

# SPECIAL USE REPORT

► FILE #: 5-E-21-SU

AGENDA ITEM #: 44

AGENDA DATE: 5/13/2021

► APPLICANT: MARK A. BIALIK, PE / GBS ENGINEERING

OWNER(S): Jeb S. Davis Investments, LLC

TAX ID NUMBER: 58 N B 017 [View map on KGIS](#)

JURISDICTION: City Council District 5

STREET ADDRESS: 4919 N. Broadway

► LOCATION: West side of N. Broadway, south of Highland Dr.

► APPX. SIZE OF TRACT: 26000 square feet

SECTOR PLAN: North City

GROWTH POLICY PLAN: N/A

ACCESSIBILITY: Access is via N. Broadway, a major arterial with 75-ft pavement width within 87-ft of right-of-way.

UTILITIES: Water Source: Knoxville Utilities Board

Sewer Source: Knoxville Utilities Board

WATERSHED: First Creek

► ZONING: C-G-2 (General Commercial) / F (Floodplain Overlay)

► EXISTING LAND USE: O (Office)

► PROPOSED USE: Drive-through facility

HISTORY OF ZONING: When the new zoning ordinance and map became effective on January 1, 2020, the zoning changed from C-3 to C-G-2.

SURROUNDING LAND USE AND ZONING: North: Auto repair -- C-G-2 (General Commercial)/F (Floodplain Overlay)

South: Mixed commercial -- C-G-2 (General Commercial)/F (Floodplain Overlay)

East: Mixed commercial -- C-G-2 (General Commercial)

West: Multi-family -- O (Office)/F (Floodplain Overlay)

NEIGHBORHOOD CONTEXT: N. Broadway is a major commercial corridor developed primarily with office and commercial uses in the C-G-2 zone. This area is a commercial node near the intersection of N. Broadway and Highland Drive. The Highland Drive neighborhood to the west is predominantly single-family houses zoned EN with exception the Highland Arms Apartments adjacent to the subject site that is zoned O.

## STAFF RECOMMENDATION:

► APPROVE the request for a drive-through facility for a restaurant with approximately 638 sqft of floor area, subject to 10 conditions.

1. Meeting the requirements of the principal use standards for drive-through facilities (Section 9.3.F) of the City of Knoxville Zoning Ordinance.
2. Meeting the requirements of Article 13 (Signs) of the City of Knoxville Zoning Ordinance.
3. Meeting the design standards for the C-G-2 (General Commercial) zone (Section 5.4).
4. Installation of landscaping per the requirements of Article 12 (Landscaping) of the City of Knoxville Zoning Ordinance and the Tree Protection Ordinance (Chapter 14, Article II) of the City of Knoxville Code of Ordinances.
5. Providing a turning template showing vehicles can exit the drive-through without conflicting with other vehicles. This is to be reviewed and approved by the City of Knoxville Department of Engineering during permitting.
6. Providing adequate separation between the exit lane of the drive-through and the front property line to allow an exiting vehicle to be perpendicular to N. Broadway before leaving the site, or as otherwise required by the City of Knoxville Department of Engineering during permitting.
7. Obtaining all necessary zoning variances from the City of Knoxville Board of Zoning Appeals.
8. Meeting all applicable requirements of the Knoxville Department of Engineering.
9. Meeting all applicable requirements of the Tennessee Department of Transportation.
10. Meeting all applicable requirements of the City of Knoxville Zoning Ordinance.

With the conditions noted above, this request meets the requirements of the C-G-2 zone, the principal use standards for drive-through facilities, and the criteria for approval of a special use.

## **COMMENTS:**

### **SUMMARY OF PROPOSAL**

This proposal is for a coffee shop with a drive-through facility. In the C-G-2 (General Commercial) zone, drive-throughs require Special Use approval. This specific business, Scooter's Coffee, has no indoor or outdoor seating. More than half of the subject property is within the FEMA floodway and entirely within the 100-year floodplain for First Creek. The finished floor elevation of the proposed building is approximately 4-5 feet higher than the existing building. The parking lot and drive aisles will be constructed of permeable pavers.

### **PRINCIPAL USE STANDARDS**

The drive-through facility at Scooter's Coffee must meet the principal use standards of Article 9.3.F. These include standards for the location of the drive-throughs, the number of stacking spaces, the width of the drive-through lane, and screening standards when adjacent to residential. There is also a standard that "all drive-through lanes must be located and designed to ensure that they do not adversely affect traffic circulation on the adjoining street."

### **SITE PLAN AND REQUIRED ZONING VARIANCES**

The applicant is proposing a full access driveway to N. Broadway and will retain an open driving surface to the rear of the lot that connects to the properties on either side with access to the two side streets. However, there are no access easements on the adjoining properties so these connections could be restricted at any time.

The N. Broadway driveway is located as proposed because of the on-site vehicular circulation needed for the drive-through facility and the Tennessee Department of Transportation (TDOT) requirement that the driveway is setback from the side lot lines a minimum of 20 feet. The City of Knoxville zoning ordinance requires the driveway on this property to have a minimum corner clearance of 150 feet from Highland Drive. The proposed corner clearance is approximately 130 feet which will require a variance from the Board of Zoning Appeals.

The C-G-2 zone has a build-to zone of 0 – 20 feet and a build-to percentage of 50 percent, which means at least 50 percent of the building width must be located within 20 feet of the front property line. Because the proposed building is so small and narrow, essentially the entire building needs to be located within the build-to zone. Since the proposed coffee shop is reliant solely on the drive-through facility for sales and the exit lane must wrap around the front of the building, the building must be moved further back on the property to allow enough room for the vehicles to properly maneuver before exiting the site. The proposed building setback is approximately 48 feet from the front property line and will require a variance from the Board of Zoning Appeals. A potential solution is to create two separate one-way accesses to N. Broadway for entering and exiting vehicles. This would allow the building to move forward on the site to meet the build-to zone requirements but the two driveways would not meet TDOT's driveway separation standards.

### **STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2.)**

#### **1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN**

**AND THE ONE-YEAR PLAN.**

- A. The One Year Plan and North City Sector Plan designation for this site are GC (General Commercial) which recommends a wide range of retail and service-oriented uses.
- B. The entire property is also located in the SP (Stream Protection) area that aligns with the FEMA 500-year floodplain for First Creek. The entire property is located within the 100-year floodplain and a little over half of the property is located within the floodway. The proposed building is located outside of the floodway and the building must be elevated because it is located in the 100-year floodplain. In addition, the riparian buffer zone for First Creek must be restored or a mitigation plan must be presented by the applicant for review and approval by the Director of Engineering.
- C. The proposed coffee shop with a drive-through facility is consistent with the adopted plans.

**2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.**

- A. The C-G (General Commercial Zoning District) is intended to provide for a heterogeneous mix of retail, personal service, office, and residential uses within and along Knoxville's commercial nodes and corridors. The C-G District is intended to promote mixed-use development in a pedestrian-oriented environment that recalls the City's traditional business districts, and offers flexibility in the creation of integrated commercial, office and residential spaces. The C-G District is divided into three levels of intensity related to the overall form and design of the development; however, uses are the same across all levels. This zone is intended primarily for indoor commercial uses with limited exceptions per special use approval.
- B. A drive-through facility is typically not considered a pedestrian-oriented use. This property is located in an area that does not have a continuous pedestrian network but as part of this development, a sidewalk will be required along the Broadway frontage and the current open vehicular access along the entire N. Broadway frontage will be greatly reduced.

**3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.**

- A. The buildings that front along N. Broadway in this area are one-story structures on small lots that are setback from the street. The proposed structure is compatible with the size and location of buildings in the vicinity.
- B. There is no consistent architectural character in the vicinity of the subject site.
- C. There are several auto-oriented businesses in this block of N. Broadway, including vehicle repair, commercial strip centers, banks, and restaurants with drive-throughs.

**4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM THE IMMEDIATE ENVIRONMENT.**

- A. There is a multi-family development to the west of the subject site, on the opposite side of First Creek. The lights from vehicles entering the drive-through could be a nuisance for this use if not properly screened. The applicant does propose installing river birch trees along the creek but a landscape buffer yard with evergreen trees is not required because the multi-family development is zoned O (Office).

**5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.**

- A. Additional traffic will not be drawn through residential streets because the property has direct access to a major arterial street.

