



SPECIAL USE REPORT

▶ **FILE #:** 1-A-21-SU

AGENDA ITEM #: 35

AGENDA DATE: 1/14/2021

▶ **APPLICANT:** **SIGNCRAFT**
OWNER(S): Metro Knoxville HMA,, LLC

TAX ID NUMBER: 106 K C 01702, 01703, 01704 , 01706, 01707 & 01708 [View map on KGIS](#)

JURISDICTION: City Council District 2

STREET ADDRESS: 1210 , 1240, 1250, 1270 & 0 Tennova Medical Way

▶ **LOCATION:** **North, east, west & south sides of Tennova Medical Way, south side of Middlebrook Pk.**

▶ **APPX. SIZE OF TRACT:** **54.29 acres**

SECTOR PLAN: Northwest City

GROWTH POLICY PLAN: N/A

ACCESSIBILITY: Access is via Middlebrook Pk., a 4 lane median divided arterial street within 156 fee of right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board
Sewer Source: Knoxville Utilities Board

WATERSHED: Fourth Creek

▶ **ZONING:** **OP (Office Park)**

▶ **EXISTING LAND USE:** **Vacant**

▶ **PROPOSED USE:** **Master sign plan for office park**

HISTORY OF ZONING: None noted.

SURROUNDING LAND USE AND ZONING: North: Middlebrook Pike, Medical offices, Vacant land -- OP (Office Park), C-H-2 (Highway Commercial) and AG (General Agricultural)
South: Vacant land -- AG (General Agricultural)
East: Old Weisgarber Road, Rural residential -- AG (General Agricultural) and INST (Institutional)
West: Utility substation, Single-family residential -- INST (Institutional) and RN-1 (Single-Family Residential Neighborhood)

NEIGHBORHOOD CONTEXT: This site is the recently approved Tennova Health Park. The area to the north has been developed as an office park and has attracted a number of medical and medical related uses (Provision, KOC, etc.). The West Hills neighborhood is to the west.

STAFF RECOMMENDATION:

▶ **APPROVE the Master Sign Plan for Tennova Health Park as presented in this application, subject to 3**

conditions.

1. Meeting all applicable requirements of the City of Knoxville Zoning Ordinance, including but not limited to Article 13 (Signs).
2. Meeting all applicable requirements of the City of Knoxville Department of Engineering.
3. The entry monument signs must meet the requirements of Article 13.7.E. (Project Directional Sign) of the City of Knoxville Zoning Ordinance.

With the conditions noted, this plan meets the requirements for approval in the OP (Office Park) zoning district and the criteria for approval of a special use, as outlined below.

COMMENTS:

This request is for a master sign plan as permitted by special use in Article 13.7 (Master Sign Plans for Unified Developments) of the City of Knoxville Zoning Ordinance. The purpose of this master sign plan is to permit the installation of entry monument signs at the entrances to the Tennova Health Park. These signs will be considered a "project directional sign" and must meet requirements for such signs (Article 13.7.E.), which include maintaining a minimum 500-foot separation between signs and only one sign per intersection. The entry monument signs may be approved in addition to any ground or monument signs that are allowed on a specific lot and the signs cannot exceed 6 feet in height and 36 square feet.

STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2.)

1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.

a. The One Year Plan and West City Sector Plan designation for this development are O (Office) and MDR/O (Medium Density Residential/Office) which allows consideration of medical office uses.

2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.

a. The OP (Office Park) zoning district is intended to accommodate large office developments and office parks/campuses. The district is oriented toward larger-scale complexes that may include accessory services for employees such as personal services, restaurants, and retail establishments. District standards are intended to guide the development of office as a more campus-like environment.

b. The Tennova Health Park (formally known as Tennova Medical Park) received Concept Plan approval from the Planning Commission in 2019 when it was zoned O-1 (Office, medical, and related services) under the previous zoning ordinance. The office park would have also be permitted under the current OP (Office Park) zoning district.

c. The master sign plan specifies the general location for the different types of signs, maximum size, and illumination types that are permitted. The proposed sign standards are consistent with the signage standards for the OP (Office Park) zoning district.

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

a. The entry monument signs are proposed to be 4'-6" tall, 26 square feet per face, and externally illuminated. The size and illumination type area appropriate for this portion of Middlebrook Pike which includes medical office uses and residential neighborhoods that are nearby.

b. All other business signs, attached and detached, can either be non-illuminated or externally illuminated, except hospitals with emergency rooms can have internally illuminated attached signs. There are currently no hospitals with emergency rooms proposed for this development.

c. The office park incorporated a 75-foot vegetative buffer to the residential neighborhood to the west so any illumination of signs should not impact nearby residences.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM THE IMMEDIATE ENVIRONMENT.

a. The office park incorporated a 75-foot vegetative buffer to the residential neighborhood to the west so any illumination of signs should not impact nearby residences.

b. The attached and detached signs within this development will be oriented away from nearby residential uses.

5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL

TRAFFIC THROUGH RESIDENTIAL STREETS.

a. Additional traffic will not be drawn through residential streets because the development accesses Middlebrook Pike which is a major arterial street.

