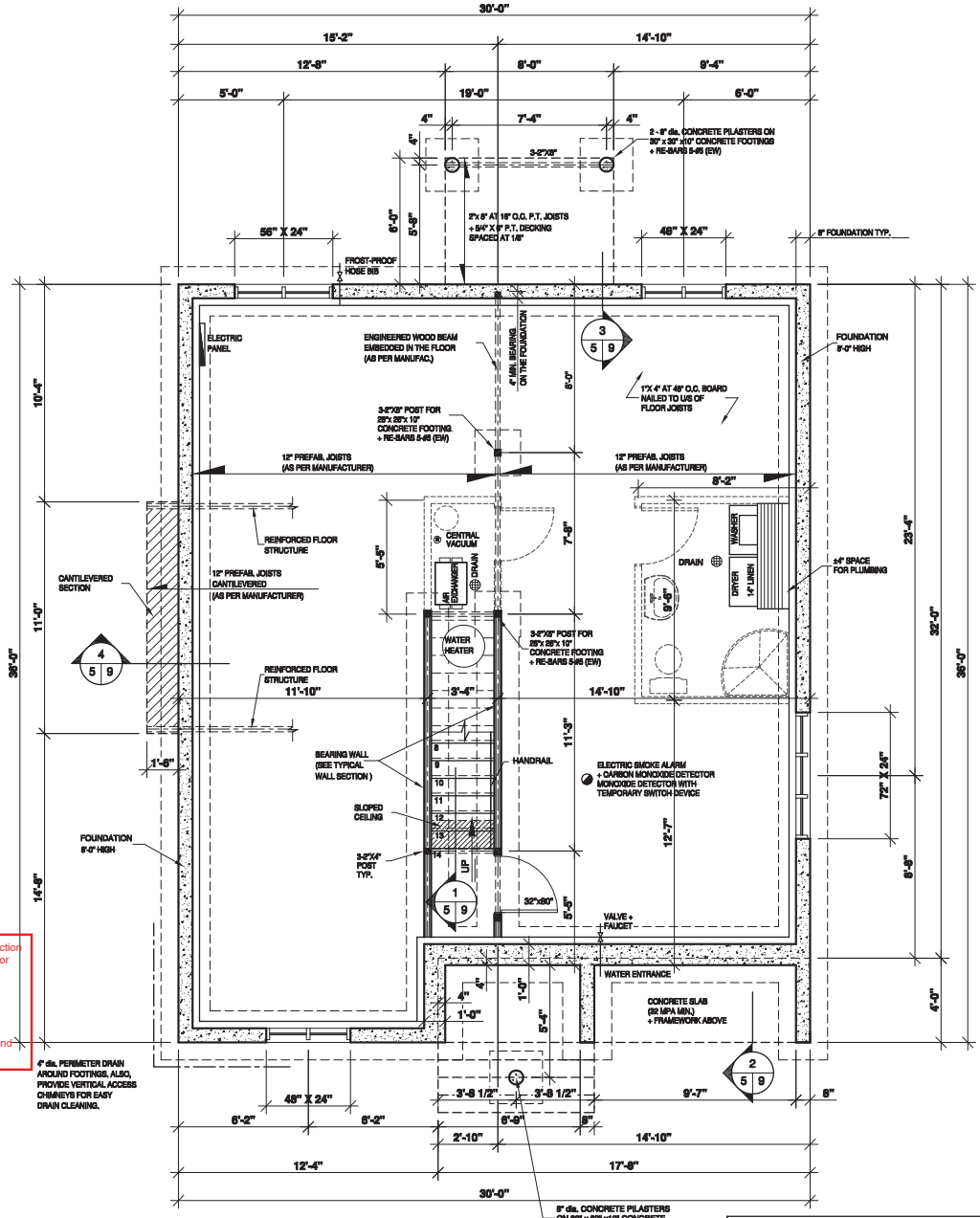

PLEASE TAKE NOTE THAT THE SIZES OF THE BASEMENT WINDOWS SHOWN IN THIS PLAN MAY NEED TO BE ADJUSTED DEPENDING ON THE INTERIOR FINISHED LAYOUT. THE CODE REQUIRES THAT AT LEAST ONE WINDOW IN EACH SLEEPING ROOM (BEDROOM) NEED TO COMPLY AND MEET THE MINIMUM EGRESS REQUIREMENTS REQUIRED BY THE BUILDING CODE : CCQ SECTION 9.9.10.2)A) OR CNB SECTION 9.9.10.2)A) OR OBC SECTION 9.9 OR IRC SECTION R311.

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KNOXVILLE
TN, US 37923-6619
(865)207-2705

REVISION	NO	DATE	BY

STAMP BY:

PROJECT INFO
NEW CONSTRUCTION
(UNFINISHED BASEMENT)

DRAWING
FOUNDATIONS PLAN

DESIGNED BY	DRAWN BY	CHECKED BY
D.C.	K.A.	V.ST-L.

DATE	SCALE
14/03/2019	1/4"=1'-0"

PLAN NO.	SHEET NO.
2171	5-10

4-C-21-UR

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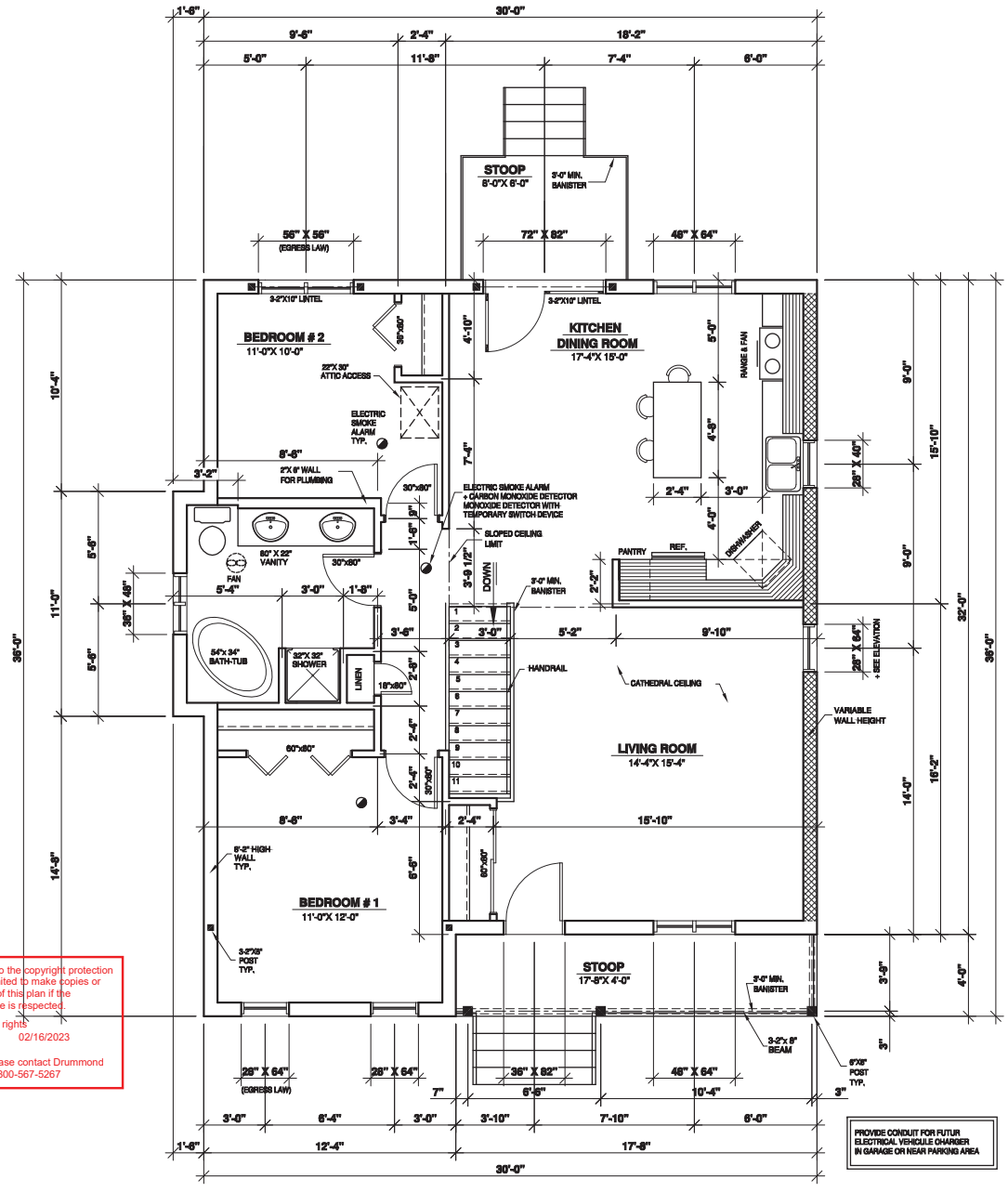

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TN, US 37923-6619

(865)207-2705

REVISION	NO	DATE	BY

STAMP BY:

PROJECT INFO
NEW CONSTRUCTION
(UNFINISHED BASEMENT)

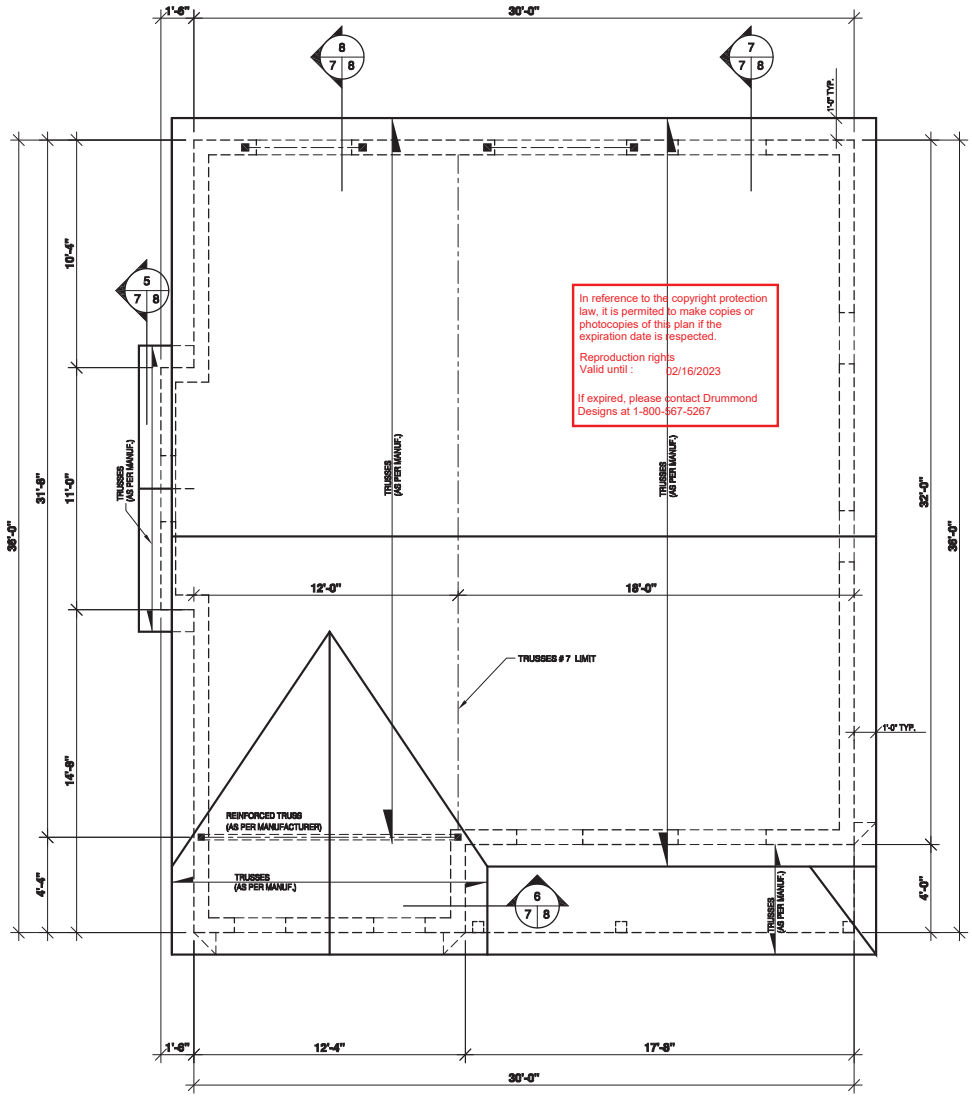
DRAWING
GROUND FLOOR PLAN

DESIGNED BY	DRAWN BY	CHECKED BY
D.C.	K.A.	V.ST-L.

DATE	SCALE
14/03/2019	1/4"=1'-0"

PLAN NO.	SHEET NO.
2171	6-10

4-C-21-UR



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REVISION	NO	DATE	BY

STAMP BY:

PROJECT INFO
NEW CONSTRUCTION
(UNFINISHED BASEMENT)

DRAWING
ROOF PLAN

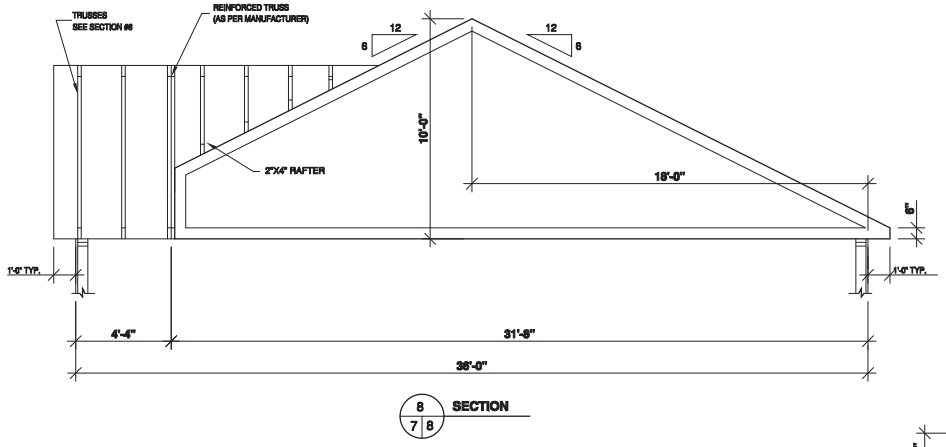
DESIGNED BY	DRAWN BY	CHECKED BY
D.C.	K.A.	V.ST-L.