**6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.**

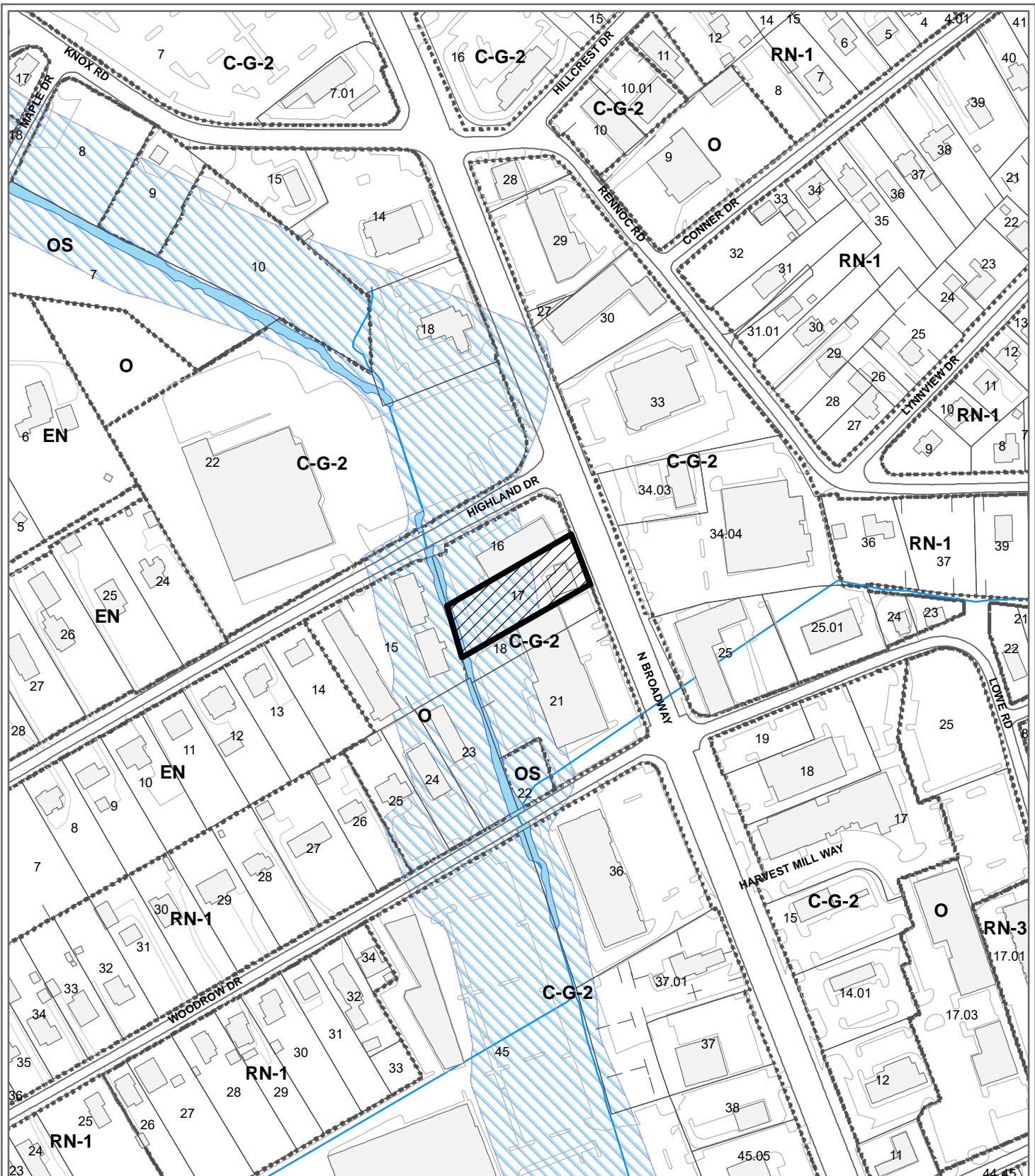
- A. There are no known uses in the area that could be a potential hazard or create an undesirable environment for the proposed uses within the development.
- B. The finished floor elevation must be higher than the 100-year floodplain and meet all other requirements of the City of Knoxville Engineering department.

**ESTIMATED TRAFFIC IMPACT: 523 (average daily vehicle trips)**

Average Daily Vehicle Trips are computed using national average trip rates reported in the latest edition of "Trip Generation," published by the Institute of Transportation Engineers. Average Daily Vehicle Trips represent the total number of trips that a particular land use can be expected to generate during a 24-hour day (Monday through Friday), with a "trip" counted each time a vehicle enters or exits a proposed development.

**ESTIMATED STUDENT YIELD:** Not applicable.

The Planning Commission's approval or denial of this request is final, unless the action is appealed to the Knoxville City Council. The date of the Knoxville City Council hearing will depend on when the appeal application is filed. Appellants have 15 days to appeal a Planning Commission decision in the City.



**5-E-21-SU  
SPECIAL USE**

Petitioner: Bialik, PE / GBS Engineering,  
Mark A.



Drive-through facility in C-G-2 (General Commercial) / F (Floodplain Overlay)

Original Print Date: 4/13/2021

Revised:

Knoxville - Knox County Planning Commission \* City / County Building \* Knoxville, TN 37902

0 250  
Feet



Map No: 58

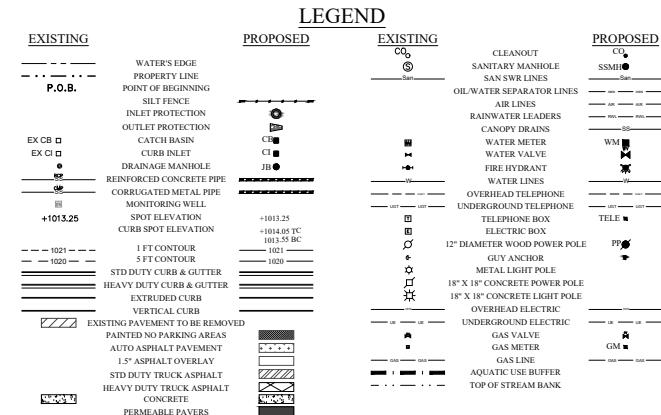
Jurisdiction: City



# Site Development Plans for *Scooter's Coffee*

Owned/Developed by:  
C & E Businesses, LLC / DBA Scooter's Coffee

1910 Rudder Lane  
Knoxville, Tennessee 37919  
(865) 603-8776  
Attn: Cole Harris & Emily Harris  
Email: coleharris83@gmail.com  
Email: emily.w.harris2016@gmail.com