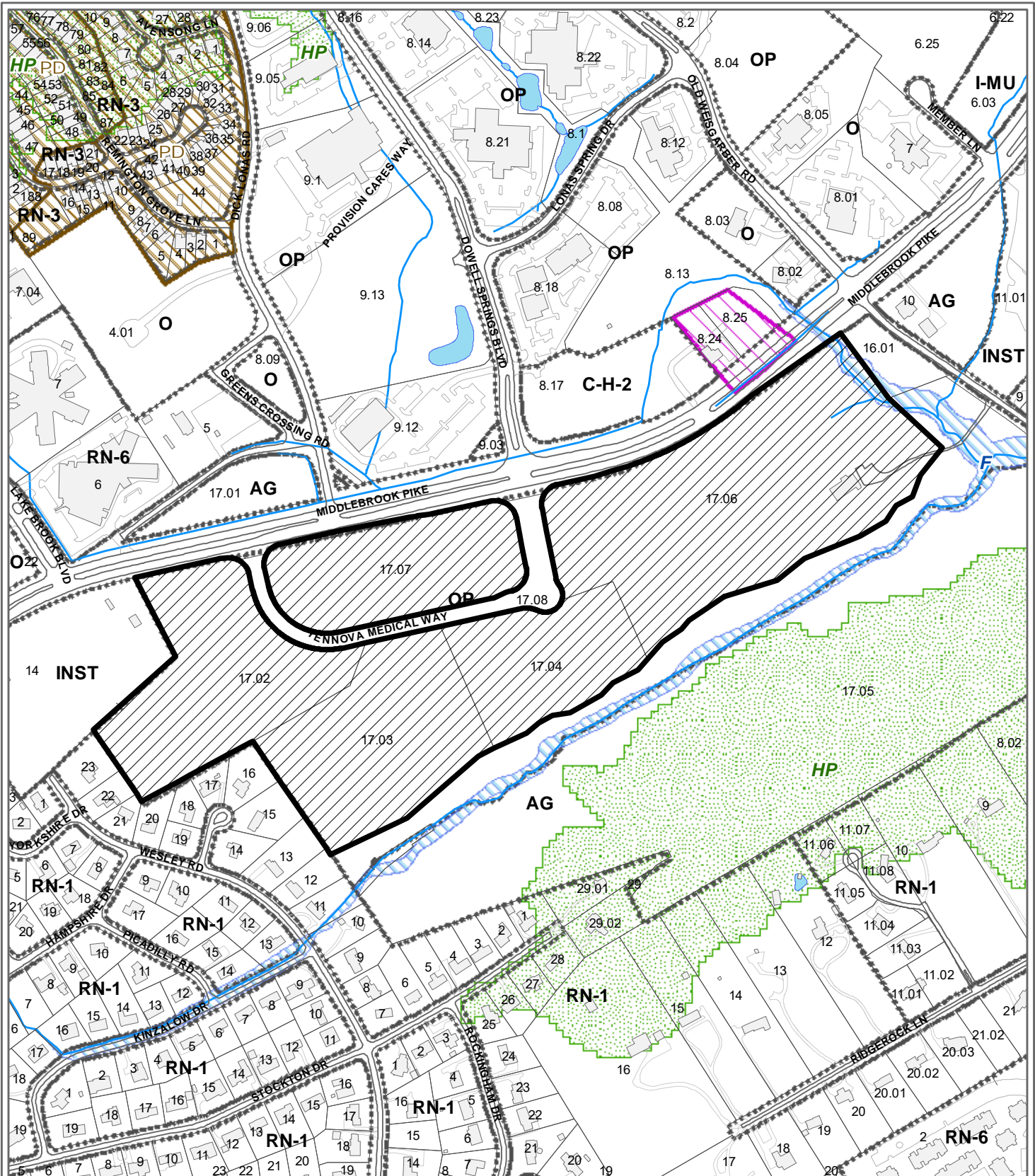
6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

a. The uses immediately surrounding the subject lot are residential and will not pose a potential hazard or undesirable environment.

ESTIMATED TRAFFIC IMPACT: Not required.

ESTIMATED STUDENT YIELD: Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal a Planning Commission decision in the City.



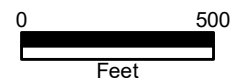
**1-A-21-SU
SPECIAL USE**

Petitioner: Signcraft



Master sign plan for office park in OP (Office Park)

Map No: 106
Jurisdiction: City



Original Print Date: 12/7/2020

Revised:

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902



**6420 Middlebrook Pike
Knoxville, TN
Exterior Master Sign Plan**

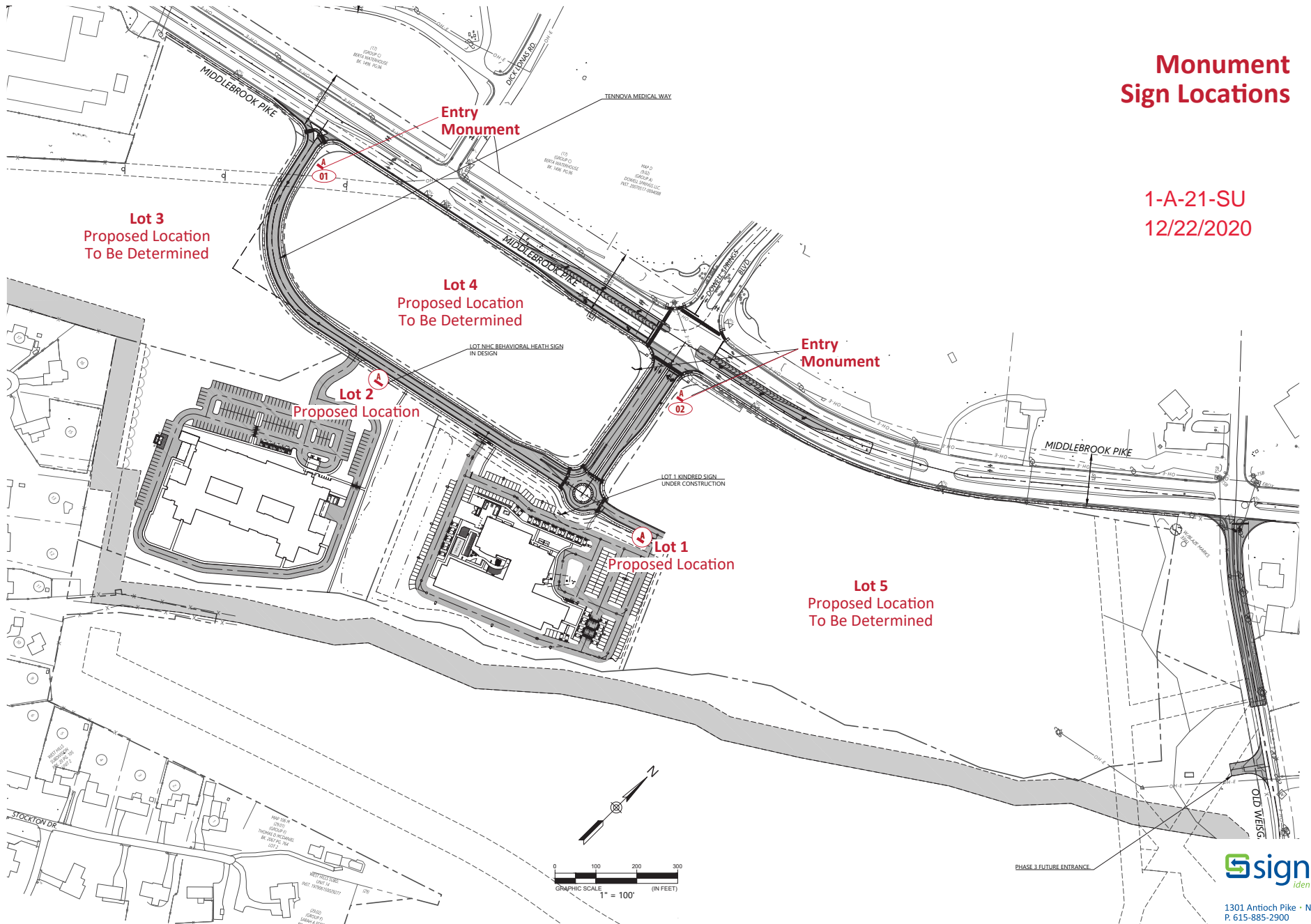
**October 13, 2020
REV: December 21, 2020**