DATE	SCALE
14/03/2019	1/4"=1'-0"

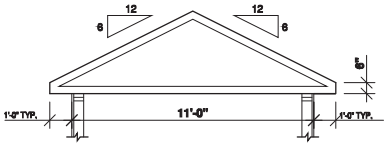
PLAN NO.	SHEET NO.
2171	7-10

4-C-21-UR

THE TRUSS DIAGRAMS ON THIS PLAN ARE ONLY SHOW FOR SCHEMATIC PURPOSE.
IT IS THE MANUFACTUER'S RESPONSABILITY TO DESIGNE AND CONCIVE
THE TRUSSES TO MEET AND COMPLY LOCAL AND CODE REGULATION.



8/7|8 SECTION



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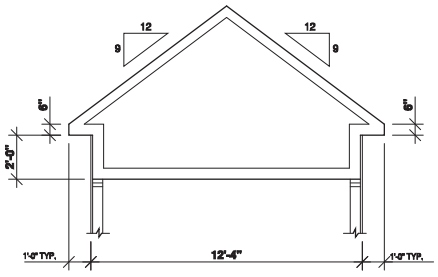
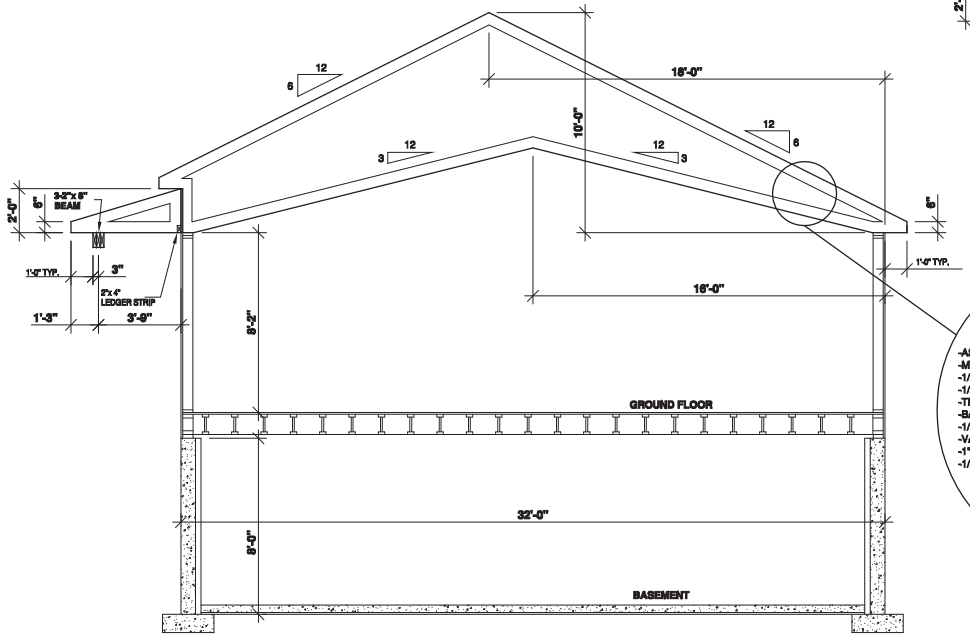
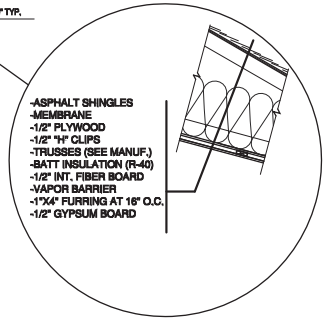


6/7|8 SECTION



7/7|8 SECTION



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1-800-567-5267

DRUMMOND HOUSE PLANS

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THE BEST PLAN OUR COMMITMENT

CUSTOMER INFO

AMY LARSON
905 COXBORO CT
KNOXVILLE
TN, US 37923-6619
(865)207-2705

REVISION	NO	DATE	BY

STAMP BY:

PROJECT INFO
NEW CONSTRUCTION
(UNFINISHED BASEMENT)

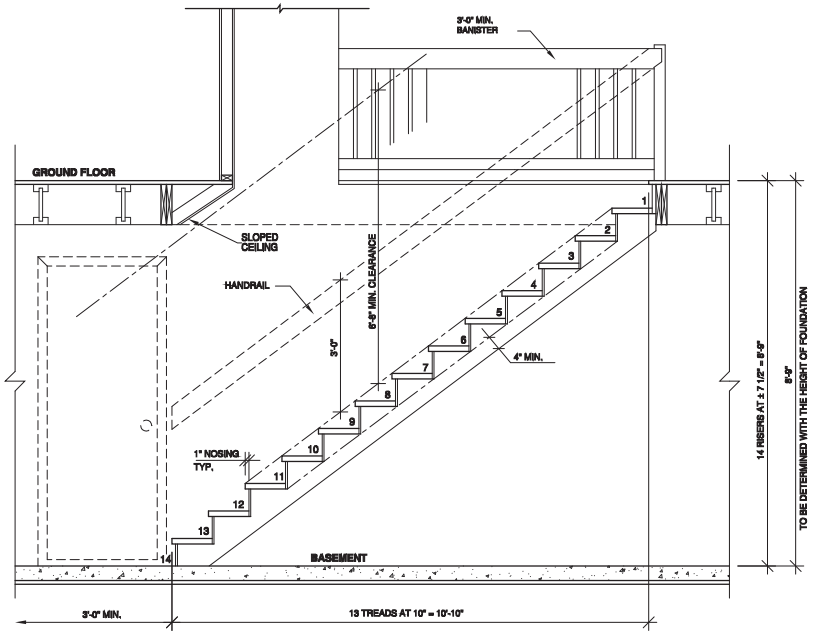
DRAWING
TRUSS DIAGRAM

DESIGNED BY	DRAWN BY	CHECKED BY
D.C.	K.A.	V.ST-L.

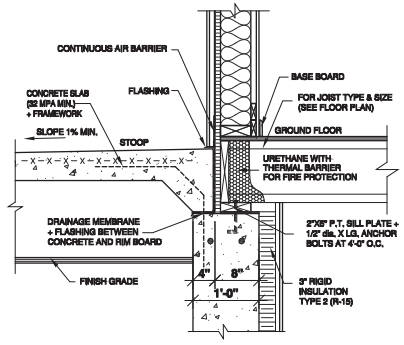
DATE	SCALE
14/03/2019	1/4"=1'-0"

PLAN NO.	SHEET NO.
2171	8-10

4-C-21-UR



1 / 5 9 SECTION
SCALE: 1/2" = 1'-0"



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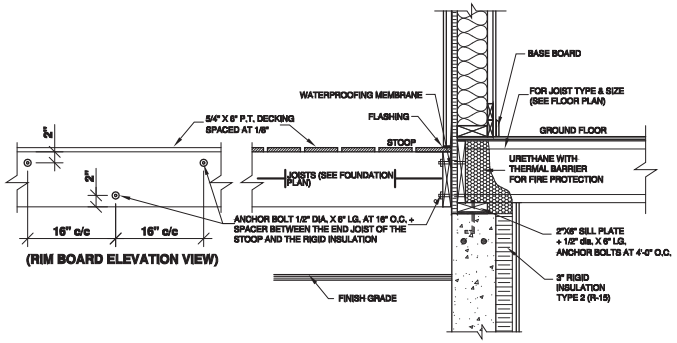

3 / 5 9 SECTION
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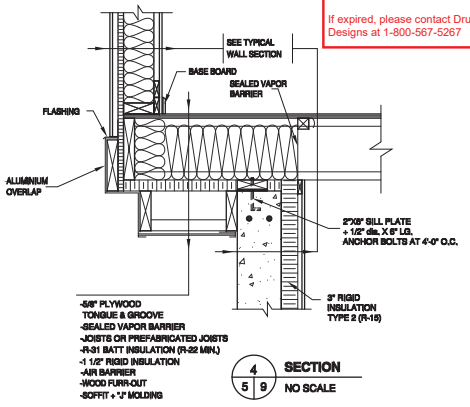

4 / 5 9 SECTION
NO SCALE

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THE BEST PLAN OUR COMMITMENT

CUSTOMER INFO

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905 COXBORO CT
KNOXVILLE
TN, US 37923-6619
(865)207-2705

REVISION	NO	DATE	BY

STAMP BY:

PROJECT INFO
NEW CONSTRUCTION
(UNFINISHED BASEMENT)

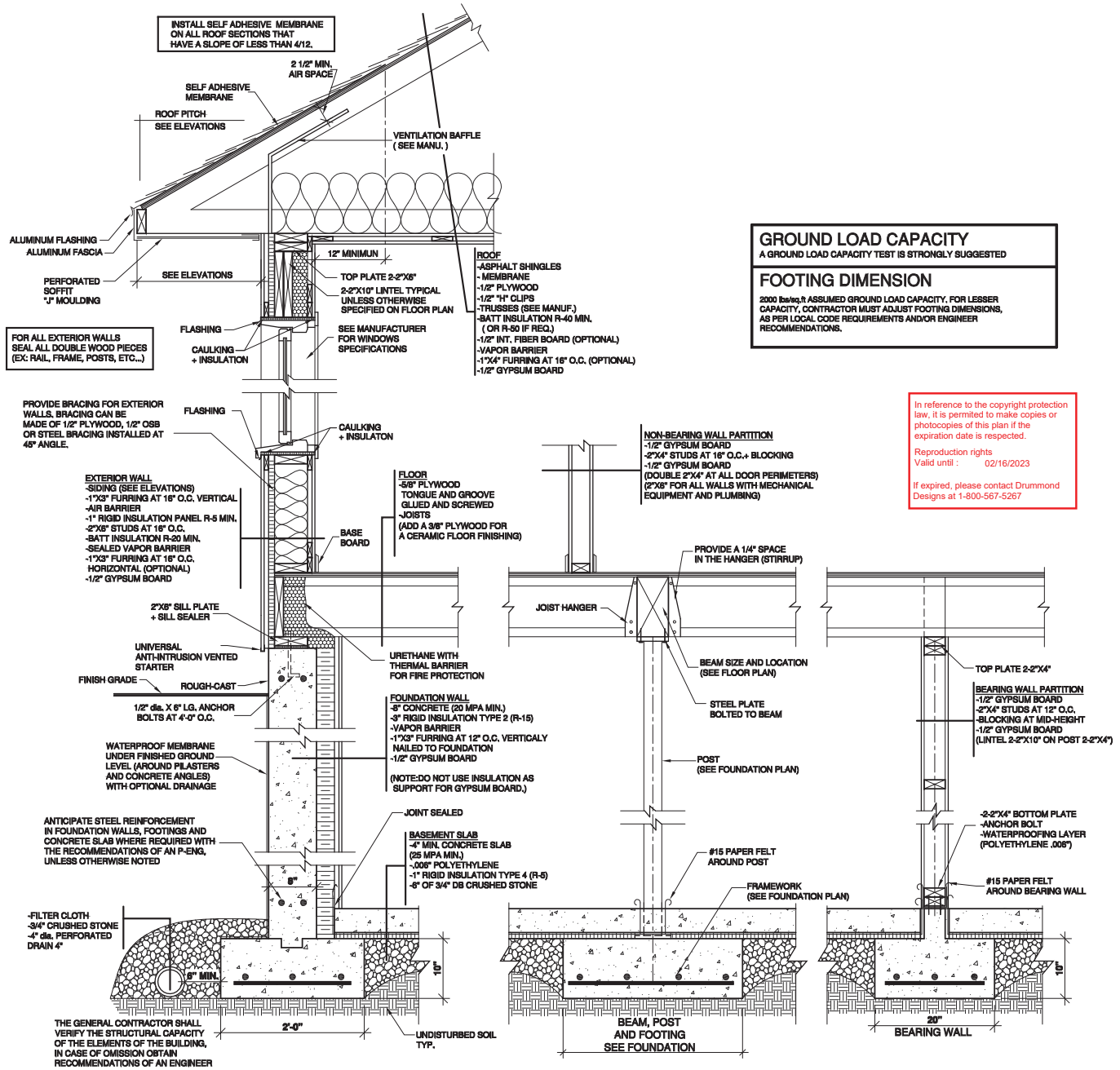
DRAWING
SECTIONS and DETAILS

DESIGNED BY	DRAWN BY	CHECKED BY
D.C.	K.A.	V.ST-L.

DATE	SCALE
14/03/2019	AS SHOWN

PLAN NO.	SHEET NO.
2171	9-10

4-C-21-UR



GROUND LOAD CAPACITY

A GROUND LOAD CAPACITY TEST IS STRONGLY SUGGESTED

FOOTING DIMENSION

2000 lbs/sq.ft ASSUMED GROUND LOAD CAPACITY. FOR LESSER CAPACITY, CONTRACTOR MUST ADJUST FOOTING DIMENSIONS, AS PER LOCAL CODE REQUIREMENTS AND/OR ENGINEER RECOMMENDATIONS.

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AMY LARSON
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KNOXVILLE
TN, US 37923-6619
(865)207-2705

REVISION	NO	DATE	BY

STAMP BY:

PROJECT INFO
NEW CONSTRUCTION
(UNFINISHED BASEMENT)

DRAWING
TYPICAL WALL SECTION

DESIGNED BY	DRAWN BY	CHECKED BY
D.C.	K.A.	V.ST-L.

DATE	SCALE
14/03/2019	1"=1'-0"

PLAN NO.	SHEET NO.
2171	10-10

4-C-21-UR

Building Materials List for Plan # 1200-5

~ Local building code approved substitutions may be made to this list ~

Variations in construction methods and materials can require modification of this list. Every attempt is made for greatest accuracy, but typographical or human error is possible. Quantities verification by the materials supplier is recommended before materials package is finalized and/or shipped.

Rough Framing

2 x 4 x103 -1/2" HF/DF "stud" wall framing		148 pcs.
2 x 4 x 10' HF/DF "stud" wall framing		10 pcs.
2 x 4 HF/DF horizontal wall blocking		96 lf
2 x 4 HF/DF No. 2 for plates		322 lf
2 x 4 HF/DF No. 2 for lookouts		48 lf
2 x 4 HF/DF No. 2 pressure-treated bottom plate		149 lf
3-1/2 x 9-1/4 header 2950Fb 2.0E	9'-9"	3 pcs.
2 x 6 DF No. 1 Header	10' length	4 pcs.
2 x 6 DF No. 1 Header	8' length	2 pc.
2 x 4 x 22-1/2" Eave Blocking with screened vent holes		40 pcs.
Trusses: 4 : 12 30' span incl. (2) end trusses		21 pcs.