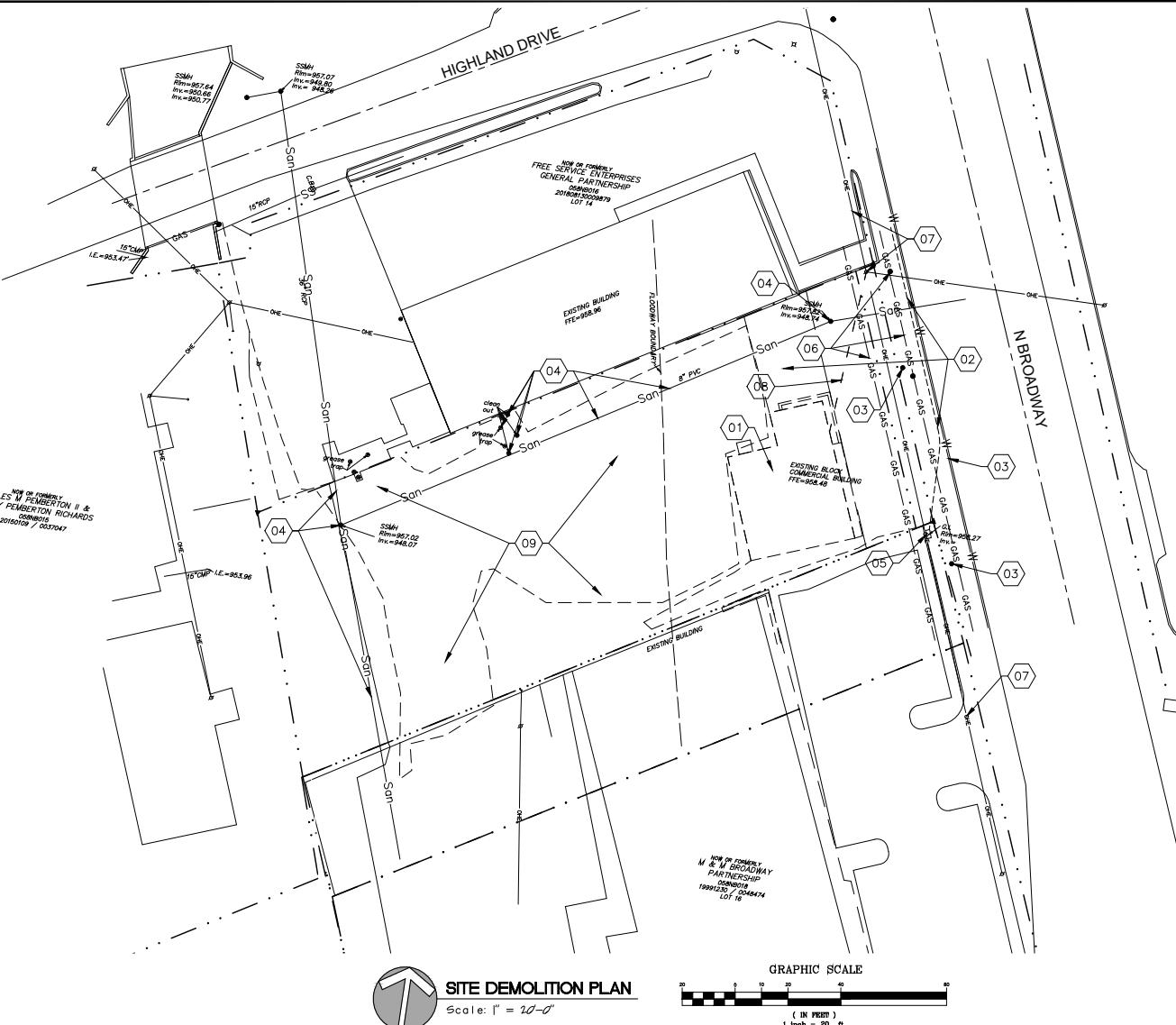


4919 N Broadway  
CLT Map 58, Insert N, Group B, Parcel 17, Block 37520  
Knoxville, Tennessee, 37918

DRAWING INDEX			REVISIONS	
01	C0.0	Cover Sheet	04/26/2021	▼
02		Site Survey	09/04/2018	
03	C1.0	ES & PC Plan - Initial Phase	03/29/2021	
04	C1.1	ES & PC Plan - Final Phase	04/26/2021	▼
05	C2.0	Site Demolition Plan	03/29/2021	
06	C3.0	Overall Site Plan	04/26/2021	▼
07	C3.1	Site Plan	04/26/2021	▼
08	C4.0	Site Grading Plan	04/26/2021	▼
09	C5.0	Site Paving Plan/Utility Plan	04/26/2021	
10	C6.0	Site Utility Plan	04/26/2021	▼
11	C7.0	Site Landscape Plan	04/26/2021	▼
12	C8.0	Site Detail Sheet	04/26/2021	▼
13	C8.1	Site Detail Sheet	04/26/2021	▼
14	A2.1	Dimension Plan & Floor Plan	03/29/2021	
15	A3.0	Exterior Elevations	03/29/2021	

5-E-21-SU  
4/28/2021

<b>GBS</b> engineering		1313 Kalmia Road Knoxville, TN 37909 Phn: 865.566.0185 Fax: 888.485.7005	
REV.	DESCRIPTION	BY	DATE
A	Revised per City Comments	THF	04/26/2021
-	--	-	-
-	--	-	-
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-	--	-	-
PROJECT NAME: Scooter's Coffee DRAWING TITLE: Cover Sheet LOCATION: 4919 N BROADWAY Knoxville, TN 37918 CLT Map 58, Parcel No.17, City Block 37520		DRAWN BY: THF CHECKED BY: MAB FILE NAME: 2172-C00 JOB NUMBER: 2172	SHEET NO: C0.0 ISSUE DATE: 03/29/2021
Owner: C&E Businesses LLC/dba Scooter's Coffee			



5-E-21-SU  
4/28/2021



#### DEMOLITION PLAN CONSTRUCTION NOTES

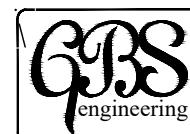
- ① CONTRACTOR SHALL REMOVE EXISTING BUILDING. ALL MATERIALS TO BE REMOVED AND PROPERLY DISPOSED OF OFF-SITE.
- ② CONTRACTOR TO SAWCUT AND REMOVE EXISTING PAVEMENT. CAUTION SHALL BE TAKEN WHEN REMOVING EXISTING PAVEMENT TO NOT DAMAGE THE EXISTING PAVEMENT. REMAINING ALL EXISTING PAVEMENT REMOVED SHALL BE PROPERLY DISPOSED OF OFF-SITE.
- ③ CONTRACTOR TO PROTECT EXISTING WATER VALVES, WATER METERS, FIRE HYDRANTS AND ALL ASSOCIATED LINES AT ALL TIMES.
- ④ CONTRACTOR TO PROTECT EXISTING SANITARY SEWER STRUCTURES AND ALL ASSOCIATED LINES AT ALL TIMES. RAISE TOPS AS REQUIRED.
- ⑤ EXISTING STORM PIPES AND STRUCTURES TO REMAIN AND TO BE PROTECTED AT ALL TIMES.
- ⑥ CONTRACTOR SHALL PROTECT THE EXISTING GAS MAIN, VALVES AND METERS AT ALL TIMES.
- ⑦ CONTRACTOR SHALL PROTECT OVERHEAD LINES AND POLES AT ALL TIMES.
- ⑧ CONTRACTOR SHALL REMOVE EXISTING OVERHEAD LINE AND COMMUNICATION LINES AND PROPERLY DISPOSE OF OFF-SITE.
- ⑨ CONTRACTOR SHALL COORDINATE THE REMOVE OR REUSE OF EXISTING GRAVEL ON SITE.