**1-A-21-SU
12/22/2020**

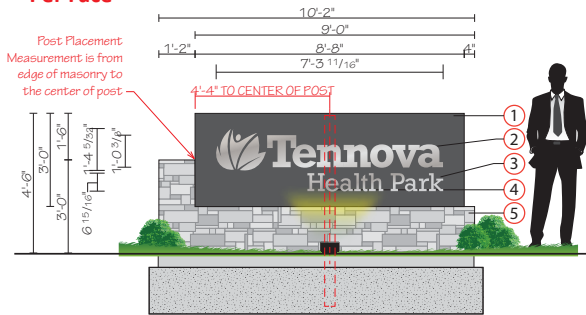
signcraft^{USA}
identifying your way
1301 Antioch Pike
Nashville, TN 37211
p. 615-885-2900
f. 615-885-2989

Monument Sign Locations

1-A-21-SU
12/22/2020

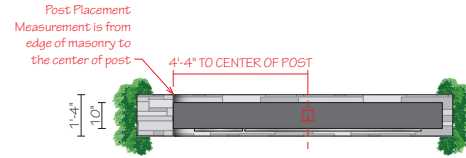


Location 01
Total: 26 Sq Ft
Per Face



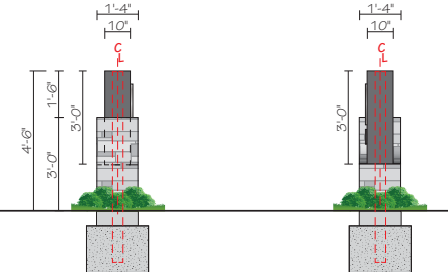
Front Side View - Loc 02

Scale: 1/4" = 1'-0"



Top View - Loc 02

Scale: 1/4" = 1'-0"



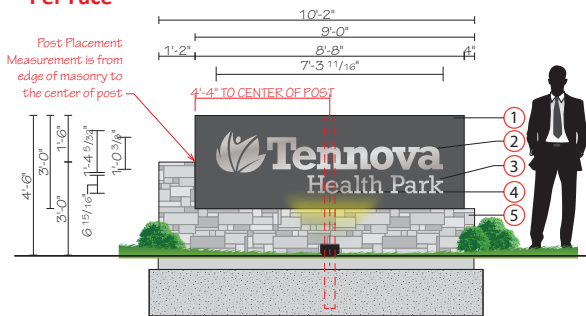
Left Side View - Loc 02

Scale: 1/4" = 1'-0"

Right Side View - Loc 02

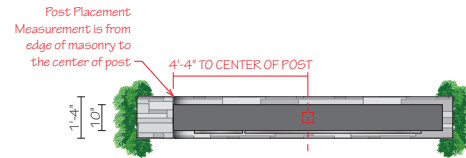
Scale: 1/4" = 1'-0"

Location 02
Total: 26 Sq Ft
Per Face



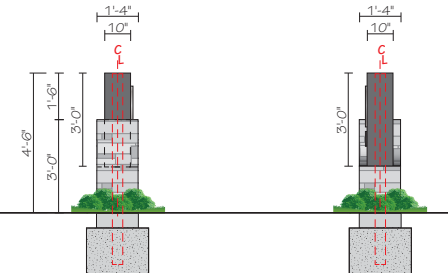
Front Side View - Loc 02

Scale: 1/4" = 1'-0"



Top View - Loc 02

Scale: 1/4" = 1'-0"



Left Side View - Loc 02

Scale: 1/4" = 1'-0"

Right Side View - Loc 02

Scale: 1/4" = 1'-0"

1-A-21-SU
 12/22/2020

Notes:

Facility to provide logo prior to production.

GC responsible for masonry and foundation, and setting 4" Schedule 40 Square Post in Base at time of foundation construction based on engineered drawings.

Sign to be externally illuminated by others. Electrical to site by GC.

Location: 01 and 02 - Non Illuminated Entry Monument

Construction Details:

- ① 10" deep fabricated aluminum cabinet painted all visible surfaces PMS Cool Gray 9c - Charcoal Gray.
- ② 1" thick flat cut brushed aluminum logo and letters. Vertical Grain
- ③ 1/2" thick flat cut brushed aluminum letters. Vertical Grain
- ④ 4" Schedule 40 square post
- ⑤ Gray slate stone base by others.