Sheathing Materials

7/16" o.s.b. wall sheathing	4 x 8 sheet	46 sheets
15/32" C-D APA Plywood, ext. glue P.I. 24/0 Roof	4 x 8 sheet	50 sheets

Vapor Barrier

Roof 15# bituminous felt paper in 36" wide roll	500 lf
Wall 7# bituminous felt paper in 40" wide roll	420 lf
Floor .006" black polyethylene membrane	1200 sf

Siding Materials

8" textured o.s.b.siding boards with 1" lap	1156 sf	siding area
(alt.) 7/16" o.s.b. text. (or 5/8" T1-11 plyw'd) panel	4 x 9 sheet	47 sheets
Trim: 5/4 x 4 (for opt. siding, use 1x thk. trims)	8' length	17 pcs.
Trim: 5/4 x 4	9' length	4 pcs.
Trim: 5/4 x 4	10' length	3 pcs.
Trim: 5/4 x 3	9' length	4 pcs.
Fascia: 1 x 6		84 lf
Rakeboard: 2 x 6	18' length	4 pcs.

Roofing Materials

Composition Roofing Shingles	1461sf	roofing area
Ridgevent material		40 lf

Window and Door Assemblies

4030 sliding window(s)	4 ea.
3068 exterior door	2 ea.
9' x 8' sectional garage door	2 ea.

Metal Parts & Misc.

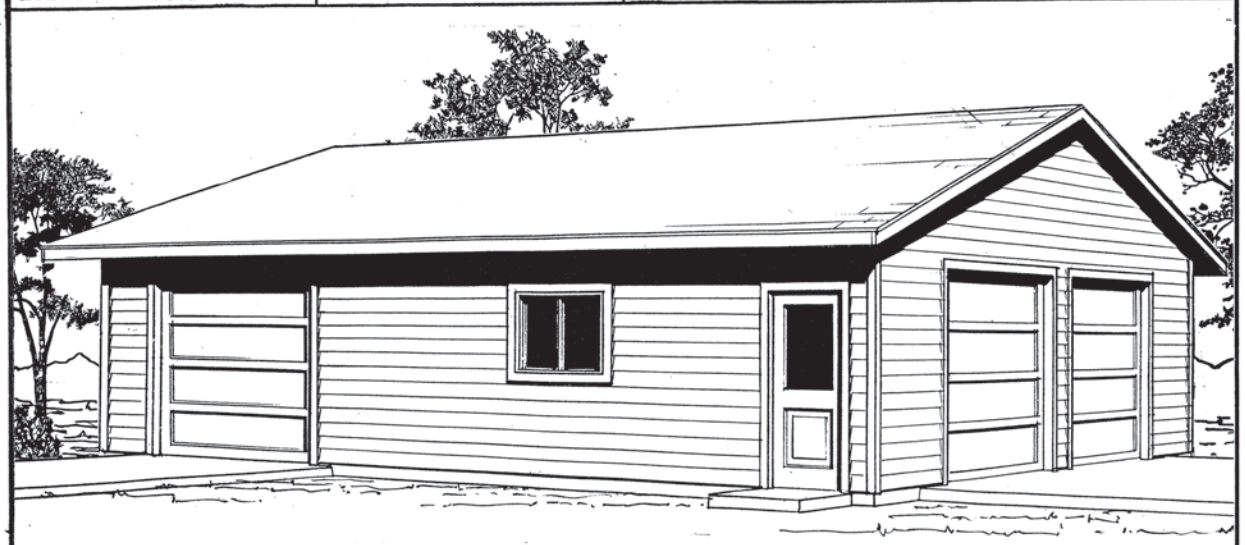
Anchor bolts: 1/2" dia. x 10" ASTM A-307	26 pcs.
Anchor bolts: 1/2" dia. x 8" ASTM A-307	4 pcs.
Flat washer: 2" x 2" square x 3/16" thick	30 pcs.
Simpson H1 clips (or equal)	38 pcs.
Simpson A35 connectors	4 pcs.
Simpson STHD10 hold-down straps (or equal)	2 pcs.
16d sinker nails	50 lbs.
8d common nails @ 145 nails / lb.	50 lbs.
Drip flashing for window/door heads	46 lf

~ To advise corrections, call 1-800-210-6776 Thank you.~.

(NOTE: ELECTRICAL & MECHANICAL NOT INCLUDED IN THIS LIST)

GRADE-TO-RIDGE HEIGHT: 15' - 2"

GROSS FLOOR AREA: 1200 SQ. FT.



1200-5

30' x 40'

Building Code Compliance

This planset was prepared to comply with the 2015 International Residential Code (IRC)

Parameters For Design

Wind Speed: 115 mph ultimate

Wind Exposure: C

Seismic Category: C

Snow Load: 30#/sq. ft.

Building Data

Occupancy : "U"

Construction Type: "V"

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QUESTIONS? CALL 1-800-210-6776

PLAN NO. 1200- 5

DESIGN JB | DRAWN JB | DATE updated 04/19

SHEET CONTENTS
PROJECT ILLUSTRATION
PROJECT DATA
BUILDING MATERIALS LIST

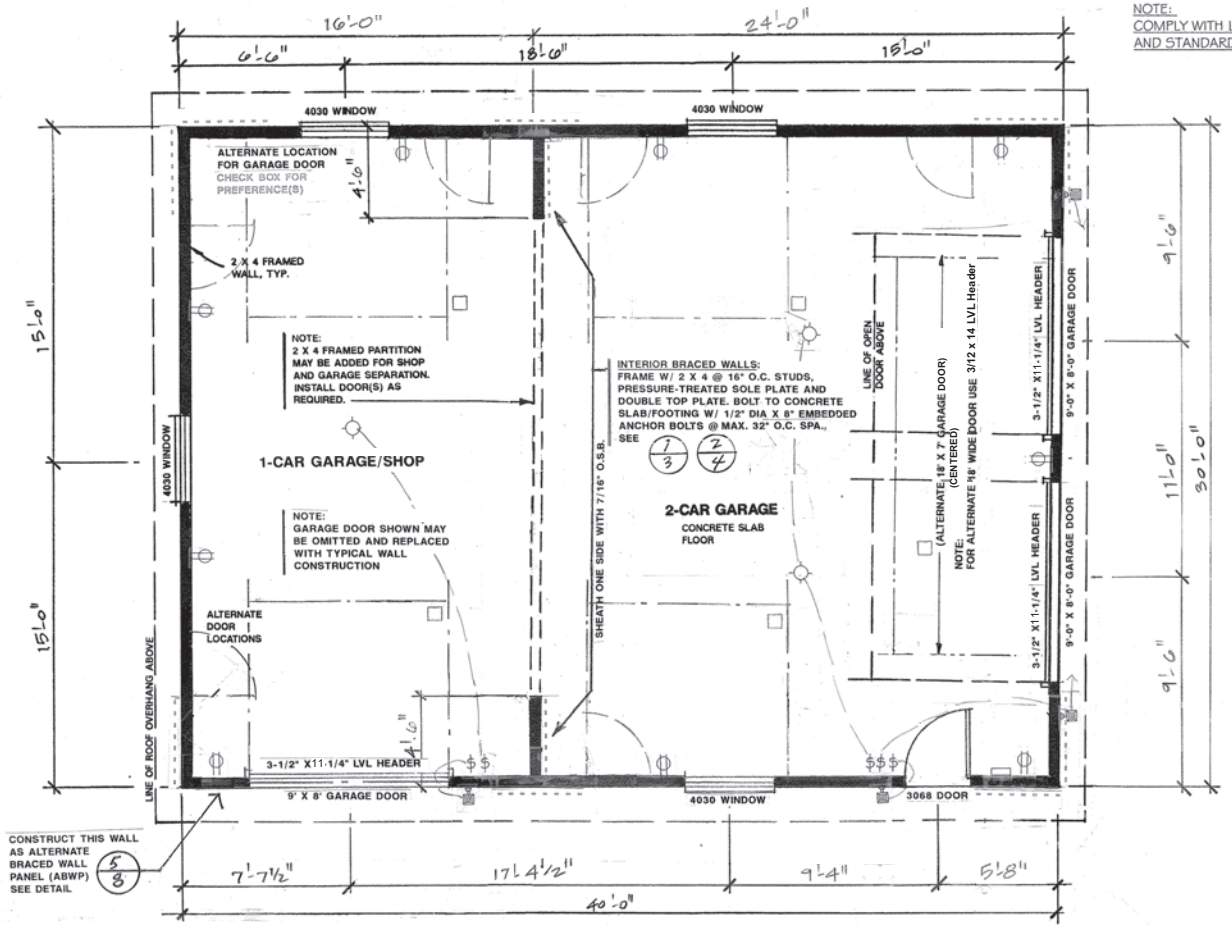
SHEET 1 OF 9

4-C-21-UR

LEGEND

- SWITCH LOCATION
- CEILING MOUNTED LIGHT FIXTURE
- 110 VOLT DUPLEX OUTLET
- EXTERIOR WALL-MTD. LIGHT FIXTURE
- ELECTRIC PANEL OR SUB-PANEL LOCATE & INSTALL PER LOCAL CODES
- 110 VOLT DUPLEX OUTLET (EXTERIOR)

NOTE:
COMPLY WITH LOCAL ELECTRICAL CODES AND STANDARDS AS APPLICABLE



FLOOR PLAN

SCALE: 1/4" = 1'-0"

BRACED WALLS AS PER IRC R602.10, AS APPLICABLE FOR LOCAL CODES

(SHOWN: ----------) METHOD: CS-WSP

EXTERIOR BRACED WALLS (MIN. 48") NAIL SIDING PANELS OR SHEATHING W/ 8d @ 6" o.c., EDGES AND @ 12" O.C., FIELD AND BLOCK AT HORIZ. PANEL JOINTS. PROVIDE ALTERNATE BRACED WALL PANELS AS INDICATED.

SEE EXTERIOR ELEVATIONS FOR WINDOW SIZES AND FUNCTION

WINDOW AND DOOR HEADERS SHALL Be: 2- 2 X 6 HF2, UNLESS OTHER-WISE NOTED

WINDOWS OPTIONAL

NOTE:
FLOOR PLAN DIMENSIONS ARE TO FACE OF FRAMING OR CENTERLINE OF BEARING, TYP. AS SHOWN.

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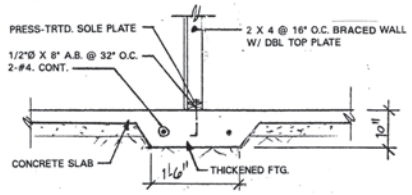
PLAN NO. 1200-5

DESIGN VB | DRAWN VB | DATE 05

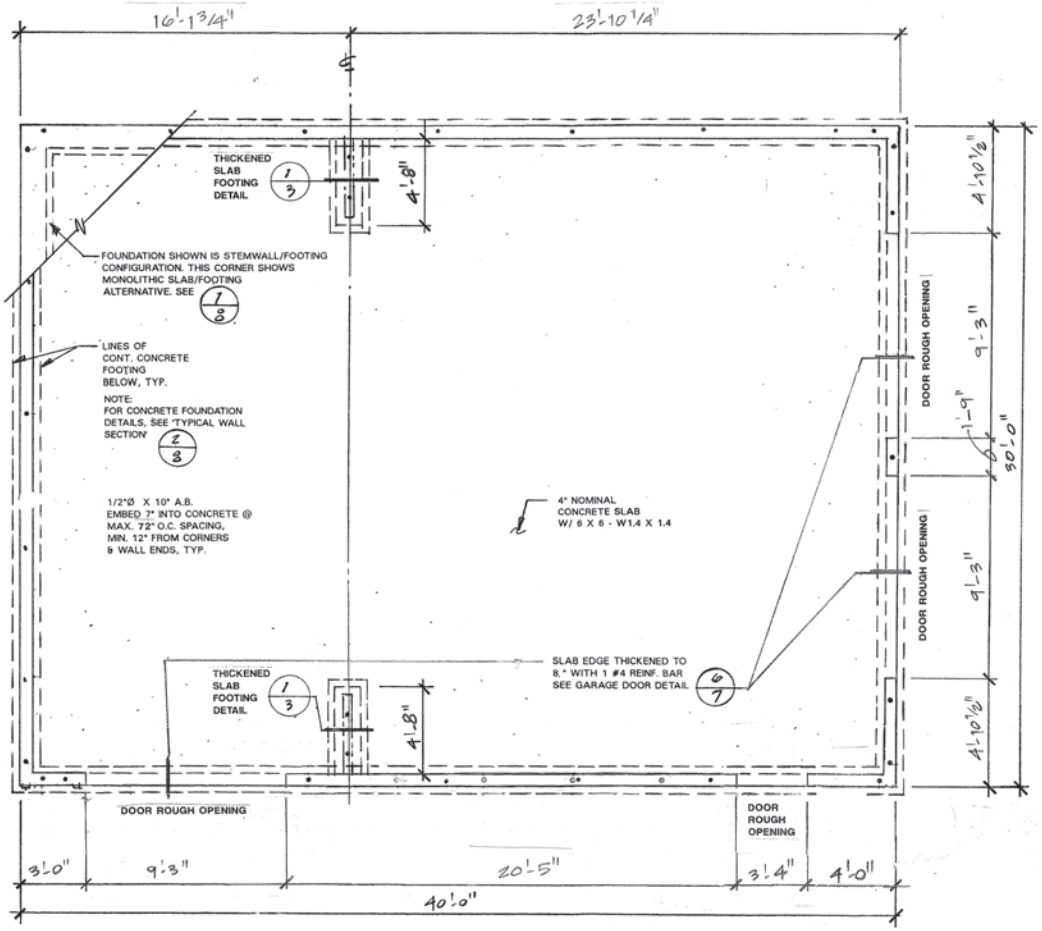
SHEET CONTENTS
FLOOR PLAN

SHEET 2 OF 9

4-C-21-UR



1 THICKENED SLAB FOOTING DETAIL



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

NOTE:
FOUNDATION PLAN DIMENSIONS ARE TO FACE OF CONCRETE OR CENTERLINE OF BEARING, AS SHOWN.