#### UTILITIES:

WATER AND SEWER  
KNOXVILLE UTILITIES BOARD  
4428 WESTERN AVE  
KNOXVILLE, TN 37921  
CUSTOMER SERVICE 865-524-2911

ELECTRIC AND GAS  
KNOXVILLE UTILITIES BOARD  
4428 WESTERN AVE  
KNOXVILLE, TN 37921  
CUSTOMER SERVICE 865-524-2911

TELEPHONE  
ATTRELLSCOUTH  
9731 PARKSIDE DRIVE  
KNOXVILLE, TN 37922  
ROBERT KNIGHT 865-539-5243

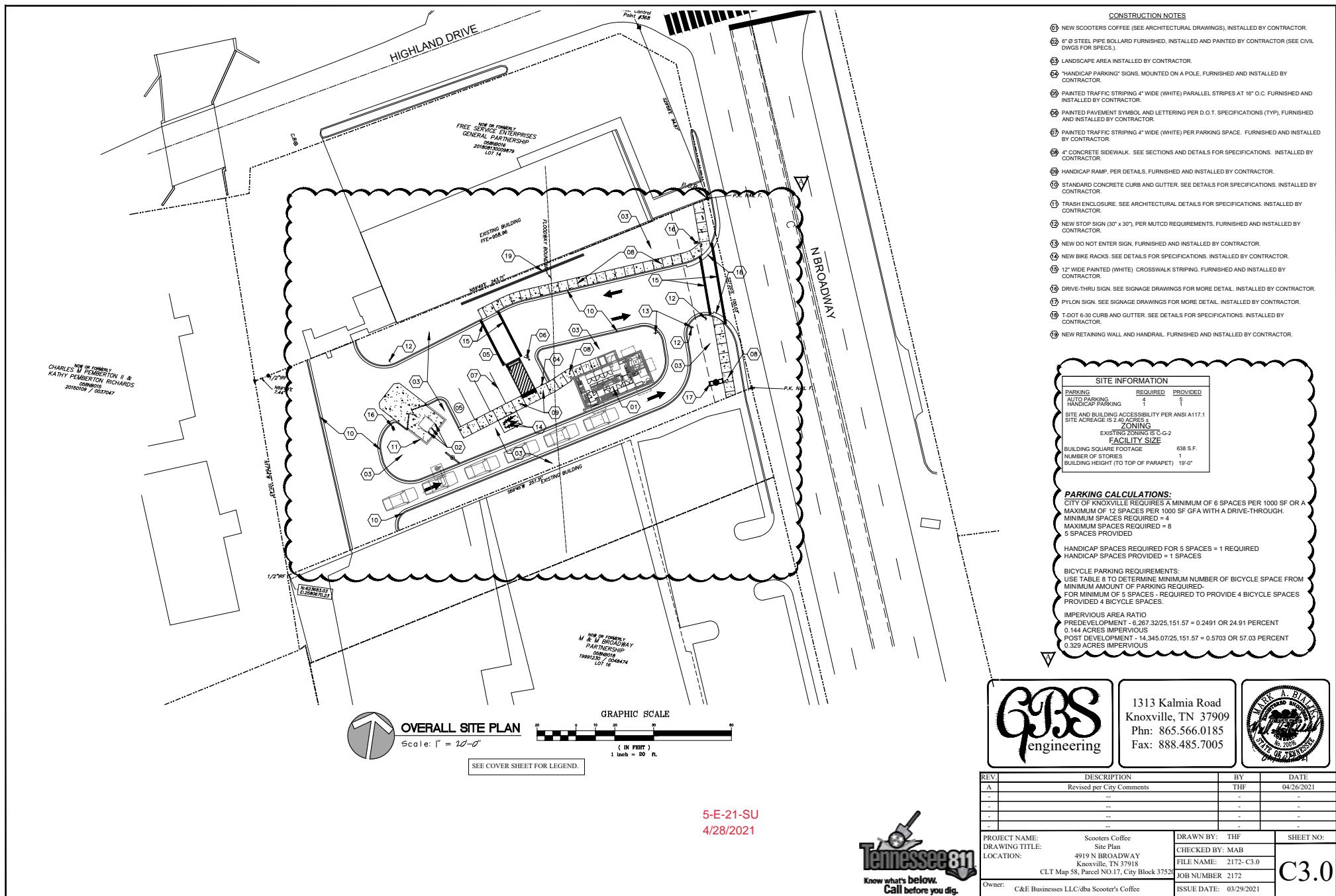


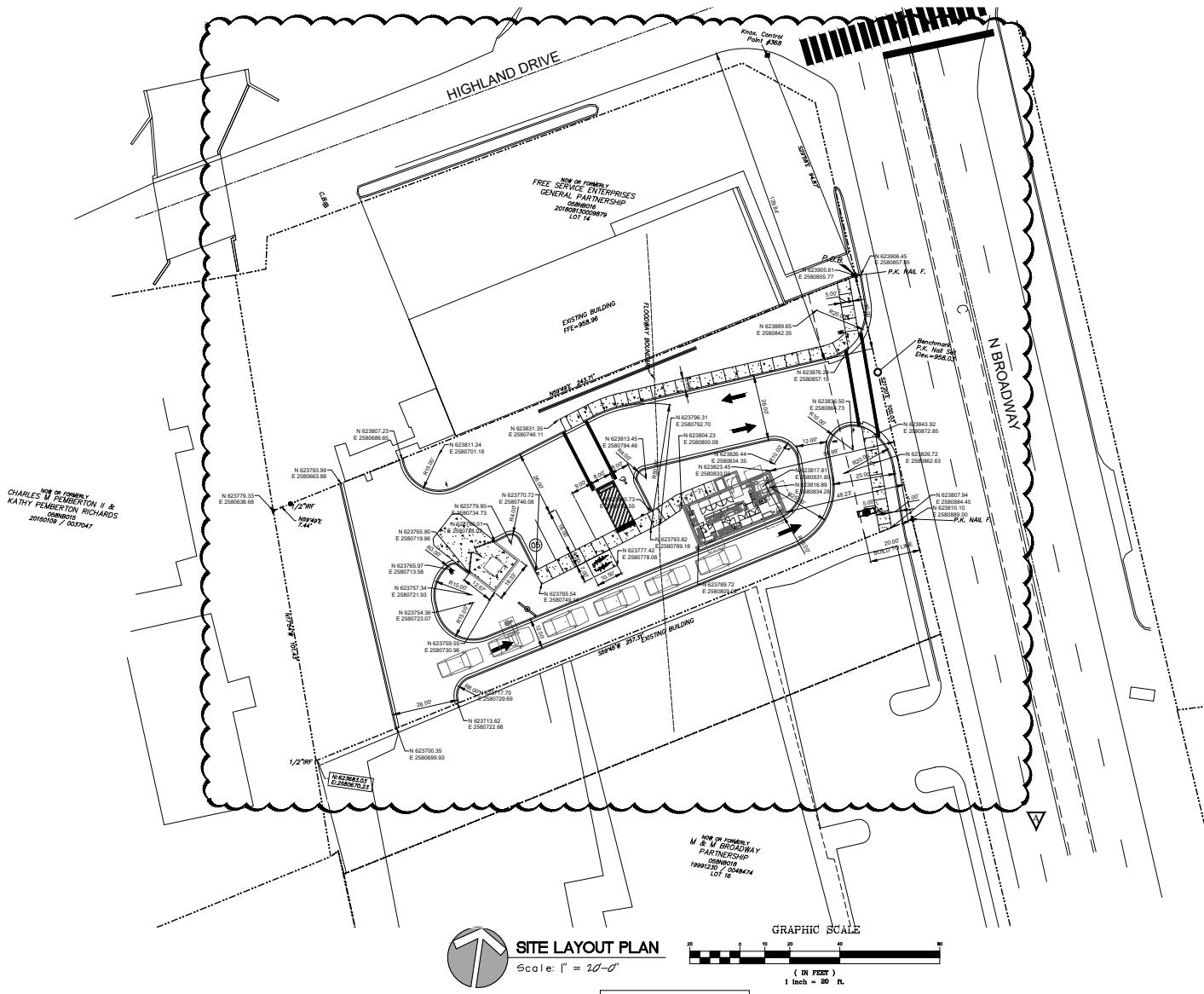
1313 Kalmia Road  
Knoxville, TN 37909  
Phn: 865.566.0185  
Fax: 888.485.7005



REV.	DESCRIPTION	BY	DATE
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-	--	-	-
-	--	-	-
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-	--	-	-
PROJECT NAME:	Scooter's Coffee	DRAWN BY:	THF
DRAWING TITLE:	Site Demolition Plat	CHECKED BY:	MAB
LOCATION:	4919 N BROADWAY Knoxville, TN 37918	FILE NAME:	C2.0
CLT Map 58, Parcel No.17, City Block 3752		JOB NUMBER:	2172
Owner:	C&E Businesses LLC/dba Scooter's Coffee	ISSUE DATE:	03/29/2021