Entry Monument Signs

6420 Middlebrook Pike
 Knoxville, TN

Date: 10/14/20

Revised: 12/21/20 - KK

Designer: KK

Loc 01 Loc 2
 File Name: Monument.ai

File Folder: F:\CUSTOMERS\T\Tennova Medical Park - Knoxville (CHS)\Exterior Sign Package

Project Manager: CR

Location: 01 / 02

Non Illuminated Entry Monument
 Construction Details



1301 Antioch Pike, Nashville, TN 37211
 p. 615-885-2900 | f. 615-885-2989

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Front View - SAMPLE

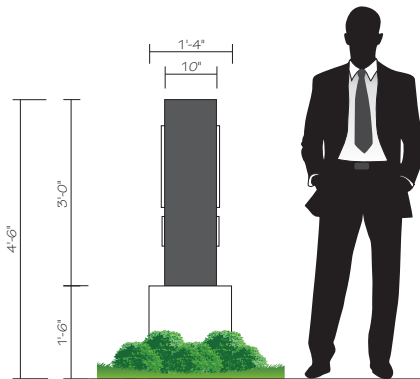
Scale: 1/2" = 1' - 0"

Total = 26 Sq Ft Per Face



Top View - SAMPLE

Scale: 1/2" = 1' - 0"



Side View - SAMPLE

Scale: 1/2" = 1' - 0"

Proposed Standard Design for Lots 1 - 5

Monument Detached Sign Standards:

Masonry Base

- Masonry Base must match materials used on building
- Masonry Base must be at least 18" above grade - no more than 24" above grade
- Masonry Base must be approximately 1'-4" deep x 9'-4" wide
- A Masonry pier is optional
 - Pier is limited to one end of sign only
 - Same material must be used on pier and base
 - Height of pier is limited to 3'-0" above grade
 - Face of pier is limited to 1'-2" wide
- Appropriate landscaping must surround Masonry Base - this includes plants or flowers that will not grow over 18" in height.
- Engineering required for foundation of Masonry Base

Aluminum Sign Cabinet

- Sign Cabinet can be single faced or double faced
- Sign Cabinet size is limited to 3'-0" tall x 8'-8" wide x 10" deep
- Sign Cabinet must be fabricated aluminum and be painted a single solid color
 - Sign Cabinet background must be one of the following colors - black, duranodic bronze, or dark gray (similar or darker than PMS Cool Gray 9C).
- Sign Cabinet Must be Externally illuminated.
 - Cabinets must have 1/2" thick aluminum lettering flush mounted to face of cabinet
 - Logo icons can be in color
 - Lettering must be in satin brushed aluminum (vertical grain) or painted white - including logo icons
 - External illumination achieved by landscaping lighting - as recommended by landscape architect
 - Fixtures must be LED illuminated
 - Fixtures must be finished in black or duranodic bronze
 - No more than (2) fixtures per side of sign
 - Fixtures cannot be visible from public right-of-way
- Sign Cabinet must be attached to Masonry Base per the engineered drawings.

No more than (1) Monument Sign is allowed per property.

Placement/Location of Monument Signs must meet all local codes and regulations

1-A-21-SU
12/22/2020



Monument Sign Standards

6420 Middlebrook Pike
Knoxville, TN

Date: 10/14/20

Revised: 12/21/20

Designer: KK

Lot 1 to 05
File Name: Monument.ai

File Folder: F:\CUSTOMERS\T\Tennova Medical Park - Knoxville (CHS)\Exterior Sign Package

Project Manager: CR

Proposed Standard Design for Lots 1- 5



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KNOXVILLE REHABILITATION HOSPITAL

Front View - SAMPLE

Scale: 3/8" = 1' - 0"

**Total = Not To Exceed 5% of
Primary Building Elevation**

Proposed Standard Design for Lots 1 - 5

Building Attached Sign Standards:

- Building Signs must be individual letters
 - Letters must be a minimum of 1" Thick
 - Letters and Logo icons have no color restrictions
 - Letters must be flush mounted to the building
- Building Signs may not exceed 5% of the wall area of the primary building elevation
- Letters and Logo must be externally illuminated
 - External light sources must not be visible from the public right-of-way or adjacent properties.
 - Per OP Zone Ordinance - internal illumination is ONLY allowed if Healthcare facility has an emergency room.
 - Signs may have internal illumination only if the building has an emergency room.
- Building Signs must be attached to building per engineered drawings.

1-A-21-SU
12/22/2020



East Elevation - SAMPLE

Scale: 1/16" = 1' - 0"



Building Sign

Standards

6420 Middlebrook Pike
Knoxville, TN

Date: 10/14/20

Revised: 12/21/20

Designer: KK

Building Sign
File Name: Standards.ai

File Folder: F:\CUSTOMERS\T\Tennova
Medical Park - Knoxville (CHS)\Exterior Sign
Package

Project Manager: CR

Proposed Standard Design for Lots 1-5



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Development Request

DEVELOPMENT

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

SUBDIVISION

- Concept Plan
- Final Plat

ZONING

- Plan Amendment
 - SP
 - OYP
- Rezoning

Signcraft

Applicant Name

Affiliation

11-17-2020

Date Filed

1-14-21

Meeting Date (if applicable)

File Number(s)

1-A-21-SU

CORRESPONDENCE

All correspondence related to this application should be directed to the approved contact listed below.

- Applicant
- Owner
- Option Holder
- Project Surveyor
- Engineer
- Architect/Landscape Architect

Carrie Rogers

Name

Signcraft

Company

1301 Antioch Pike

Address

Nashville TN

City

State

37211

ZIP

615 885.2900

Phone

x113

crogers@signcraftusa.com

Email

CURRENT PROPERTY INFO

Metro Knoxville HMA, LLC

Owner Name (if different)

10820 Parkside Dr

Owner Address

865.218.7092

Owner Phone

0 Tenna Medical Way

Property Address

(1270)

106KCO1702 (Ø)

Parcel ID

Knoxville 37909

106KCO1706, 106KCO1704, (1250)

(Ø) 106KCO1703, (1240)

STAFF USE ONLY

North, east, west & south sides of

General Location

(54.29 acres)

2 - 9.86

3 - 9.32

Tenna Medical Way, south side of

4 - 5.97

Middlebrook Pk.