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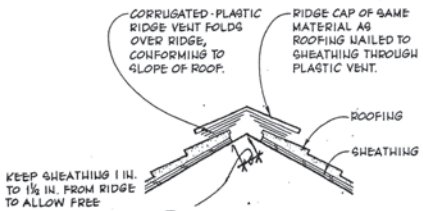
PLAN NO. 1200-5

DESIGN VB | DRAWN VB | DATE

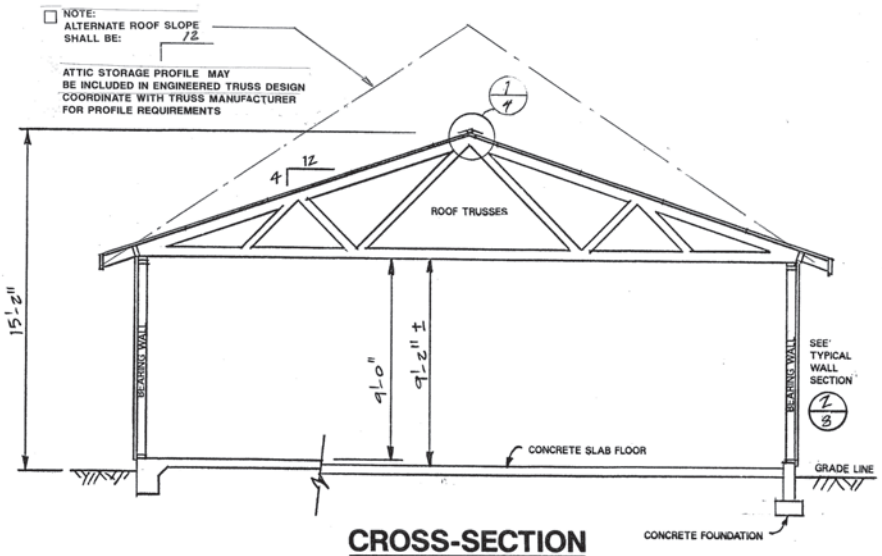
SHEET CONTENTS: FOUNDATION PLAN

SHEET 3 OF 9

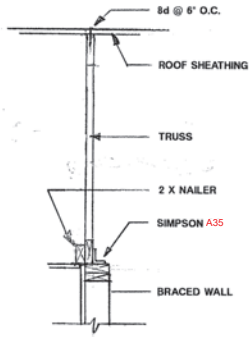
4-C-21-UR



1 **RIDGEVENT DETAIL**

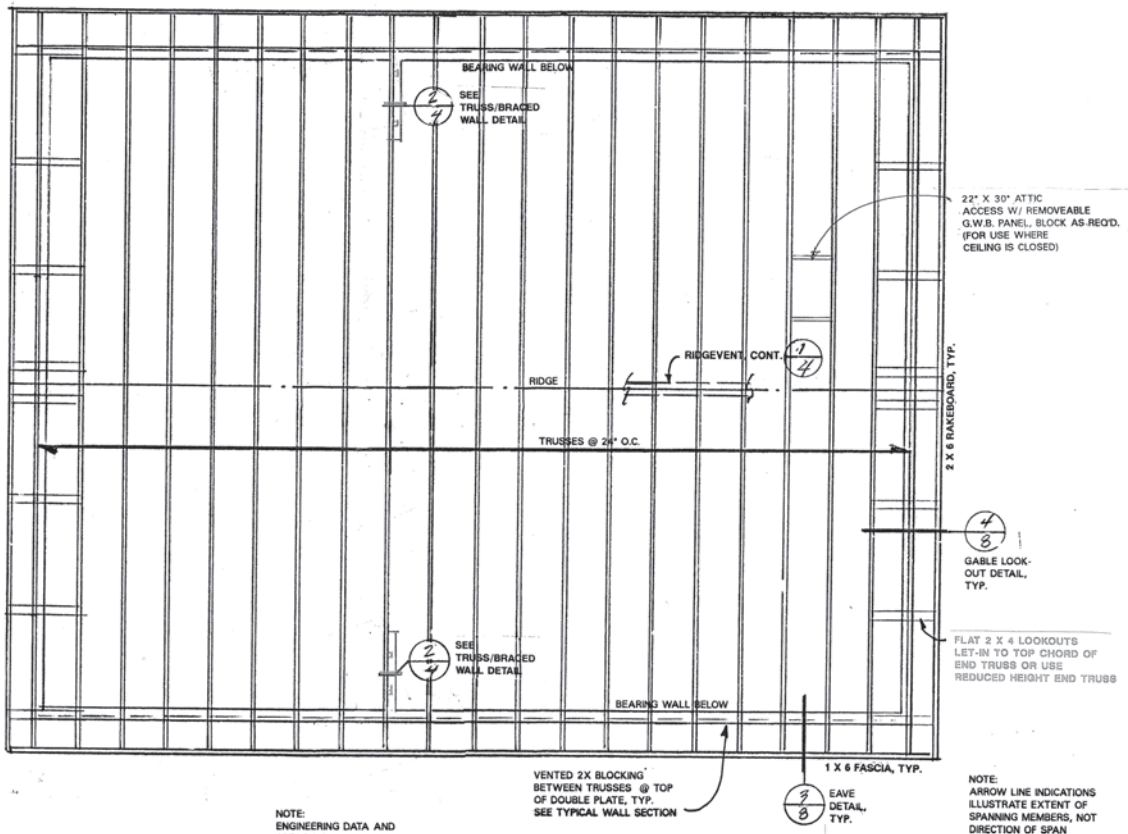


CROSS-SECTION
SCALE: 1/4" = 1'-0"



2 **TRUSS/BRACED WALL DETAIL**

NOTE:
CROSS-SECTIONS ILLUSTRATE GENERAL STRUCTURE OF BUILDING. FOR DETAILS SEE 'TYPICAL WALL SECTION' AND RESPECTIVE FRAMING PLANS.



NOTE:
ENGINEERING DATA AND SPECIFICATIONS SHALL BE PROVIDED BY TRUSS MANUFACTURER AS REQUIRED BY BUILDING OFFICIAL AND SHALL BE STATE APPROVED.

ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

NOTE:
ARROW LINE INDICATIONS ILLUSTRATE EXTENT OF SPANNING MEMBERS, NOT DIRECTION OF SPAN

FOR ROOF SLOPES, SEE EXTERIOR ELEVATIONS

4-C-21-UR

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PLAN NO. 1200-5

DESIGN JB
DRAWN JB
DATE

SHEET CONTENTS
ROOF FRAMING PLAN
CROSS-SECTION

SHEET 4 OF 9

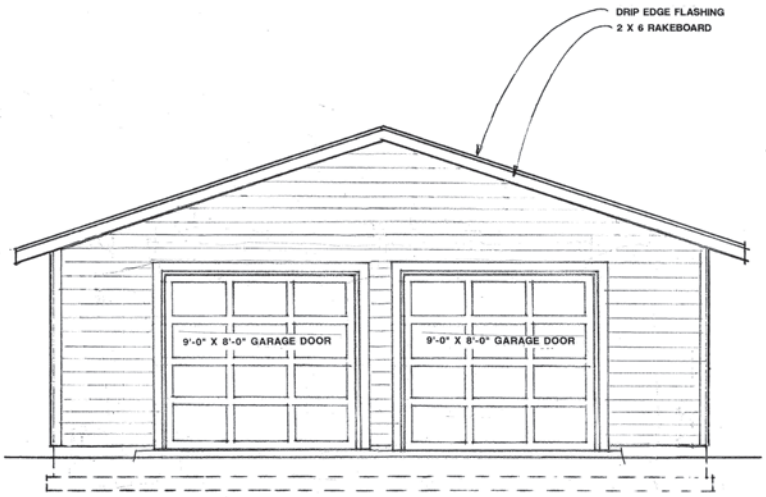
LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

NOTE:
WINDOW SIZES INDICATED ARE NOMINAL FEET-INCHES WIDTH X FEET-INCHES HEIGHT, USE AVAILABLE PRODUCTS' NEAREST DIMENSIONS, TYP.

NOTE:
FOR WINDOW AND DOOR LOCATIONS SEE FLOOR PLANS FOR CENTERLINE DIMENSIONS

NOTE:
ALL EXTERIOR DOORS SHALL BE WEATHERSTRIPPED PER APPLICABLE LOCAL CODES. FLASH ABOVE DOORS AND WINDOWS

REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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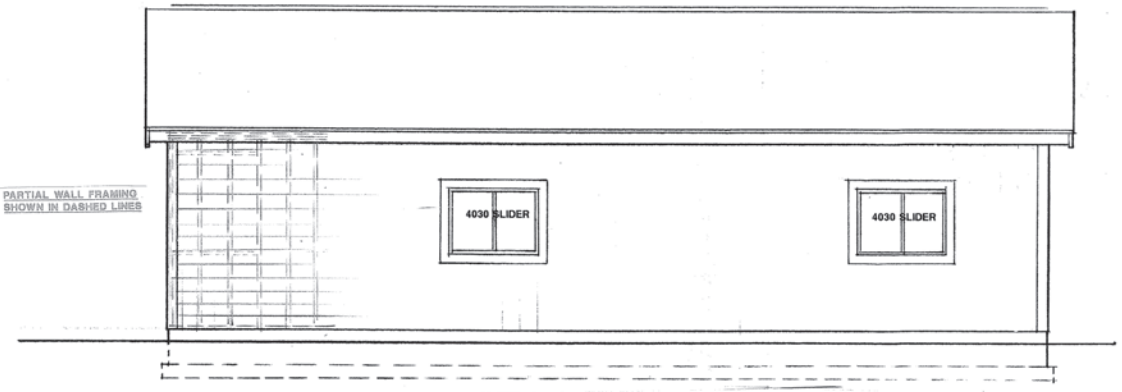
PLAN NO. 1200-5

DESIGN JB | DRAWN JB | DATE

SHEET CONTENTS
FRONT ELEVATION
RIGHT SIDE ELEVATION
LEFT SIDE ELEVATION

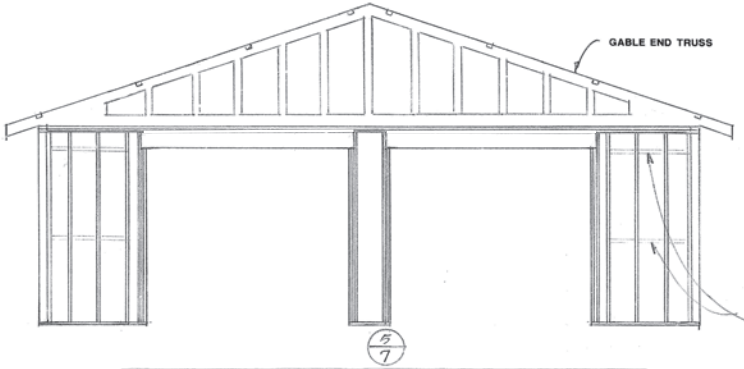
SHEET 5 OF 9

4-C-21-UR



RIGHT SIDE ELEVATION

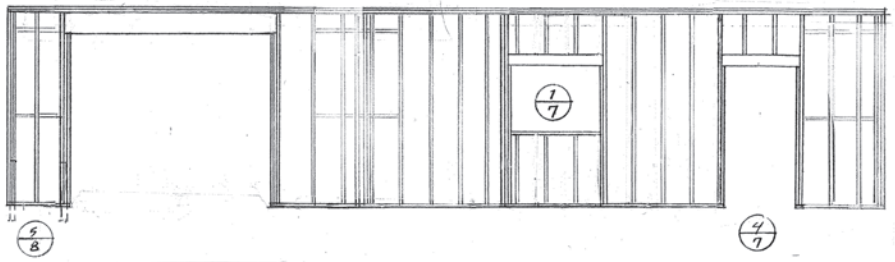
SCALE: 1/4" = 1'-0"



NOTE:
WHERE MONOLITHIC SLAB/FOOTING IS USED, THE SINGLE TOP PLATE SHALL BE CONTINUED OVER THE GARAGE DOOR HEADER.
THIS WILL ALLOW VERTICAL CLEARANCE REQUIRED FOR GARAGE DOOR HEIGHT.
☞ VERIFY AS FRAMED OPENING DIMENSIONS BEFORE ORDERING GARAGE DOORS.