C2.0





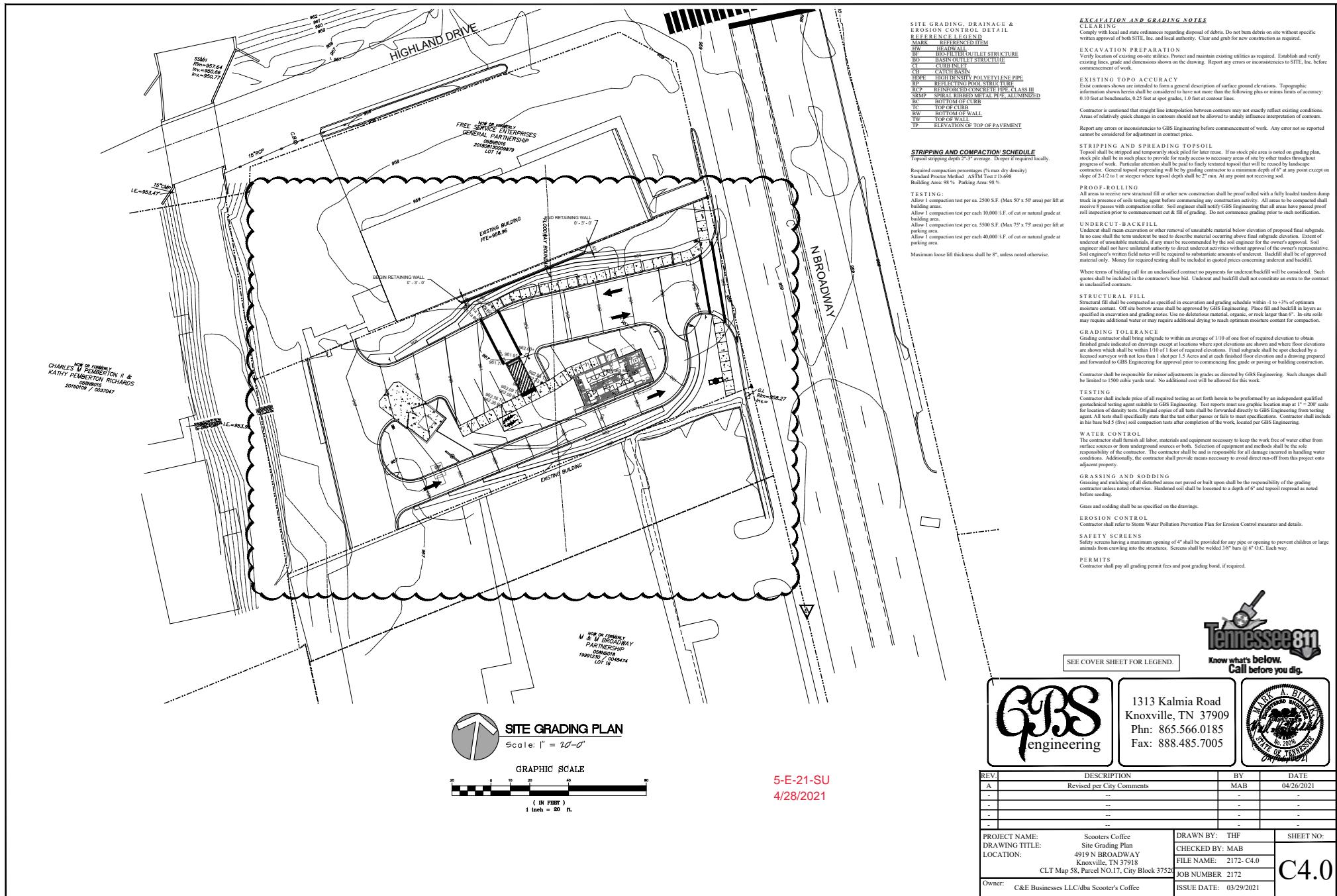
**GBS**  
engineering

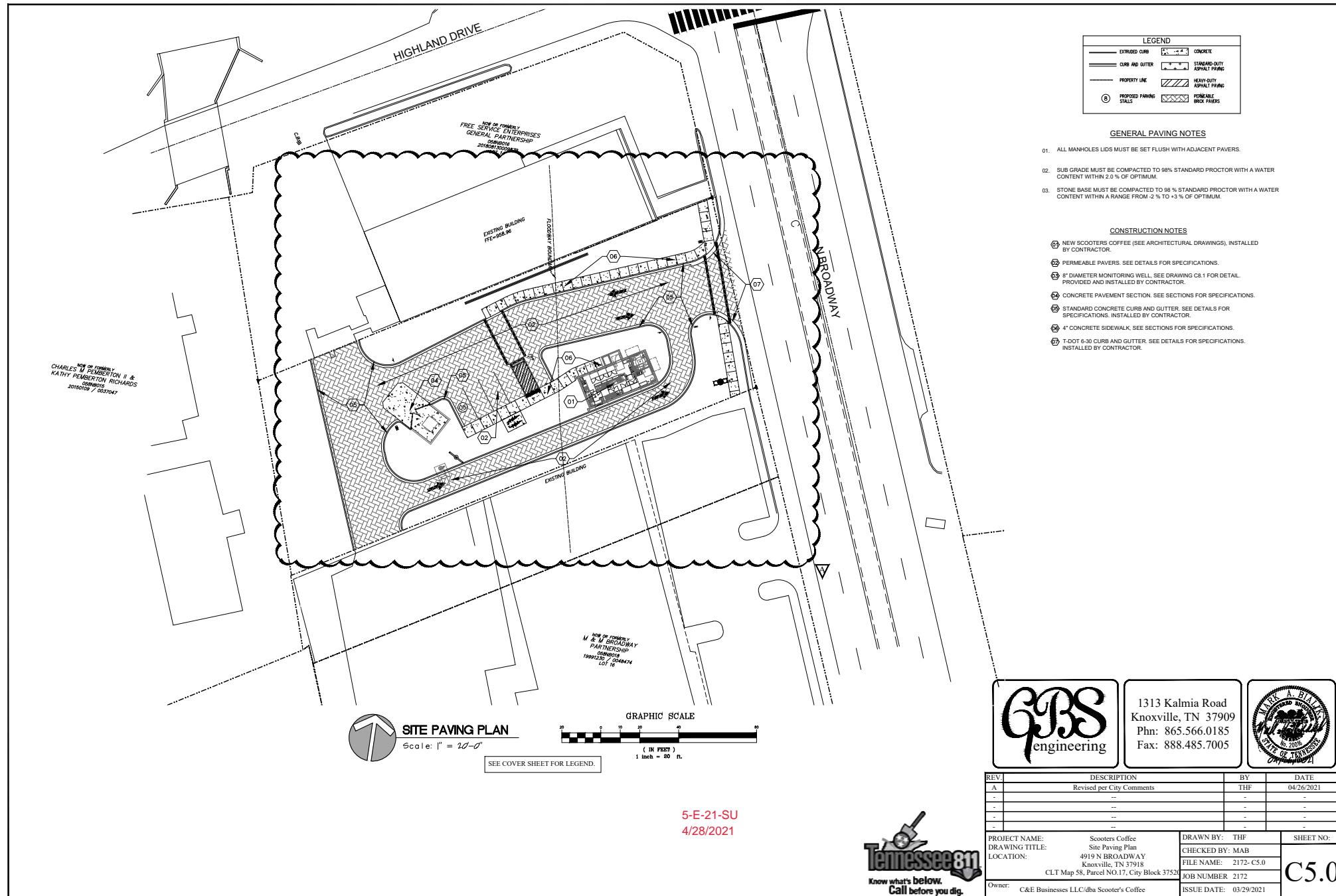
1313 Kalmia Road  
Knoxville, TN 37909  
Phn: 865.566.0185  
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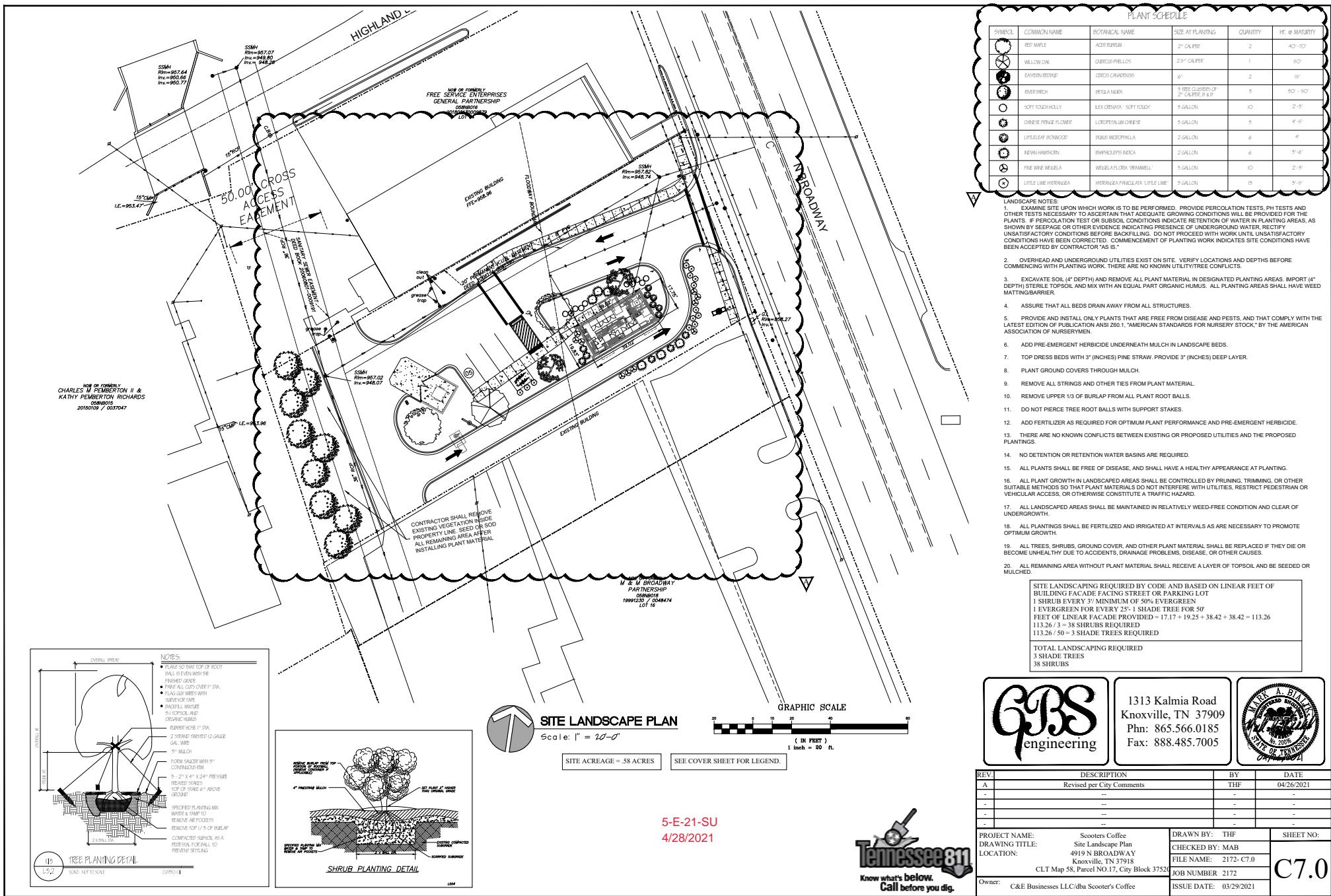