6 - 18.96

2nd

Jurisdiction (specify district above)

- City
- County

Zoning District

OP

7 - 7.39

8 - 2.79

Northwest City

Planning Sector

O, MDR/O

Sector Plan Land Use Classification

N/A

Growth Policy Plan Designation

Vacant

Existing Land Use

Septic (Y/N)

Sewer Provider

Water Provider

DEVELOPMENT REQUEST

Development Plan
 Use on Review / Special Use
 Hillside Protection COA
 Residential
 Non-Residential
 Home Occupation (specify) _____
 Other (specify) master sign plan for office park

Related City Permit Number(s)
RI9-1152/DSD19-0459

SUBDIVISION REQUEST

Proposed Subdivision Name _____
 Unit / Phase Number _____
 Combine Parcels
 Divide Parcel
 Other (specify) _____
 Attachments / Additional Requirements _____
 Total Number of Lots Created _____

Related Rezoning File Number

ZONING REQUEST

Zoning Change _____
 Proposed Zoning _____
 Plan Amendment Change _____
 Proposed Plan Designation(s) _____
 Proposed Density (units/acre) _____
 Previous Rezoning Requests _____
 Other (specify) _____

Pending Plat File Number

STAFF USE ONLY

PLAT TYPE
 Staff Review
 Planning Commission
ATTACHMENTS
 Property Owners / Option Holders
 Variance Request
ADDITIONAL REQUIREMENTS
 Design Plan Certification (*Final Plat*)
 Use on Review / Special Use (*Concept Plan*)
 Traffic Impact Study
 COA Checklist (*Hillside Protection*)

Fee 1	Total
<u>0401 1500.00</u>	
Fee 2	
Fee 3	
	<u>\$1500.00</u>

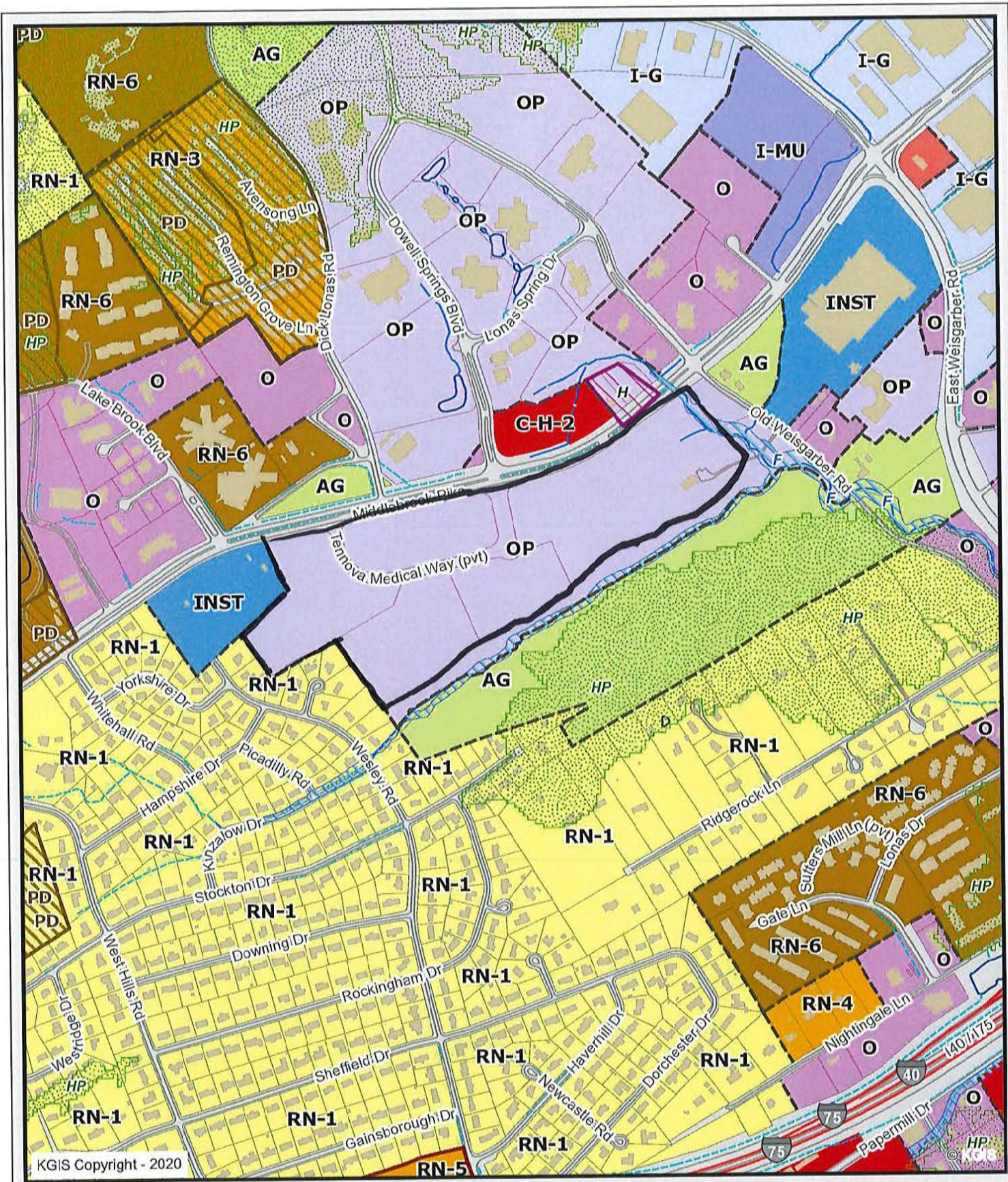
AUTHORIZATION

By signing below, I certify I am the property owner, applicant or the owners authorized representative.