NOTE:
PROVIDE SOLID 2X BLOCKING BETWEEN STUDS @ HORIZ. PANEL JOINTS OF BRACED WALLS AS LOCATED ON FLOOR PLAN

FRONT WALL FRAMING ELEVATION



LEFT SIDE WALL FRAMING ELEVATION

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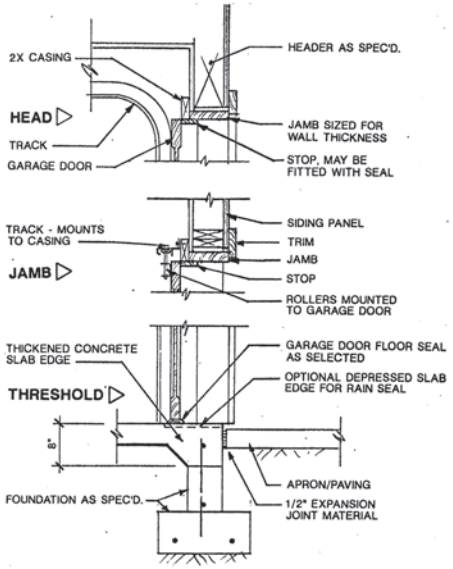
PLAN NO. 1200-5

DESIGN
DRAWN
DATE

SHEET CONTENTS
REAR WALL ELEVATION
FRONT WALL FRAMING ELEVATION
LEFT SIDE WALL FRAMING ELEVATION

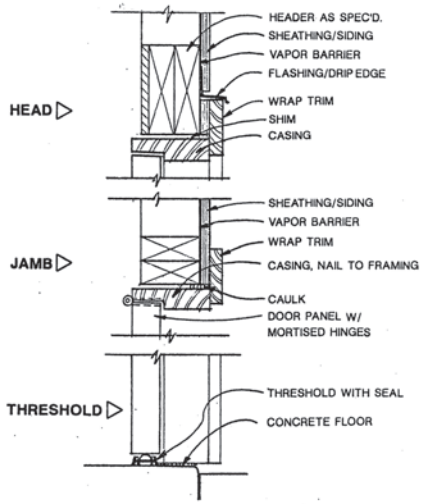
SHEET 6 OF 9

4-C-21-UR

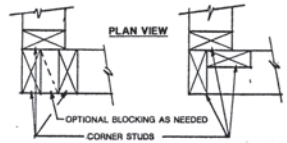


6 GARAGE DOOR DETAIL

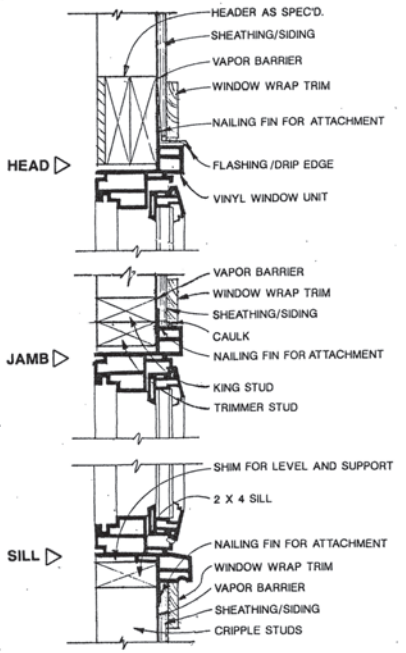
3/4" = 1'-0"



3 DOOR DETAIL

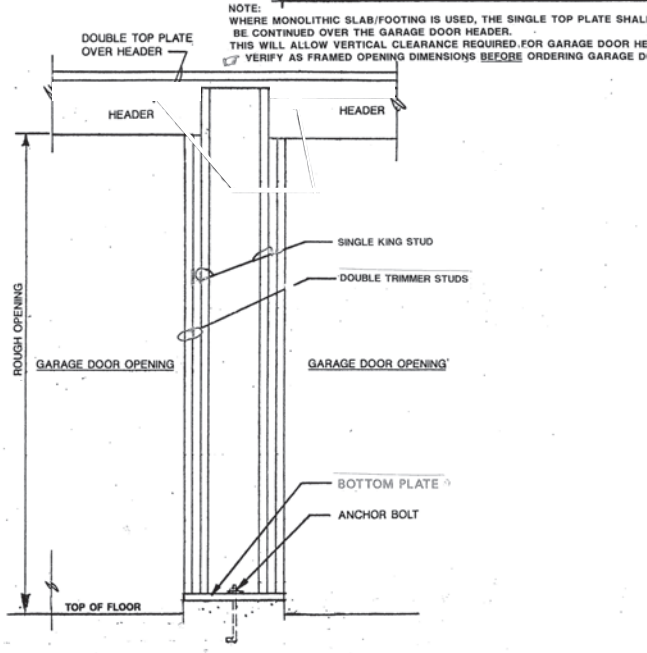


CORNER FRAMING OPTIONS

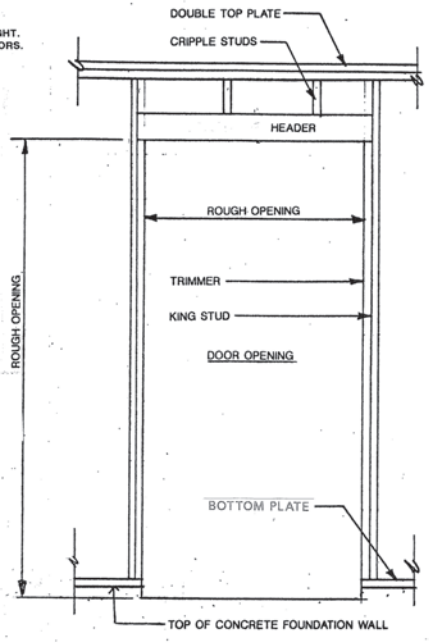


2 VINYL WINDOW DETAIL

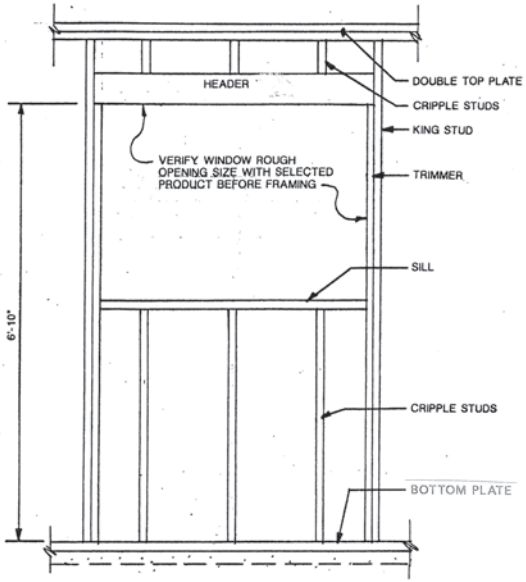
NOTE: DOOR AND WINDOW COMPONENTS SHOWN ARE GENERIC AND ACTUAL PRODUCTS MAY VARY SLIGHTLY IN CONFIGURATION.



5 GARAGE DOOR SEPARATOR FRAMING DETAIL



4 DOOR FRAMING DETAIL



1 WINDOW FRAMING DETAIL

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PLAN NO. 1200-5

DESIGN VB DRAWN VB DATE

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GARAGE DOOR DETAILS
DOOR DETAILS
WINDOW DETAILS
WALL OPENING FRAMING DETAILS

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Structural/General Notes /Specifications

A. General
The following notes shall clarify and supplement the working drawings.

B. Codes & Standards

INTERNATIONAL RESIDENTIAL CODE (IRC) 2015

C. Live Loads
Roof.....30 lbs/sf
Floors.....40 lbs/sf
Stairs & Exist ..... 100 lbs/sf

Earth Pressure .....30lbs/cf equiv. Fluid pressure

D. Soil & Foundation Data
1. Soil bearing data not available. Assumed soil bearing capacity =1500 lbs/sf .
2. Extend all footings down to undisturbed soil of the specified strength with a minimum depth of 1'-6" below adjacent grade, or as required by local building official, based on local frost line depth.
3. Center all footings on columns and walls unless specifically dimensioned otherwise.
4. Compacted fill to be well graded and granular with not more than 5% passing a 200 sieve. Place in 8-inch loose lifts and compact to 95% modified AASHO density at optimum moisture.

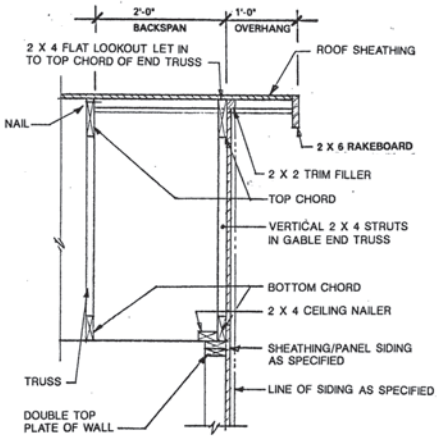
E. Cast-In-Place Concrete and Reinforcing Steel
1. Concrete of the following 28-day strength: 5 sack cement/cy (min. 2500 psi); max. 6 gal water/sack for all structural concrete, including foundations and slabs on grade. Maximum sized aggregate ¾". Maximum slump 4". Add Master Builders Pozzolith per manufacturer's recommendations to all concrete except footings. Concrete for exterior walks to be air entrained (5% air).
2. Reinforcing steel ASTM A-615 grade 40/60. Use grade 40 for temperature steel, stirrups and dowels. Detail, fabricate and place in accordance with the latest edition of A.C.I. "Manual Of Standard Practice".
3. Concrete cover on reinforcing steel (clear dimensions):
   - Suspended slabs.....3/4"
   - Beams & columns (to ties).....1 1/6"
   - Non-exposed vertical faces.....1"
   - Vertical faces exposed to earth or weather..2"
   - Bottom of footings.....3
   - Slabs-on-grade (from top).....1 1/6"
4. Lap all field splices 24 diameters with minimum of 12". Bend outer wall footing bars 12 inches or use corner bars at all corners and wall intersections.
5. Provide min. one continuous #4 bar at top and bottom of foundation walls w/ #4 at 12" o.c. where wall height exceed two feet. Provide min two continuous #4 bars in footings. Dowel foundation walls to footings w/ #4 x 1'-6" long @ 16" o.c. Embedded 6" into footing. (No shear keys required)
6. Reinforce around wall and slab openings, with sides of 12" or greater, with two #5 bars extending 24" beyond corners on all four sides. Provide one extra #5 diagonal bar, 4'-0" long, at each corner.
7. Slabs-on-grade: Roll sub grade and moisten before pour. Saw cut crack control joints within 24 hours of pour or install Zip-Strip, with maximum of 12'-0" for 4" non-reinforced slabs and 40'-0" for reinforced slabs. (min. reinforcing: w6 x 6 - w1.4 x 1.4, supported)
8. Vibrate all concrete. Segregation of materials to be prevented. Test cylinders not required.
9. Place no fill against foundation or basement walls until floors are in place or walls have been adequately shored to resist lateral earth pressures.

F. Masonry (as applicable)
1. Hollow masonry units: F'M= 1350 (half & half c.m.u.)
   Mortar type S: 1 pc, 1/2 lime putty, 4 sand
   Grout: 2000 psi pea gravel concrete (7 sack)
2. Reinforcing steel: ASTM A-615, grade 40.
3. Place grout in lifts no greater than 4'-0" height.
4. Wall reinforcing:
   6" walls: #4 vertical @ 48" o.c. w/ #9 wire horiz. Joint reinf. @ 8" o.c.
   8" walls: #5 vertical @ 48" o.c. w/ 3/16" dia. wire horiz. Joint reinf. @ 8" o.c.
Install two bars in corners, wall intersections, wall endings and around openings. Lap all bars 20 inches and joint reinforcing, 12 inches. Use corner bars for outer bars in bond beams and at intersecting walls.
5. Anchor brick veneer to wood framed wall as detailed with 22 ga. X 7/8" x 7" galvanized corrugated wall ties @ 16" o.c. oc. Way with one Simpson s20a nail.

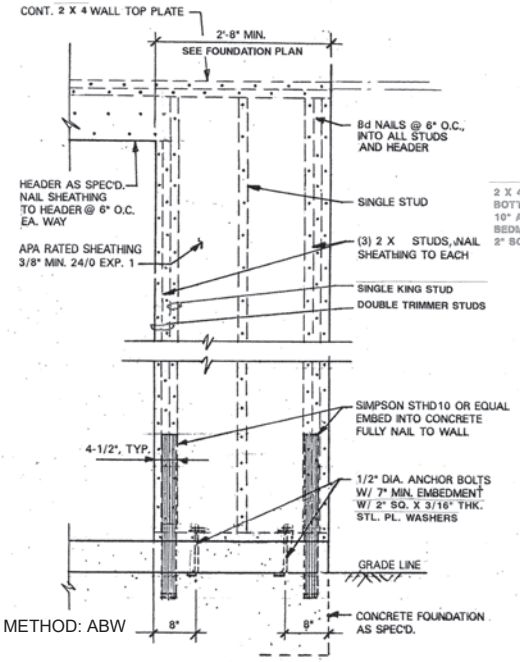
G. Timber and Wood Framing
1. Substitution of wood species identified herein may be as approved by local Building Official and material strength and capacities shall equal or exceed that of the species identified herein.
2. All lumber to be graded per book 16 of the West Coast Lumber Inspection Bureau:
   - HF/DF no. 2 for joists, rafters, light framing, plates and bracing
   - DF no. 1 for posts and beams
   - HF/DF "stud" for stud wall framing
3. Comply with the latest edition of the NFPA "National Design Specification" as modified by the IBC for all structural timber requirements.
4. Joists and rafters shall have 2" nominal thick solid blocking at supports.
5. Spike laminated members together w/ 10d nails @ 12" o.c., staggered. Splice laminations at supports only.
6. Provide cut washers for all bolts bearing on wood.\7. All nails shall be common wire nails.
8. Glue-laminated timbers, Douglas Fir, A.I.T.C. grading: combination 24F-V3 for simple spans: 24F-V8 for cantilevered spans. Dry conditions of use. Architectural appearance grade where exposed to view. Fabrication plant A.I.T.C. inspected./ Wrap individual members.
9. Plywood: Roof sheathing to be ½" C-D int-apa plywood with exterior glue, P.I. 24/0 (use 5-ply for panelized roofs) Nailing 8d @ 6" o.c. at panel edges and 8d @ 12" o.c. at intermediate supports. Sub-flooring to be ¾" C-D-apa plywood with exterior glue, P.I. 32/16. Use T&G if no underlayment. Glue and nail with 8d @ 6" o.c. at panel edges and @ 10" at intermediate supports.
10. Pre-fabricated trussed members to be designed by applicable state licensed engineer in accordance with requirements shown in the drawings. Contractor shall verify as-framed dimensions and conditions prior to truss fabrication and coordinate as required. All engineering data shall be made available for submittal to the Building Official as required.

H. Structural Steel
1. All steel, except tubing: ASTM A-36. Pipe: ASTM A-53, Type E or S, grade B. Tubular section: ASTM A500, grade B. All bolts: ASTM A-307
2. All fabrication, erection and detailing shall be in accordance with the latest edition of the "Manual Of Steel Construction" of the American Institute Of Steel Construction.
3. All welding by WABO certified welders in accordance with the "Welding Handbook" by the American Welding Society.
4. All welds 3/16" min. continuous fillet welds using ASWAS, E70XX electrodes.
5. Provide washers on all bolted connections.
6. All steel not embedded in concrete or masonry shall receive one shop coat of an approved primer paint. Apply two coats of heavy asphaltic paint to all steel exposed to earth.
7. Furnish complete shop drawings prior to fabrication.