REV.	DESCRIPTION	BY	DATE
A	Revised per City Comments	THF	04/26/2021
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-	--	-	-
PROJECT NAME:	Scooter's Coffee	DRAWN BY:	THF
DRAWING TITLE:	Site Layout Plan	CHECKED BY:	MAB
LOCATION:	4919 N BROADWAY Knoxville, TN 37918	FILE NAME:	2172-C3.0
CLT Map 58, Parcel No.17, City Block 3752		JOB NUMBER:	2172
Owner: C&E Businesses LLC/dba Scooter's Coffee		ISSUE DATE:	03/29/2021

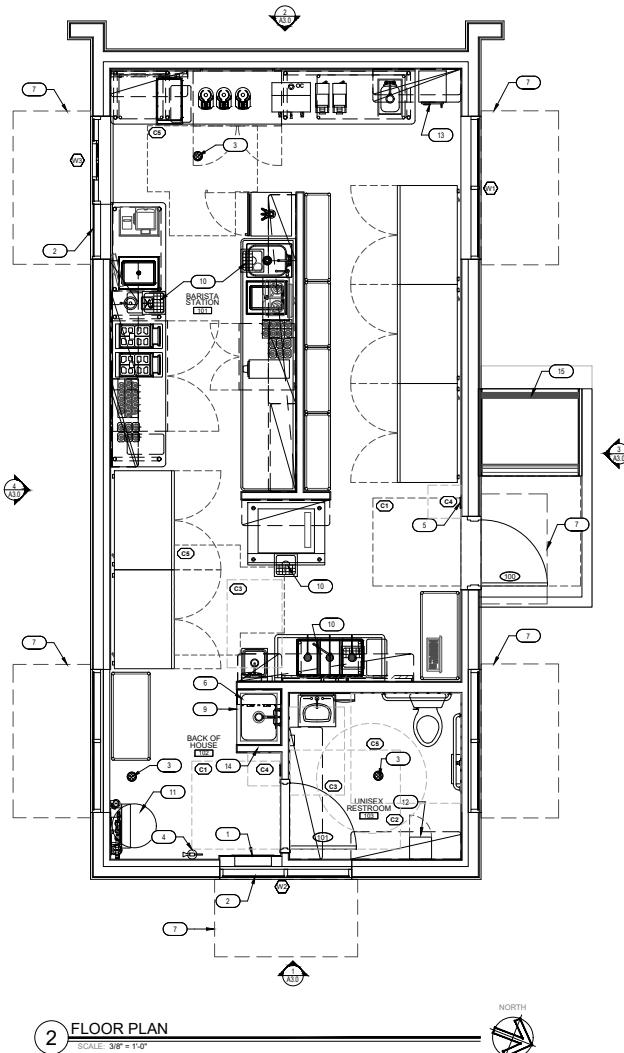
**C3.1**







5-E-21-SU  
4/28/2021



DOOR LEGEND	
	DOOR TAG: REFER TO SCHEDULE ON SHEET A5.2
WINDOW LEGEND	
	WINDOW TAG: REFER TO DETAILS ON SHEET A5.1

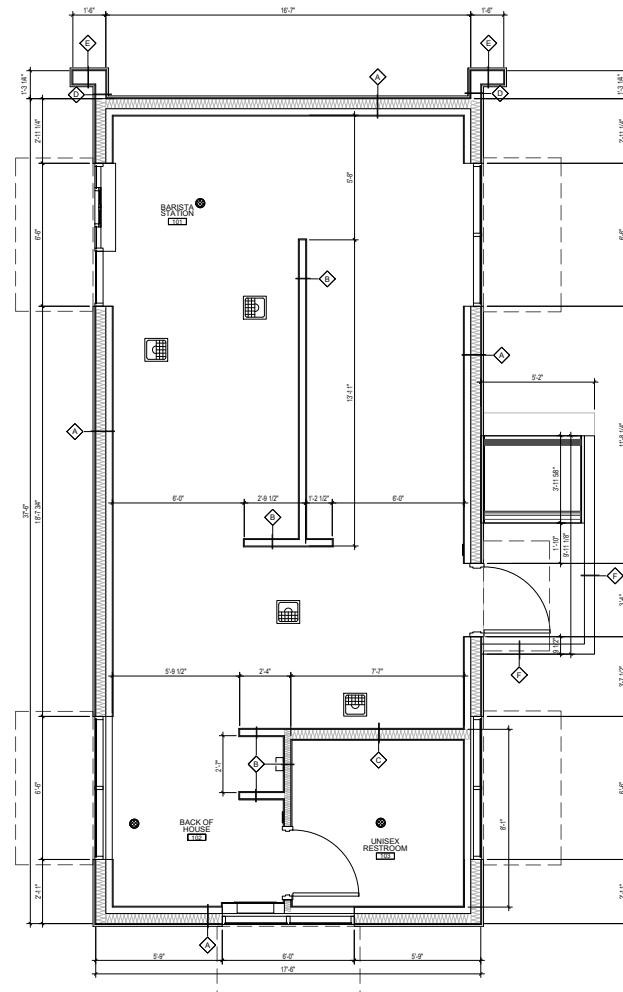
- GENERAL NOTES**
- A. PROVIDE PAINTED METAL ACCESS PANELS IN WALLS AND CEILINGS AT CONCEALED ITEMS SUCH AS VALVES, SHOCK ABSORBERS, CONTROLS, SWITCHES, ETC. AND ANY ITEMS WHICH MAY REQUIRE ACCESS NOT OTHERWISE PROVIDED.
  - B. GENERAL CONTRACTOR SHALL COORDINATE WITH OWNER FOR SLB MULTIPURPOSE RIV CHEMICAL FIRE EXTINGUISHERS WITH MOUNTING BRACKETS AND ACCESSORIES AT 4'-0" A.F.F. AS REQUIRED BY GOVERNMENTAL AUTHORITIES. MAXIMUM TRAVEL DISTANCE OF 7'-0" A.F.F.
  - C. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE, LOCATE, AND CONFIRM ALL FLOOR SINK, UNDERGROUND / OVERHEAD PLUMBING AND ELECTRICAL STUB-UPS.
  - D. SEE KITCHEN DRAWINGS FOR EQUIPMENT INFORMATION, SHEET K1.0
  - E. EXTEND WALLS TO BOTTOM OF GRP AND ADD ZIP STRIPS.
  - F. COAT EXTERIOR CONCRETE SURFACES WITH CEMENT BOARD AND SAW CUT JOINTS AT ALL EXTERIOR/INTERIOR CONCRETE. SEE JOINT SEALERS SPECIFICATIONS.
  - G. COAT EXTERIOR CONCRETE SURFACES WITH CEMENT BOARD AND SAW CUT JOINTS AT ALL EXTERIOR/INTERIOR CONCRETE. SEE JOINT SEALERS SPECIFICATIONS.
  - H. ALL ITEMS SUCH AS LIGHT SWITCHES, FIRE EXTINGUISHERS, FIRE ALARMS, PULLS AND OTHER HARDWARE SHALL BE PLACED IN ACCORDANCE WITH THE APPROPRIATE CODES.
  - I. AT MOP SINK AND SINKS, PROVIDE 120 CLEANING SOLUTION DISPENSER ON HOSE BIB SIDE.
  - J. THERE SHALL BE A MAXIMUM 1/2" OFFSET AT ALL THRESHOLDS AND AT ANY CHANGE OF PLANE. THRESHOLDS OVER 1/2" DEPTH THAN 1/4" REQUIRE A MAXIMUM BEVELLED SLOPE OF 1' UNIT VERTICAL TO 2 UNITS HORIZONTAL.
  - K. ALL DOORS ARE 4' OFF ADJACENT WALLS UNLESS OTHERWISE SPECIFIED.
  - L. ALL DOORS AND DOOR FRAMES SHALL HAVE A SMOOTH TRANSITION TO THE ADJACENT PAVED SURFACE, AND THE MAX RUNNING AND CROSS SLOPE OF ALL LANDINGS WILL BE 2%.
  - M. PROVIDE THERMOMETER ACCURATE TO 2 DEGREES FAHRENHEIT IN REFRIGERATORS IF ONE IS NOT INCLUDED WITH FIXTURE.
  - N. ALL HAND SINKS MUST BE PROVIDED WITH A HAND WASHING SIGN, PAPER TOWEL DISPENSER AND HAND SOAP DISPENSER.