Carrie Rogers Carrie Rogers 11/16/2020
 Applicant Signature Please Print Date

615 885 2900 x113 crogers@signcraftusa.com
 Phone Number Email

Sherry Muchienzi SHERRY MUCHIENZI 11-23-2020
 Staff Signature Please Print Date



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Letter Portrait

Knoxville - Knox County - KUB Geographic Information System

Printed: 11/17/2020 at 10:53:32 AM

0 390 780 1,560
ft

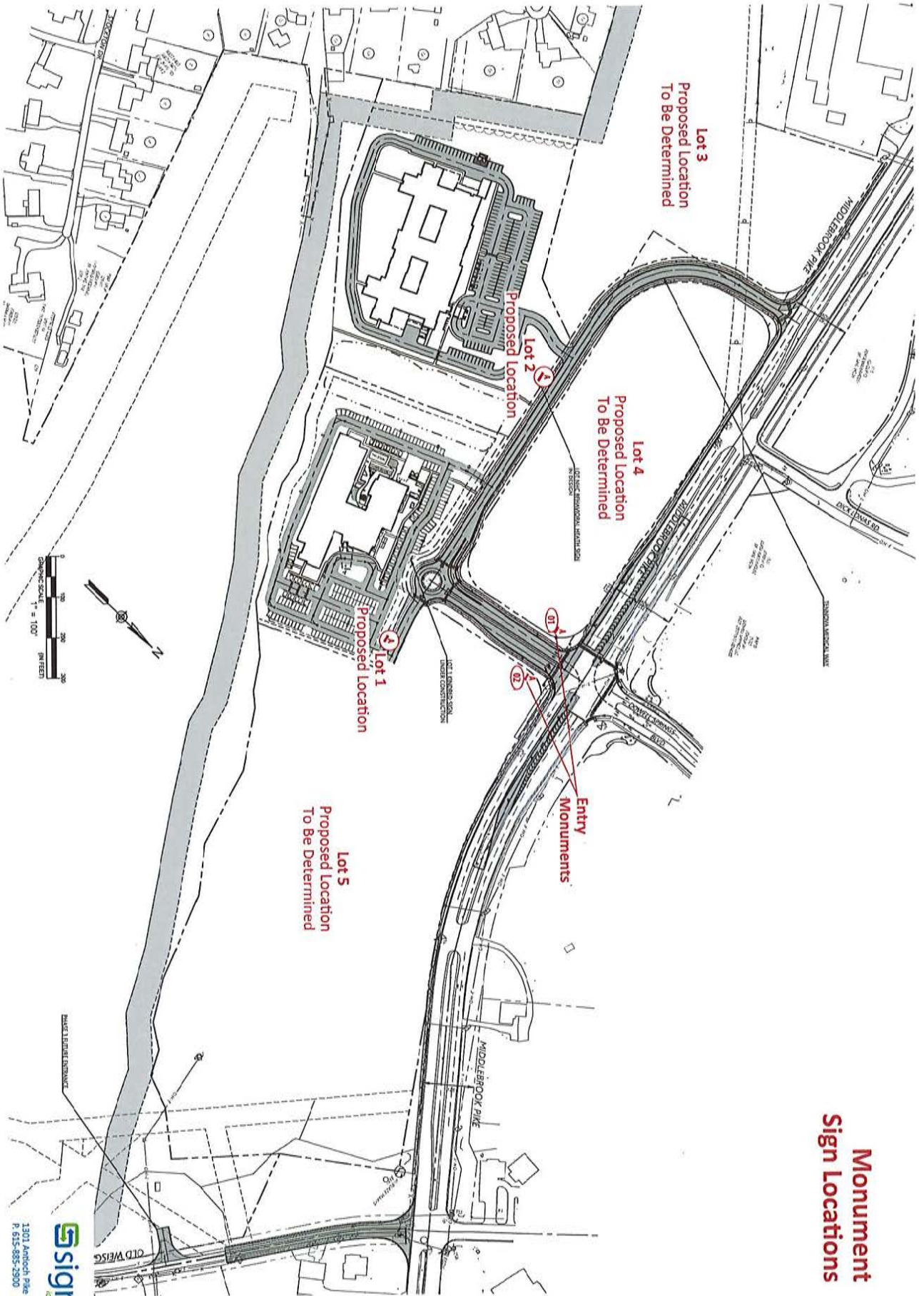
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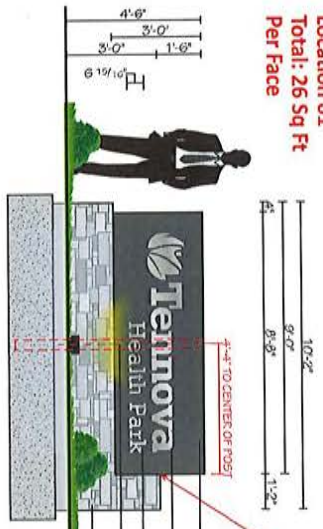
**6420 Middlebrook Pike
Knoxville, TN
Exterior Master Sign Plan**

**October 13, 2020
REV: November 09, 2020**

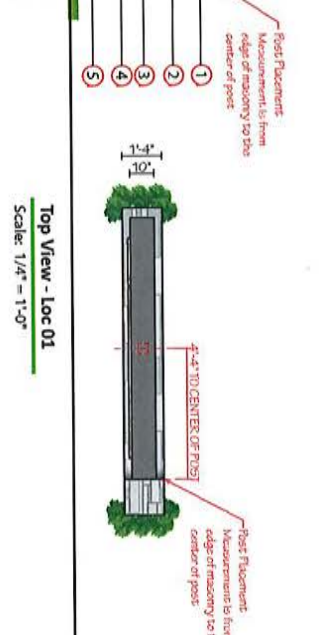
Monument Sign Locations



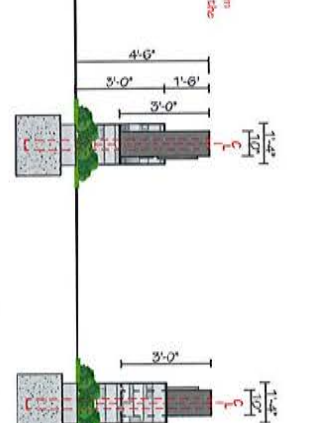
Location 01
Total: 26 Sq Ft
Per Face



Front Side View - Loc 01
 Scale: 1/4" = 1'-0"



Top View - Loc 01
 Scale: 1/4" = 1'-0"

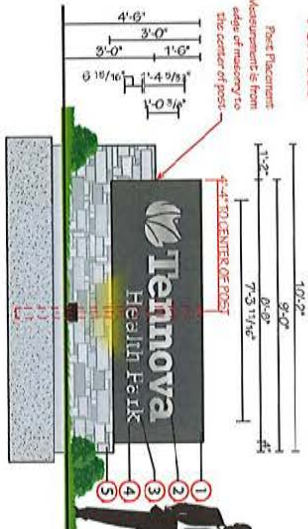


Left Side View - Loc 01
 Scale: 1/4" = 1'-0"

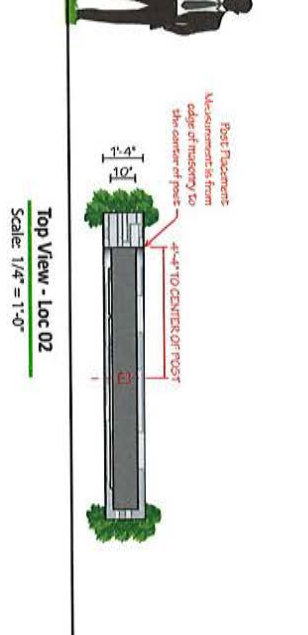


Right Side View - Loc 01
 Scale: 1/4" = 1'-0"