I. Miscellaneous
1. Contractor shall verify all site conditions and dimensions in field.
2. Provide temporary bracing as required until all permanent connections and stiffening have been installed.
3. Verify size and locations of all openings in floor, roof and walls and coordinate with electrical and mechanical work.
4. Pre-fabricated items shall be handled and installed in accordance with manufacturers' recommendations. Pre-fabricated assemblies shall be coordinated with any as-built conditions by the contractor regarding dimensions, clearance and applicable building code requirements.
5. All HVAV equipment shall be determined by owner and/or contractor specific to this project and comply with all applicable codes. Performance data and distribution layout shall be provided by mechanical subcontractor. Submittals shall be coordinated by the contractor as required by the Building Official.
6. It is the intent of these drawings and specifications to comply with the requirements of the Building Code and all other relevant codes and ordinances. Any discrepancies, omissions or errors shall be brought to the attention of the designer for clarification or correction before beginning the work. It is the responsibility of the general contractor to seek clarification or correction if needed.

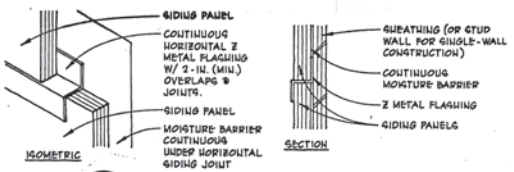


4 GABLE LOOKOUT DETAIL
SCALE: 1" = 1'-0"

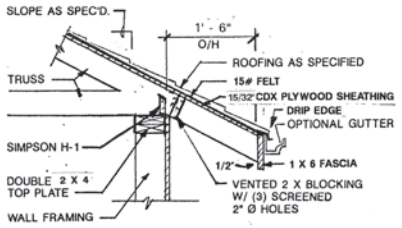


METHOD: ABW

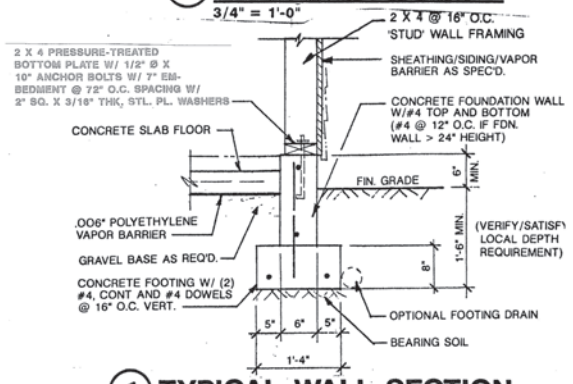
5 ALTERNATE BRACED WALL PANEL
3/4" = 1'-0"



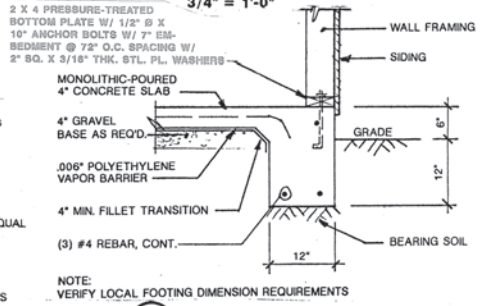
6 FLASHING DETAIL
FOR PANEL SIDING



3 TRUSS EAVE DETAIL
3/4" = 1'-0"



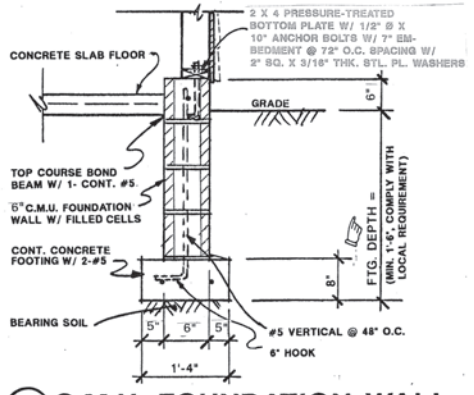
2 TYPICAL WALL SECTION
3/4" = 1'-0"



NOTE:
VERIFY LOCAL FOOTING DIMENSION REQUIREMENTS

1 THICKENED EDGE FOOTING

NOTE: CORNER REINFORCING BARS AS PER GENERAL NOTE "F . 4"



7 C.M.U. FOUNDATION WALL

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PLAN NO. 1200-5

DESIGN JB | DRAWN JB | DATE

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STRUCTURAL/GENERAL NOTES
TYPICAL WALL SECTION
ALTERNATE BRACED WALL PANEL
GABLE LOOKOUT DETAIL
EAVE DETAIL

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- FASTENING REQUIREMENTS -

TABLE R602.3(3)
REQUIREMENTS FOR WOOD STRUCTURAL PANEL WALL SHEATHING USED TO RESIST WIND PRESSURES[a,b,c]

MINIMUM NAIL		MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	MINIMUM NOMINAL PANEL THICKNESS (inches)	MAXIMUM WALL STUD SPACING (inches)	PANEL NAIL SPACING		MAXIMUM WIND SPEED (mph)		
							Wind exposure category		
Size	Penetration (inches)				Edges (inches o.c.)	Field (inches o.c.)	B	C	D
6d Common (2.0" × 0.113")	1.5	24/0	3/8	16	6	12	110	90	85
8d Common (2.5" × 0.131")	1.75	24/16	7/16	16	6	12	130	110	105
				24	6	12	110	90	85

For SI: 1 inch = 25.4 mm, 1 mile per hour = 0.447 m/s.

a. Panel strength axis parallel or perpendicular to supports. Three-ply plywood sheathing with studs spaced more than 16 inches on center shall be applied with panel strength axis perpendicular to supports.

b. Table is based on wind pressures acting toward and away from building surfaces per Section R301.2. Lateral bracing requirements shall be in accordance with Section R602.10.

c. Wood Structural Panels with span ratings of Wall-16 or Wall-24 shall be permitted as an alternate to panels with a 24/0 span rating. Plywood siding rated 16 oc or 24 oc shall be permitted as an alternate to panels with a 24/16 span rating. Wall-16 and Plywood siding 16 oc shall be used with studs spaced a maximum of 16 inches on center.

TABLE R602.3(4)
ALLOWABLE SPANS FOR PARTICLEBOARD WALL SHEATHING[a]

THICKNESS (inch)	GRADE	STUD SPACING (inches)	
		When siding is nailed to studs	When siding is nailed to sheathing
3/8	M—1 Exterior glue	16	—
1/2	M—2 Exterior glue	16	16

For SI: 1 inch = 25.4 mm.

a. Wall sheathing not exposed to the weather. If the panels are applied horizontally, the end joints of the panel shall be offset so that four panels corners will not meet. All panel edges must be supported. Leave a 1/8-inch gap between panels and nail no closer than 3/8 inch from panel edges.

TABLE R602.3(1)
FASTENER SCHEDULE FOR STRUCTURAL MEMBERS

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER[a,b,c]	SPACING OF FASTENERS
	Roof		
1	Blocking between joists or rafters to top plate, toe nail	3-8d (2 1/2" × 0.113")	—
2	Ceiling joists to plate, toe nail	3-8d (2 1/2" × 0.113")	—
3	Ceiling joists not attached to parallel rafter, laps over partitions, face nail	3-10d	—
4	Collar tie rafter, face nail or 1 1/4" × 20 gage ridge strap	3-10d (3" × 0.128")	—
5	Rafter to plate, toe nail	2-16d (3 1/2" × 0.135")	—
6	Roof rafters to ridge, valley or hip rafters: toe nail face nail	4-16d (3 1/2" × 0.135") 3-16d (3 1/2" × 0.135")	— —
	Wall		
7	Built-up corner studs	10d (3" × 0.128")	24" o.c.
8	Built-up header, two pieces with 1/2" spacer	16d (3 1/2" × 0.135")	16" o.c. along each edge
9	Continued header, two pieces	16d (3 1/2" × 0.135")	16" o.c. along each edge
10	Continuous header to stud, toe nail	4-8d (2 1/2" × 0.113")	—
11	Double studs, face nail	10d (3" × 0.128")	24" o.c.
12	Double top plates, face nail	10d (3" × 0.128")	24" o.c.
13	Double top plates, minimum 48-inch offset of end joints, face nail in lapped area	8-16d (3 1/2" × 0.135")	—
14	Sole plate to joist or blocking, face nail	16d (3 1/2" × 0.135")	16" o.c.
15	Sole plate to joist or blocking at braced wall panels	3-16d (3 1/2" × 0.135")	16" o.c.
16	Stud to sole plate, toe nail	3-8d (2 1/2" × 0.113") or 2-16d 3 1/2" × 0.135")	— —
17	Top or sole plate to stud, end nail	2-16d (3 1/2" × 0.135")	—
18	Top plates, laps at corners and intersections, face nail	2-10d (3" × 0.128")	—
19	1" brace to each stud and plate, face nail	2-8d (2 1/2" × 0.113") 2 staples 1 3/4"	— —
20	1" × 6" sheathing to each bearing, face nail	2-8d (2 1/2" × 0.113") 2 staples 1 3/4"	— —
21	1" × 8" sheathing to each bearing, face nail	2-8d (2 1/2" × 0.113") 3 staples 1 3/4"	— —
22	Wider than 1" × 8" sheathing to each bearing, face nail	3-8d (2 1/2" × 0.113") 4 staples 1 3/4"	— —
	Floor		
23	Joist to sill or girder, toe nail	3-8d (2 1/2" × 0.113")	—
24	1" × 6" subfloor or less to each joist, face nail	2-8d (2 1/2" × 0.113") 2 staples 1 3/4"	— —
25	2" subfloor to joist or girder, blind and face nail	2-16d (3 1/2" × 0.135")	—
26	Rim joist to top plate, toe nail (roof applications also)	8d (2 1/2" × 0.113")	6" o.c.
27	2" planks (plank & beam – floor & roof)	2-16d (3 1/2" × 0.135")	at each bearing
28	Built-up girders and beams, 2-inch lumber layers	10d (3" × 0.128")	Nail each layer as follows: 32" o.c. at top and bottom and staggered. Two nails at ends and at each splice.
29	Ledger strip supporting joists or rafters	3-16d (3 1/2" × 0.135")	At each joist or rafter

TABLE R602.3(2)
ALTERNATE ATTACHMENTS

NOMINAL MATERIAL THICKNESS (inches)	DESCRIPTION[a, b] OF FASTENER AND LENGTH (inches)	SPACING[c] OF FASTENERS: Edges (inches)	SPACING[c] OF FASTENERS: Intermediate supports (inches)
	Wood structural panels subfloor, roof and wall sheathing to framing and particleboard wall sheathing to framing[f]		
up to 1/2	Staple 15 ga. 1 3/4	4	8
	0.097 - 0.099 Nail 2 1/4	3	6
	Staple 16 ga. 1 3/4	3	6
19/32 and 5/8	0.113 Nail 2	3	6
	Staple 15 and 16 ga. 2	4	8
	0.097 - 0.099 Nail 2 1/4	4	8
23/32 and 3/4	Staple 14 ga. 2	4	8
	Staple 15 ga. 1 3/4	3	6
	0.097 - 0.099 Nail 2 1/4	4	8
	Staple 16 ga. 2	4	8
1	Staple 14 ga. 2 1/4	4	8
	0.113 Nail 2 1/4	3	6
	Staple 15 ga. 2 1/4	4	8
	0.097 - 0.099 Nail 2 1/2	4	8
NOMINAL MATERIAL THICKNESS (inches)	DESCRIPTION[a,b] OF FASTENER AND LENGTH (inches)	SPACING[c] OF FASTENERS: Edges (inches)	SPACING[c] OF FASTENERS: Body of panel[d] (inches)
	Floor underlayment; plywood-hardboard-particleboard[f]		
	Plywood		
1/4 and 5/16	1 1/4 ring or screw shank nail—minimum 12 1/2 ga. (0.099") shank diameter	3	6
	Staple 18 ga., 7/8, 3/16 crown width	2	5
11/32, 3/8, 15/32, and 1/2	1 1/4 ring or screw shank nail—minimum 12 1/2 ga. (0.099") shank diameter	6	8[e]
19/32, 5/8, 23/32 and 3/4	1 1/2 ring or screw shank nail—minimum 12 1/2 ga. (0.099") shank diameter	6	8
	Staple 16 ga. 1 1/2	6	8
	Hardboard[f]		
0.200	1 1/2 long ring-grooved underlayment nail	6	6
	4d cement-coated sinker nail	6	6
	Staple 18 ga., 7/8 long (plastic coated)	3	6
	Particleboard		
1/4	4d ring-grooved underlayment nail	3	6
	Staple 18 ga., 7/8 long, 3/16 crown	3	6
3/8	6d ring-grooved underlayment nail	6	10
	Staple 16 ga., 1 1/8 long, 3/8 crown	3	6
1/2, 5/8	6d ring-grooved underlayment nail	6	10
	Staple 16 ga., 1 7/8 long, 7/8 crown	3	6

For SI: 1 inch = 25.4 mm.

a. Nail is a general description and may be T-head, modified round head or round head.

b. Staples shall have a minimum crown width of 7/16-inch on diameter except as noted.

c. Nails or staples shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater. Nails or staples shall be spaced at not more than 12 inches on center at intermediate supports for floors.

d. Fasteners shall be placed in a grid pattern throughout the body of the panel.

e. For 5-ply panels, intermediate nails shall be spaced not more than 12 inches on center each way.

f. Hardboard underlayment shall conform to ANSI/AHA A135.4.