**WALL LEGEND**

FRAMING DIMENSIONING NOTE:  
ALL DIMENSIONS ARE TO FACE OF STUD, TYP.

- BELOW 36" A.F.F. - HARDEE BOARD OVER FURRING STRIPS @ 24" O.C. ON 5/8" THICK POURED IN PLACE CONCRETE WALL. ADD 1/2" CEMENT BOARD OVER WEATHER RESISTANT BARRIER (WRB) OVER SHEATHING OVER 2x6" WOOD STUDS @ 16" O.C. PROVIDE BATT INSULATION (ENTIRE HEIGHT) 2x4 WOOD STUDS @ 16" O.C. WITH 1/2" CEMENT BOARD AT BASE W/ 1/2" FLOOR JOIST. PROVIDE 1/2" CEMENT BOARD OVER WRB-PANEL TO 10'-0" A.F.F..
- INTERIOR PARTITION WALL: 2x4 WOOD STUDS @ 16" O.C. 1/2" CEMENT BOARD AT BASE W/ 1/2" PLYWOOD ABOVE AND FLOOR JOIST FINISH TO 10'-0" A.F.F. BOTH SIDES. PROVIDE 1/2" CEMENT BOARD AND VERTICAL BATT INSULATION AT RESTROOM.
- PLUMBING PARTITION: 2x6 WOOD STUDS @ 16" O.C. 1/2" CEMENT BOARD AT BASE W/ 1/2" MOISTURE RESISTANT GYP BD ON RESTROOM SIDE AND 1/2" CEMENT BOARD ON BASE IN 12" PLYWOOD FOR BACK OF HOUSE WITH FRP PANEL TO 10'-0" A.F.F. BOTH SIDES. PROVIDE R-13 ACOUSTICAL BATT INSULATION IN PARTITION.
- EXTERIOR WING WALL: 2x6 WOOD STUDS @ 16" O.C. OVERWEATHER RESISTANT BARRIER (WRB) OVER SHEATHING OVER 2x6" WOOD STUDS @ 16" O.C. SHEATHING AND BREAK METAL ONE SIDE.
- EXTERIOR WING WALL: 2x6 WOOD STUDS @ 16" O.C. OVERWEATHER RESISTANT BARRIER (WRB) OVER SHEATHING AND BREAK METAL BOTH SIDES.
- 36" HIGH EXTERIOR WING WALL: 5" THICK POURED IN PLACE CONCRETE WALL.

NOTE: FLOOR SINKS DIMENSION ARE NOT DEAD SET, THEY WILL NEED TO BE LOCATED 48" OR MORE. GC WILL NEED TO COORDINATE WITH COUNTERTOP FAB FOR PROPER LOCATION OF COUNTERTOP LEGS WITH FLOOR SINK LOCATION.

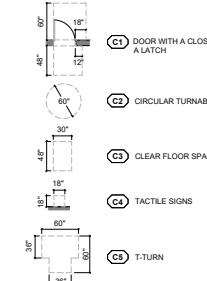


**1** DIMENSION PLAN

**KEYNOTES - FLOOR PLAN**

1. NEW ELECTRICAL PANEL SEE ELECTRICAL DRAWINGS
2. CIRCLES ON FLOOR PLAN BY OWNER
3. FLOOR DRAWS SEE PLUMBING DRAWINGS
4. 2A-10BC MINIMUM FIRE EXTINGUISHER
5. PROVIDE TACTILE EXIT SIGN AT EXIT DISCHARGE
6. 48" CLEAR FLOOR SPACE SEE PLUMBING DRAWINGS
7. LINE OF CANOPY ABOVE BY OTHERS
8. ACCESSIBLE RESTROOM SIGN
9. MECHANICAL SYSTEMS SEE PLUMBING DRAWINGS
10. FLOOR SINK SEE PLUMBING DRAWINGS
11. R.O. SYSTEM SEE PLUMBING DRAWINGS
12. 10'-0" A.F.F. DOOR OPENING FROM WALL TO WALL BY GC
13. FLOOR SAFE BY OWNER, BOLTED TO FLOOR BY G.C.
14. PARTIAL HEIGHT WALL
15. PEDESTRIAN FLOOD GATE WITH ALUMINUM WIPER WALL, EQ. TO FLOOD BREAK

**CLEARANCE KEYNOTE**



TITLE:  
**DIMENSION PLAN & FLOOR PLAN**

DATE:  
DATE

PROJECT NO.  
PROJ. NO.

- DESIGN DEVELOPMENT  
 PERMIT SUBMITTAL  
 BID PACKAGE  
 CONSTRUCTION ISSUE

SHEET NO.

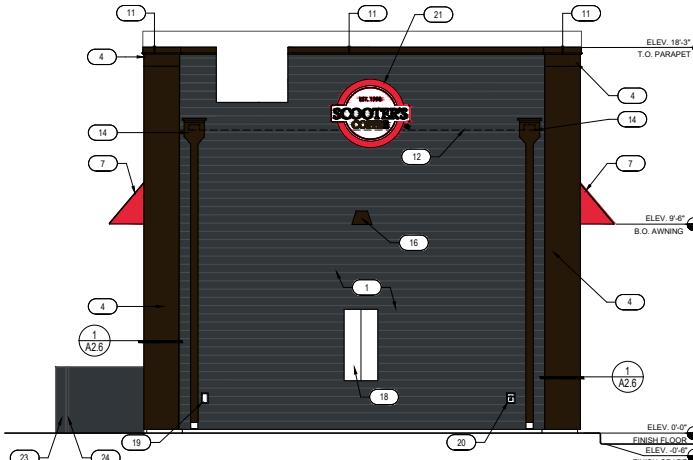
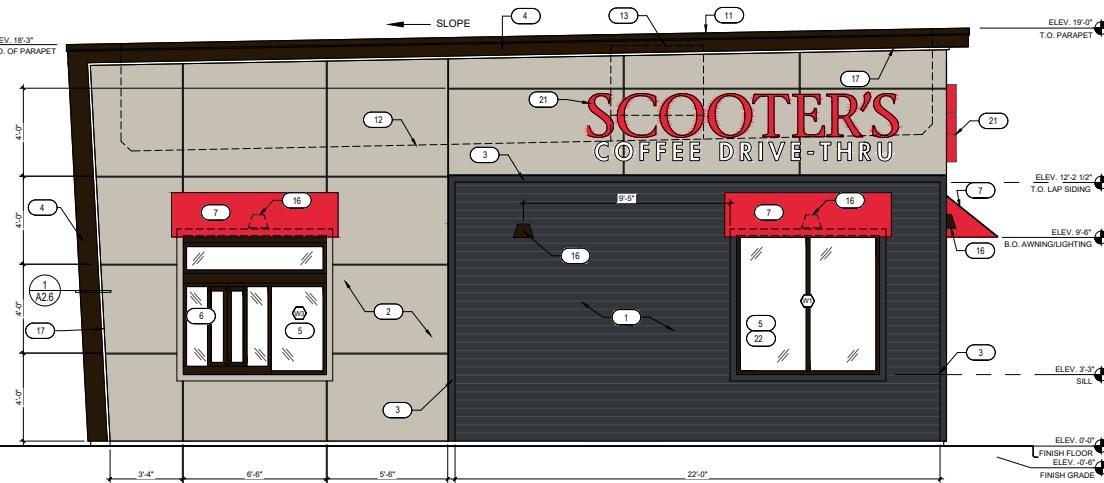
**A2.1**