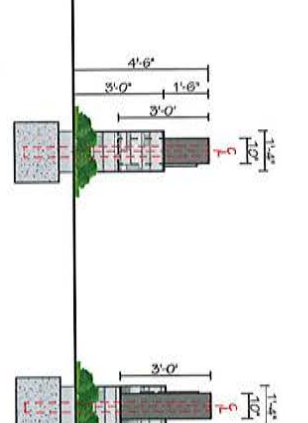
Location 02
Total: 26 Sq Ft
Per Face



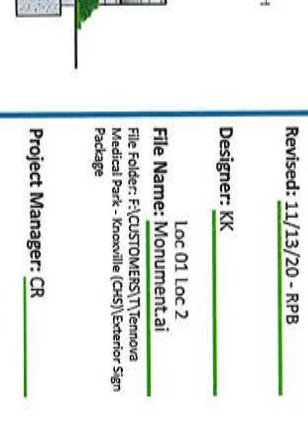
Front Side View - Loc 02
 Scale: 1/4" = 1'-0"



Top View - Loc 02
 Scale: 1/4" = 1'-0"



Left Side View - Loc 02
 Scale: 1/4" = 1'-0"



Right Side View - Loc 02
 Scale: 1/4" = 1'-0"

Location: 01 and 02 - Non Illuminated Entry Monument

Construction Details:

- ① 10" deep fabricated aluminum cabinet painted all visible surfaces PMS Cool Gray 9c - Charcoal Gray.
- ② 1" thick flat cut brushed aluminum logo and letters. Vertical Grain
- ③ 1/2" thick flat cut brushed aluminum letters. Vertical Grain
- ④ 4" Schedule 40 square post
- ⑤ Gray slate stone base by others.

Notes:
 Facility to provide logo prior to production.

GC responsible for masonry and foundation, and setting 4" Schedule 40 Square Post in base at time of foundation construction based on engineered drawings.

Sign to be externally illuminated by others. Electrical to site by GC.



Entry Monument Signs

6420 Middlebrook Pike
 Knoxville, TN

Date: 10/14/20

Revised: 11/13/20 - RPB

Designer: KK

Loc 01 Loc 2

File Name: Monument.ai

File Folder: F:\CUSTOMERS\Tennova Medical Park - Knoxville (CHS)\Exterior Sign Package

Project Manager: CR

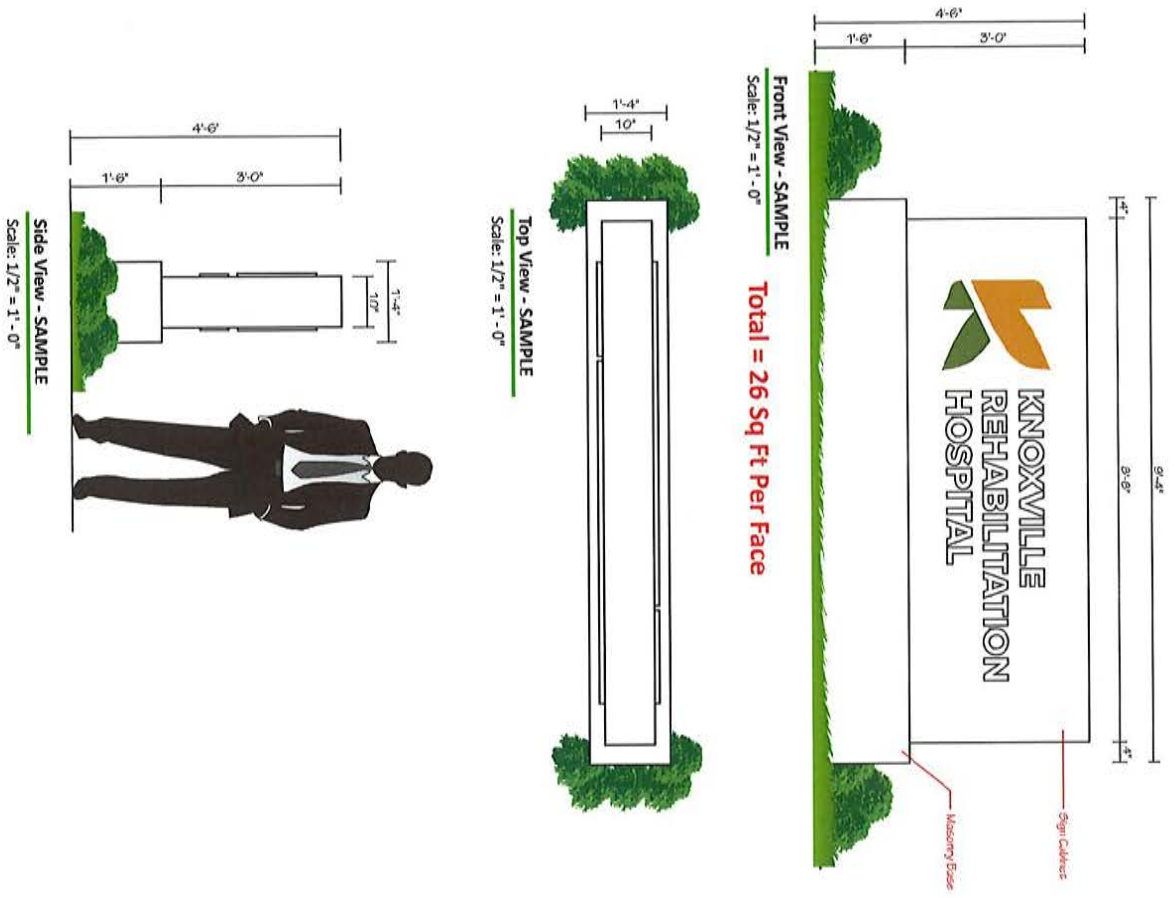
Location: 01 / 02

Non Illuminated Entry Monument
 Construction Details



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Front View - SAMPLE
Scale: 1/2" = 1'-0"
Total = 26 Sq Ft Per Face