ITEM	DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENER[a, b, c]	SPACING OF FASTENERS: Edges (inches)[i]	SPACING OF FASTENERS: Intermediate supports[f, g] (inches)
	Wood structural panels, subfloor, roof and interior wall sheathing to framing and particleboard wall sheathing to framing			
30	3/8" - 1/2"	6d common (2" × 0.113") nail (subfloor wall)[j] 8d common (2 1/2" × 0.131") nail (roof)	6	12[g]
31	5/16" - 1/2"	6d common (2" × 0.113") nail (subfloor, wall) 8d common (2 1/2" × 0.131") nail (roof)[j]	6	12[g]
32	19/32" - 1"	8d common nail (2 1/2" × 0.131")	6	12[g]
33	1 1/8" - 1 1/4"	10d common (3" × 0.148") nail or 8d (2 1/2" × 0.131") deformed nail	6	12
	Other wall sheathing[h]			
34	1/2" structural cellulosic fiberboard sheathing	1/2" galvanized roofing nail, 7/16" crown or 1" crown staple 16 ga., 1 1/4" long	3	6
35	25/32" structural cellulosic fiberboard sheathing	1 3/4" galvanized roofing nail, 7/16" crown or 1" crown staple 16 ga., 1 1/2" long	3	6
36	1/2" gypsum sheathing[d]	1 1/2" galvanized roofing nail; staple galvanized, 1 1/2" long; 1 1/4 screws, Type W or S	7	7
37	5/8" gypsum sheathing[d]	1 3/4" galvanized roofing nail; staple galvanized, 1 5/8" long; 1 3/4" screws, Type W or S	7	7
	Wood structural panels, combination subfloor underlayment to framing			
38	3/4" and less	6d deformed (2" × 0.120") nail or 8d common (2 1/2" × 0.131") nail	6	12
39	7/8" - 1"	8d common (2 1/2" × 0.131") nail or 8d deformed (2 1/2" × 0.120") nail	6	12
40	1 1/8" - 1 1/4"	10d common (3" × 0.148") nail or 8d deformed (2 1/2" × 0.120") nail	6	12

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 mile per hour = 0.447 m/s; 1ksi = 6.895 MPa.

a. All nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80 ksi for shank diameter of 0.192 inch (20d common nail), 90 ksi for shank diameters larger than 0.142 inch but not larger than 0.177 inch, and 100 ksi for shank diameters of 0.142 inch or less.

b. Staples are 16 gage wire and have a minimum 7/16-inch on diameter crown width.

c. Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.

d. Four-foot-by-8-foot or 4-foot-by-9-foot panels shall be applied vertically.

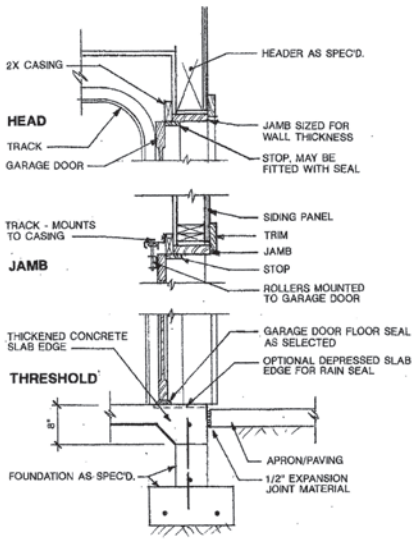
e. Spacing of fasteners not included in this table shall be based on Table R602.3(2).

f. For regions having basic wind speed of 110 mph or greater, 8d deformed (2 1/2" × 0.120) nails shall be used for attaching plywood and wood structural panel roof sheathing to framing within minimum 48-inch distance from gable end walls, if mean roof height is more than 25 feet, up to 35 feet maximum.

g. For regions having basic wind speed of 100 mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framing shall be spaced 6 inches on center. When basic wind speed is greater than 100 mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eaves and gable end walls; and 4 inches on center to gable end wall framing.

h. Gypsum sheathing shall conform to ASTM C 1396 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM C 208.

i. Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and required blocking and at all floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking. Blocking of roof or floor sheathing panel edges perpendicular to the framing members need not be provided except as required by other provisions of this code. Floor perimeter shall be supported by framing members or solid blocking.



1 GARAGE DOOR DETAILS

Behm Design Building plans
QUESTIONS?...CALL 1-800-210-6776
www.behmdesign.com

PLAN NO. 1200-5

DESIGN BY: JJB
DATE: 04/11

SHEET CONTENTS: CODE REQUIREMENTS FOR FASTENINGS AND SHEATHING
GARAGE DOOR DETAILS

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4-C-21-UR

GENERAL NOTES

DESIGN NOTES
1. Floor: 40 lbs. Live load, 15 lbs. Dead load
2. Roof: 30 lbs. Live load, 20 lbs. Dead load
3. Soil bearing capacity-2000 PSF
4. Live loads, dead loads, wind loads, snow loads, lateral loads, seismic zoning and any specialty loading conditions will need to be confirmed before construction and adjustments to plans made accordingly. See your local building officials for verification of your specific load data, zoning restrictions and site conditions.

CONCRETE AND FOUNDATIONS
1. All slabs on grade shall be 4 inch 3000 PSI (28-day compressive strength concrete), unless noted otherwise.
2. All slabs on grade shall bear on four inch compacted granular fill with 6 by 6 10-10 welded wire mesh.
3. Interior slabs shall have 6 mil, polyethylene vapor barrier underneath.
4. Provide proper expansion joints and control joints as per local requirements.
5. Provide additional bearing points as required by floor "I" joist manufacturer, and loading transfers.
6. Foundation details may vary with local codes and conditions, verify with contractor or engineer.
7. Provide foundation access and vents as required by local codes and conditions.
8. Foundation wall and footing sizes reinforcing must conform with your local building requirements.
9. Foundation walls are not to be backfilled until house is completely framed and roof is in place.
10. Verify depth of footings with your local codes.
11. Provide termite protection as required by HUD minimum property standards.

BASEMENT
1. Basement stairs are calculated as 10 inch treads with 1 inch nosing (11 inch total) and 7.75 inch risers.
2. Water heater and air conditioner may be located in basement when using basement option.
3. Provide sump pumps as required.
4. Some soil conditions may require a 12 inch concrete retaining wall, verify with contractor or engineer.
5. Provide exterior windows and door as grade allows.
6. Provide venting as local codes and conditions dictate.

FRAMING
1. Contractor to confirm the size, spacing and species of all framing and structural members to meet your local code requirements.
2. Any structural or framing members not indicated on the plan are to be sized by the contractor.
3. Double floor joists under all partition walls, unless otherwise noted.
4. All angled walls are 45 degree angles unless noted otherwise.
5. Provide collar ties, cross-bridging and bracing as required.
6. Provide additional bearing points as required by loading transfers.
7. Framing lay-out and size may vary with local codes and conditions.
8. Roof framing plan is for general layout only, do no use for rafter count.

MISC. NOTES
1. Prefabricated fireplaces and flues are to be U.L. approved and installed per manu. specifications.
2. All materials, supplies and equipment to be installed per manu. specifications and local codes.
3. Provide type "x" firecode sheetrock on garage walls and ceilings.
4. Confirm window openings for your local egress requirements and minimum light and venting.
5. The mechanical and electrical layouts are suggested only. Consult your mechanical and electrical contractors for exact specifications, locations and sizes.
6. Minor alterations to this plan can be made by the builder. Please contact our drafting department for information price quotes if major changes are required.

FRONT ELEVATION

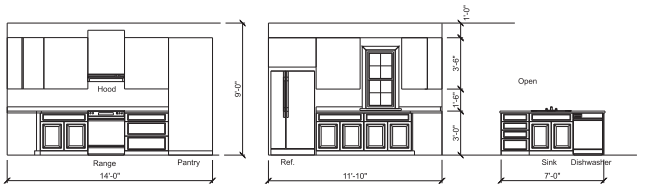
REVISIONS	BY

24138
" Whitfield "

W.L. Martin Home Designs
for Contact Information
www.wlmartinhomes.com

Date
Scale 1/4" = 1'-0"
Drawn
Job
Sheet 1
Of 8 Sheets

4-C-21-UR

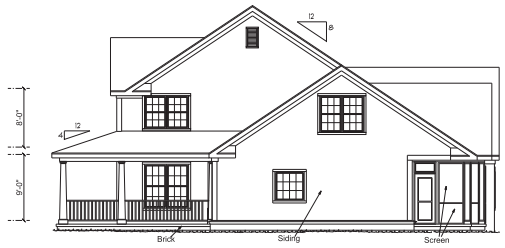


ELEVATION A 1/4" = 1'-0"

ELEVATION B 1/4" = 1'-0"

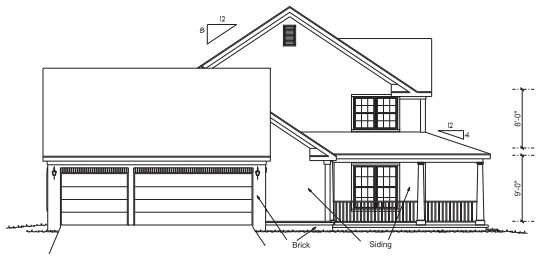
ELEVATION C 1/4" = 1'-0"

Selections to be made for Cabinet Style, Color, and Hardware

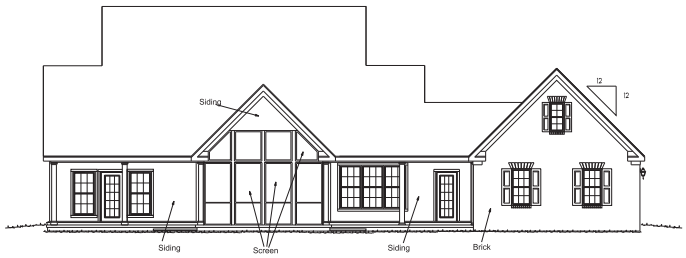


RIGHT SIDE ELEVATION 1/8" = 1'-0"

KITCHEN PERSPECTIVE



LEFT SIDE ELEVATION 1/8" = 1'-0"



REAR ELEVATION 1/8" = 1'-0"

REVISIONS	BY

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Date

Scale Noted

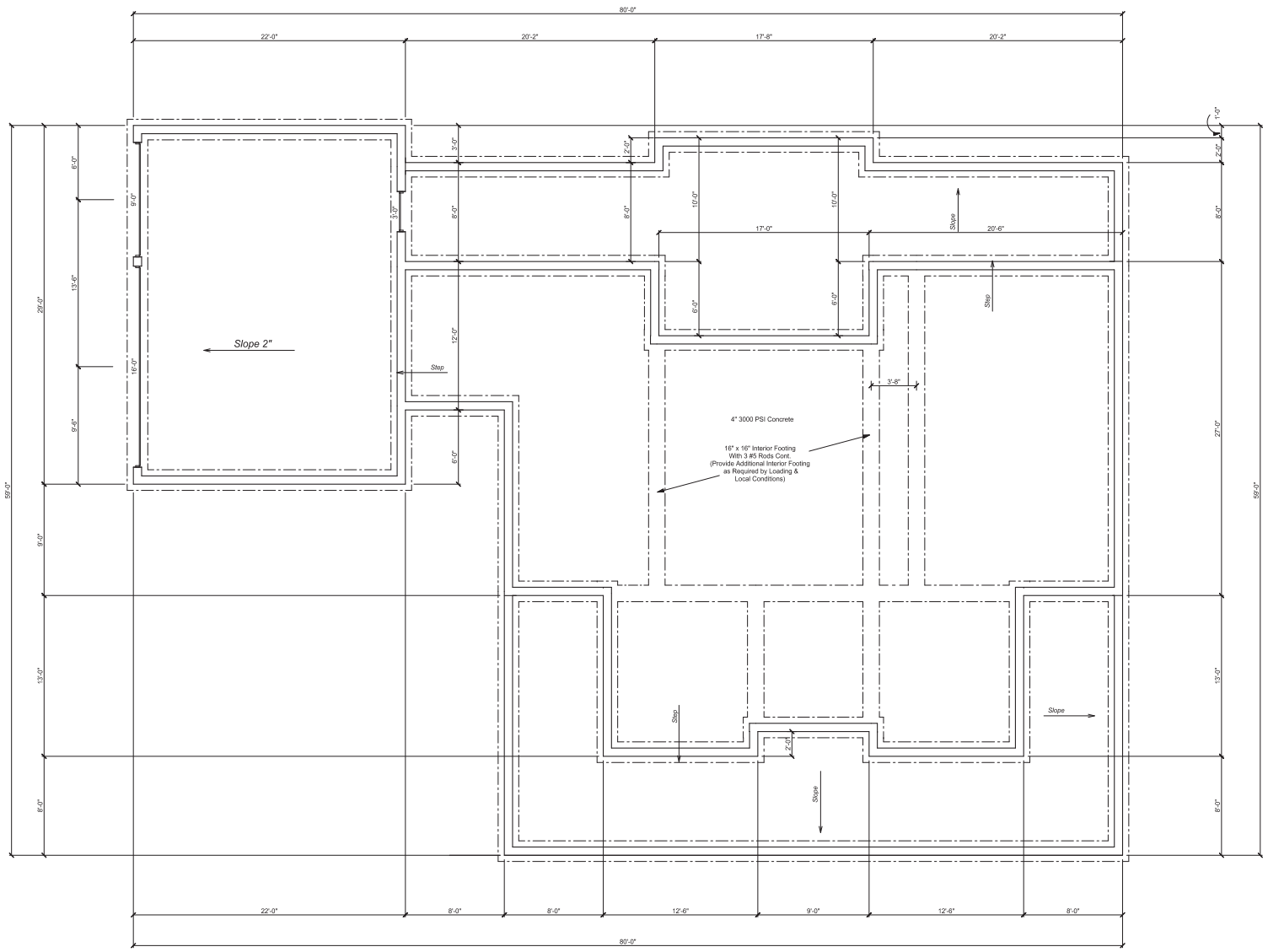
Drawn

Job

Sheet 2

Of 8 Sheets

4-C-21-UR



Slab Foundation Plan

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Date

Scale 1/4" = 1'-0"