5-E-21-SU  
4/28/2021

KEYNOTES

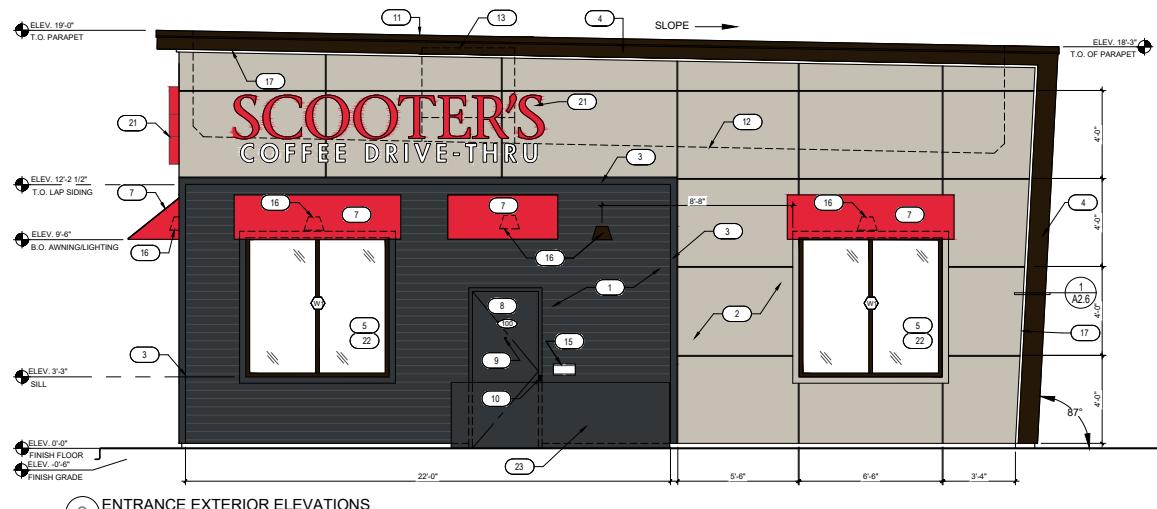
1. HARDEE PLANK WZ10 LAP SIDING CEDAR MILL 6-1/4". SEE HARDEE DETAIL SHEET A6.0 COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
2. HARDEE REVEAL PANEL SYSTEM WZ10. SMOOTH FINISH. SEE HARDEE DETAIL SHEET A6.5 COLOR: SW 1015 SKYLINE STEEL
3. 3 1/2" HARDEE TRIM. SEE HARDEE DETAIL SHEET A6.5 COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
4. 20 GAUGE METAL ACCENTS AND SOFFITS - COLOR: BLACK
5. INSULATED DARK BRONZE ALUMINUM WINDOWS WITH DUAL PANE TEMPERED GLASS
6. QUOKSERVE 48x48 WINDOW - COLOR: DARK BRONZE
7. AWNING BY OTHERS - COLOR: RED
8. INSULATED HOLLOW METAL DOOR AND FRAME - COLOR: SHERWIN WILLIAMS SW6992 INKWELL EGGSHELL FINISH
9. PEER HOLE, BY DOOR MANUFACTURER
10. DOOR BELL
11. 20 GAUGE METAL PARAPET CAP
12. LINE OF ROOF BEYOND
13. ROOF TOP UNIT BEYOND, SEE MECHANICAL DRAWINGS
14. ROOF SCUPPER AND DOWNSPOUT, SEE DETAIL B/A6.3
15. MAILBOX BY OWNER
16. WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
17. LED LIGHT BAND, SEE ELECTRICAL DRAWINGS
18. SES PANEL, SEE ELECTRICAL DRAWINGS
19. ELECTRICAL OUTLETS, SEE ELECTRICAL DRAWINGS
20. HOSE BIBB, SEE PLUMBING DRAWINGS
21. SIGNAGE BY OTHERS, UNDER A SEPARATE PERMIT
22. SPANDEL GLASS
23. #2 Poured in place concrete wing wall
24. ALUMINUM WIPER WALL FOR PEDESTRIAN FLOOD GATE

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4 DRIVE-THRU EXTERIOR ELEVATIONS

SCALE: 3'-0" = 1'-0"

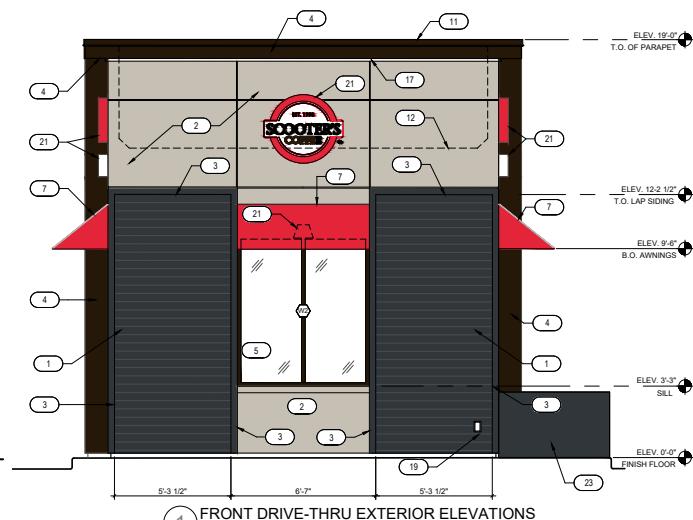


3 ENTRANCE EXTERIOR ELEVATIONS

SCALE: 3'-0" = 1'-0"

2 REAR EXTERIOR ELEVATIONS

SCALE: 3'-0" = 1'-0"



1 FRONT DRIVE-THRU EXTERIOR ELEVATIONS

SCALE: 3'-0" = 1'-0"

A3.0

TITLE:  
EXTERIOR  
ELEVATIONS

DATE:  
DATE  
PROJECT NO.  
PROJ. NO.  
 DESIGN DEVELOPMENT  
 PERMIT SUBMITTAL  
 BID PACKAGE  
 CONSTRUCTION ISSUE  
SHEET NO.



# Development Request

**DEVELOPMENT**

- Development Plan
- Planned Development
- Use on Review / Special Use
- Hillside Protection COA

**SUBDIVISION**

- Concept Plan
- Final Plat

**ZONING**

- Plan Amendment
- SP     OYP
- Rezoning

Mark A. Bialik, PE/GBS Engineering

Civil Eng/Agent

Applicant Name

Affiliation

03/29/2021

May 13,2021

File Number(s)

Date Filed

Meeting Date (if applicable)

5-E-21-SU

**CORRESPONDENCE***All correspondence related to this application should be directed to the approved contact listed below.*

- Applicant     Owner     Option Holder     Project Surveyor     Engineer     Architect/Landscape Architect

Mark A. Bialik, PE  
GBS Engineering

Name	Company		
1313 Kalmia Road	Knoxville	TN	37909
Address	City	State	ZIP
865-566-0185	mark@gbs-eng.net		
Phone	Email		

**CURRENT PROPERTY INFO**

Jeb S. Davis Investments, LLC	315 Trane Drive	865-406-0938
-------------------------------	-----------------	--------------

Owner Name (if different)	Owner Address	Owner Phone
---------------------------	---------------	-------------

4919 N Broadway, Knoxville, TN 37918	058NB017
--------------------------------------	----------

Property Address	Parcel ID
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KUB	KUB	N
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Sewer Provider	Water Provider	Septic (Y/N)
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**STAFF USE ONLY**

West side of N Broadway; due South of Highland Drive

26,000 sq. ft. +/-  
Tract Size

General Location

<input checked="" type="checkbox"/> City	<input type="checkbox"/> County	5th
		District

C-G-2

Zoning District

OF

Existing Land Use

North City

GC/F

City

Planning Sector

Sector Plan Land Use Classification

Growth Policy Plan Designation

## DEVELOPMENT REQUEST

Development Plan    Use on Review / Special Use    Hillside Protection COA  
 Residential    Non-Residential

Related City Permit Number(s)

Home Occupation (specify) \_\_\_\_\_

Scooter's Coffee

Other (specify) \_\_\_\_\_

## SUBDIVISION REQUEST

Related Rezoning File Number

Proposed Subdivision Name \_\_\_\_\_

Unit / Phase Number    Combine Parcels    Divide Parcel

Total Number of Lots Created

Other (specify) \_\_\_\_\_

Attachments / Additional Requirements

## ZONING REQUEST

Pending Plat File Number

Zoning Change

Proposed Zoning \_\_\_\_\_

Plan Amendment Change

Proposed Plan Designation(s) \_\_\_\_\_

Proposed Density (units/acre) \_\_\_\_\_

Previous Rezoning Requests \_\_\_\_\_

Other (specify) \_\_\_\_\_

## STAFF USE ONLY

### PLAT TYPE

Staff Review    Planning Commission

0401

Fee 1

1500      00

Total

**1500.00**

Fee 2

Fee 3

### ATTACHMENTS

Property Owners / Option Holders    Variance Request

### ADDITIONAL REQUIREMENTS

Design Plan Certification (*Final Plat*)

Use on Review / Special Use (*Concept Plan*)

Traffic Impact Study

COA Checklist (*Hillside Protection*)

### AUTHORIZATION

By signing below, I certify I am the property owner, applicant or the owners authorized representative.



Applicant Signature

Mark A. Bialik, PE/GBS Engineering

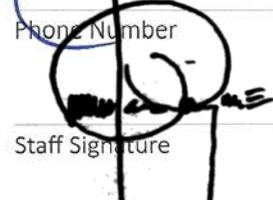
03/29/2021

Please Print

Date

Phone Number

Email

  
Staff Signature

Marc Payne

3/29/2021

Please Print

Date