Top View - SAMPLE
Scale: 1/2" = 1'-0"

Side View - SAMPLE
Scale: 1/2" = 1'-0"

Proposed Standard Design for Lots 1 - 5

Monument Sign Standards:

Masonry Base

- Masonry Base must match materials used on building
- Masonry Base must be at least 18" above grade - no more than 24" above grade
- Masonry Base must be approximately 1'-4" deep x 9'-4" wide
- A Masonry pier is optional
 - Pier is limited to one end of sign only
 - Same material must be used on pier and base
 - Height of pier is limited to 3'-0" above grade
- Face of pier is limited to 1'-2" wide
- Appropriate landscaping must surround Masonry Base - this includes plants or flowers that will not grow over 18" in height.
- Engineering required for foundation of Masonry Base

Aluminum Sign Cabinet

- Sign Cabinet can be single faced or double faced
- Sign Cabinet size is limited to 3'-0" tall x 8'-8" wide x 10" deep
- Sign Cabinet must be fabricated aluminum and be painted a single solid color
- Sign Cabinet background must be one of the following colors - black, duranodic bronze, or dark gray (similar or darker than PMS Cool Gray 9C).
- Sign Cabinet can be internally illuminated or externally illuminated
 - Internally illuminated cabinets must have routed faces and 1/2" thick push through acrylic lettering.
 - Lettering must all be white in color
 - Logo icons can be in color
 - Internal illumination achieved by LED internal to the cabinet
- Sign Cabinet must be UL listed with an external disconnect switch.
- All electrical connections and conduits must be internal to sign cabinet and masonry base
- Externally illuminated cabinets must have 1/2" thick aluminum lettering flush mounted to face of cabinet
 - Lettering must be in satin brushed aluminum (vertical grain) or painted white - including logo icons
 - External illumination achieved by landscape lighting - as recommended by landscape architect
 - Fixtures must be LED illuminated
 - Fixtures must be finished in black or duranodic bronze
 - No more than (2) fixtures per side of sign
 - Fixtures cannot be visible from public right-of-way
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No more than (1) Monument Sign is allowed per property.

Placement/Location of Monument Signs must meet all local codes and regulations



Monument Sign Standards
6420 Middlebrook Pike
Knoxville, TN

Date: 10/14/20

Revised: 10/29/20

Designer: KK

Lot 1 to 05
File Name: Monument.ai

File Folder: F:\CUSTOMERS\Tennova Medical Park - Knoxville (CHR)\Exterior Sign Package

Project Manager: CR

Proposed Standard Design for Lots 1-5



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p. 615-885-2900 | f. 615-885-2989

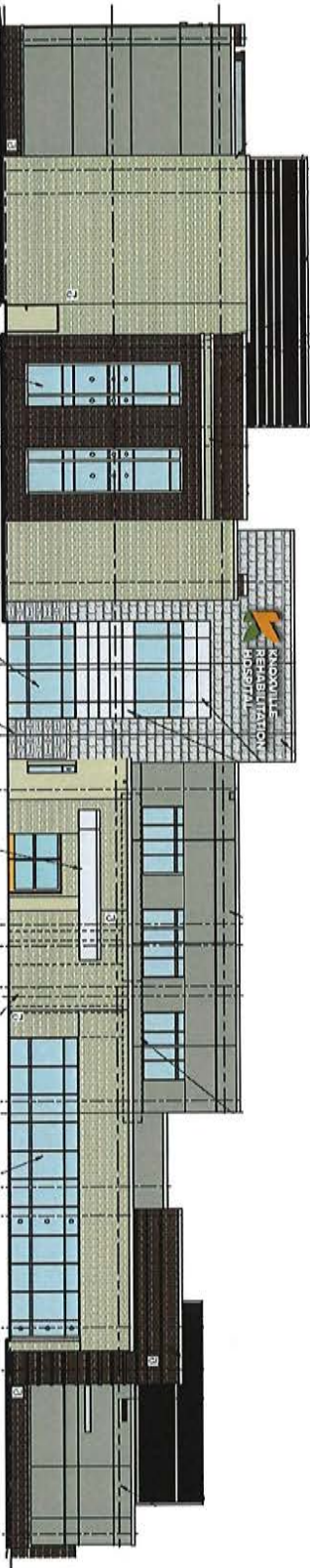
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KNOXVILLE REHABILITATION HOSPITAL

Front View - SAMPLE
Scale: 3/8" = 1' - 0"

**Total = Not To Exceed 5% of
Primary Building Elevation**



East Elevation - SAMPLE
Scale: 1/16" = 1' - 0"

Proposed Standard Design for Lots 1 - 5

Building Sign Standards:

- Building Signs must be individual letters
- Building Signs may not exceed 5% of the wall area of the primary building elevation
- Letters can be internally illuminated or externally illuminated
 - Internally illuminated letters must be LED illuminated
 - Letters must be flush mounted to the building with power supplies remote mounted - no raceway mounted letters
 - Letters must be UL listed with external disconnect switch
 - All electrical connection must be internal to letters or building
 - No internally illuminated letters can face an adjacent property zoned residential
- Letters and logo icons must be a single contrasting color to the building
 - Letters must be a minimum of 1" thick
 - Letters can be white, black or duranodic bronze
 - - this includes returns, faces and trim cap.
 - Logo icons can be in color
 - Black or duranodic bronze letters must illuminate white at night.
- Externally illuminated letters
 - Letters must be flush mounted to the building
 - External light sources must not be visible from the public right-of-way or adjacent properties.
- Letters and logo icons must be a single contrasting color to the building
 - Letters and logo icons can be white or duranodic bronze
 - -this includes returns and faces.
- Building Signs must be attached to building per engineered drawings.



**Building Sign
Standards**
6420 Middlebrook Pike
Knoxville, TN

Date: 10/14/20

Revised: 10/29/20

Designer: KK

Building Sign
File Name: Standards.ai
File Folder: F:\CUSTOMER\Tennova
Medical Park - Knoxville (CHS)\Exterior Sign
Package

Project Manager: CR

**Proposed Standard
Design for Lots 1-5**



1301 Antioch Pike, Nashville, TN 37211
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