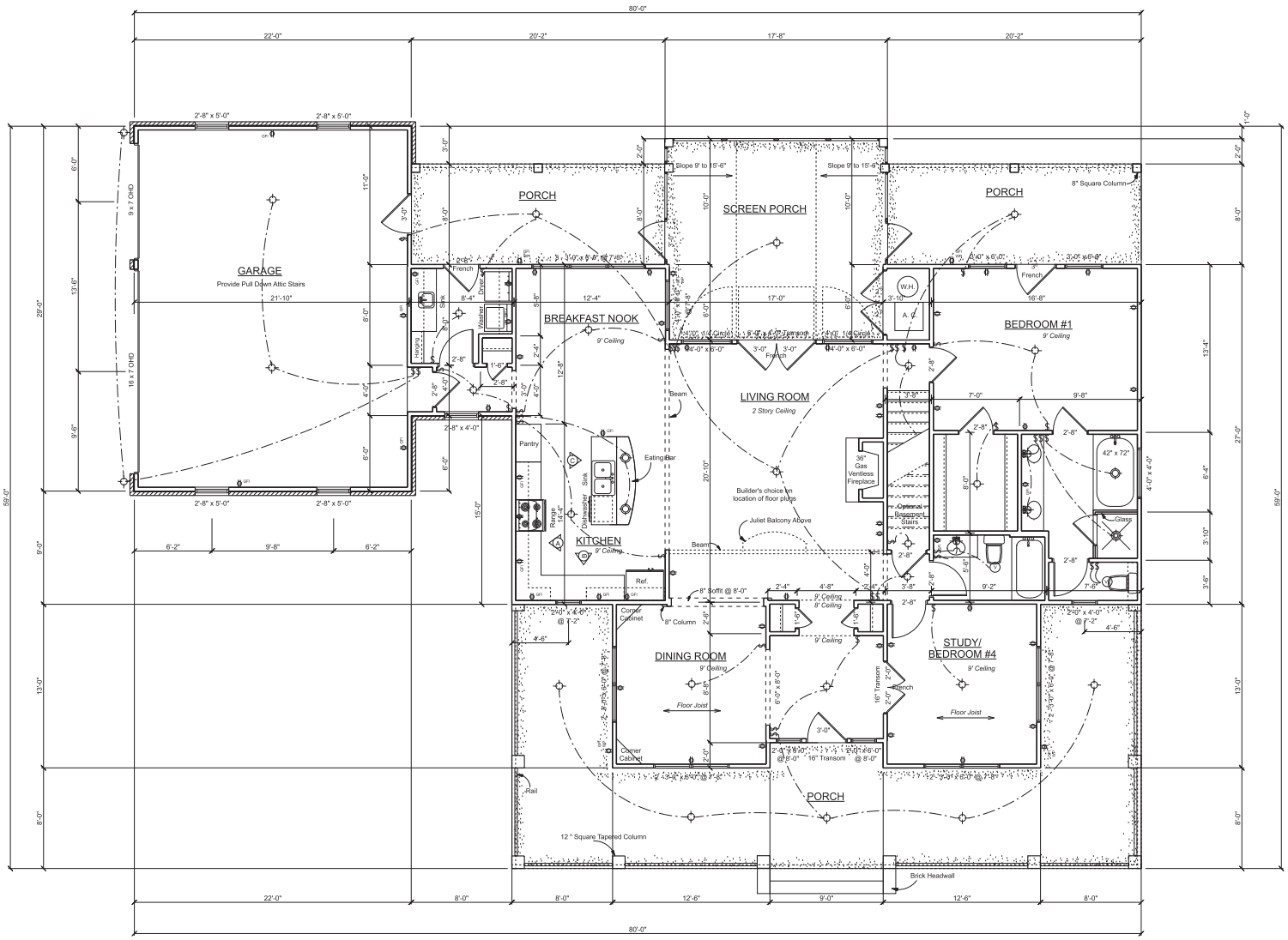
Drawn

Job

Sheet 8A

Of 8 Sheets

4-C-21-UR



1st Floor Plan

1736 Square Feet Heat & Cool
516 Square Feet Heat & Cool
2252 Total Square Feet Heat & Cool

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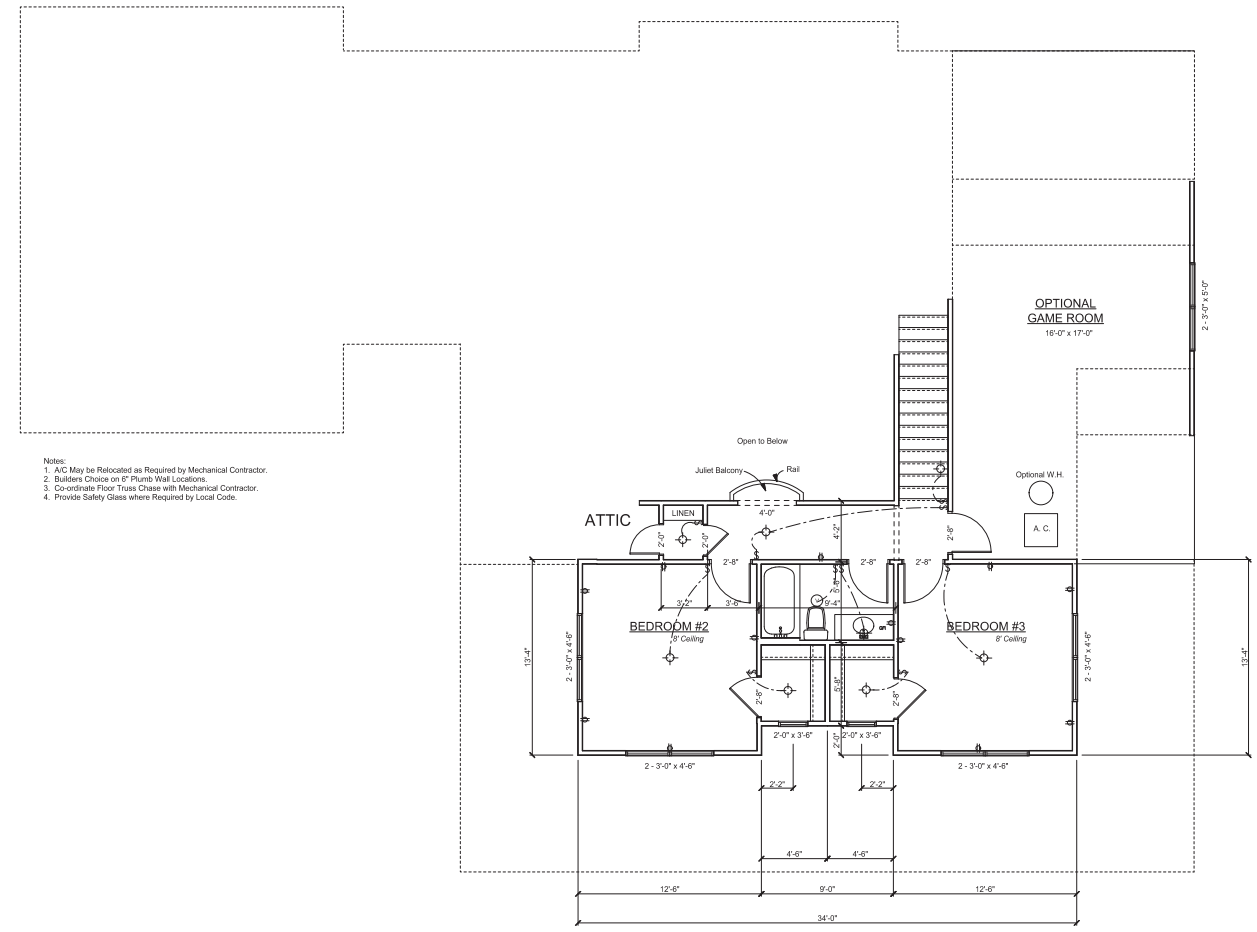
Date
Scale 1/4" = 1'-0"
Drawn
Job
Sheet 3
Of 8 Sheets

4-C-21-UR



Notes:
1. A/C May be Relocated as Required by Mechanical Contractor.
2. Builders Choice on 6" Plumb Wall Locations.
3. Co-ordinate Floor Truss Chase with Mechanical Contractor.
4. Provide Safety Glass where Required by Local Code.

2nd Floor Plan

516 Square Feet Heat & Cool

REVISIONS	BY

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Date

Scale 1/4" = 1'-0"

Drawn

Job

Sheet 4

Of 8 Sheets

4-C-21-UR

Development Request

DEVELOPMENT
- ☐ Development Plan
- ☐ Planned Development
- ■ Use on Review / Special Use
- ☐ Hillside Protection COA

SUBDIVISION
- ☐ Concept Plan
- ☐ Final Plat

ZONING
- ☐ Plan Amendment ☐ SP ☐ OYP
- ☐ Rezoning

Hays Farm and Development, LLC.	Owner
Applicant Name	Affiliation

Sally Jean Hays Peretz	March 11, 2021	File Number(s)
Date Filed	Meeting Date (if applicable)	4-C-21-UR

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

☐ Applicant ☐ Owner ☐ Option Holder ☐ Project Surveyor ■ Engineer ☐ Architect/Landscape Architect

Jason R. Hunt, P.E.	Cannon & Cannon, Inc.		
Name	Company		
8550 Kingston Pike	Knoxville	TN	37919
Address	City	State	ZIP
865-770-4013	jhunt@cannon-cannon.com		
Phone	Email		

CURRENT PROPERTY INFO

Hays Farm and Development, LLC.	500 E. Fox Den Drive, Knoxville, TN	
Owner Name (if different)	Owner Address	Owner Phone
1201 Hickey Road & 0 Bob Gray Road	118 091/118 09102	
Property Address	Parcel ID	
Septic / West Knox Utility District	West Knox Utility District	Y
Sewer Provider	Water Provider	Septic (Y/N)

STAFF USE ONLY

North side of Bob Gray Rd, West side of Hickey Rd	21.12 acres
General Location	Tract Size

☐ City ☑ County	6th	BP / TO	Single family residential and vacant land
	District	Zoning District	Existing Land Use

Northwest County	TP (Technology Park)	Planned Growth
Planning Sector	Sector Plan Land Use Classification	Growth Policy Plan Designation

DEVELOPMENT REQUEST

☐ Development Plan ■ Use on Review / Special Use ☐ Hillside Protection COA

☑ Residential ☐ Non-Residential

Home Occupation (specify)

Other (specify) Detached residential subdivision

Related City Permit Number(s)

SUBDIVISION REQUEST

Proposed Subdivision Name

Related Rezoning File Number

Unit / Phase Number ☐ Combine Parcels ☐ Divide Parcel Total Number of Lots Created

☐ Other (specify)

☐ Attachments / Additional Requirements

ZONING REQUEST

☐ Zoning Change Proposed Zoning

Pending Plat File Number

☐ Plan Amendment Change Proposed Plan Designation(s)

Proposed Density (units/acre) Previous Rezoning Requests

☐ Other (specify)

STAFF USE ONLY

PLAT TYPE

☐ Staff Review ☐ Planning Commission

ATTACHMENTS

☐ Property Owners / Option Holders ☐ Variance Request

ADDITIONAL REQUIREMENTS

☐ Design Plan Certification *(Final Plat)*

☐ Use on Review / Special Use *(Concept Plan)*

☐ Traffic Impact Study

☐ COA Checklist *(Hillside Protection)*

Fee 1	Total
0401	
Fee 2	$1,500
Fee 3	

AUTHORIZATION

By signing below, I certify I am the property owner, applicant or the owners authorized representative.

Jean Hays Peretz — Applicant Signature

Hays Farm and Development, LLC. — Please Print

1/15/2021 — Date

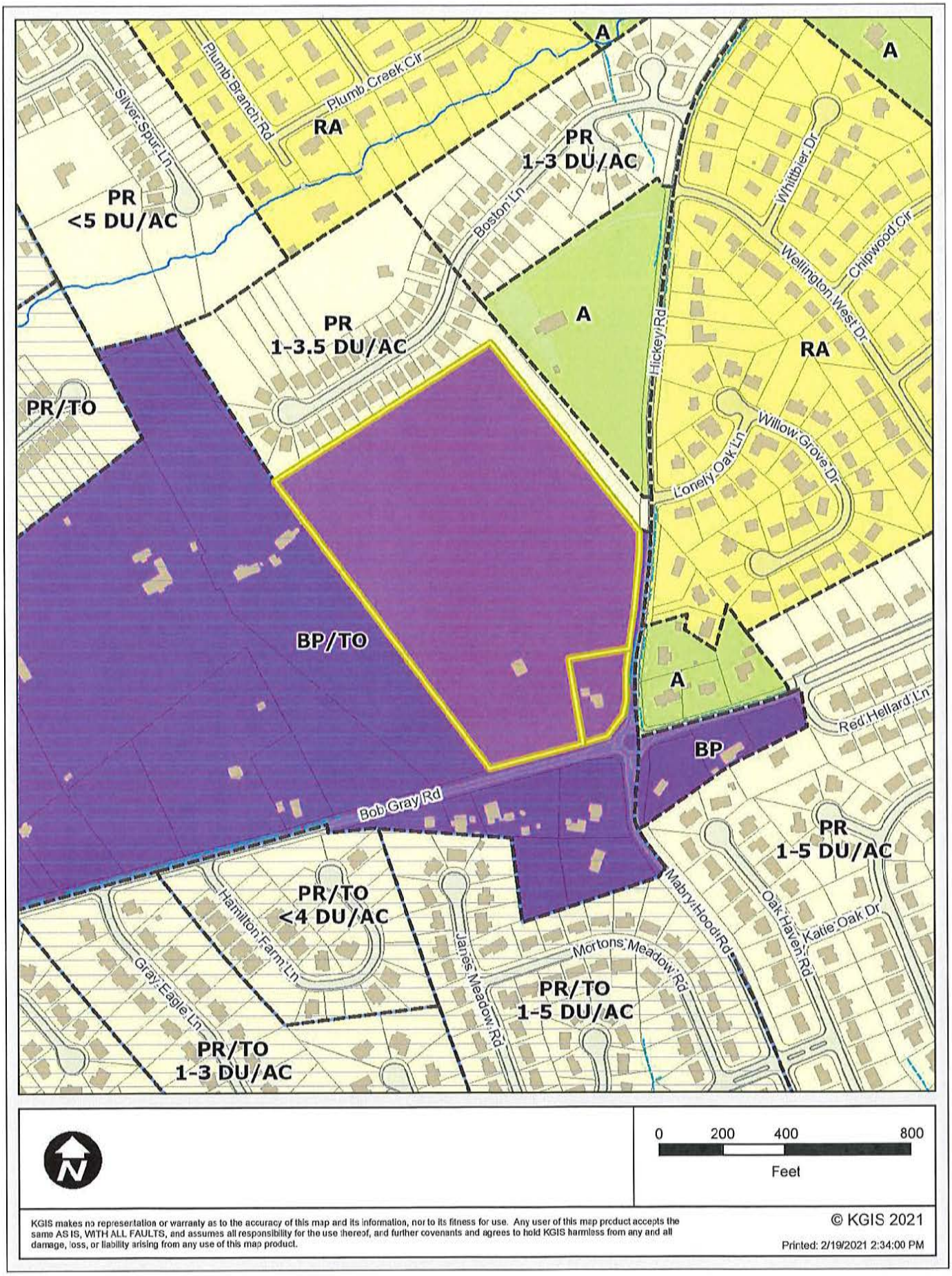
865-966-3835 — Phone Number

peretz@utk.edu — Email

Staff Signature

Michael Reynolds — Please Print

2/22/2021 — Date



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